

Jody L. McLeod
MAYOR

Bruce Thompson
TOWN ATTORNEY

Steve Biggs
TOWN MANAGER



Bob Satterfield
R.S. "Butch" Lawter, Jr.
Art Holder
Jason Thompson
COUNCIL MEMBERS

Michael Grannis
MAYOR PRO TEM

TOWN COUNCIL MEETING

FEBRUARY 16, 2015

AGENDA

MAYOR AND TOWN COUNCIL

**MAYOR JODY L. MCLEOD
MAYOR PRO TEM MICHAEL GRANNIS
COUNCILMAN BOB SATTERFIELD**

**COUNCILMAN ART HOLDER
COUNCILMAN R.S. "BUTCH" LAWTER, JR.
COUNCILMAN JASON THOMPSON**

TOWN STAFF

**STEVE BIGGS, TOWN MANAGER
KIMBERLY A. MOFFETT, TOWN CLERK
BRUCE THOMPSON II, TOWN ATTORNEY**

AGENDA
THE WORK SESSION MEETING OF THE CLAYTON TOWN COUNCIL

MONDAY, FEBRUARY 16, 2015
6:30 PM

THE CLAYTON CENTER
COUNCIL CHAMBERS

1. **CALL TO ORDER**
Pledge of Allegiance & Invocation – Mayor Jody L. McLeod

2. **ADJUSTMENT OF THE AGENDA**

3. **CONSENT AGENDA**
 - a. **Draft minutes from January 20, 2015**

Suggested Action: Motion for Approval of Consent Agenda as presented

4. **INTRODUCTIONS AND SPECIAL PRESENTATIONS**
 - a. **Introduction of new Town of Clayton employee(s)**
 - Rick Burton – Building Enforcement Officer
 - Jennifer Proctor – Sr. Administrative Support Specialist
 - Christy Anastasi – Administrative Support Specialist/Deputy Town Clerk

5. **ITEMS SCHEDULED FOR THE REGULAR MEETING AGENDA**
 - a. **Reimbursement Resolution – Water Reclamation**
Presenter: James Warren, Wastewater Treatment Plant Superintendent

Suggested Action: Place on March 2, 2015 Consent Agenda

 - b. **Arbor Day Proclamation**

Suggested Action: Place on March 2, 2015 Consent Agenda

 - c. **PSD 2014-145 – Lions Gate – Phases 7A, &B, 7C & 7D**
Presenter: David DeYoung, Planning Director

Suggested Action: Set Public Hearing for March 2, 2015

 - d. **SUP 2014-143, Murdock Solar Farm**
Presenter: David DeYoung, Planning Director

Suggested Action: Set Public Hearing for March 2, 2015

- e. PDD 2014-127 – SteepleChase Planned Development – Rezoning to PD-MU
Presenter: David DeYoung, Planning Director

Suggested Action: Set Public Hearing for March 2, 2015

- f. PSD 2014-128 – SteepleChase Planned Development - Preliminary Plat/Master Plan
Presenter: David DeYoung, Planning Director

Suggested Action: Set Public Hearing for March 2, 2015

- g. Special Event 2014-129 – Millstock Art and Music Festival
Presenter: Bruce Naegelen, Downtown Development Coordinator

Suggested Action: Place on March 2, 2015 Consent Agenda

- h. Special Event 2015-02 – Town Square Concert Series
Presenter: Bruce Naegelen, Downtown Development Coordinator

Suggested Action: Place on March 2, 2015 Consent Agenda

- i. Proposed Ordinance Amendment Related to Right-Of-Way Encroachments
Presenter: Steve Biggs, Town Manager

Suggested Action: Place on March 2, 2015 Consent Agenda

6. ITEMS CONTINGENT FOR THE REGULAR MEETING

- a. Warranty and Dedication Acceptances:
Asphalt pavement subject to one year warranty period.
- Chandler’s Ridge (Old Lyndale), Phases 1 & 2

FINAL Asphalt. Upon approval, Town will assume all maintenance duties.

- Spring Branch, Phase 1
- Glen Laurel East, Phases 2A & 2B

FINAL Public Water, Sewer, Associated Storm Drainage Utilities, All Pertinent Easements. Upon approval, Town will assume all operation and maintenance duties.

- Spring Branch Commercial Subdivision, Phase 1
- Spring Branch Medical & Commercial Park, Phase 2
- South Tech Park/Harvest Mill Lane

Suggested Action: Place on March 2, 2015 Consent Agenda

7. ITEMS FOR DISCUSSION

- a. **Watershed Protection Overlay Update**
Presenter: David DeYoung, Planning Director

- b. **Legislative Agenda**
 - **Support NC League of Municipalities “Municipal Advocacy Goals”**
 - **Seek Restoration or Replacement of North Carolina Historic Preservation Economic Development Tax Credit***Presenter: Steve Biggs, Town Manager*

- c. **ABC Referendum**
Presenter: Katherine Ross, Town Attorney

- d. **Budget Calendar & Schedule Budget Work Session**
Presenter: Steve Biggs, Town Manager

8. OLD BUSINESS

9. STAFF REPORTS

- a. **Town Manager**
- b. **Town Attorney**
- c. **Town Clerk**
 - **Calendar of Events**
- d. **Other Staff**

10. OTHER BUSINESS

- a. **Informal Discussion & Public Comment**
- b. **Council Comments**

11. ADJOURNMENT

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3a

Meeting Date: February 16, 2015

TITLE: Minutes

DESCRIPTION: Draft Minutes from January 20, 2015

RELATED GOAL: Administrative

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Approval	Draft Minutes

**Minutes
Clayton Town Council
January 20, 2015**

The second regular meeting of the Clayton Town Council for the month of January was held on Tuesday, January 20, 2015 at 6:30 p.m. at Town Hall, 111 East Second Street.

Present: Mayor Jody McLeod, Mayor Pro Tem Michael Grannis, Council Member Bob Satterfield, Council Member Jason Thompson, Council Member R.S. “Butch” Lawter and Council Member Art Holder

Staff Present: Steve Biggs; Town Manager, Capt. R.W. Bridges; Police Chief, David DeYoung; Planning Director, Bruce Naegelen; Downtown Development Coordinator, Stacy Beard; Public Information Officer, Robert McKie; Finance Director, Tim Simpson; Public Works Director, Larry Bailey; Parks & Recreation Director, Tommy Roy; IT Technician, Katherine Ross; Town Attorney, Capt. R Herring; Police Department and Kimberly Moffett; Town Clerk

1. CALL TO ORDER

The meeting was called to order at 6:34 p.m. Mayor McLeod led the Pledge of Allegiance as well as offering the Invocation.

2. ADJUSTMENT OF THE AGENDA

Request was made to add an item under Special Presentations. Johnston Health representatives will make presentation to Town.

3. CONSENT AGENDA

- a. Draft minutes from January 5, 2015
- b. Certificate of Sufficiency and Resolution setting date of public hearing for Annexation Petition 2014-12-01, FSC, IV, LLC Property, Non-Contiguous; 46.17 +/- acres
- c. Resolution – Intent to annex property owned by Town of Clayton – Annexation Petition 2015-01-01, Little Creek Church Road Property, Non Contiguous; 67.14 acres
- d. Resolution – Intent to annex property owned by Town of Clayton – Annexation Petition 2015-01-02, River Park Property, Non-Contiguous; 39.55 acres

Action: Motion for Approval of Consent Agenda as presented

Motion: Thompson
Second: Holder
Vote: Unanimous

4. INTRODUCTIONS AND SPECIAL PRESENTATIONS

a. **Johnston Health – This item was added to the agenda at the start of the meeting. Mr. Bobby Parker thanked the town and town employees for the support received during the entire process and construction of the new in-patient wing at Johnston Health on Highway 42. Mr. Parker presented a plaque in appreciation.**

b. **Introduction of new Town of Clayton employee(s) - There were no new employee introductions.**

c. **Presentation of Comprehensive Annual Financial Report – FY 2014**

Mr. Ken Anderson of Anderson Smith & Wike presented the annual Comprehensive Financial Report for 2014. He noted that the Town received an unmodified opinion of their June 30, 2014 financial statements. This equates to a good report. With regard to General Fund, current year expenditures exceeded revenues by \$8,914. There was a change in the Water & Sewer Fund Balance, with revenues exceeding expenditures by \$2,543,226. Electric Fund Balance indicated that expenditures exceeded revenues by \$45,440. Changes in long term liabilities were as follows; Governmental Activities debt decreased by \$1,490,531 and Business Type Activities Debt decreased by \$825,655.

The Town was subject to a compliance type audit for the year. The tip project was the East Front Street Extension expenditure within the general fund. The audit was unqualified with no findings and no questioned costs.

The Town had no budget over-expenditures for the year. Additionally, the audit report was submitted to the Local Government Commission on October 24, 2014 and was accepted.

Mr. Anderson stated the Town has very strong controls systems in place.

Mr. McKie provided a Power Point presentation that offered an overview of the audit procedure as well as information regarding compliance with the Town of Clayton’s financial policies

Mayor ProTem Grannis thanked Mr. McKie and staff for the dedication. He stated it is obvious, from seeing the financial report presented, they are doing a great job and it is truly appreciated.

5. ITEMS SCHEDULED FOR THE REGULAR MEETING AGENDA

- a. **Public Hearing Voluntary Annexation Petition 2014-12-01 - FSC IV, LLC Property, Non-Contiguous; 46.17 +/- acres**

Mr. DeYoung provided an overview regarding voluntary Annexation Petition 2014-12-01.

Action: Set Public Hearing for February 2, 2015

- b. **Public Hearing Annexation Petition 2015-01-01, Little Creek Church Road, Town of Clayton Property, 67.14 acres**

Mr. DeYoung provided an overview regarding annexation of Town owned property.

Action: Set Public Hearing for February 2, 2015

- c. **Public Hearing Annexation Petition 2015-01-02, River Park Property, Town of Clayton Property, 39.55 acres**

Mr. DeYoung provided an overview regarding annexation of Town owned property.

Action: Set Public Hearing for February 2, 2015

- d. **SIA 2014-153 Caterpillar Southern Site Special Intensity Allocation**

Mr. DeYoung provided a report regarding the request from Caterpillar. This site is located in the watershed overlay and the requested increase will allow the expansion of their facility to include a new customer display area. Staff is recommending approval of up to 70%.

Mr. DeYoung further stated staff is currently running calculations of all Special Intensity Allocations within the Watershed Protection Area. Currently numbers stand at approximately 50% of the allowed 10%.

Action: Place on February 2, 2015 Agenda

- e. **Unified Development Code Text Amendment – Modification to §155.705(O)**

Mr. DeYoung provided an overview of this text amendment which would change the process for a phase modification from council to staff level.

Action: Set Public Hearing for February 2, 2015 Agenda

f. Amendment to Chapter 92 of the Code of Ordinances – 92.03(C)

This amendment reflects the change to the revised fee schedule and increased days of weeks for interments.

Action: Place on February 2, 2015 Consent Agenda

g. Urban Archery Regulations

Mr. Biggs provided a brief background. This ordinance outlines suggested amendments to the Code of Ordinances that establishes an Urban Archery Season for the legal harvesting of deer.

Action: Place on February 2, 2015 Consent Agenda

6. ITEMS CONTINGENT FOR THE REGULAR MEETING

a. Warranty and dedication acceptances of public water, sewer, and all easements, *unless otherwise noted*. Record drawings have been reviewed and accepted. Following acceptance, utilities subject to one year warranty period. Final inspection will be completed with all deficient items corrected by developer prior to final acceptance.

- Arbors at East Village
- Summerlyn Subdivision, The Meadows – *except greenways*.
- Creekside Commons

Action: Place on February 2, 2015 Consent Agenda

b. Special Events

Mr. Naegelen stated the event “Run for the Rockets” which was scheduled for March 7, 2015 has been cancelled. Mr. Naegelen provided additional details regarding the following events:

- Flag of Truce – April 11, 2015
- HeartChase – May 16, 2015
- A Soldiers Walk Home – May 18, 2015

Action: Place on February 2, 2015 Consent Agenda

Mr. Naegelen also provided information on the following event:

- AlzNc – Johnston County Walk - May 9, 2015

Discussion was held and since the possibility exists of a conflict with another event, staff will contact event organizers to address conflict.

Action: Place on February 2, 2015 Agenda

c. **Peddler Ordinance & Licensing Procedure(s)**

Mr. Biggs provided background of this item. Also in attendance were Chief Bridges and Captain Herring for any specific questions. This proposed ordinance creates a licensing procedure for peddlers. Discussion included whether is licensing would be for any door to door peddler. This ordinance would provide an exception for any person not receiving compensation, i.e., girl scouts and school sales.

Action: Place on February 2, 2015 Consent Agenda

7. **ITEMS FOR DISCUSSION**

8. **OLD BUSINESS**

a. **Traffic Count/Observation Report – Athletic Club Blvd.**

Mr. Biggs provided background of this item. He states several parents of children within Riverwood had concerns regarding prohibited left hand turns and requested that signage be posted. There were concerns that folks would not obey signage and the town engaged Kimley-Horn to perform traffic counts and observation of traffic conditions at the location of Athletic Club Boulevard at Collinsworth.

It was the recommendation of Kimley-Horn that a concrete median be constructed. This median would prohibit left turns from Athletic Club Boulevard onto Collinsworth Drive in either direction but allow for left turns from both sides of Collinsworth Drive onto Athletic Club Boulevard. The estimated cost would be \$20,000.

Discussion continued. Mayor McLeod stated he believes it would be beneficial to have a photo of what the structure would look like. Concerns were raised whether traffic heading south on Athletic Boulevard would still be able to make a left turn. It was stated a left turn would be extremely tight to make. Suggestion was made to include Johnston County Schools as well as the developer or HOA representative at the next discussion of this item.

b. Purchase of ABC Plumbing Building located at 220 E. Main Street

Mr. Biggs provided copy of proposed contract to purchase this building. There was an in-depth discussion regarding this item. Council members stated they had heard from citizens and majority of feedback was to move forward to save the building. The only negative feedback heard were concerns regarding possible involvement with private sector.

Action: Suspend rules to vote on item

Motion: Mayor Pro Tem Grannis
Second: Council Member Lawter
Vote: Unanimous

Action: Approve purchase of building located at 222 E. Main Street

Motion: Council Member Holder
Second: Mayor Pro Tem Grannis
Vote: Yes – (Grannis, Holder, Lawter, Satterfield)
No – (Thompson)

9. STAFF REPORTS

- a. Town Manager
- b. Town Attorney
- c. Town Clerk
 - Calendar of Events
- d. Other Staff

10. OTHER BUSINESS

- a. Informal Discussion & Public Comment
- b. Council Comments

Council Member Satterfield asked if there were any updates with regard to Front Street Extension and left turn lanes. Mr. Biggs stated as of today no update was available. Staff will follow up with the Safety Division. Suggestion was made to increase police presence at this location.

Mayor McLeod stated he was extremely proud of Clayton and heard great news this evening indicating Clayton is in extremely good financial standing. He stated this is due to the hard work, dedication and leadership of the board and staff.

Concern was raised regarding number of accidents occurring at Smith and Second Streets. It was requested that staff look into the possibility of

four-way stop sign. Also requested that speed limit sign at this location be straightened.

Mayor Pro Tem Grannis echoed the Mayor's feelings and stated the current board as well as previous boards dating back to 1998 need to be acknowledged for the great work that has been accomplished in Clayton.

11. ADJOURNMENT

With there being nothing further, the meeting was adjourned.

Action: Adjourn meeting at 7:46 p.m.

Motion: Council Member Lawter
Second: Council Member Thompson
Vote: Unanimous

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 4a

Meeting Date: February 16, 2015

TITLE: INTRODUCTIONS OF NEW TOWN OF CLAYTON EMPLOYEES

DESCRIPTION: Three introductions will take place; Rick Burton – Building Enforcement Officer, Jennifer Proctor – Sr. Administrative Support and Christy Anastasi - Administrative Support/Deputy Town Clerk

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	None	N/A

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5a

Meeting Date: February 16, 2015

TITLE: REIMBURSEMENT RESOLUTION

DESCRIPTION: Mr. James Warren will present a resolution declaring intent of the Town to reimburse itself from the proceeds of a future financing contract for certain expenditures made and/or to be made in connection with water reclamation improvements.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Place on March 2, 2015
Consent Agenda**

Resolution

**TOWN OF CLAYTON
REIMBURSEMENT RESOLUTION**

**RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
CLAYTON DECLARING ITS INTENTION TO REIMBURSE
ITSELF FROM THE PROCEEDS OF A FUTURE FINANCING
CONTRACT FOR CERTAIN EXPENDITURES MADE AND/OR
TO BE MADE IN CONNECTION WITH WATER RECLAMATION
IMPROVEMENTS.**

WHEREAS, the Town of Clayton (the “Town”) is a Town organized and existing under the laws of the state of North Carolina; and

WHEREAS, the Town has paid and/or will pay certain expenditures (the “Expenditures”) in connection with the purchase of rolling stock (the “Project”); and

WHEREAS, the Town Council of the Town (the “Council”) has determined that those moneys previously advanced and to be advanced on and after the date hereof to pay the Expenditures are available only for a temporary period and it is necessary to reimburse the Town for the Expenditures from the proceeds of a future financing contract (the “Contract”);

**NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL AS
FOLLOWS:**

Section 1. The Council hereby declares the Town’s intent to reimburse the Town with the proceeds of the Contract for the Expenditures with respect to the Project made prior to adoption of this resolution and on and after the date hereof. The Town reasonably expects on the date hereof that it will reimburse the Expenditures with the proceeds of the Contract.

Section 2. Each Expenditure will be either (a) of a type properly chargeable to a capital account, (b) a cost of issuance with respect to the Contract, or (c) a nonrecurring item that is not customarily payable from current revenues.

Section 3. The maximum principal amount of the Contracts are expected to be entered into for the Project is \$330,000.

Section 4. The Town will make a reimbursement allocation, which is a written allocation by the Town that evidences the Town’s use of proceeds of the Contract to reimburse an Expenditure, no later than 18 months after the later of the date on which the Expenditure is paid or the Project are placed in service or abandoned, but

in no event more than three years after the date on which the Expenditure is paid. The Town recognizes that exceptions are available for certain “preliminary expenditures”, and costs of issuance.

Section 5. This resolution shall take effect immediately upon its passage.

Duly resolved this 2nd day of March 2015, while in regular session.

Jody L. McLeod
Mayor

Attest:

Kimberly A. Moffett, CMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5b

Meeting Date: February 16, 2015

TITLE: ARBOR DAY PROCLAMATION

DESCRIPTION: This proclamation officially recognizes Friday, March 20, 2015 as Arbor Day.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Place on March 2, 2015
Consent Agenda**

Proclamation

TOWN OF CLAYTON PROCLAMATION - ARBOR DAY

WHEREAS, in 1872, J. Sterling Morton, who would become Secretary of Agriculture under President Grover Cleveland, proposed to the Nebraska Board of Agriculture that a special day be set aside for planting trees; and,

WHEREAS, the resulting holiday – Arbor Day – was first observed in that State with the planting of more than one million trees and is now observed throughout the nation and the world; and

WHEREAS, trees are renewable resources that yield fruit and nuts for food and profit, wood for construction, fuel for warmth, paper products and a variety of other goods and materials; and

WHEREAS, trees intercept storm water, reduce runoff and erosion, clean air and water, produce oxygen, slow climate change by absorbing carbon dioxide, provide habitat for wildlife, and moderate air temperature; and

WHEREAS, when properly selected and tended appropriately, trees increase property values, enhance economic vitality of business districts, provide buffers from traffic and are a source of joy and spiritual renewal; and

WHEREAS, the Town of Clayton achieved Tree City, USA status in 2006 and continues to maintain and improve our urban forest by the planting of additional trees to enhance our community; and

WHEREAS, Arbor Day reminds us of the timeless observation by its founder, J. Sterling Morton, that “Each generation takes the earth as trustees;”

NOW, THEREFORE, LET IT BE PROCLAIMED by the Honorable Mayor and Town Council of the Town of Clayton, North Carolina, that Friday, March 20, 2015, be recognized as “**Arbor Day**” and we urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands. We encourage all citizens to plant trees to promote the well-being of this and future generations because a healthy urban forest can bring a sense of vibrancy or respite, adventure or calm and escape or contentment, amidst asphalt and concrete.

Duly proclaimed by the Clayton Town Council this 2nd day of March 2015, while in regular session.

Jody L. McLeod,
Mayor

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5c

Meeting Date: February 16, 2015

TITLE: PSD 2014-145 LionsGate – Phases 7A, 7B, 7C &7D

DESCRIPTION: The applicant is requesting preliminary subdivision plat approval for the major subdivision of Phases 7A, 7B, 7C, and 7D in the LionsGate Planned Development, which would allow a total of 82 townhome units

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Set Public Hearing
For March 2, 2015**

**Staff Report
Supporting Documents**



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

Town Council, February 16, 2015

STAFF REPORT

Application Number: PSD 2014-145 (major subdivision)
Project Name: LionsGate Phases 7A -7D

NC PIN: A portion of parcels 165919-51-7554 and 165919-61-2030
County Tag #: A portion of 05G02198M and 05E01199C
Town Limits/ETJ: Town Limits
Overlay: None
Master Plan: LionsGate SUP 2013-71 (to be modified for consistency)
Applicant: DC Adams Engineering, Inc.
Owners: LionsGate Village, LLC

Neighborhood Meeting: Not required – part of an approved Planned Development Master Plan
Public Noticing: Property posted January 16, 2015
Planning Board: January 26, 2015

PROJECT LOCATION: The project is located within the LionsGate Planned Development, near the intersection of Amelia Church and Shotwell Road, within Town Limits.

REQUEST: The applicant is requesting preliminary subdivision plat approval for the major subdivision of Phases 7A, 7B, 7C, and 7D in the LionsGate Planned Development to allow a total of 82 townhome units.

SITE DATA:

Acres: 10.31 acres total
 Phase 7A: 4.43 acres
 Phase 7B: 2.62 acres
 Phase 7C: 1.29 acres
 Phase 7D: 1.97 acres

Zoning: PD-MU (Planned Development – Mixed Use)
Existing Use: Vacant
Existing Impervious: None - property is vacant.

DEVELOPMENT DATA:

Proposed Uses: Townhome residential units

Buildings: 82 residential units (15 buildings) – each unit will be on its own subdivided lot

Number of Stories: Maximum height of 40 feet

Impervious Surface: Maximum allowed impervious for combined phases 7A-7D (*per approved master plan*): 60%

Maximum proposed impervious: 52% (see plan sheet for breakdown of impervious surfaces per use)

Maximum impervious per lot: 100%

Required Parking: 2 spaces per unit plus 1 guest space per 4 units (multi-family requirement)

Total required at 82 units: 185 spaces

Proposed Parking: 188 spaces, including 6 handicap-accessible spaces

Fire Protection: The Town of Clayton Fire Department will provide fire protection.

Access/Streets: Accessed off of Fieldspar Lane and Middleton Street within the LionsGate development.

Water/Sewer Provider: Town of Clayton

Electric Provider: Duke/Progress Energy

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential-10 (R-10)
Existing Use: Vacant, Single Family Residential

South: Zoning: Planned Development Mixed Use
Existing Use: LionsGate future Phases 1A, 1B, and 2A

East: Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: LionsGate Planned Development (Open Space)

West: Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: LionsGate Planned Development (Existing Daycare, Single Family Residential)

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for Phases 7A, 7B, 7C, and 7D as depicted on the LionsGate Master Plan.

The applicant is requesting approval for a total of 82 lots:

- Phase 7A: 36 lots/units
- Phase 7B: 24 lots/units
- Phase 7C: 10 lots/units
- Phase 7D: 12 lots/units

Each townhome unit will be on an individual subdivided lot. Townhomes will not have garages or driveways and instead will share common parking areas. The proposed layout includes a range of 3 to 8 units per building and all will be accessed off of the future Fieldspar Lane, which will be constructed as part of Phases 1A and 1B (single family homes).

Consistency with Master Plan

The latest approved version of this plan is SUP 2013-71. A minor amendment to this plan is required for consistency with the proposed 7A-7D phases (to adjust phase lines and park location). Approval of this preliminary subdivision plat is subject to approval of the revised Master Plan and is listed as a Condition of Approval.

Despite the need for minor modifications to the Master Plan, the proposed subdivision is consistent with the approved Master Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC) with the exception of the waiver request for the buffer (read below).

Landscaping and Buffering

A Class C perimeter buffer is provided along Amelia Church Road and will be located within the 35 foot greenway easement. The proposed buffer is “Alternative 3” as defined in the Unified Development Code and will be variable in width from 20 feet to 35 feet to allow for placement of the future greenway.

The applicant is requesting alternative compliance to the Class C buffer requirement. This buffer usually includes a visual buffer which is six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The applicant is requesting alternative compliance because they have dedicated a 35’ greenway easement and the Clayton Community Center Pedestrian Connector Greenway will be passing through the buffer.

In addition to the above, the installation of buffer materials will be delayed until such time as the greenway is built to allow for flexibility in greenway location, and plantings may be placed on either side of the trail.

Garbage / Recycling

Per the Town’s solid waste ordinances, dumpsters shall be required for trash and recycling services. Dumpsters are required for multi-family development.

Recreation and Open Space

Recreation and open space requirements were set by the overall LionsGate Planned Development.

The recreation and open space proposed in Phases 7A-7D is required to meet the requirements set forth in the LionsGate Planned Development Master Plan, which designates a 0.95 acre park adjacent to the daycare facility.

The current proposed design requests a relocation of this park to a location across the street. As noted earlier in this report, a Master Plan revision is required to relocate park areas and phase lines. So long as the park area is not decreased in size, these modifications are considered minor and staff feels the relocation is acceptable.

The proposed park will require Minor Site Plan approval prior to construction, and will require construction or bonding as a part of the construction of Phase 7A.

Environmental

Resource conservation areas (stream buffers, 100-year flood zones) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted. In this case, the stream buffer shown will be required to meet minimum state requirements only (50 foot buffer including two zones: zone one being 30 feet of undisturbed buffer and zone two being 20 feet of area that may be graded, but not built upon) rather than the Town's standard requirement for a 50 foot undisturbed buffer. This is because the Master Plan showing the two-zone state requirement was approved prior to the Town's rule for a 50 foot undisturbed buffer.

Signs

No signage is requested as part of this request. Any signage will be required to receive applicable permits and meet requirements of the Unified Development Code.

Access/Streets

Access will be provided off of the future Fieldspar Lane, approved as part of Phase 1A and 1B. Fieldspar Lane is accessed off of Middleton Street, which is the existing primary entrance to LionsGate off of Amelia Church Road. No additional access to Amelia Church Road is proposed.

The townhomes will be accessed via two private drives extending off of Fieldspar Lane. The townhomes to the west of Fieldspar Lane have an exit-only option onto Middleton Street to limit dead-end parking within the development.

Multi-Modal Access

Sidewalks are provided along Fieldspar Lane, and are provided along the front of the townhomes along the private drives. The site includes a 10 foot multi-use path for a portion of Fieldspar Lane, which will connect from Middleton Street to the future greenway along Amelia Church Road. The greenway that will be constructed by the developer will be constructed as part of the associated phase.

Architecture/Design

The townhomes do not have garages or driveways and instead utilize a common parking area. Architectural elevations have been provided by the applicant for approval along with the preliminary subdivision plat.

Waivers/Deviations/Variations from Code Requirements

The applicant is requested alternative compliance for the buffer along Amelia Church Road:

- 1) Alternative compliance within the Class C buffer along Amelia Church Road to remove the visual buffer requirement of six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The Clayton Community Center Pedestrian Connection greenway will be built within a dedicated 35 foot easement in this location. The greenway within the buffer and creates a unique situation where the berm, fence, or wall is not desirable.

Alternative Landscape Compliance requests are approved by the Planning Board. The Planning Board voted to approve the request at their January 26, 2015 meeting.

CONSIDERATIONS:

- The applicant is requesting Preliminary Subdivision Plat approval for Phases 7A, 7B, 7C, and 7D.
-

FINDINGS:

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS:

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.
2. Approval is subject to approval of a revision to the approved Master Plan for LionsGate to ensure consistency between the proposed subdivision of Phases 7A-7D and the specifications of the Master Plan.
3. Development shall be consistent with the specifications and conditions of approval associated with the approved LionsGate Planned Development Master Plan.
4. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy for each phase of the development. All site improvements shall be installed prior to the final site inspection.
5. The park shall be active recreation, shall be approved via a Minor Site Plan, and shall be constructed or bonded as a part of Phase 7A.
6. All development fees shall be paid prior to final plat recordation.
7. The bike trail shall be constructed prior to the issuance of a certificate of occupancy for the associated phase.
8. Sidewalks shall be constructed or bonded prior to issuance of a Certificate of Occupancy for the associated building.
9. Resource conservation areas as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.
10. The review and approval of project water, sewer, storm drainage and street construction drawings shall be approved by the Public Works Department prior to issuance of building permits. Two sets of these drawings must be submitted for approval to Public Works Department when they become available.

Planning Board Recommendation: Approval with Conditions as listed.

Town Council Recommendation:

Attachments:

1. Findings of Fact
2. Aerial/Zoning Map
3. Application
4. Planning Board recommendation
5. Plans

APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDD. FURTHERMORE, THIS SUBDIVISION IS CONSISTENT WITH ALL REQUIREMENTS SET ASIDE BY THE APPROVED MASTER PLAN.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

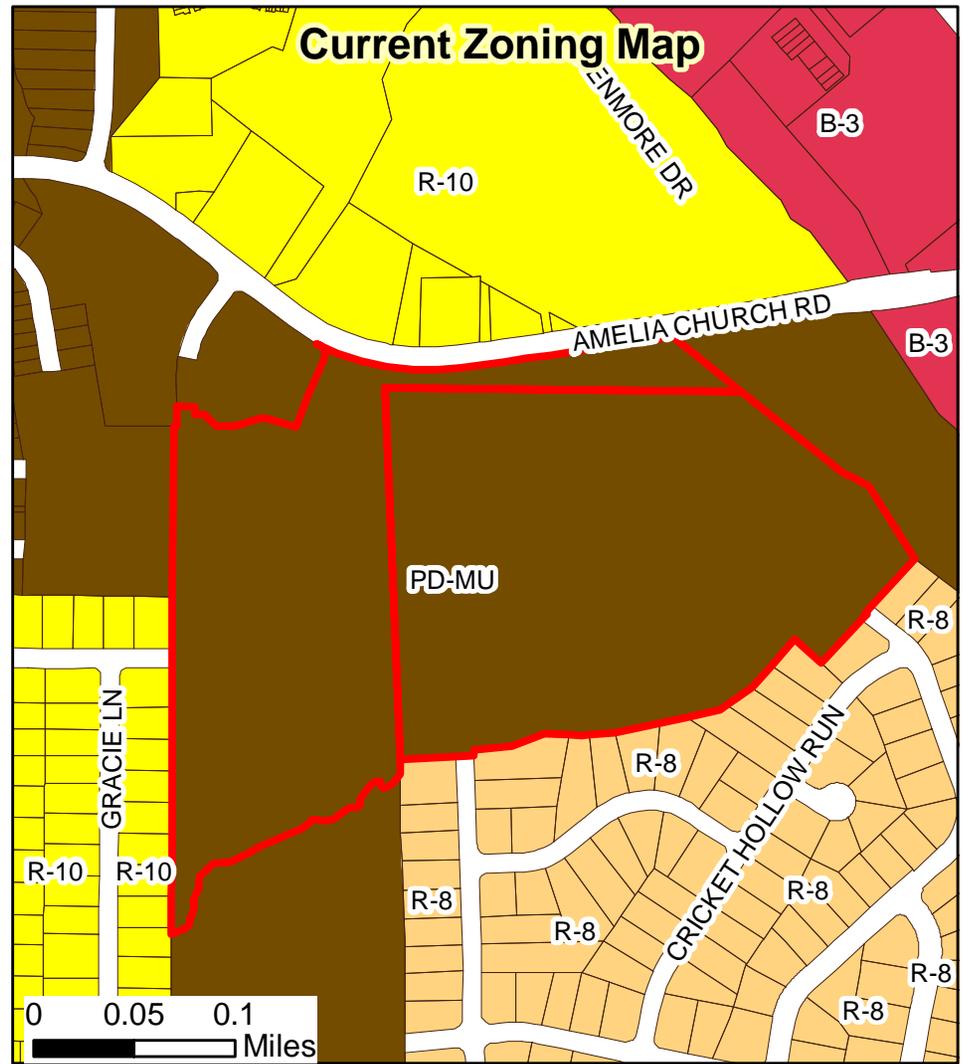
THE SUBDIVISION DESIGN IS SUCH THAT IT WILL BE BENEFICIAL TO ORDERLY DEVELOPMENT ON ADJACENT TRACTS. THIS DEVELOPMENT WILL ADD TO THE TOWN'S GREENWAY TRAIL SYSTEM AND IMPROVE WALKABILITY WITHIN THE CITY LIMITS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE SUBDIVISION IS DESIGNED TO PROVIDE PROPER TRAFFIC FLOW WITHIN THE NEIGHBORHOOD AND PROVIDES APPROPRIATE CONNECTIONS TO THE EXISTING STREET SYSTEM FOR SAFE INGRESS AND EGRESS.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPMENT PATTERN IN THE TOWN.



**LionsGate Phase 7A - 7D - Preliminary Subdivision
Part of LionsGate Planned Development**

Applicant: DC Adams Engineering, c/o Donnie Adams
 Property Owner: LionsGate Village, LLC
 NC PIN(s): A portion of 165919-51-7554 and 165919-61-2030
 Tag #: A portion of 05G02198M and 05E01199C
 File Number: PSD 2014-145

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



12/29/14

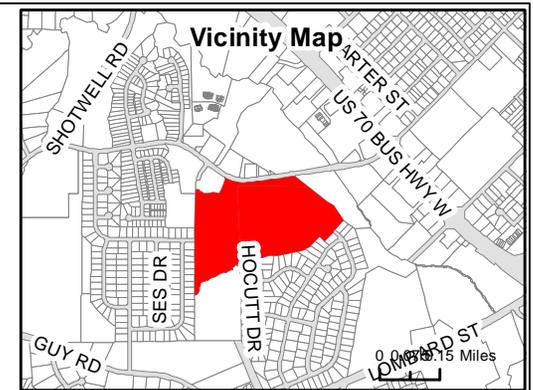
Legend

LionsGate Subject Parcels

FLOODZONE

AE - 100 Year Flood Zone

AEFW - Floodway





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION APPLICATION

Pursuant to Article 7, Section 155.706 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a Subdivision (major, minor, final plat, or exempt) application. Applicants seeking subdivision approval shall schedule a pre-application conference with the Planning Director in accordance with Section 155.702(A).

Subdivision applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fees are as follows:

- *Minor Subdivision: \$200.00 + \$5.00/lot.*
- *Major Subdivision: \$400.00 + \$5.00/lot.*
- *Open Space Subdivision = \$700.00 + \$5.00/acre.*
- *Final Plat: \$250.00 + \$5.00/lot.*
- *Exempt Map/Recombination: \$100.00.*

All fees are due when the application is submitted. Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Subdivision applications.

SUBDIVISION TYPE:

Application Type:

- Minor Subdivision
 Major Subdivision
 Final Plat
 Exempt Map
 Recombination

SITE INFORMATION:

Name of Project: LIONSGATE PHASES 7A - 7D Acreage of Property: 10.10
 Preliminary Plat Approval Date (if applicable): N/A
 Parcel ID Number: 05602198M & 05E0119C Tax ID: 3816029 & 381376
 Location: OFF MIDDLETOWN ST - OFF AMELIA CHURCH RD - FIELDSPAR LN
 Section(s): LIONSGATE Phase(s): 7A-THRU 7D
 Number of Lots (Existing): 0 (Proposed): 82 Min. Lot Size: _____
 Zoning District: PD-MU Planned Development? (Y/N): Y Electric Provider: DUKE ENERGY
 Specific Use: SINGLE FAMILY
 Recreation/Open Space Requirement:
 Fee in lieu
 Land Dedication (acreage) N/A

FOR OFFICE USE ONLY

File Number: [Handwritten] Date Received: DEC 01 2014 Amount Paid: \$810.00

July 2013 Town of Clayton Planning Department Town of Clayton Planning Department Page 1 of 11

OWNER INFORMATION:

Name: LIONSGATE VILLAGE, LLC
Mailing Address: 400 RIVERWOOD DR, CLAYTON, NC 27527
Phone Number: 919-550-8080 Fax: N/A
Email Address: brian.strickland@fredsmithcompany.com

APPLICANT INFORMATION:

Applicant: DC ADAMS ENGINEERING, INC
Mailing Address: 335 ATHLETIC CLUB BLVD
Phone Number: 919-763-7278 Fax: N/A
Contact Person: DONNIE ADAMS
Email Address: dennie@dcadamspe.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a Subdivision Plan application. This information is required, except where otherwise noted:

- Required plans (please see the plan requirements checklist below).
- Road Name Approval Application (if applicable).
- A signed and sealed traffic impact analysis (if required).
- Verification of wastewater allocation (granted or requested).
- Verification of approval for the potable water and waste water system improvements from North Carolina Department of Environment and Natural Resources (NCDENR).
- Verification of approval for individual well and septic systems from Johnston County Department of Environmental Health Services (if applicable).
- Driveway permits (Town of Clayton or NCDOT encroachment with associated documentation).
- A copy of proposed deed restrictions and/or covenants (if applicable).

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton to approve the subject Subdivision Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

DONNIE ADAMS
Print Name

[Signature]
Signature of Applicant

12/1/2014
Date

APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

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THE SUBDIVISION IS DESIGNED TO PROVIDE PROPER TRAFFIC FLOW WITHIN THE NEIGHBORHOOD AND PROVIDES APPROPRIATE CONNECTIONS TO THE EXISTING STREET SYSTEM FOR SAFE INGRESS AND EGRESS.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPEMENT PATTERN IN THE TOWN.

PRELIMINARY PLAN REQUIREMENTS

The following information is required for all preliminary subdivision plans:

Provided

- | Yes | No | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plans are ²⁴ / ₁₈ inches by ³⁶ / ₂₄ inches with a scale no smaller than 1 inch = 100 feet. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Name of township, county, and state in which the property is located. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Vicinity sketch. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Provide project data in tabular form: |
| | | <input checked="" type="checkbox"/> | Area of tract in square feet and acres |
| | | <input checked="" type="checkbox"/> | Owner's name and address |
| | | <input checked="" type="checkbox"/> | Within Town limits or ETJ |
| | | <input checked="" type="checkbox"/> | Zoning of property (and any special conditions if applicable) |
| | | <input checked="" type="checkbox"/> | Number of lots per acre (density) |
| | | <input checked="" type="checkbox"/> | Acreeage in Resource Conservation Areas (UDC § 155.500) |
| | | <input checked="" type="checkbox"/> | Indicate if the site is within a Watershed Protection Overlay |
| | | <input checked="" type="checkbox"/> | Annexation number (if applicable) |
| | | <input checked="" type="checkbox"/> | FEMA designated flood plain and floodway (including FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Surveyor or professional engineer's name, seal, and registration number. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Date of survey and plat preparation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 - Plats and subdivisions; mapping requirements. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | All lot boundaries changed or eliminated by requested combination are indicated by dashed lines. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Accurate location and description of all monuments, markers and control points. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___". |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The names of adjacent landowners, or lot, block, parcel, subdivision designations or other legal reference where applicable. |

- Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated where crossing or forming any boundary line of the property shown. Sight triangles noted where required.
- Location of all existing buildings and structures.
- Minimum building setbacks are noted.
- Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).
- Location of all existing and proposed fire hydrants.
- Location of all existing and proposed drainage structures.
- Proposed streets are labeled, named and dimensioned. Street names must be approved by Johnston County. Correct street cross section detail provided.
- Location, purpose and dimensions of areas to be used for purposes other than residential and public.
- Any other information considered by either the applicant or the town to be pertinent to the review.

FINAL PLAN REQUIRMENTS

In addition to the information listed above, the following information is required for all final subdivision plans:

Provided

- | Yes | No | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | All lot boundaries changed or eliminated by requested combination are indicated by dashed lines. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Approved street names are labeled. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Width and type of buffer is noted (if applicable). |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Verification of minimum Finished Floor Elevation (FFE). The minimum FFE must be at least two feet above the Base Flood Elevation (BFE) on properties affected by FEMA 100 year flood plain. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the boundaries of any greenway dedicated to the Town of Clayton and label "Public Greenway Dedicated to the Town of Clayton." |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:
<i>"The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | If streets are to remain private: <ul style="list-style-type: none"> <input type="checkbox"/> The Home Owners Association (HOA) documents must be approved by the Town Attorney <input type="checkbox"/> Streets are labeled "Private Streets – No Town Maintenance" |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Any other information considered by either the applicant or the town to be pertinent to the review. |



Result 1

id: 05G02205D
Tag: 05G02205D
Tax Unique Id: 3971901
NCPin: 165919-51-2519
Mapsheet No: 165919
Owner Name 1: GREEAR PROPERTIES LLC
Owner Name 2:
Mail Address 1:
Mail Address 2: PO BOX 4206
Mail Address 3: GREENSBORO, NC 27404-4206
Site Address 1:
Site Address 2:
Book: 04345
Page: 0597
Market Value: 1287250
Assessed Acreage: 2.08
Calc. Acreage: 2.1
Sales Price: 1700000
Sale Date: 2013-08-27

Result 2

id: 05G02205B
Tag: 05G02205B
Tax Unique Id: 4055869
NCPin: 165918-41-8761
Mapsheet No: 165918
Owner Name 1: SUNBELT GOLF GROUP LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 18 MIDDLETON ST
Site Address 2: CLAYTON, NC 27520-
Book: 03038
Page: 0572
Market Value: 1506180
Assessed Acreage: 4.58
Calc. Acreage: 4.28
Sales Price: 0
Sale Date: 2005-12-22

Result 3

id: 05G02205E
Tag: 05G02205E
Tax Unique Id: 0
NCPin: 165918-41-8221
Mapsheet No: 165918
Owner Name 1: JOYNER VENTURES LLC
Owner Name 2:
Mail Address 1: 394 FLEMING ROAD
Mail Address 2:
Mail Address 3: YOUNGSVILLE, NC 27596-0000
Site Address 1:
Site Address 2:
Book: 04433
Page: 0334
Market Value: 0
Assessed Acreage: 5.06
Calc. Acreage: 5.04
Sales Price: 0
Sale Date: 2014-04-09

Result 4

id: 05G03004D
Tag: 05G03004D
Tax Unique Id: 3816053
NCPin: 165807-59-3912
Mapsheet No: 165807
Owner Name 1: TOWN OF CLAYTON
Owner Name 2:
Mail Address 1: P O BOX 879
Mail Address 2:
Mail Address 3: CLAYTON, NC 27528-0000
Site Address 1:
Site Address 2:
Book: 03042
Page: 0538
Market Value: 56370
Assessed Acreage: 11.55
Calc. Acreage: 11.864
Sales Price: 0
Sale Date: 2005-12-30

Result 5

id: 05E01113
Tag: 05E01113
Tax Unique Id: 3813668
NCPin: 165919-50-5481
Mapsheet No: 165919
Owner Name 1: ROMAN, EDGARDO
Owner Name 2: ROMAN, CARMEN
Mail Address 1: 121 HOCUTT LANE
Mail Address 2:
Mail Address 3: CLAYTON, NC 00000-0000
Site Address 1: 121 HOCUTT DR
Site Address 2: CLAYTON, NC 27520-
Book: 03579
Page: 0123
Market Value: 128620
Assessed Acreage: 0.42
Calc. Acreage: 0.406
Sales Price: 129000
Sale Date: 2008-07-24

Result 6

id: 05E01168
Tag: 05E01168
Tax Unique Id: 3865227
NCPin: 165919-50-8436
Mapsheet No: 165919
Owner Name 1: DASHKAVICH, CHARLOTTE EDWARDS
Owner Name 2:
Mail Address 1: 755 EPPS BRIDGE PKWY
Mail Address 2:
Mail Address 3: ATHENS, GA 30606-6987
Site Address 1: 116 HOCUTT DR
Site Address 2: CLAYTON, NC 27520-
Book: 03271
Page: 0696
Market Value: 148400
Assessed Acreage: 0.51
Calc. Acreage: 0.528
Sales Price: 153000
Sale Date: 2007-01-18

Result 7

id: 05E01172
Tag: 05E01172
Tax Unique Id: 3868221
NCPin: 165919-50-9389
Mapsheet No: 165919
Owner Name 1: SCOTT, LESLIE M
Owner Name 2:
Mail Address 1: 207 WILLOWBROOK CIR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-9731
Site Address 1: 120 BILTMORE DR
Site Address 2: CLAYTON, NC 27520-
Book: 04029
Page: 0424
Market Value: 131090
Assessed Acreage: 0.47
Calc. Acreage: 0.461
Sales Price: 0
Sale Date: 2011-09-30

Result 8

id: 05E01169
Tag: 05E01169
Tax Unique Id: 3813669
NCPin: 165919-50-8328
Mapsheet No: 165919
Owner Name 1: PERREGO, JOEL
Owner Name 2: PERREGO, TIFFANY
Mail Address 1: 120 HOCUTT DRIVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 120 HOCUTT DR
Site Address 2: CLAYTON, NC 27520-
Book: 02997
Page: 0939
Market Value: 137340
Assessed Acreage: 0.37
Calc. Acreage: 0.372
Sales Price: 128000
Sale Date: 2005-10-17

Result 9

id: 05E01173
 Tag: 05E01173
 Tax Unique Id: 3813672
 NCPin: 165919-60-0475
 Mapsheet No: 165919
 Owner Name 1: HAYES, CHRISTINA MICHELLE
 Owner Name 2: HAYES, ASHLEY
 Mail Address 1: 116 BILMORE DRIVE
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1: 116 BILTMORE DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 03706
 Page: 0576
 Market Value: 125390
 Assessed Acreage: 0.3
 Calc. Acreage: 0.309
 Sales Price: 125000
 Sale Date: 2009-05-26

Result 10

id: 05E01174
 Tag: 05E01174
 Tax Unique Id: 3907046
 NCPin: 165919-60-1457
 Mapsheet No: 165919
 Owner Name 1: IH4 PROPERTY NC LP
 Owner Name 2:
 Mail Address 1: 9335 HARRIS CORNERS PKY ST
 100
 Mail Address 2:
 Mail Address 3: CHARLOTTE, NC 28269
 Site Address 1: 112 BILTMORE DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 04470
 Page: 0804
 Market Value: 136050
 Assessed Acreage: 0.35
 Calc. Acreage: 0.347
 Sales Price: 0
 Sale Date: 2014-07-09

Result 11

id: 05E01175
 Tag: 05E01175
 Tax Unique Id: 3813674
 NCPin: 165919-60-2447
 Mapsheet No: 165919
 Owner Name 1: DELGADO, EDWARD
 Owner Name 2: TATUM, LISA
 Mail Address 1: 108 BILTMORE DRIVE
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1: 108 BILTMORE DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 03539
 Page: 0329
 Market Value: 137740
 Assessed Acreage: 0.42
 Calc. Acreage: 0.416
 Sales Price: 150000
 Sale Date: 2008-05-01

Result 12

id: 05E01071
 Tag: 05E01071
 Tax Unique Id: 3813652
 NCPin: 165919-60-4524
 Mapsheet No: 165919
 Owner Name 1: SWEARINGEN, DOUG
 Owner Name 2: SWEARINGEN, KELLY
 Mail Address 1: 17 CRICKET HOLLOW RUN
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-5923
 Site Address 1: 17 CRICKET HOLLOW RUN
 Site Address 2: CLAYTON, NC 27520-
 Book: 04441
 Page: 0538
 Market Value: 162530
 Assessed Acreage: 0.49
 Calc. Acreage: 0.48
 Sales Price: 158000
 Sale Date: 2014-04-30

Result 13

id: 05E01072
 Tag: 05E01072
 Tax Unique Id: 3880871
 NCPin: 165919-60-4597
 Mapsheet No: 165919
 Owner Name 1: SEELIG, CHARLES THOMAS
 Owner Name 2: SEELIG, TAMARA DAWN
 Mail Address 1: 13 CRICKET HOLLOW RUN
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1: 13 CRICKET HOLLOW RUN
 Site Address 2: CLAYTON, NC 27520-
 Book: 01544
 Page: 0676
 Market Value: 143860
 Assessed Acreage: 0.35
 Calc. Acreage: 0.344
 Sales Price: 105000
 Sale Date: 1996-09-05

Result 14

id: 05E01073
 Tag: 05E01073
 Tax Unique Id: 3813653
 NCPin: 165919-60-5644
 Mapsheet No: 165919
 Owner Name 1: LAJINESS, BRITTANY R
 Owner Name 2:
 Mail Address 1: 9 CRICKET HOLLOW RUN
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-5923
 Site Address 1: 9 CRICKET HOLLOW RUN
 Site Address 2: CLAYTON, NC 27520-
 Book: 04461
 Page: 0923
 Market Value: 155750
 Assessed Acreage: 0.31
 Calc. Acreage: 0.309
 Sales Price: 152000
 Sale Date: 2014-06-18

Result 15

id: 05E01074
 Tag: 05E01074
 Tax Unique Id: 3804465
 NCPin: 165919-60-5790
 Mapsheet No: 165919
 Owner Name 1: MAYNARD, DAVID W
 Owner Name 2: MAYNARD, NANCY P
 Mail Address 1: 2322 HOLLIDAY DR
 Mail Address 2:
 Mail Address 3: LARAMIE, WY 82070-4847
 Site Address 1: 5 CRICKET HOLLOW RUN
 Site Address 2: CLAYTON, NC 27520-
 Book: 04140
 Page: 0536
 Market Value: 147090
 Assessed Acreage: 0.32
 Calc. Acreage: 0.316
 Sales Price: 150000
 Sale Date: 2012-07-02

Result 16

id: 05E01075
 Tag: 05E01075
 Tax Unique Id: 3791631
 NCPin: 165919-60-7715
 Mapsheet No: 165919
 Owner Name 1: GROOMS, CLAUDETTE
 Owner Name 2:
 Mail Address 1: 61 SLEEPY CREEK DR
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-7239
 Site Address 1: 61 SLEEPY CREEK DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 04294
 Page: 0338
 Market Value: 146880
 Assessed Acreage: 0.33
 Calc. Acreage: 0.326
 Sales Price: 0
 Sale Date: 2013-05-20

Result 17

id: 05E01076
 Tag: 05E01076
 Tax Unique Id: 3861328
 NCPin: 165919-60-8950
 Mapsheet No: 165919
 Owner Name 1: FARNSWORTH, WILLIAM
 Owner Name 2:
 Mail Address 1: 6317 SALEM RD
 Mail Address 2:
 Mail Address 3: CINCINNATI, OH 45230-2701
 Site Address 1: 58 SLEEPY CREEK DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 03915
 Page: 0833
 Market Value: 230910
 Assessed Acreage: 0.31
 Calc. Acreage: 0.301
 Sales Price: 0
 Sale Date: 2010-11-10

Result 18

id: 05E01077
 Tag: 05E01077
 Tax Unique Id: 3895530
 NCPin: 165919-60-9816
 Mapsheet No: 165919
 Owner Name 1: RODRIGUEZ, ORLANDO LUIS
 Owner Name 2: RODRIGUEZ, ASHLEY HINES
 Mail Address 1: 62 SLEEPY CREEK DR
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-7238
 Site Address 1: 62 SLEEPY CREEK DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 04358
 Page: 0929
 Market Value: 192200
 Assessed Acreage: 0.29
 Calc. Acreage: 0.292
 Sales Price: 0
 Sale Date: 2013-09-24

Result 19

id: 05E01201C
 Tag: 05E01201C
 Tax Unique Id: 3854685
 NCPin: 165919-61-9316
 Mapsheet No: 165919
 Owner Name 1: TOWN OF CLAYTON
 Owner Name 2:
 Mail Address 1: 231 E SECOND STREET
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1:
 Site Address 2:
 Book: 03002
 Page: 0948
 Market Value: 9350
 Assessed Acreage: 6.35
 Calc. Acreage: 6.502
 Sales Price: 0
 Sale Date: 2005-10-25

Result 20

id: 05G02008V
 Tag: 05G02008V
 Tax Unique Id: 3815121
 NCPin: 165919-51-4703
 Mapsheet No: 165919
 Owner Name 1: AMELIA VILLAGE LLC
 Owner Name 2:
 Mail Address 1: 701 EXPOSITION PL STE 101
 Mail Address 2: SUITE 115
 Mail Address 3: RALEIGH, NC 27615-3356
 Site Address 1:
 Site Address 2:
 Book: 01786
 Page: 0905
 Market Value: 30780
 Assessed Acreage: 1.71
 Calc. Acreage: 1.714
 Sales Price: 0
 Sale Date: 1999-01-22

Result 21

id: 05G02010I
Tag: 05G02010I
Tax Unique Id: 3854190
NCPin: 165919-51-5787
Mapsheet No: 165919
Owner Name 1: HESTER, R FLETCHER JR
Owner Name 2: HESTER, KIMBERLY P
Mail Address 1: 252 AMELIA CH RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 01230
Page: 0639
Market Value: 9660
Assessed Acreage: 0.46
Calc. Acreage: 0.409
Sales Price: 2000
Sale Date: 1991-11-19

Result 22

id: 05G02010A
Tag: 05G02010A
Tax Unique Id: 3815131
NCPin: 165919-51-6654
Mapsheet No: 165919
Owner Name 1: HESTER, ROYAL FLETCHER JR
Owner Name 2:
Mail Address 1: 252 AMELIA CH RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 252 AMELIA CHURCH RD
Site Address 2: CLAYTON, NC 27520-
Book: 00880
Page: 0822
Market Value: 118120
Assessed Acreage: 1
Calc. Acreage: 0.642
Sales Price: 0
Sale Date: 1980-01-01

Result 23

id: 05G02009H
Tag: 05G02009H
Tax Unique Id: 3815101
NCPin: 165919-51-8622
Mapsheet No: 165919
Owner Name 1: HESTER, R FLETCHER JR
Owner Name 2: HESTER, KIMBERLY P
Mail Address 1: 252 AMELIA CH RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 01531
Page: 0134
Market Value: 8020
Assessed Acreage: 0.33
Calc. Acreage: 0.295
Sales Price: 0
Sale Date: 1996-07-02

Result 24

id: 05G02010G
Tag: 05G02010G
Tax Unique Id: 3855941
NCPin: 165919-51-9641
Mapsheet No: 165919
Owner Name 1: N C NATURAL GAS CORP
Owner Name 2:
Mail Address 1: C/O JOHN E RAPER JR
Mail Address 2: PO BOX 2129
Mail Address 3: FAYETTEVILL, NC 27302-0000
Site Address 1:
Site Address 2:
Book: 01203
Page: 0070
Market Value: 2960
Assessed Acreage: 0.05
Calc. Acreage: 0.039
Sales Price: 0
Sale Date: 1991-04-10

Result 25

id: 05G02010E
 Tag: 05G02010E
 Tax Unique Id: 3895302
 NCPin: 165919-62-1126
 Mapsheet No: 165919
 Owner Name 1: AMELIA VILLAGE PHASE I, LLC
 Owner Name 2:
 Mail Address 1: 701 EXPOSITION PL STE 101
 Mail Address 2:
 Mail Address 3: RALEIGH, NC 27615-3356
 Site Address 1: 1070 KENMORE DR
 Site Address 2: CLAYTON, NC 27520-
 Book: 02612
 Page: 0237
 Market Value: 8272685
 Assessed Acreage: 17.4
 Calc. Acreage: 17.57
 Sales Price: 0
 Sale Date: 2003-12-31

Result 26

id: 05G02008G
 Tag: 05G02008G
 Tax Unique Id: 3815110
 NCPin: 165918-40-9950
 Mapsheet No: 165918
 Owner Name 1: ROBEEY, ROANNE STROUD
 Owner Name 2:
 Mail Address 1: 803 GARRISON AVENUE
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1: 803 GARRISON AVE
 Site Address 2: CLAYTON, NC 27520-
 Book: 02204
 Page: 0305
 Market Value: 122730
 Assessed Acreage: 0.33
 Calc. Acreage: 0.311
 Sales Price: 98500
 Sale Date: 2002-03-22

Result 27

id: 05G02072
 Tag: 05G02072
 Tax Unique Id: 3815886
 NCPin: 165918-40-9743
 Mapsheet No: 165918
 Owner Name 1: SMITH, FREDERICK G
 Owner Name 2:
 Mail Address 1: 1007 MULBERRY RD
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-2131
 Site Address 1: 101 GRACIE LN
 Site Address 2: CLAYTON, NC 27520-
 Book: 03008
 Page: 0210
 Market Value: 130900
 Assessed Acreage: 0.32
 Calc. Acreage: 0.325
 Sales Price: 115000
 Sale Date: 2005-11-01

Result 28

id: 05G02008F
 Tag: 05G02008F
 Tax Unique Id: 3815108
 NCPin: 165918-40-9644
 Mapsheet No: 165918
 Owner Name 1: NARRON, JENNIFER LYNN
 Owner Name 2:
 Mail Address 1: 313 WAVERLY DR
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27527-6651
 Site Address 1: 103 GRACIE LN
 Site Address 2: CLAYTON, NC 27520-
 Book: 03806
 Page: 0451
 Market Value: 126560
 Assessed Acreage: 0.26
 Calc. Acreage: 0.259
 Sales Price: 136000
 Sale Date: 2010-01-25



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 29

id: 05G02070
Tag: 05G02070
Tax Unique Id: 3815850
NCPin: 165918-40-8468
Mapsheets No: 165918
Owner Name 1: FRITZ, NICHOLAS
Owner Name 2: FRITZ, ALISSA
Mail Address 1: 171 SOUTHWICK AVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5231
Site Address 1: 105 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 03535
Page: 0169
Market Value: 123990
Assessed Acreage: 0.26
Calc. Acreage: 0.263
Sales Price: 122000
Sale Date: 2008-04-25

Result 30

id: 05G02069
Tag: 05G02069
Tax Unique Id: 3815834
NCPin: 165918-40-8450
Mapsheets No: 165918
Owner Name 1: HAYES, SHERWOOD LYNN
Owner Name 2: HAYES, CHRISTINA C
Mail Address 1: 107 GRACIE LANE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 107 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 03103
Page: 0622
Market Value: 122300
Assessed Acreage: 0.26
Calc. Acreage: 0.265
Sales Price: 112000
Sale Date: 2006-04-19

Result 31

id: 05G02008E
Tag: 05G02008E
Tax Unique Id: 3815085
NCPin: 165918-40-8351
Mapsheets No: 165918
Owner Name 1: CHESTNUT, KERRY II AND
Owner Name 2: CHESTNUT, JANET
Mail Address 1: 109 GRACIE LANE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-7948
Site Address 1: 109 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 01800
Page: 0489
Market Value: 134680
Assessed Acreage: 0.26
Calc. Acreage: 0.261
Sales Price: 105000
Sale Date: 1999-03-01

Result 32

id: 05G02067
Tag: 05G02067
Tax Unique Id: 3803478
NCPin: 165918-40-8254
Mapsheets No: 165918
Owner Name 1: POST, DANE STEVEN
Owner Name 2:
Mail Address 1: 111 GRACIE LN
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-7948
Site Address 1: 111 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 04096
Page: 0470
Market Value: 130900
Assessed Acreage: 0.26
Calc. Acreage: 0.262
Sales Price: 123500
Sale Date: 2012-03-23



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 33

id: 05G02066
Tag: 05G02066
Tax Unique Id: 3815871
NCPin: 165918-40-8155
Mapsheet No: 165918
Owner Name 1: MENTEER, ROBERT E II
Owner Name 2:
Mail Address 1: 113 GRACIE LANE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 113 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 01930
Page: 0275
Market Value: 134770
Assessed Acreage: 0.26
Calc. Acreage: 0.264
Sales Price: 100000
Sale Date: 2000-04-28

Result 34

id: 05G02065
Tag: 05G02065
Tax Unique Id: 3870885
NCPin: 165918-40-8057
Mapsheet No: 165918
Owner Name 1: LEONA SUZANNE ANDERSON TRUST
Owner Name 2: ANDERSON, LEONA SUZANNE TRUSTE
Mail Address 1: 115 GRACIE LN
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-7948
Site Address 1: 115 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 04062
Page: 0574
Market Value: 121490
Assessed Acreage: 0.26
Calc. Acreage: 0.266
Sales Price: 0
Sale Date: 2011-12-28

Result 35

id: 05G02064
Tag: 05G02064
Tax Unique Id: 3878590
NCPin: 165806-49-8958
Mapsheet No: 165806
Owner Name 1: TETTERTON, ROBERT J
Owner Name 2:
Mail Address 1: 117 GRACIE LN
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-7948
Site Address 1: 117 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 04196
Page: 0283
Market Value: 118440
Assessed Acreage: 0.26
Calc. Acreage: 0.248
Sales Price: 110000
Sale Date: 2012-10-29

Result 36

id: 05G02008D
Tag: 05G02008D
Tax Unique Id: 3872882
NCPin: 165806-49-8951
Mapsheet No: 165806
Owner Name 1: DRAUGHON, CINDY L
Owner Name 2:
Mail Address 1: 119 GRACIE LANE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 119 GRACIE LN
Site Address 2: CLAYTON, NC 27520-
Book: 03226
Page: 0072
Market Value: 124970
Assessed Acreage: 0.26
Calc. Acreage: 0.267
Sales Price: 112000
Sale Date: 2006-10-30

DC Adams Engineering, Inc.

335 Athletic Club Blvd
Clayton, NC 27527

Office: 919-763-7278
donnie@dcadamspe.com
Firm # C-3894

December 1, 2014

David DeYoung, AICP
Planning Director
Town of Clayton
111 E. Second Street
Clayton, NC 27527

Subject:

Lionsgate Phase 7A-7D Subdivision Application

Dear Mr. DeYoung,

Please find attached a subdivision application package for Lionsgate Phase 7A & 7B. The application fee (\$400 + \$5/lot = \$810) is attached as well.

Please feel free to give me a call with any questions that may arise – 919-763-7278.

Sincerely,



Donald C. Adams, Jr., PE



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

January 28, 2015

Donnie Adams
DC Adams Engineering, Inc.
335 Athletic Club Blvd
Clayton, NC 27527
Email: donnie@dcadamspe.com

RE: PSD 2014-145 LionsGate Phases 7A – 7D Preliminary Subdivision Plat

NC PINs: A portion of parcels 165919-51-7554 and 165919-61-2030

County Tag(s): A portion of 05G02198M and 05E01199C

Dear Mr. Adams:

At their regular meeting on January 26, 2015, the Town of Clayton Planning Board made the following votes regarding the subject request:

- 1) Vote to recommend approval of request for preliminary subdivision plat approval PSD 2014-145
- 2) Approval by vote of the Alternative Landscape Compliance request to allow a modified Class C buffer along Amelia Church Road (to remove the six foot visual requirement due to the expanded buffer width and location of the greenway).

You (or an authorized representative of the project) are required to attend the following upcoming public meeting regarding PSD 2014-145:

Town Council Work Session

Date: Monday, February 26, 2015

Time: 6:30 pm

Location: Council Chambers, Town Hall

The applicant is required to attend, but will not be asked to speak. Staff will make a presentation to the council regarding the request.

Town Council Regular Meeting

Date: Monday, March 2, 2015

Time: 6:30 pm

Location: Council Chambers, Town Hall

The applicant is required to attend, and will be asked to speak and answer questions after a presentation by staff. The Council will make a decision of whether to approve or deny the

request based on findings of fact as outlined in Section 155.706 of the Unified Development Ordinance. As this is a quasi-judicial hearing, you will be asked to be sworn in to speak on behalf of the request and present evidence to support the Findings of Fact in Section 155.706(l)(10).

If you have any questions, please do not hesitate to contact me or Jay McLeod (jwmcleod@townofclaytonnc.org or 919-359-9335).

Sincerely,

Emily Beddingfield

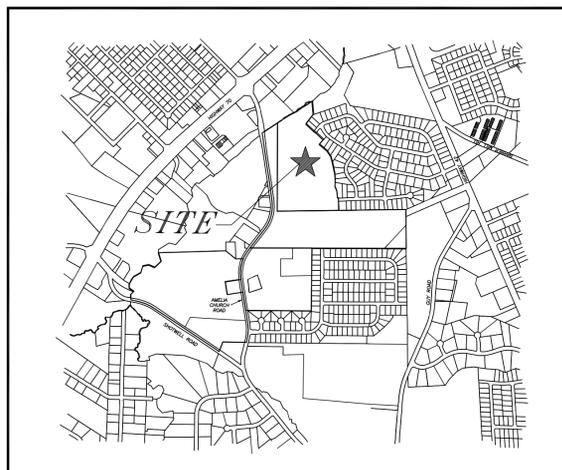
Emily Beddingfield, AICP
Town Planner
Email: EBeddingfield@townofclaytonnc.org
Phone: 919-359-2102

PRELIMINARY SUBDIVISION DESIGN

LIONSGATE
PHASES 7A-7D

IN

TOWN OF CLAYTON, NC



SITE VICINITY MAP
NOT TO SCALE

SHEET INDEX

DEVELOPER/APPLICANT:
 FRED SMITH COMPANY, LLC
 400 Riverwood Drive
 Clayton, NC 27527
 CONTACT/AGENT: DONNIE C. ADAMS
 919 763-7278

<u>SHEET TITLE</u>	<u>SHEET No.</u>
EXISTING CONDITIONS.....	1
SITE PLAN.....	2
UTILITY PLAN.....	3
LANDSCAPE PLAN.....	4
LANDSCAPE DETAILS.....	5



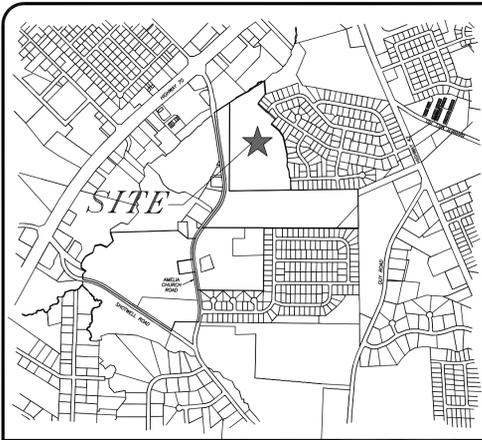
LIONSGATE PHASES 7A-7D
 FRED SMITH COMPANY, CLAYTON, NC 27527



Donnie C. Adams

REVISED
 3:43 pm, Feb 04, 2015

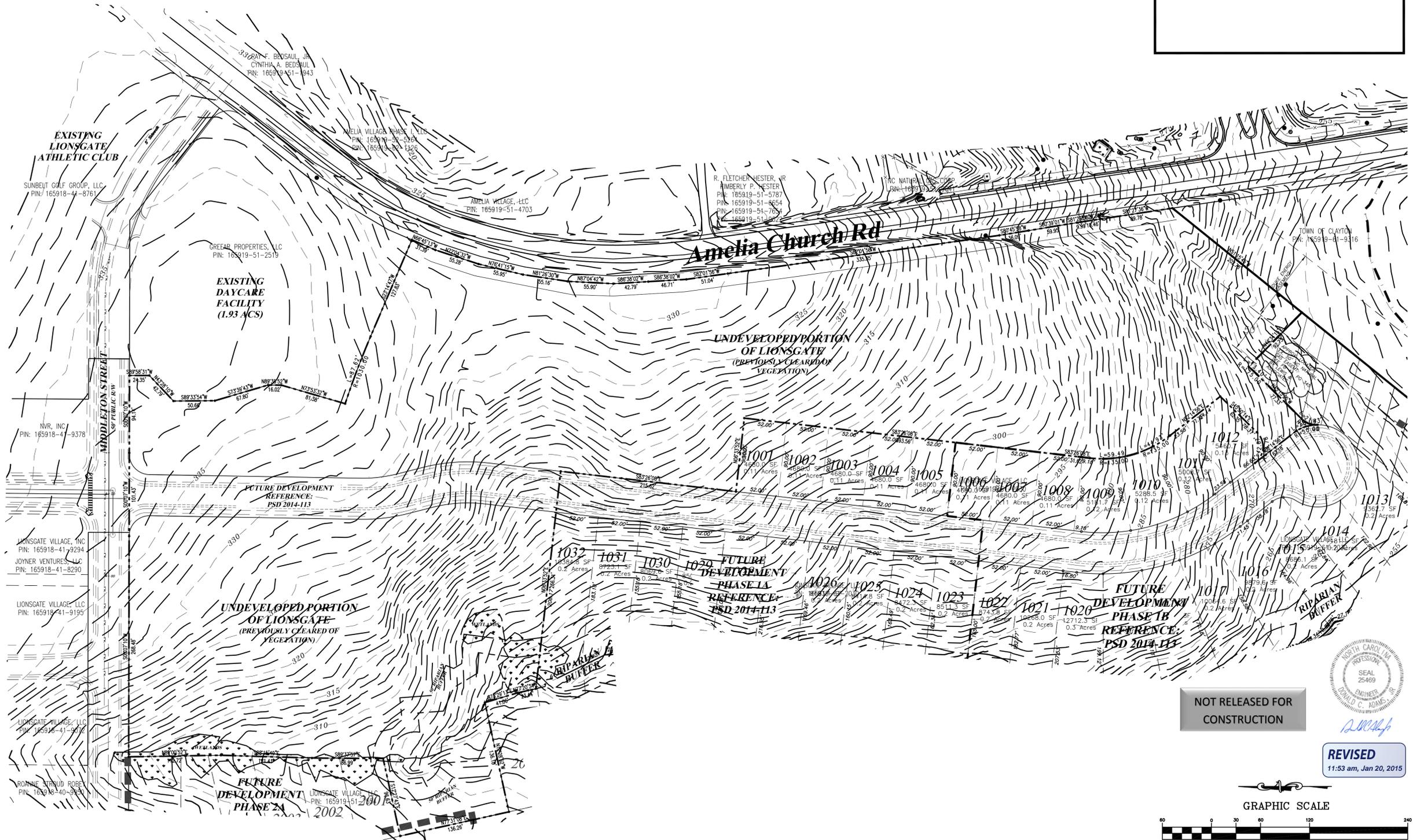
NOT RELEASED FOR
 CONSTRUCTION



VICINITY MAP
SEE SHEET

SITE INFORMATION

1. OWNER: LIONSGATE VILLAGE, LLC
400 RIVERWOOD DR.
CLAYTON, NC 27520
2. SITE IS LOCATED WITHIN TOWN LIMITS
3. PARCEL #: 165919-51-7554 & 165919-61-2030
4. TAX #: 05G02198M & 05E01199C
5. TOTAL SITE ACREAGE: (SEE CHART SHEET 2)
6. RESOURCE CONSERVATION AREA: 0.60 AC (INCLUDES RIPARIAN BUFFER AND WETLANDS)
7. NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900I, DATED 12/02/2005
8. CURRENT ZONING: PD-MU
9. PROPOSED USE: TOWNHOME SUBDIVISION



933 RAY F. BEDSAUL, JR.
CYNTHIA A. BEDSAUL
PIN: 165919-51-1943

AMELIA VILLAGE PHASE I, LLC
PIN: 165919-51-2969
CIV: 165919-51-1206

AMELIA VILLAGE, LLC
PIN: 165919-51-4703

R. FLETCHER HESTER, JR.
KIMBERLY P. HESTER
PIN: 165919-51-5787
PIN: 165919-51-6654
PIN: 165919-51-7654
PIN: 165919-51-1007

TRC NATURAL RESOURCES, INC.
PIN: 165919-51-1007

TOWN OF CLAYTON
PIN: 165919-61-9316

SUNBELT GOLF GROUP, LLC
PIN: 165918-41-8761

GREAR PROPERTIES, LLC
PIN: 165919-51-2519

NVR, INC.
PIN: 165918-41-9378

LIONSGATE VILLAGE, INC.
PIN: 165918-41-9294

JOYNER VENTURES, LLC
PIN: 165918-41-8290

LIONSGATE VILLAGE, LLC
PIN: 165918-41-9195

LIONSGATE VILLAGE, LLC
PIN: 165918-41-9077

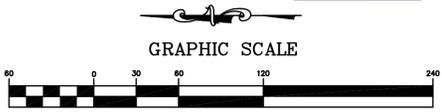
ROANNE STRAUD ROBERTS
PIN: 165918-40-9307

LIONSGATE VILLAGE, LLC
PIN: 165919-51-2002

NOT RELEASED FOR
CONSTRUCTION



REVISED
11:53 am, Jan 20, 2015



REVISIONS:
1. 01/16/2015 - TOWN OF CLAYTON REC COMMENTS
2. 01/17/2015 - TOWN OF CLAYTON REC COMMENTS

335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
dca@dcadams.com
919-763-2728
FIRM # C-3894

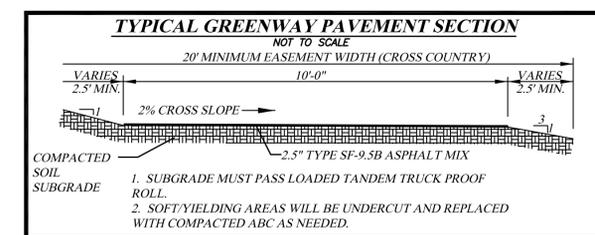
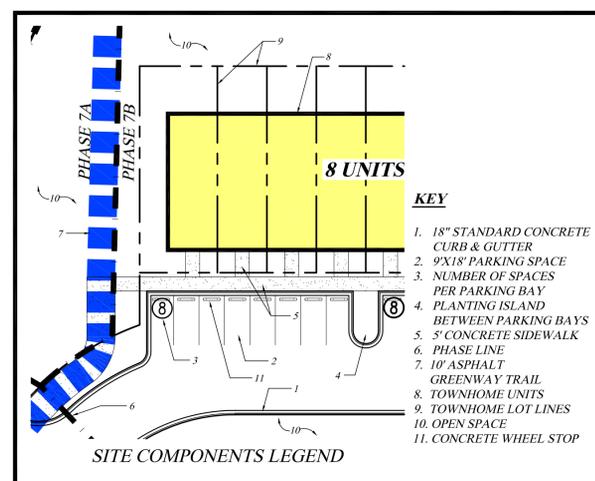
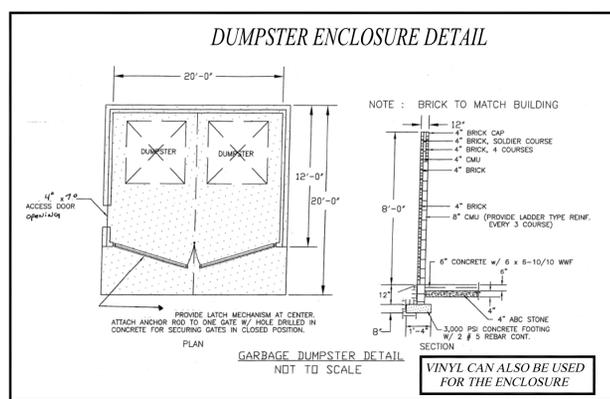
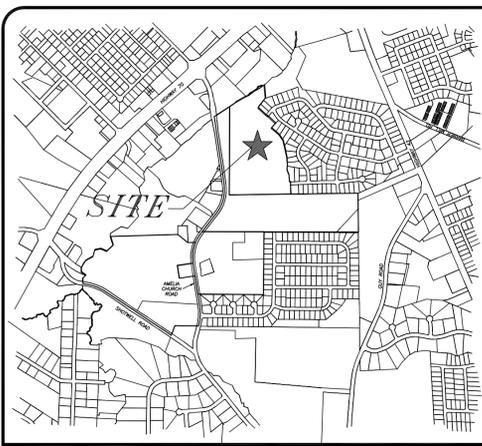
DC ADAMS
ENGINEERING, INC



LionsGate
Phase 7 Townhomes
FRED SMITH COMPANY, CLAYTON, NC 27527

EXISTING
CONDITIONS

FILE: LIONSGATE 7A-7D
DESIGN: DCA
DRAWN: TMH
CHECKED: DCA
HORIZONTAL SCALE: 1"=60'
VERTICAL SCALE: N/A
DATE: 12/01/2014
JOB NO.:
SHEET: 1 OF 5

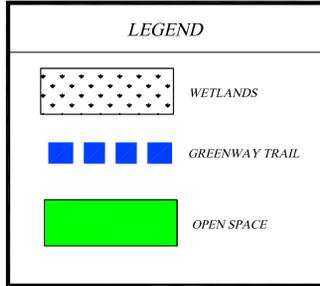


SITE INFORMATION

- OWNER: LIONSGATE VILLAGE, LLC
- 400 RIVERWOOD DR. CLAYTON, NC 27520
- SITE IS LOCATED WITHIN TOWN LIMITS
- PARCEL #: 165919-51-7554 & 165919-61-2030
- TAX #: 0502198M & 0501199C
- TOTAL SITE ACREAGE: (SEE CHART THIS SHEET)
- TOTAL OPEN SPACE: (SEE CHART THIS SHEET)
- RESOURCE CONSERVATION AREA: (SEE TABLE THIS SHEET)
- NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900I, DATED 12/02/2005
- CURRENT ZONING: PD-MU
- PROPOSED LOTS: 82 RESIDENTIAL TOWNHOME LOTS
- BUILDING COVERAGE: 68,880 SF/ 15.5% OF SITE
- DENSITY: 8 UNITS PER ACRE
- ALL OPEN SPACE TO BE MAINTAINED BY LIONSGATE HOA
- THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN ANY LAND USE BUFFER
- ELECTRIC PROVIDER: DUKE ENERGY PROGRESS
- WATER PROVIDER: TOWN OF CLAYTON
- SEWER PROVIDER: TOWN OF CLAYTON
- MAXIMUM IMPERVIOUS SURFACE ALLOWED: 60%
- PROPOSED OVERALL IMPERVIOUS AREA: (SEE CHART THIS SHEET)
- PROPOSED IMPERVIOUS AREA PER LOT: (SEE CHART THIS SHEET)
- REQUIRED PARKING: 2 SPACES/UNIT (AS PER 155.401(C)(2) TABLE 4-2)
- PROPOSED # OF PARKING SPACES: 188 (INCLUDES 6 ACCESSIBLE PARKING SPACES AS PER ADA PARKING REQUIREMENTS)
- ALL STREETS IN THIS DEVELOPMENT ARE PRIVATE. NO TOWN OF CLAYTON MAINTENANCE PROVIDED. STREETS WILL BE MAINTAINED BY LIONSGATE HOA

OPEN SPACE SUMMARY

ACTIVE OPEN SPACE	TOTAL AREA:	41,382 SF/0.95 AC
RESOURCE CONSERVATION AREAS	RIPARIAN BUFFER:	21,712 SF/0.50 ACS
	WETLANDS:	4,356 SF/0.10 AC
	TOTAL AREA:	26,068 SF/0.60 AC
OTHER OPEN SPACE	TOTAL AREA:	150,350 SF/3.45 AC
TOTAL OPEN SPACE:		217,800 SF/5.0 ACS



NOTE: THE 50' RIPARIAN BUFFER AND ALL RESOURCE CONSERVATION AREAS WILL REMAIN UNDISTURBED IN ACCORDANCE ARTICLE 5 OF THE UNIFIED DEVELOPMENT CODE

THE TOWN OF CLAYTON AND/OR JOHNSTON COUNTY RESERVE THE RIGHT TO MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE EXISTING PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

VICINITY MAP

IMPERVIOUS AREA IN ROW

PHASE	TOTAL ROW AREA		PROPOSED IMPERVIOUS AREA		% OF ROW IN IMPERVIOUS
	ACS	SF	ACS	SF	
7A-7D	2.4	104544	2.14	93366	89%

IMPERVIOUS AREA IN OPEN SPACE

PHASE	TOTAL OPEN SPACE AREA		PROPOSED IMPERVIOUS AREA		% OF OPEN SPACE IN IMPERVIOUS
	ACS	SF	ACS	SF	
7A-7D	5	217800	0.24	10479	5%

IMPERVIOUS AREA IN SUBDIVIDED LOTS

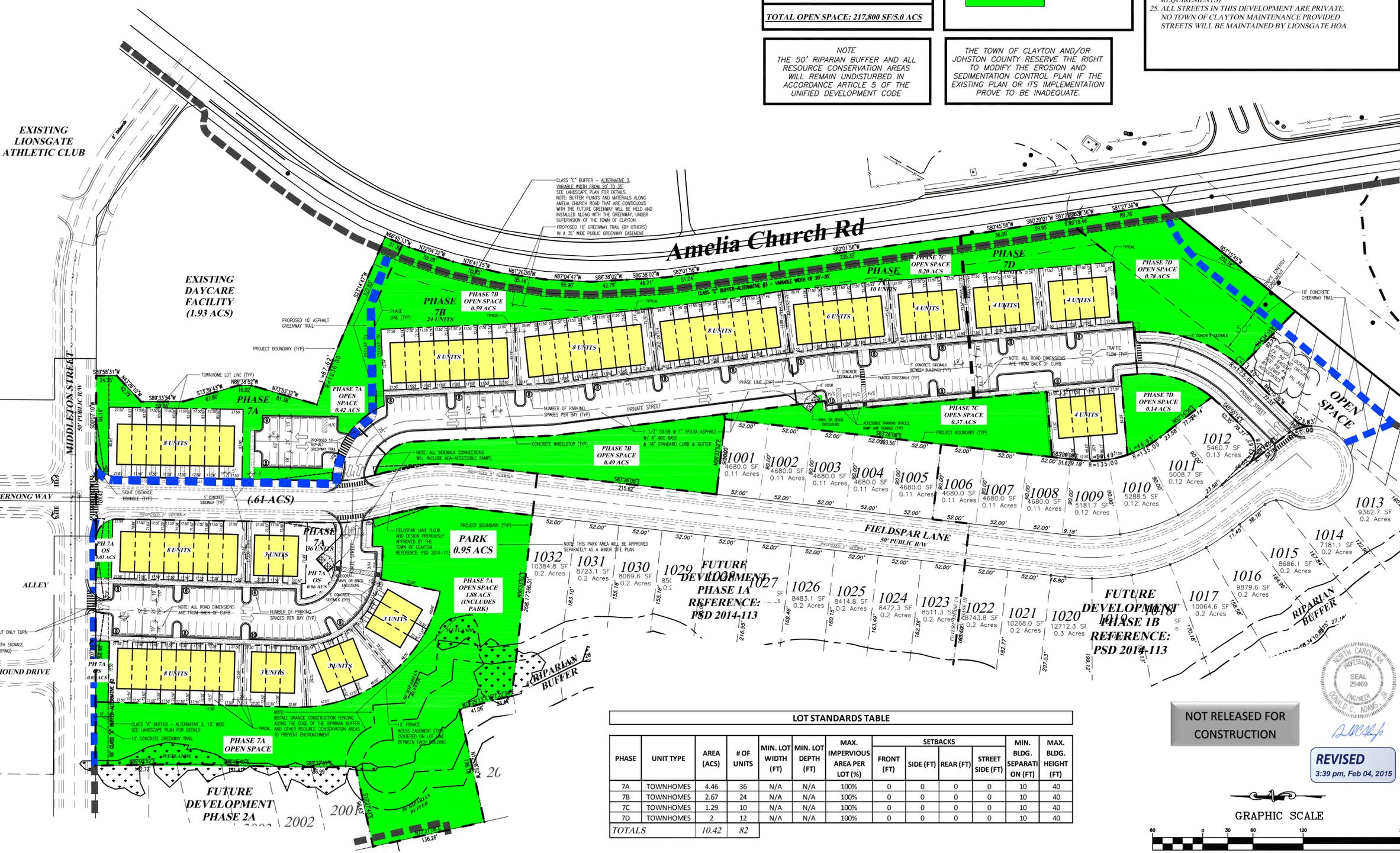
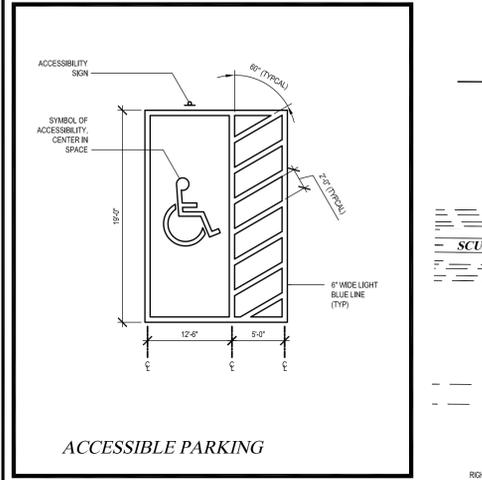
PHASE	# LOTS	TOTAL AREA IN LOTS		MAX. IMPERVIOUS AREA (ACS/SF)		MAX. % IMPERVIOUS PER LOT
		ACS	SF	ACS	SF	
7A-7D	82	3.02	131551	3.02	131551	100%

PHASES 7A-7D TOTALS - PROPOSED IMPERVIOUS AREA

USE TYPE	TOTAL AREA	PROPOSED IMPERVIOUS WITHIN USE TYPE	% OF TOTAL PHASE IN IMPERVIOUS
ROW	2.4 ACS	2.14 ACS	21%
OPEN SPACE	5 ACS	0.24 ACS	2%
LOTS	3.02 ACS	3.02 ACS	29%
TOTAL	10.42 ACS	5.40 ACS	52%

PHASE 7A-7D IMPERVIOUS AREA SUMMARY

MAX. IMPERVIOUS AREA ALLOWED:	6.25 ACS	60%
MAX. IMPERVIOUS AREA PROPOSED:	5.40 ACS	52%



LOT STANDARDS TABLE

PHASE	UNIT TYPE	AREA (ACS)	# OF UNITS	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	MAX. IMPERVIOUS AREA PER LOT (%)	SETBACKS				MIN. BLDG. SEPARATION (FT)	MAX. BLDG. HEIGHT (FT)
							FRONT (FT)	SIDE (FT)	REAR (FT)	STREET SIDE (FT)		
7A	TOWNHOMES	4.46	36	N/A	N/A	100%	0	0	0	0	10	40
7B	TOWNHOMES	2.67	24	N/A	N/A	100%	0	0	0	0	10	40
7C	TOWNHOMES	1.29	10	N/A	N/A	100%	0	0	0	0	10	40
7D	TOWNHOMES	2	12	N/A	N/A	100%	0	0	0	0	10	40
TOTALS		10.42	82									

NOT RELEASED FOR CONSTRUCTION

REVISIONS: 1. 12/01/2014 - TOWN OF CLAYTON, NC COMMENTS 2. 01/27/2015 - TOWN OF CLAYTON, NC COMMENTS 3. 02/04/2015 - ADDED DUMPSTER SITES FIRM # C-3384

335 ATHLETIC CLUB BLVD CLAYTON, NC 27527 dca@dcadams.com 910.763.2728

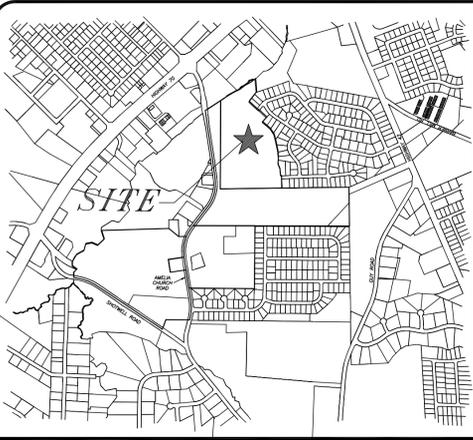
DC ADAMS ENGINEERING, INC

LionsGate Phase 7 Townhomes PRELIMINARY SUBDIVISION PLAN FRED SMITH COMPANY, CLAYTON, NC 27527

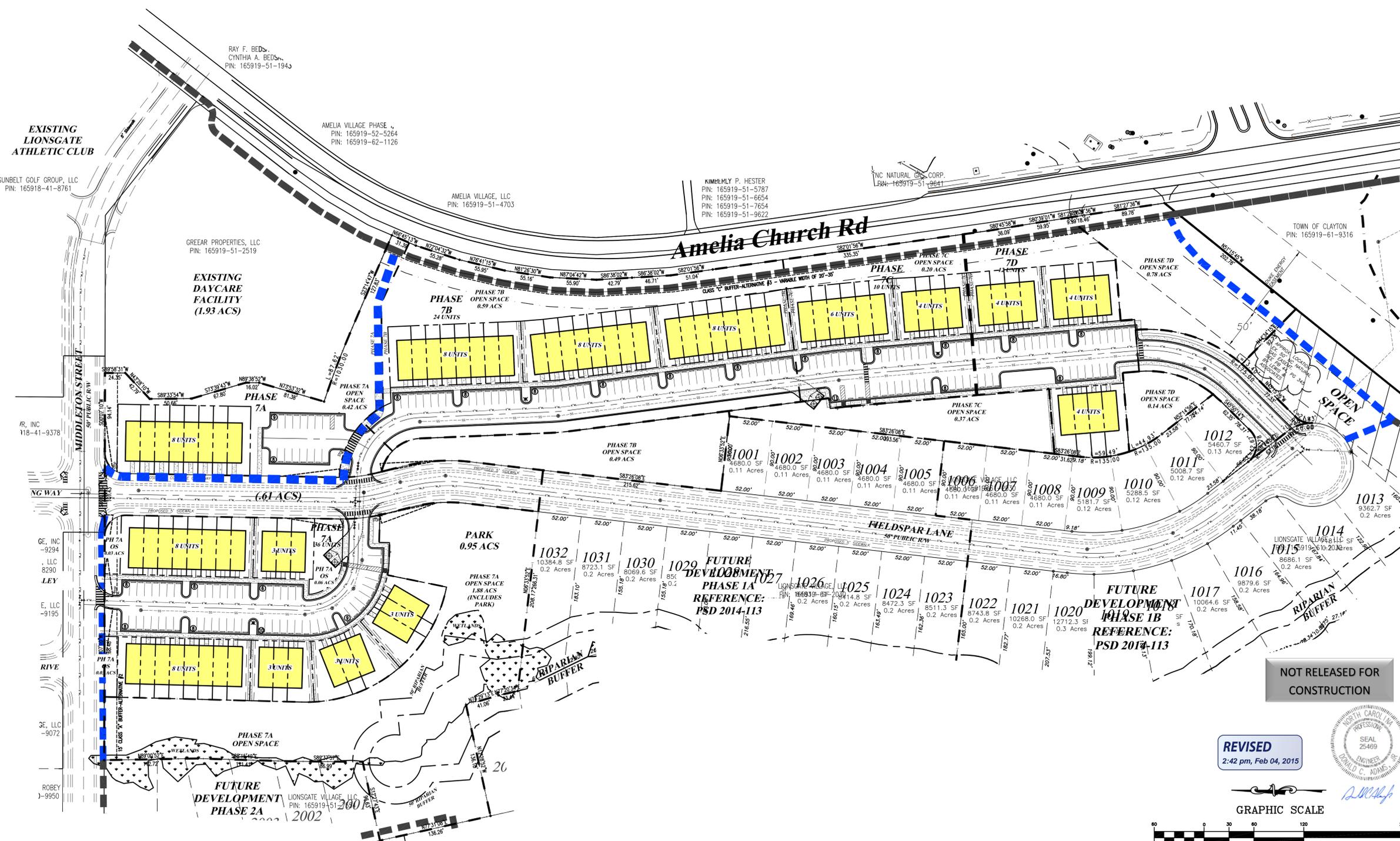
FILE: LIONSGATE 7A-7D DESIGN: DCA DRAWN: TMH CHECKED: DCA HORIZONTAL SCALE: 1"=60' VERTICAL SCALE: N/A DATE: 12/01/2014 JOB NO.: SHEET: 2 OF 5

GRAPHIC SCALE (IN FEET) 1 inch = 60 ft.

REVISION: 3:39 pm, Feb 04, 2015



VICINITY MAP
see sheet



EXISTING LIONSGATE ATHLETIC CLUB
SUNBELT GOLF GROUP, LLC
PIN: 165919-41-8761

GREAR PROPERTIES, LLC
PIN: 165919-51-2519

AMELIA VILLAGE PHASE 7
PIN: 165919-52-5264
PIN: 165919-62-1126

AMELIA VILLAGE, LLC
PIN: 165919-51-4703

KIMMELLY P. HESTER
PIN: 165919-51-5787
PIN: 165919-51-6654
PIN: 165919-51-7654
PIN: 165919-51-9622

NC NATURAL GAS CORP.
LRN-165919-51-9641

TOWN OF CLAYTON
PIN: 165919-61-9316

RR, INC
118-41-9378

GE, INC
-9294

LLC
8290

LEY

E, LLC
-9195

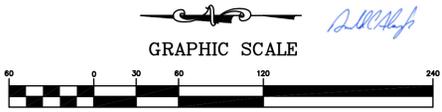
RIVE

SE, LLC
-9072

ROBEY
3-9950

NOT RELEASED FOR
CONSTRUCTION

REVISED
2:42 pm, Feb 04, 2015



REVISIONS:
1. 01/21/15 - TOWN OF CLAYTON IRC COMMENTS
2. 01/27/15 - TOWN OF CLAYTON IRC COMMENTS
3. 02/04/15 - ADDED DUMPSTER SITES
335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
adam@dcadams.com
919-763-2728
FIRM # C-3894

DC ADAMS
ENGINEERING, INC

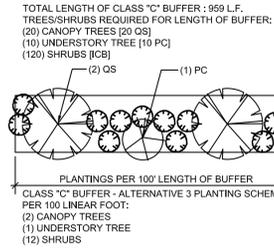


LionsGate
Phase 7 Townhomes
FRED SMITH COMPANY, CLAYTON, NC 27527

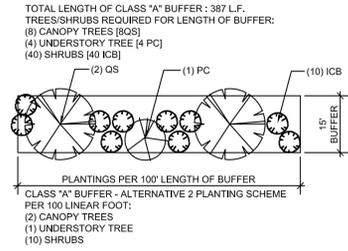
UTILITY PLAN

FILE
LIONSGATE 7A-7D
DESIGN
DCA
DRAWN
TMH
CHECKED
DCA
HORIZONTAL SCALE
1" = 60'
VERTICAL SCALE
N/A
DATE
12/01/2014
JOB NO.
SHEET
3
OF
5

Class "C" Buffer-Alternative 3



Class "A" Buffer-Alternative 2



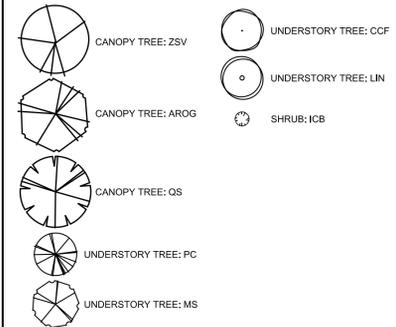
Plant List

ALIAS	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
C A N O P Y T R E E S (CANOPY TREES = 83)								
AROG	28	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5"	8' MIN.	-	B & B	PARKING TREES
QS	33	QUERCUS SHUMARDII	SHUMARD OAK	2.5"	8' MIN.	-	B & B	BUFFER PLANTINGS
ZSG	39	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5"	8' MIN.	-	B & B	STREET TREES
U N D E R S T O R Y T R E E S (UNDERSTORY TREES = 54)								
CCF	15	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2"	6' MIN.	-	CONT/B&B	
LIN	7	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE STANDARDS	2"	6' MIN.	-	CONT/B&B	
MS	18	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	2"	6' MIN.	-	CONT/B&B	
PC	14	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL	2"	6' MIN.	-	CONT/B&B	BUFFER PLANTINGS
S H R U B S (TOTAL SHRUBS = 160, INCLUDES SHRUBS USED FOR SCREENING/BUFFERS)								
ICB	179	ILEX CORNUTA BURFORDII	BURFORD HOLLY	-	30" MIN.	-	1 GAL.	BUFFER PLANTINGS/ PARKING SCREEN

LAWN AREAS: SEEDED WITH TARHEEL II TALL FESCUE (NOTE: OWNER MAY SUBSTITUTE BERMUDA, CENTIPEDE OR ZOYSIA SOD AS DESIRED)

NOTE: THIS SEAL AND SIGNATURE APPLIES ONLY TO THE LANDSCAPE PLAN, LANDSCAPE DETAILS AND LANDSCAPE NOTES

Plant Symbol Key

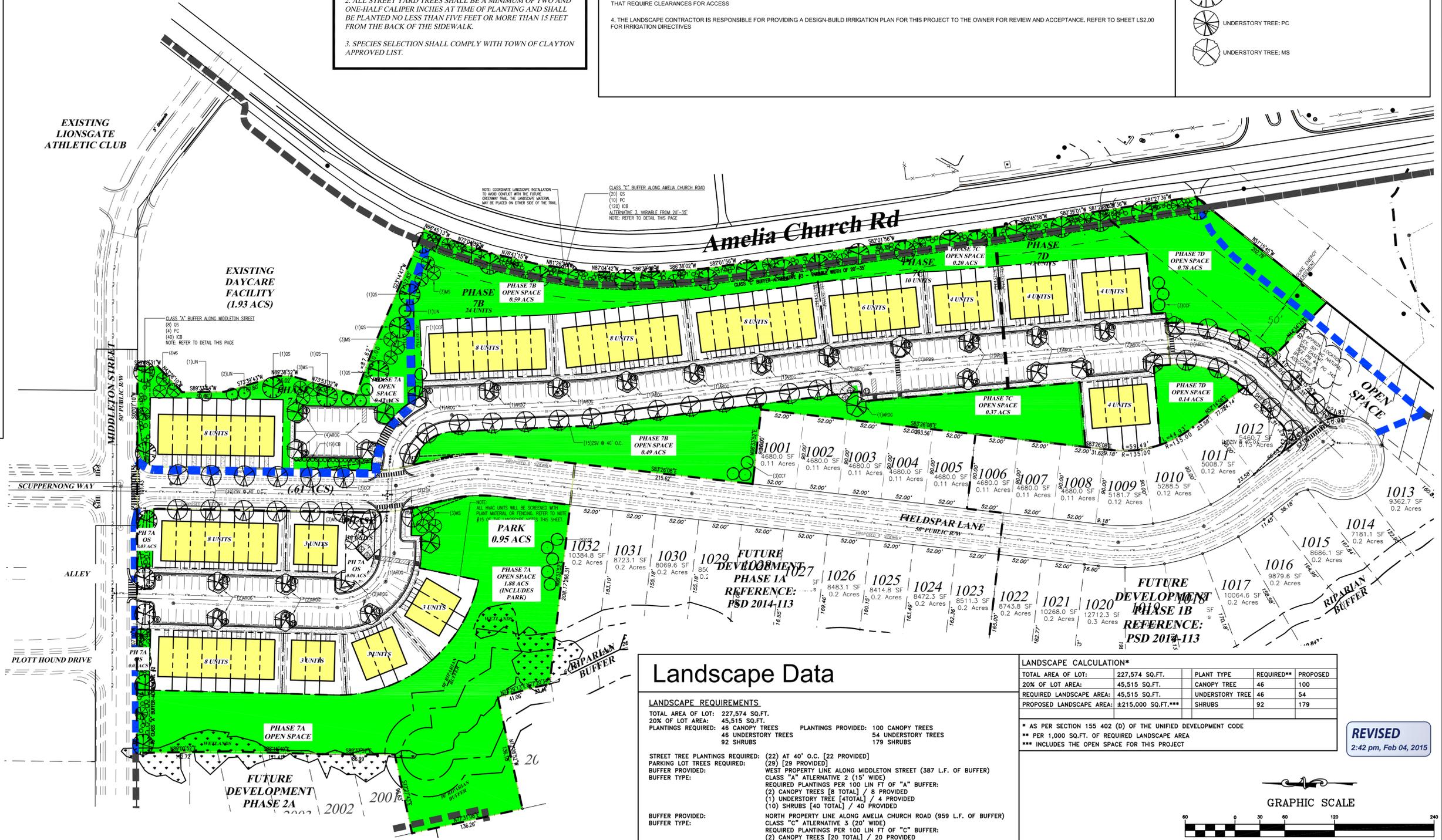


Landscape Notes

- GENERAL LANDSCAPE NOTES**
1. ALL PLANT MATERIALS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
 2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ALL DAMAGES MADE TO UNDERGROUND UTILITIES.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.
 4. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE LANDSCAPE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 5. ALL DISTURBED AREAS NOT IDENTIFIED TO EITHER BE SEEDED OR SOODED SHALL BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
 6. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 7. ALL PLANTING BEDS, SAUCERS, AND AREAS DESIGNATED TO BE MULCHED SHALL BE MULCHED WITH A MINIMUM OF 3-INCHES OF TRIPLE SHREDDED HARDWOOD MULCH.
 8. PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A 2" TO 3" DEEP "V" CUT ALONG ITS BORDER WITH SOODED OR SEEDS AREAS.
 9. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 10. GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
 11. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL LANDSCAPING IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN AND ENUMERATED ON THIS SHEET UNLESS ALTERNATIVE METHODS OR PRACTICES ARE REVIEWED AND ACCEPTED BY THE LANDSCAPE ARCHITECT.
 12. AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS THAT ARE SQUARE IN SHAPE AND ARRANGED IN ROWS SHOULD BE PRUNED INTO BOXED AND CLIPPED HEDGEROWS.
 13. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
 14. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
 15. ALL HVAC AND MECHANICAL EQUIPMENT WILL BE SCREENED WITH LANDSCAPING OR DECORATIVE FENCING.

STREET YARD TREES

1. STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FEET (SPACE A MAXIMUM OF 50 FEET APART).
2. ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED NO LESS THAN FIVE FEET OR MORE THAN 15 FEET FROM THE BACK OF THE SIDEWALK.
3. SPECIES SELECTION SHALL COMPLY WITH TOWN OF CLAYTON APPROVED LIST.



Landscape Data

LANDSCAPE REQUIREMENTS

TOTAL AREA OF LOT: 227,574 SQ.FT.
 20% OF LOT AREA: 45,515 SQ.FT.
 PLANTINGS REQUIRED: 46 CANOPY TREES 100 CANOPY TREES PROVIDED
 46 UNDERSTORY TREES 54 UNDERSTORY TREES PROVIDED
 92 SHRUBS 179 SHRUBS PROVIDED

STREET TREE PLANTINGS REQUIRED: (22) AT 40' O.C. [22 PROVIDED]
 PARKING LOT TREES REQUIRED: (29) [29 PROVIDED]
 BUFFER PROVIDED: WEST PROPERTY LINE ALONG MIDDLETON STREET (387 L.F. OF BUFFER)
 BUFFER TYPE: CLASS "A" ALTERNATIVE 2 (15' WIDE)
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "A" BUFFER:
 (2) CANOPY TREES [8 TOTAL] / 8 PROVIDED
 (1) UNDERSTORY TREE [4 TOTAL] / 4 PROVIDED
 (10) SHRUBS [40 TOTAL] / 40 PROVIDED

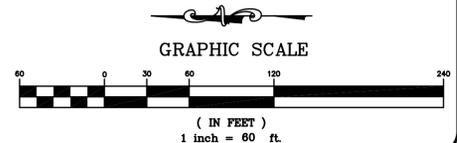
BUFFER PROVIDED: NORTH PROPERTY LINE ALONG AMELIA CHURCH ROAD (959 L.F. OF BUFFER)
 BUFFER TYPE: CLASS "C" ALTERNATIVE 3 (20' WIDE)
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "C" BUFFER:
 (2) CANOPY TREES [20 TOTAL] / 20 PROVIDED
 (1) UNDERSTORY TREE [10 TOTAL] / 10 PROVIDED
 (12) SHRUBS [120 TOTAL] / 120 PROVIDED

LANDSCAPE CALCULATION*

TOTAL AREA OF LOT:	227,574 SQ.FT.	PLANT TYPE	REQUIRED**	PROPOSED
20% OF LOT AREA:	45,515 SQ.FT.	CANOPY TREE	46	100
REQUIRED LANDSCAPE AREA:	45,515 SQ.FT.	UNDERSTORY TREE	46	54
PROPOSED LANDSCAPE AREA:	±215,000 SQ.FT.***	SHRUBS	92	179

** AS PER SECTION 155 402 (D) OF THE UNIFIED DEVELOPMENT CODE
 *** PER 1,000 SQ.FT. OF REQUIRED LANDSCAPE AREA
 *** INCLUDES THE OPEN SPACE FOR THIS PROJECT

REVISED
 2:42 pm, Feb 04, 2015



FILE: LIONSGATE 7A-7D
 DESIGN: TMH
 DRAWN: TMH
 CHECKED: DCA
 HORIZONTAL SCALE: 1"=60'
 VERTICAL SCALE: N/A
 DATE: 12/01/2014
 JOB NO.:
 SHEET: 4 OF 5

LionsGate
 Phase 7 Townhomes
 FRED SMITH COMPANY, CLAYTON, NC 27527

DC ADAMS
 ENGINEERING, INC

335 ATHLETIC CLUB BLVD
 CLAYTON, NC 27527
 dommie@dcadams.com
 919-763-7278
 P/AM # C-3894

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5d

Meeting Date: February 16, 2015

TITLE: SUP 2014-113 – Murdock Solar Farm - 2663 Guy Road

DESCRIPTION: The applicant is requesting special use permit approval for a 21± acre solar farm on a 31.9 acre parcel. A solar farm is a low-impact industrial-type use where solar panels generate electricity that is sold into the grid through the local electricity provider, in this case Duke Energy.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Set Public Hearing for
March 2, 2015**

**Staff Report
Supporting Documents**



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Town Council, February 16, 2015

STAFF REPORT

Application Number: SUP 2014-143 (Special Use Permit)
Project Name: Murdock Solar Farm

NC PIN / Tag #: 164900-26-3570 / 05G02021WC
Town Limits/ETJ: ETJ
Overlay: none
Applicant: Sunlight Partners, LLC.
Owners: Albert Newsome
Developer: Sunlight Partners, LLC.

Neighborhood Meeting: Held January 6th, 2014.
Public Noticing: January 16, 2015

PROJECT LOCATION: The project is located at 2663 Guy Rd. The parcel's western border is the Wake County / Johnston County line. It is west of Guy Rd, south of US Hwy 70 W Business, and south of Golden Nugget Dr.

REQUEST: The applicant is requesting special use permit approval for a 21± acre solar farm on a 31.9 acre parcel. A solar farm is a low-impact industrial-type use where solar panels generate electricity that is sold into the grid through the local electricity provider, in this case Duke Energy. This Special Use Permit application is running concurrently with a Site Plan (SP2014-144), which contains the site plan details for the solar farm use on the property.

SITE DATA:

Acreage: 31.9 acres
Present Zoning: Residential Estate (R-E)
Proposed Zoning: Residential Estate (R-E)
Existing Use: Vacant and/or agriculture

DEVELOPMENT DATA:

Proposed Uses: Solar farm
Buildings: None – three small structures would house equipment, approx. 100 sqft. each and 8' tall.

Number of Stories: The solar panel arrays will extend 12' above grade.

Impervious Surface: 5±%

Required Parking: none.

Proposed Parking: 1 for maintenance.

Fire Protection: Town of Clayton Fire Department.

Access/Streets: Access will be provided via an access easement off of Guy Rd, through an adjacent parcel owned by Donald Larry Newsome (Tag # 05G02022WC). Internal access will be along a proposed 20' wide gravel road.

Water/Sewer Provider: none.

Electric Provider: Duke Energy

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

South: Zoning: Residential Estate (R-E)
Existing Use: Vacant or agricultural, Single Family Residential

East: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

West: Zoning: Residential-30 (R-30) (in Wake County)
Existing Use: Vacant or agricultural, Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting a Special Use Permit to use the land for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is consistent with the current surrounding uses, which are primarily vacant land or agricultural. This Special Use Permit application is with a concurrent Site Plan application (SP2014-144).

Associated Site Plan

Pursuant to §155.711(D)(1), concurrent with a request for a special use permit, an applicant shall submit a site plan for review and approval. This site plan is processed as any other site plan with a final decision made by the applicable reviewing body.

The concurrent site plan application running this this Special Use Permit is SP2014-144, the applicant is requesting site plan approval for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be

shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is not inconsistent with the current surrounding uses, which are primarily vacant land or agricultural.

Consistency with the Strategic Growth Plan

The proposed development is not inconsistent with the Strategic Growth Plan. Locating this type of use on the outskirts of the ETJ on the Wake County border is not objectionable to the Strategic Growth Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC).

Landscaping and Buffering

The proposed site plan will have a 12'-15' tall (at 3-5 years after planting) evergreen landscaping buffer planted along it's entire perimeter, with some natural vegetation kept where the buffer intersects existing wetland areas (less than 5% of the perimeter).

Recreation and Open Space

N/A.

Environmental

Three small wetlands have been identified in the site plan. None of them are required to be managed per Town Code. They will be trimmed manually and maintained at heights of 4' on the interior wetland and 12' on the wetlands in the landscape buffer.

Signs

No monument signs are requested at this time and none will likely be requested.

Site Design

A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Access/Streets

An access easement on the north side of the parcel will be obtained from the adjacent landowner. A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Waivers/Deviations/Variances from Code Requirements

A modified landscape buffer is being proposed that will provide a year-round visual buffer of the 12' tall solar panels.

FINDINGS

When considering a Special Use Permit application, The Town Council shall consider specific Findings of Fact. A Special Use which fails to meet any of these Findings shall be deemed adverse to the public interest and shall not be approved. The applicant has addressed the Findings expressly established by Chapter 155.711 (I) of the UDC. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONSIDERATIONS

- The Town Council approves Special Use Permits.
 - This site is on the outskirts of the ETJ on the Wake County line.
 - Solar farms are possible in Residential Estate (R-E) areas with a Special Use Permit. This Site Plan is running concurrently with a Special Use Permit application.
 - Planning Board has approved the Site Plan.
 - Planning Board has made a recommendation to the Town Council to approve the Special Use Permit.
-

RECOMMENDATION:

Staff is recommending approval of the Special Use Permit with the following conditions:

1. The development of the site is limited to the approved site plan (reference project # SP 2014-144).
 2. All mechanical equipment (excluding the electrical tie-in and utility metering area) must be completely screened from view from outside of the site.
 3. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
-

Planning Board Recommendation: Approval with Conditions as listed.

Town Council Recommendation:

ATTACHMENTS

1. Findings of Fact
2. Aerial/Zoning Map
3. Application
4. Neighborhood Meeting Materials
5. Planning Board recommendation
6. Plans: site and existing
7. Access easement

REQUIRED FINDINGS OF FACT

Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

Please See Attached Project Narrative

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

Please See Attached Project Narrative

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

Please See Attached Project Narrative

- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

Please See Attached Project Narrative



2014

Project Narrative for Murdock Solar



Submitted by:
Sunlight Partners, LLC
11/20/2014

INTRODUCTION2
PROJECT DESCRIPTION2
PROJECT LOCATION3
REQUIRED FINDING OF FACT4
CONCLUSION6

INTRODUCTION

Sunlight Partners respectfully submits the following as supporting documentation for the affirmation that the Candace Solar project meets the requirements for approval of a Conditional Use Permit (CUP) within the I-2 zoning districts.

PROJECT DESCRIPTION

The proposed Murdock Solar project will consist of an unmanned, 4 Mega-watt (MW), fixed tilt, photovoltaic solar farm. The project is situated on Parcel No. 05G2021WC within the Town of Clayton.

Components of the project will consist of mounted photovoltaic solar panels, electrical power inverters, electrical transformers, and buried electrical conduit. The solar generating facility will interconnect to the existing utility grid. **Figure 1** shows a typical photovoltaic solar generating facility.



Figure 1 - Conceptual Site Rendering.

PROJECT LOCATION

The Murdock Solar project site is located at 433 Guy Road, Clayton, NC.

Figure 2 depicts project location.

Figure 2 – Murdock Solar project site.



REQUIRED FINDING OF FACT

Section 155.711(l) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.**

The Murdock Solar Project will not materially endanger the public health, safety, or general welfare if located where proposed and developed according to the plan as submitted and approved.

Public Health & Safety- *The Murdock Solar facility will not adversely affect public health and safety. The solar facility is an unmanned, infrequently visited project site. As such, the project will not increase the existing demand on public safety agencies (police and fire departments). The project site will be enclosed with a fence, preventing access to the general public.*

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.**

The Murdock Solar project will comply with all required regulations of the Unified Development Ordinance (UDO) and any specific conditions and specifications required for this project. The UDO was reviewed during the design phase of this project, as a good faith effort at compliance, prior to the submittal of the Conditional Use Permit application.

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.**

Because the Murdock Solar project will have landscaping and natural buffers shielding the project from view, the project will not adversely affect the use, physical attribute, or impact the value of adjoining or abutting property.

In 2013, David Massey was commissioned to perform an analysis on solar farm impacts on adjacent property values within Guilford County, North Carolina. Mr. Massey is a State Certified General Real

Estate Appraiser by the State of North Carolina and a Licensed Real Estate Broker. Mr. Massey's practice consists of residential and commercial appraisals in Guilford, Alamance, Orange, Durham, Randolph, Chatham and Caswell Counties of North Carolina.

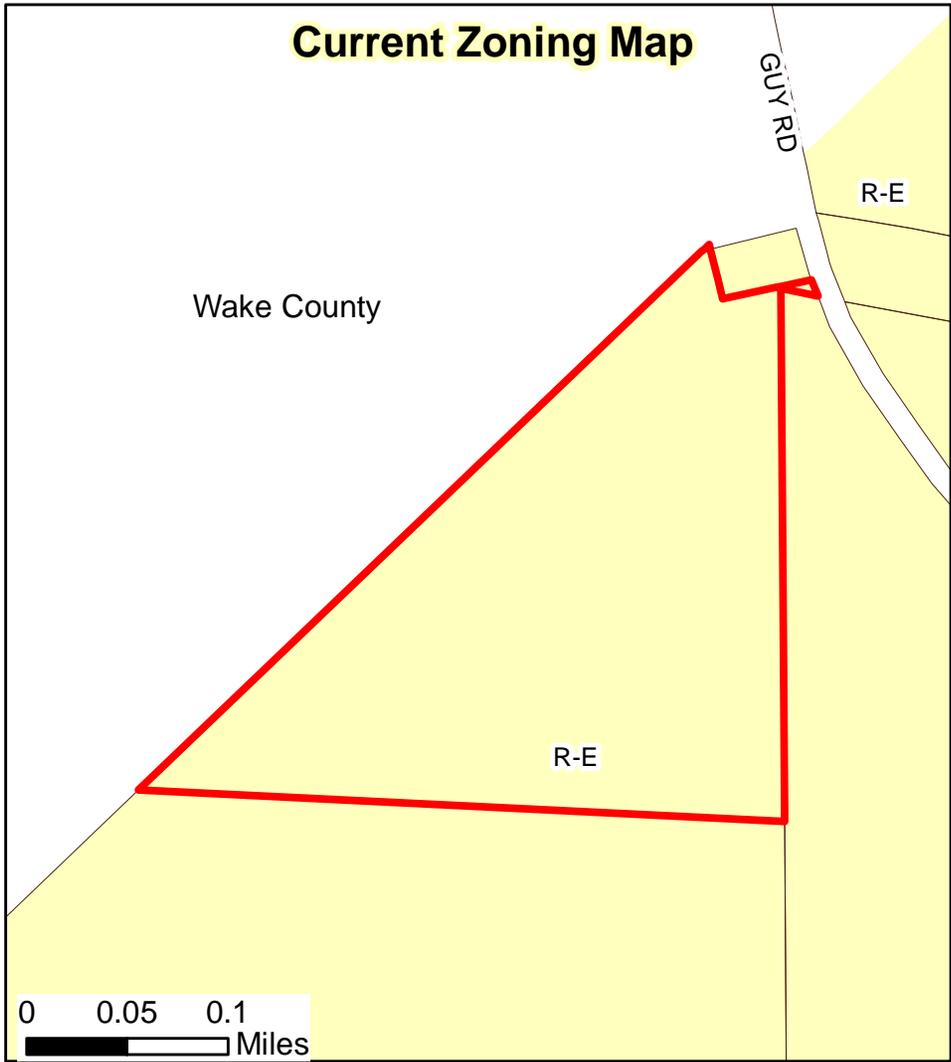
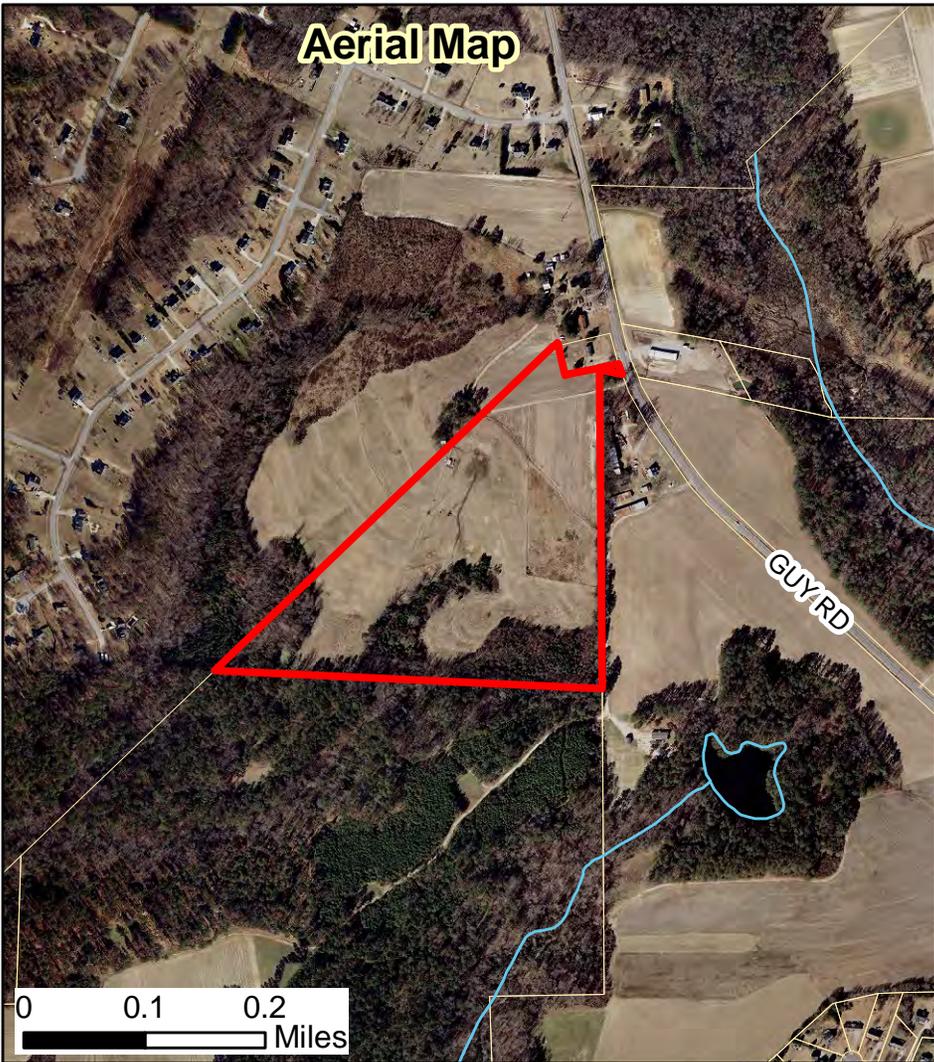
Mr. Massey's study was performed to address the impact on adjacent property values related to two similar sized solar projects that Sunlight Partners was permitting in Guilford County. In the study (Attachment B) Mr. Massey concludes that, "My professional and expert opinion is that the two proposed Solar Farms that will not be visible will have no impact on the market values of the surrounding properties. The Solar Farms with the proposed landscaping buffers and natural buffers will not create a negative externality for the surrounding properties as they will not be visible."

4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

The proposed location for the Murdock Solar project is designated as Residential-Agricultural District. The Murdock Solar project will be in harmony with the area and will be in compliance with the plan for the physical development of the Town due to the fact that project will not increase the population density within the Residential/Agricultural area, will not require urban services, will not decrease the level of service on existing roads, and views of the Murdock Solar project will be shielded by natural and landscape buffers.

CONCLUSION

The Murdock Solar project has been designed, in good faith, to meet all required conditions and specifications as set forth by the Town of Clayton. Sunlight Partners believes that the finding of facts has been adequately addressed, and that the Murdock Solar project meets the requirements for approval of a Conditional Use Permit (CUP).



Murdock Solar Farm Special Use Permit and Site Plan

Applicant: Murdock Solar c/o Keith Colson
 Property Owner: Albert Lee Newsome
 Parcel ID Number: 164900-26-3570
 Tag #: 05G02021WC
 File Number: SUP 2014-143 and SP 2014-144

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

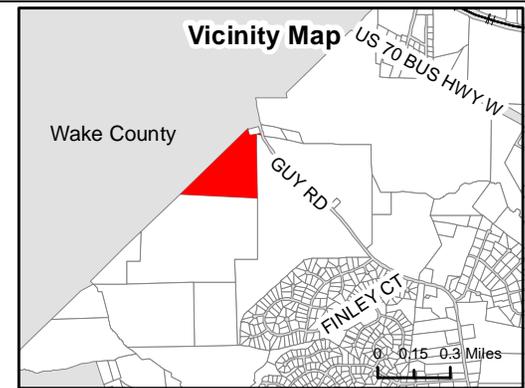


12/29/14



Legend

- Murdock_Solar_Farm_Site
- FLOODZONE**
- A
- AE - 100 Year Flood Zone
- AEFW - Floodway
- SHADED X - 500 year Flood



PROPERTY OWNER INFORMATION

Name: Albert Newsome

Mailing Address: 433 Guy Road, Clayton NC 27520

Phone Number: 919-553-4275 **Fax:** _____

Email Address: _____

APPLICANT INFORMATION

Applicant: Murdock Solar, LLC

Mailing Address: 4115 East Valley Auto Drive #204 Mesa AZ, 85206

Phone Number: 480-582-1540 **Fax:** _____

Contact Person: Keith Colson

Email Address: keith.colson@sunlightpartners.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Conditional Use Permit (CUP) application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
2. Review Fee (\$400)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
3. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. Owner's Consent Form (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
5. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
6. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
7. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
8. If applicant is concurrently applying for site plan approval, a copy of the proposed site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements included in this packet</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
10. Set of stamped, addressed envelopes using the adjacent property owners list	May be provided at time of submittal OR no later than 25 days prior to the Town Council meeting.				
11. Neighborhood meeting summary form (9 copies) <i>Form is included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

Note: More information may be requested by the Planning Department depending on the project

REQUIRED FINDINGS OF FACT

Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

Please See Attached Project Narrative

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

Please See Attached Project Narrative

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

Please See Attached Project Narrative

- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

Please See Attached Project Narrative



2014

Project Narrative for Murdock Solar



Submitted by:
Sunlight Partners, LLC
11/20/2014

INTRODUCTION2
PROJECT DESCRIPTION2
PROJECT LOCATION3
REQUIRED FINDING OF FACT4
CONCLUSION6

INTRODUCTION

Sunlight Partners respectfully submits the following as supporting documentation for the affirmation that the Candace Solar project meets the requirements for approval of a Conditional Use Permit (CUP) within the I-2 zoning districts.

PROJECT DESCRIPTION

The proposed Murdock Solar project will consist of an unmanned, 4 Mega-watt (MW), fixed tilt, photovoltaic solar farm. The project is situated on Parcel No. 05G2021WC within the Town of Clayton.

Components of the project will consist of mounted photovoltaic solar panels, electrical power inverters, electrical transformers, and buried electrical conduit. The solar generating facility will interconnect to the existing utility grid. **Figure 1** shows a typical photovoltaic solar generating facility.



Figure 1 - Conceptual Site Rendering.

PROJECT LOCATION

The Murdock Solar project site is located at 433 Guy Road, Clayton, NC.

Figure 2 depicts project location.

Figure 2 – Murdock Solar project site.



REQUIRED FINDING OF FACT

Section 155.711(l) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.**

The Murdock Solar Project will not materially endanger the public health, safety, or general welfare if located where proposed and developed according to the plan as submitted and approved.

Public Health & Safety- *The Murdock Solar facility will not adversely affect public health and safety. The solar facility is an unmanned, infrequently visited project site. As such, the project will not increase the existing demand on public safety agencies (police and fire departments). The project site will be enclosed with a fence, preventing access to the general public.*

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.**

The Murdock Solar project will comply with all required regulations of the Unified Development Ordinance (UDO) and any specific conditions and specifications required for this project. The UDO was reviewed during the design phase of this project, as a good faith effort at compliance, prior to the submittal of the Conditional Use Permit application.

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.**

Because the Murdock Solar project will have landscaping and natural buffers shielding the project from view, the project will not adversely affect the use, physical attribute, or impact the value of adjoining or abutting property.

In 2013, David Massey was commissioned to perform an analysis on solar farm impacts on adjacent property values within Guilford County, North Carolina. Mr. Massey is a State Certified General Real

Estate Appraiser by the State of North Carolina and a Licensed Real Estate Broker. Mr. Massey's practice consists of residential and commercial appraisals in Guilford, Alamance, Orange, Durham, Randolph, Chatham and Caswell Counties of North Carolina.

Mr. Massey's study was performed to address the impact on adjacent property values related to two similar sized solar projects that Sunlight Partners was permitting in Guilford County. In the study (Attachment B) Mr. Massey concludes that, "My professional and expert opinion is that the two proposed Solar Farms that will not be visible will have no impact on the market values of the surrounding properties. The Solar Farms with the proposed landscaping buffers and natural buffers will not create a negative externality for the surrounding properties as they will not be visible."

4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

The proposed location for the Murdock Solar project is designated as Residential-Agricultural District. The Murdock Solar project will be in harmony with the area and will be in compliance with the plan for the physical development of the Town due to the fact that project will not increase the population density within the Residential/Agricultural area, will not require urban services, will not decrease the level of service on existing roads, and views of the Murdock Solar project will be shielded by natural and landscape buffers.

CONCLUSION

The Murdock Solar project has been designed, in good faith, to meet all required conditions and specifications as set forth by the Town of Clayton. Sunlight Partners believes that the finding of facts has been adequately addressed, and that the Murdock Solar project meets the requirements for approval of a Conditional Use Permit (CUP).

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: 12-23-14

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: TRACY BRUNSON Signature: 

Date of Meeting: JAN 6, 2014 Time of Meeting: 6pm

Location of Meeting: 111 E. 2nd Street CLAYTON, NC 27520

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

DISCUSSED FACILITY ACCESS + HOW IT WILL BE MAINTAINED +

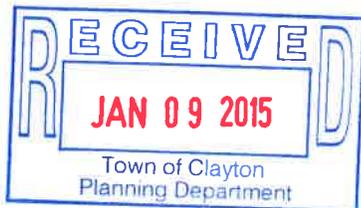
DISCUSSED REPLACEMENT OF ELECTRIC FENCE

DISCUSSED LEASE AGREEMENT

DISCUSSED PROCESS OF SELLING POWER

DISCUSSED PPA W/ DUK + HOW THAT WORKS

Please write clearly (or submit a typed summary), and use additional sheets if necessary.

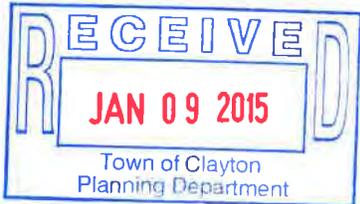


NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: MURDOCK SOLAR

Location/Date: TOWN OF CLAYTON / 1-6-15

	NAME	ADDRESS
1	<i>Josh Smith</i>	<i>601 5316 Birchleaf Dr</i>
2	<i>Ham Newsome</i>	<i>101 Buttonwood Dr, Clayton, NC</i>
3	<i>Larry Newsome</i>	<i>3017 Buttonwood Lane</i>
4		<i>Clayton N.C.</i>
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Sunlight Partners, LLC
4115 E. Valley Auto Dr. Suite #204
Mesa, AZ 85206

January 12, 2015

Jay McLeod, AICP
Planner
Town of Clayton
111 East Second Street
Clayton, NC 27528
jwmcleod@townofclaytonnc.org

Mr. Jay McLeod, this letter is to be a summary of the discussion that occurred on January 6, 2015 at 6pm. Sunlight Partners (SLP) met with three landowners that have land adjacent to our proposed solar facility location.

In this meeting the question was asked about access to the site, Sunlight Partners had a discussion with Mr. Jack Gorrell regarding the existing access that cuts through his property. He agreed to provide Mr. Newsome with access; SLP has initiated the process of having all the legal documents created for this process.

Mr. Larry Newsome had a concern about the removal of the existing electric fence that is used to keep the cows on the property that our solar facility is proposed on. Mr. Larry Newsome was asking if we would be willing to replace the fence. SLP asked Larry to come have a proposal put together with a cost for the new fence and then SLP could make a decision based on the need.

Mr. Adam Newsome had some general questions about the lease arrangement, how long the term is and how many extensions there are. This led into a discussion about the utility and how the PPA process is and the process of selling power. SLP was able to answer all of the questions that community had and hopefully gave them a better understanding of the project and the entire process associated with this type of project.

Thank you

Tracy Brunson
Project Manager
Sunlight Partners
Office 800-673-1125
Direct 480-582-1575

**TOWN OF CLAYTON
PLANNING BOARD WRITTEN RECOMMENDATION
SPECIAL USE PERMIT**

SUP 2014-143 Murdock Solar Farm

On January 26, 2015 the Planning Board heard the above-referenced request and made the following vote:

Recommendation to the Town Council to:

- approve the request with the conditions presented by staff.
- approve the request with the following modified or added conditions:

deny the request.

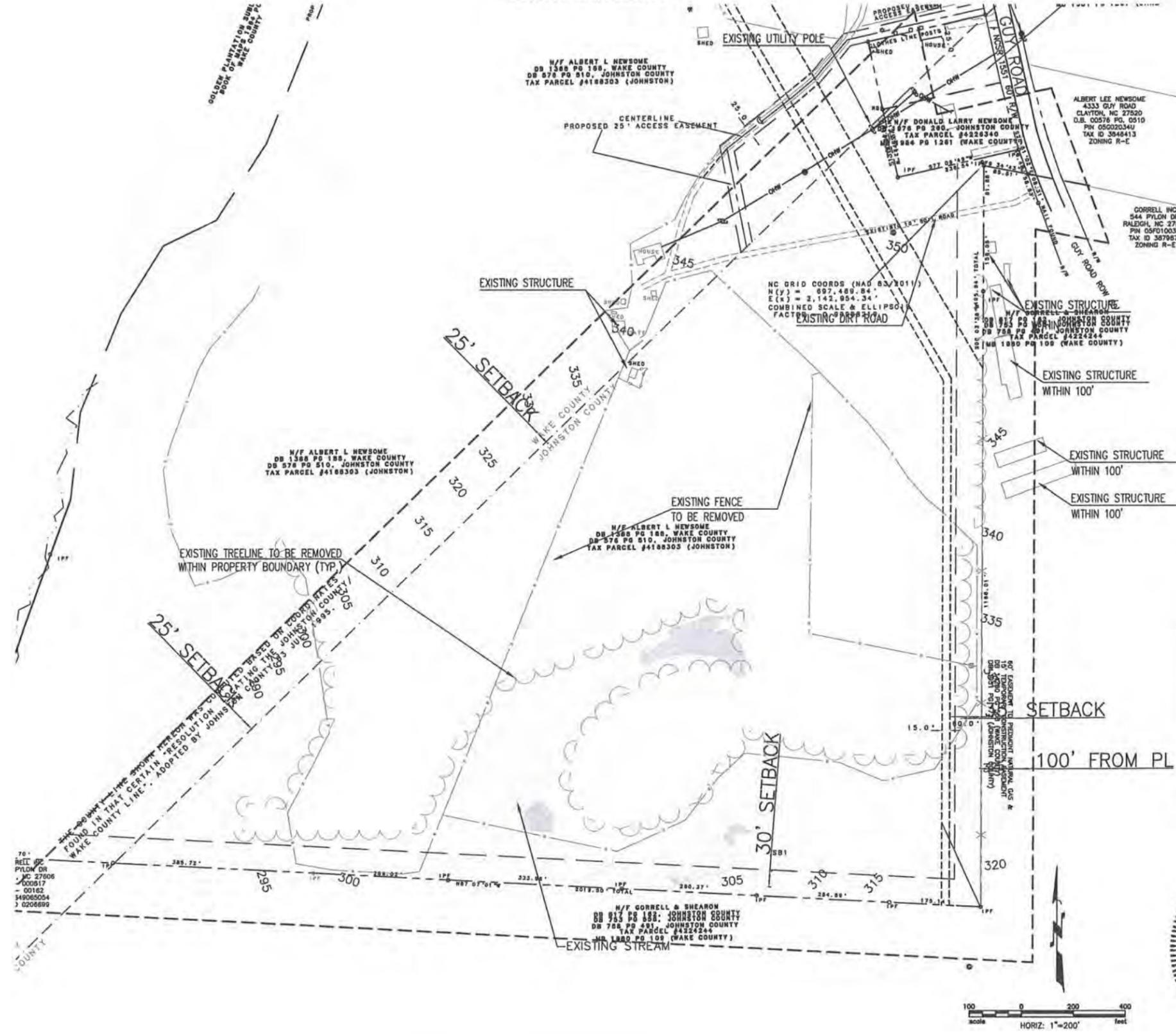
Recommendation(s) made this 26 day of January while in regular session.

Signed:



Frank Price, Planning Board Chair

SITE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA



DEVELOPER
SUNLIGHT PARTNERS, LLC
4115 E. VALLEY AUTO DR. SUITE#204
MESA, ARIZONA 85208
PHONE: 801-550-7150
FAX: 480-582-1575
ATTN: KEITH COLSON

OWNER
ALBERT NEWSOME
4333 GUY RD
CLAYTON, NC 27520

ENGINEER
D.E.P. ENGINEERING SOLUTIONS
25 CARRIAGE WAY
SCARBOROUGH, ME 04074
PHONE: 207-217-2216
ATTN: MICHAEL WALLACE

SITE ADDRESS
MURDOCK SOLAR LLC
2663 GUY RD
CLAYTON, NC 27520

PARCEL NUMBER
PARID # 164900-26-3570
ZONING DISTRICT = R-E

SITE SUMMARY TABLE

GROSS ACREAGE	:31.9 ACRE
NET ACREAGE	:31.9 ACRE
EXISTING LAND USE	:AGRICULTURAL
PROPOSED LAND USE	:ALTERNATIVE ENERGY FACILITY
PERCENT IMPERVIOUS	:23%
AREA OF DISTURBANCE	:+/- 21 ACRES

SETBACKS
FRONT = 35 FEET
SIDE = 25 FEET
REAR = 30 FEET

SHEET INDEX
1.....SITE PLAN

LEGEND

	BOUNDARY LINE
	SET BACK LINE
	SECURITY FENCE
	PROPOSED UTILITY METERING SECTION
	EXISTING TREELINE
	SOLAR PANELS
	INVERTER
	NCS MONUMENT
	R/W LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	WETLAND AREA



REVISIONS

1	TRC COMMENTS 12/15/14
2	TRC COMMENTS 1/29/15

EXISTING CONDITIONS
"MURDOCK SOLAR LLC"
TOWN OF CLAYTON, NORTH CAROLINA

DATE PLOTTED

Drawn By	TR
Checked	MW
Est. Submitted	11-21-14
Est. Revisions	1-8-15

CALL THESE NUMBERS DATE YOU NEED YOU
1-800-652-4949

JOB NO.
MURDOCK SOLAR

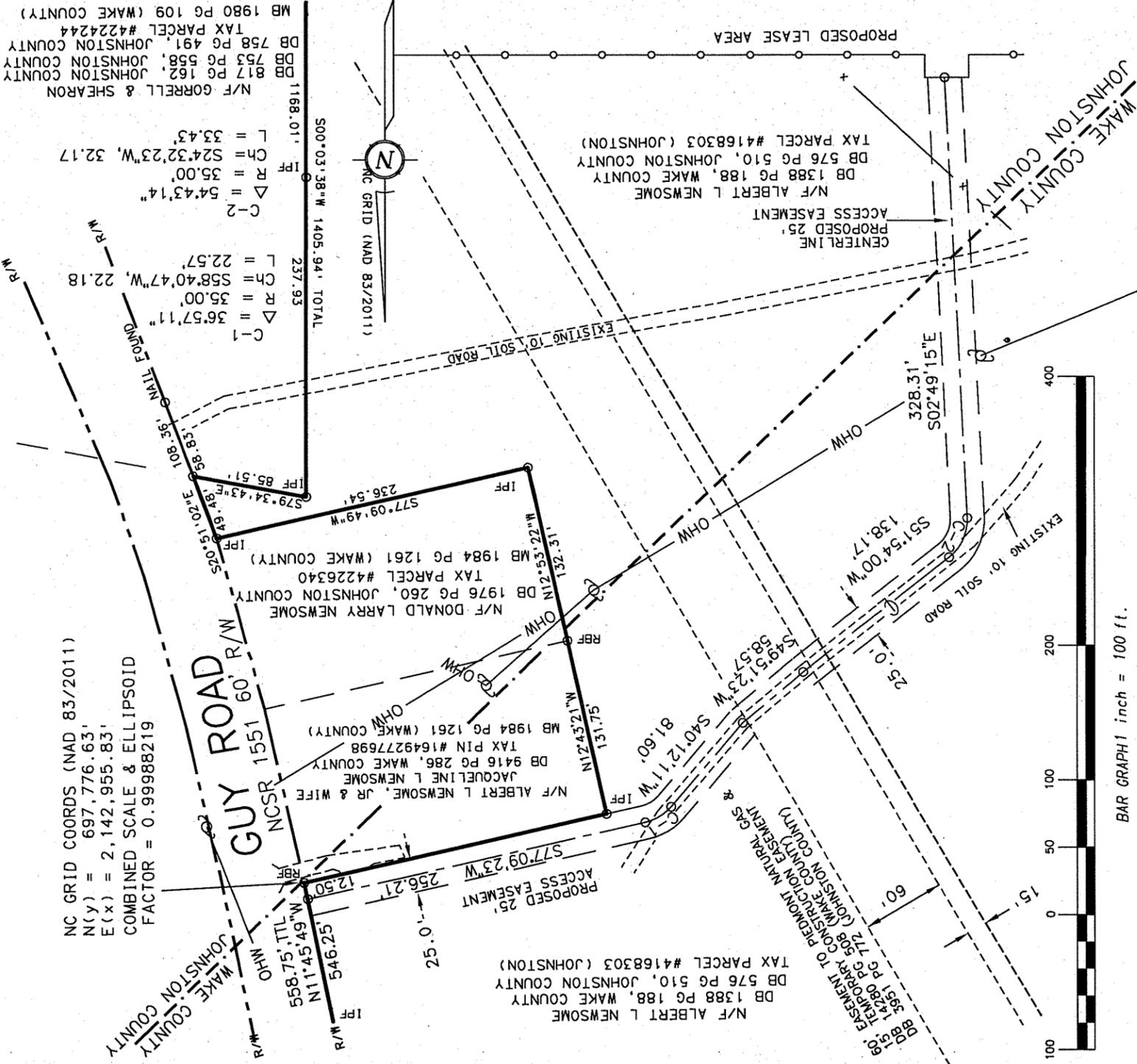
SHEET NO.
2

25 FOOT ACCESS EASEMENT EXHIBIT

ACROSS LANDS OF N/F ALBERT L NEWSOME LOCATED CLAYTON TWP., JOHNSTON COUNTY & ST MARYS TWP, WAKE COUNTY, NC REFERENCE DB 1388 PG 188, WAKE COUNTY & DB 576 PG 510 JOHNSTON COUNTY REGISTER OF DEEDS

THE NC GRID COORDINATES SHOWN WERE DERIVED FROM VRS POSITIONING USING LOCAL CORRS AND BASED ON NAD 83 (2011) HORIZONTAL DATUM THE .95% CONFIDENCE LEVEL ELLIPSES FOR THE SURVEY POINTS ARE N: 0.006' AND E: 0.006'
 THE GRID COORDINATE UNITS AS SHOWN ARE US SURVEY FEET. GPS DATA WAS OBSERVED AND OBTAINED ON 01-08-2015 THERE ARE OTHER IMPROVEMENTS ON THIS PROPERTY THAT ARE NOT SHOWN.

LEGEND
 IPF = IRON PIPE FOUND
 RBF = METAL REBAR FOUND
 IPS = IRON PIPE SET
 RBS = METAL REBAR SET
 CP = COMPUTED POINT (NO CORNER MONUMENT FOUND OR SET)
 C = CENTERLINE



CERTIFICATE OF RLSNAME
 I, STANLEY ROBERT SACKS DO HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION AND SUPERVISION, WITNESS MY HAND AND SEAL.

Stanley Robert Sacks

STANLEY R SACKS, PLS L-2913
 LAST REVISED:

JANUARY 29, 2015
 UNLESS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY MAP - NOT FOR RECORDING, SALES OR CONVEYANCE.

Sacks Surveying & Mapping, P.C.
 Land Surveyors
 3308-B Edgefield Road
 Greensboro, NC 27409
 (336) 931-0566
 FAX 931-0558
 SacksSurveying.com
 FIRM LIC. NC-2741

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5e

Meeting Date: February 16, 2015

TITLE: PDD 2014-127 – SteepleChase Planned Development – Rezoning to PD-MU

DESCRIPTION: This is a 631 acre project and is generally located east of City Road, west of North O’Neil Street, and between Sam’s Branch and the Neuse River. The applicant is requesting approval to rezone the subject property to Planned Development –Mixed Use.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Set Public Hearing
for March 2, 2015**

**Staff Report
Supporting Documents**



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PDD 2014-127 (Rezoning to Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PSD 2014-128 (Master Plan)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting approval to rezone the subject property to Planned Development – Mixed Use.

SITE DATA:

Acreage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

ADJACENT ZONING AND LAND USES:

North:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
South:	Zoning:	Residential Estate (R-E), Residential 8 (R-8 SUD)
	Existing Use:	Vacant / Single Family Residential /Agriculture
East:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential / Agriculture
West:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting the subject property be rezoned to Planned Development – Mixed Use (PD-MU). Concurrent with the request to rezone property to a Planned Development District, a Master Plan has been submitted. That application is under concurrent review under case #PSD 2014-128. Both the rezoning and the master plan must be approved for the PD-MU District to be approved. Details of the Master Plan are provided in a separate staff report.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Compatibility with Surrounding Land Uses

Although the overall proposed density is 4 dwelling units per acre, the master plan has been designed to provide lower densities adjacent to existing subdivisions. These lower densities are compatible to the densities in the adjacent subdivisions and provide a transition from the higher density/intensities. The commercial parcel is currently limited in the master plan regulating documents to neighborhood commercial (B-2 uses) and a maximum of 75,000 square feet of floor area.

Landscaping and Buffering

Planned Developments require a Class C perimeter buffer is provided along the boundary of the property.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions.

CONSIDERATIONS

- The applicant is requesting approval of a rezoning of the subject parcel to Planned Development – Mixed Use.
- This approval is subject to approval of PSD 2014-128 (Master Plan).
- The final decision is made by the Town Council with recommendation from the Planning Board.
- The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.

STAFF RECOMMENDATION

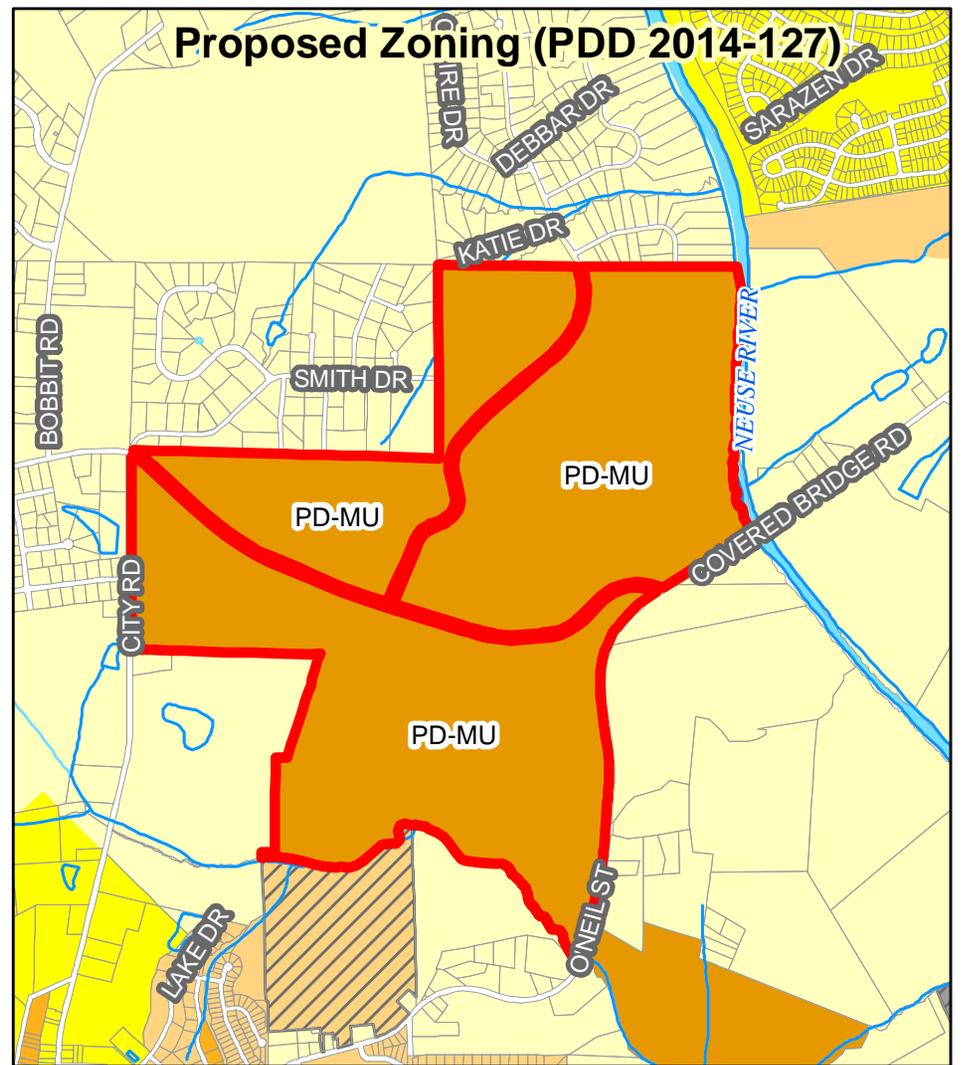
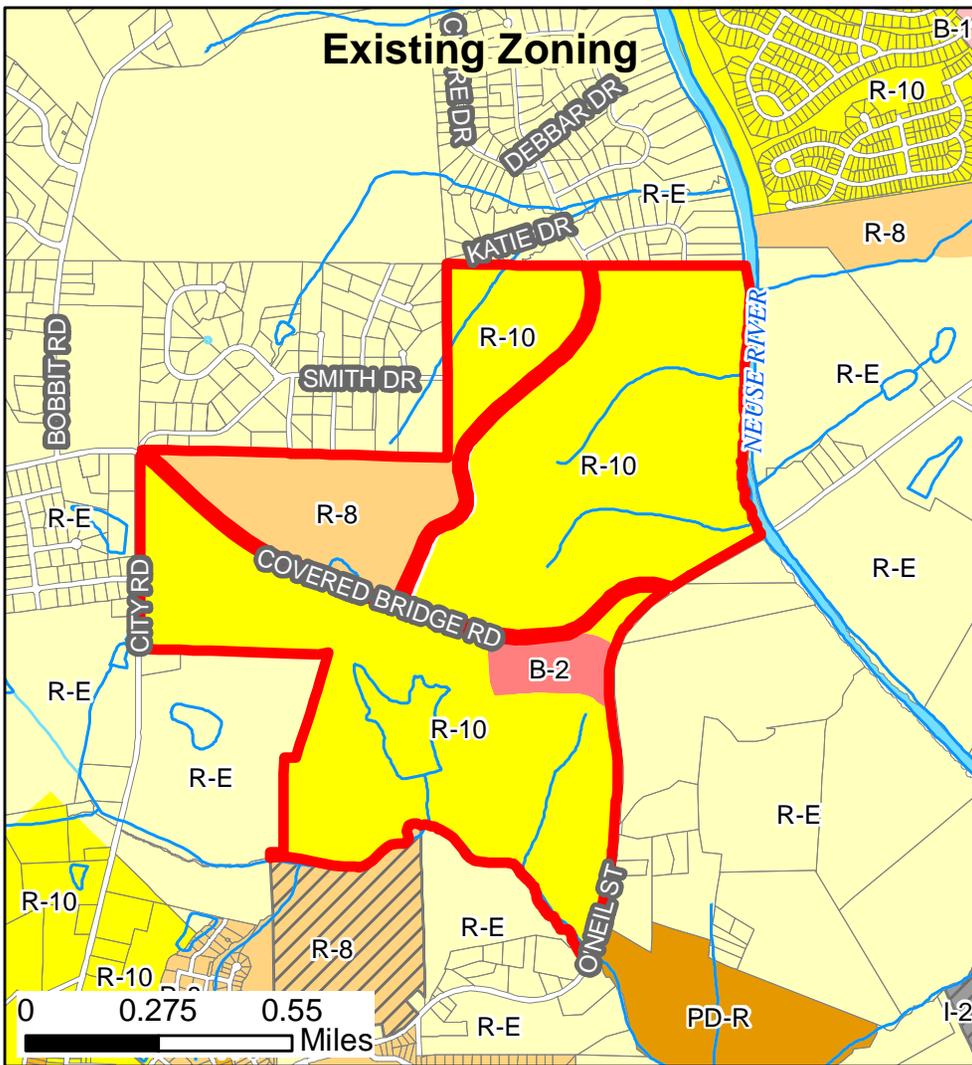
Staff is recommending:

- 1) Approval of the rezoning.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Existing and Proposed Zoning Map
2. Aerial Map
3. Application
4. Neighborhood Meeting Materials



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

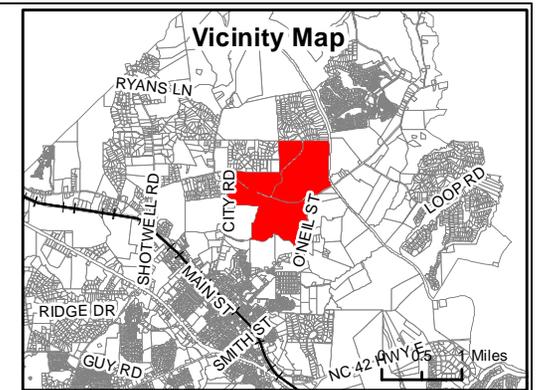
Produced by: TOC Planning

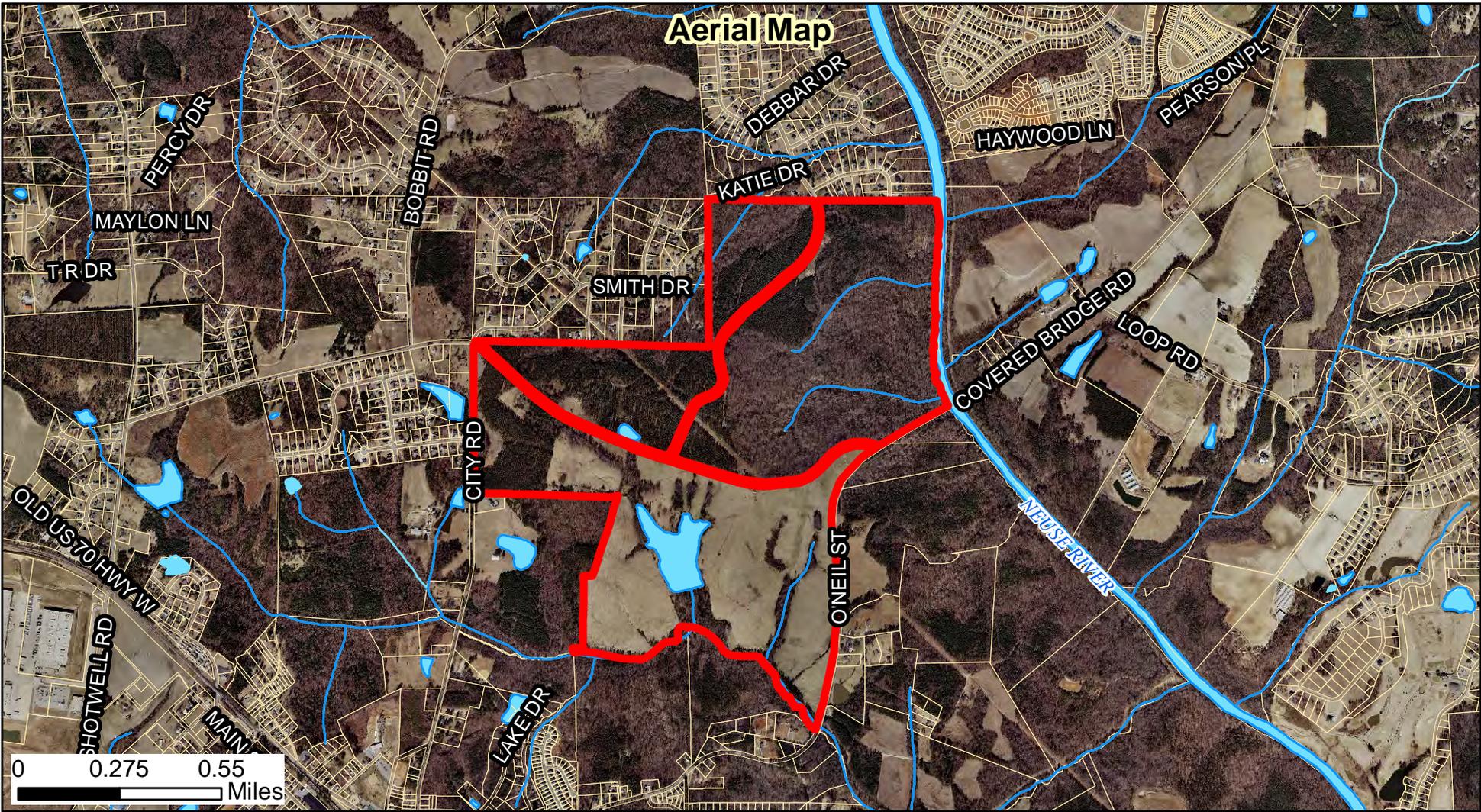
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				PD-MU
				Special Use District





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

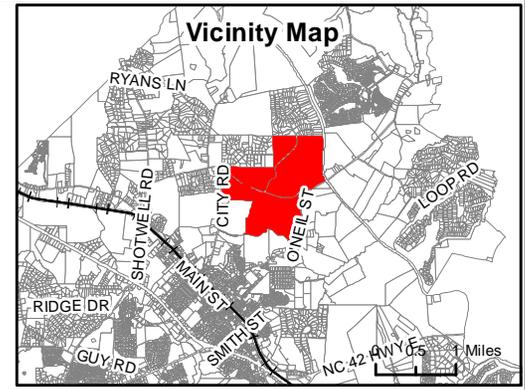
Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

- SteepleChase_Site
- Water Features





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.

If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.

SITE INFORMATION:

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed AC)
 Parcel ID Number: 05H02009 Tax ID: 0869846
 Deed Book: 03897 Deed Page(s): 0735
 Address: 1162 Covered Bridge Road, Clayton, NC 27520
 Location: South of Smith Ridge Estates and Ole Mill Stream Subdivisions, and North of Sams Branch
Greenway between Covered Bridge Road and City Road
 Existing Use: Vacant Proposed Use: Residential/Commercial
 Existing Zoning District: R-10, R-8, and Neighborhood Business (B-2)
 Requested Zoning District: PD MU
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): Watershed Protection Overlay District

FOR OFFICE USE ONLY

File Number: 2014-127 Date Received: 10/6/14 Amount Paid: #4,155⁰⁰

OWNER INFORMATION:

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:**
Email Address: nancearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION:

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- A signed and sealed boundary survey (**not more than a year old unless otherwise approved by the Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

JUSTIFICATION STATEMENT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

The request is to rezone 631.06 acres at 1162 Covered Bridge Road from R-8, R-10 and neighborhood business (B-2) to PD MU. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units.

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

The Town of Claytons Strategic Growth plan adopted in 2008 designates a majority of the property as residential medium and small portion as neighborhood commercial. The residential medium designation allows up to 8 dwelling units to the acre. The proposed use is for 3.96 dwelling units to the acre which is compliant with the Strategic Growth Plan.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The permitted uses and the proposed uses are generally the same. The subject property is primarily gently rolling land with the R. E. Earp pond located on the southern tract. The USDA soils study identifies this land as suitable for residential development.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed designation allows for a mixture of residential uses with some neighborhood commercial at the intersection of O'Neil and Covered bridge Roads. These uses proposed for this property are designated in Town of Clayton's Strategic Growth Plan and complies with the balance of uses identified in the plan.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

5. It has been determined that the legal purposes for which zoning exists are not violated.

The existing zoning is not in error and is compliant with the Town of Clayton Strategic Growth Plan. The rezoning to PD MU will still allow the current uses but will allow for the orderly and unified development of the site.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

The proposed development has access to public water and sewer adjacent to the site. The stormwater will be treated on site and will address volume and quality issues prior to discharge. A Traffic Impact Analysis is in the process of being completed and should indicate that with the proposed road improvements adjacent to the site that there will be no adverse traffic impacts as well.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

No one adjacent property owner will benefit at the detriment of the general public. The proposed uses are already permitted in the current zoning, the rezoning will allow for an orderly and unified development of the site. The orderly and unified development of the site should benefit the adjacent property owners overall.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE, CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT, CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY, CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541



**Town of Clayton
Planning Department**
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE **Address or PIN #:** 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn 3100 SMOKETREE CT
(Name - type, print clearly) (Address)
Raleigh NC 27604
(City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley 7020 NC 42 East
(Name - type, print clearly) (Address)
Mary Earp Worley Selma, NC 27576
(Owner's Signature) (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public
My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE Address or PIN #: 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard (Name - type, print clearly) 3100 SMOKE TREE CT (Address)
RALEIGH NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp (Name - type, print clearly) 7230 NC 42 E (Address)
Nancy C Karp (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA
 COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

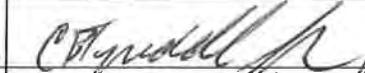
Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Joy Hill 2013	Missig Lane Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6		101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton, NC 27520
2	John Clarke	1415 Brook Hill Drive
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ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

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05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

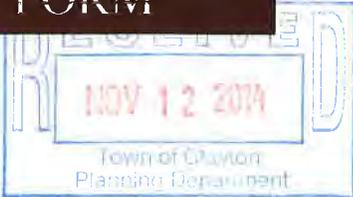
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PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

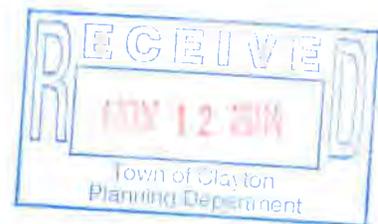
General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5f

Meeting Date: February 16, 2015

TITLE: PSD 2014-128 – Steeplechase Planned Development – Preliminary Plat/Master Plan

DESCRIPTION: The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Set Public Hearing for
March 2, 2015**

**Staff Report
Supporting Documents**



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PSD 2014-128 (Preliminary Plat / Master Plan for Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PDD 2014-127 (Rezoning to PD-MU)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

SITE DATA:

Acreeage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Existing Impervious: None – site is undeveloped
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

DEVELOPMENT DATA:

All information below is as proposed by the applicant. Planned developments are unique in that they do not carry pre-established development standards. All bulk, area, and dimensional standards are set by the approval process and are binding once approved by Town Council. (See §155.202(L)). PLEASE NOTE THAT ALL MODIFIED DEVELOPMENT STANDARDS ARE SPECIFICALLY LISTED IN THE MASTER PLAN DOCUMENT. STANDARDS WHICH ARE NOT SPECIFICALLY CALLED OUT MUST MEET THE MINIMUM REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

Proposed Uses:	Residential/Non-residential – mix of housing types (single family, townhomes, condominiums and apartments), recreational amenities, and commercial uses.
Proposed Buildings:	Multiple buildings and phases include mixed residential, commercial and recreational (club house) buildings.
Proposed Residential Density:	Maximum 4 units per acre for residential portion of property (calculation does not include commercial site)
Proposed Commercial Intensity:	9.91 acres / 80% per lot building coverage / 75,000 SF max.
Proposed Maximum Building Height:	<p>Detached Homes – Single Family: 35 feet max.</p> <p>Attached Homes – Townhome & Single Family: 45 feet max.</p> <p>Multi-Family – Condos & Apartments: 55 feet max.</p> <p>Amenity and Club: 45 feet max.</p> <p>Commercial Area: 80 feet max.</p> <p><i>Staff note: For reference, the maximum height in all existing general residential zoning districts is 35 feet. Maximum height in existing general commercial zoning districts is 60 feet (in B-3 and O-1). Maximum height for apartments/condos/townhomes is set by the Planned Development process.</i></p> <p><i>Staff supports the request for 80 feet in height for the Commercial area because it would allow for mixed use development with office and residential uses in upper stories.</i></p>
Proposed Impervious Surface:	<p>Overall Development: 70%</p> <p><i>The Master Plan is divided into a series of phases. Some phases may exceed maximum impervious with the understanding that the overall project may not exceed the maximum impervious surface percentage. As each phase is approved for development, it will be reviewed for consistency with the maximums set in the Master Plan, ensuring the overall development does not exceed the 70% maximum.</i></p>
Required Parking:	Parking will be required as established by the Unified Development Ordinance and will be reviewed as each phase is approved for development.
Access:	Primary access is identified along Covered Bridge Road (3 aligned entrances/intersections) and North O’Neil Street (two entrances).

	Additional internal connections exist along Brook Hill Drive as well as interconnectivity to existing stub streets in Smith Ridge estates and Old Mill Stream subdivisions. Additional access points may occur on City Road if the School District utilizes the portion of the site set aside for school use. Several major roadway improvements will be necessary as a part of this development. Details of roadway and intersection improvements will be determined as part of the review of the Traffic Impact Analysis. The Traffic Impact Analysis review by NCDOT is included as an attachment to this staff report.
Water/Sewer Provider:	Town of Clayton
Electric Provider:	Town of Clayton
Proposed minimum Recreation and Open Space:	Overall: 64.98 Acres Active Recreation: 16.245 acres <i>See discussion on Recreation and Open Space, below. Recreation and Open Space and Active Recreation acreages are minimums and cannot be reduced except by Town Council approval via a major modification to the Master Plan.</i>
Proposed Dimensional Standards:	Minimum Dimensional Standards (setbacks, building coverage, and height) are set based on use in the Master Plan. The Master Plan includes a provision that all setbacks may be modified by up to 20% with approval by the Planning Director.

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

South: Zoning: Residential Estate (R-E), Residential 8 (R-8 SUD)
Existing Use: Vacant / Single Family Residential /Agriculture

East: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential / Agriculture

West: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for the Master Plan for the Steeplechase Planned Development. This 631 acre project is under concurrent request to be rezoned to Planned Development

Mixed Use (PD-MU) under case # PDD 2014-127. Both the rezoning and the master plan must be approved for the PD-MU District to be approved.

The Master Plan is also acting as the Preliminary Subdivision Plat, as is permitted by the UDC. All dimensional standards are set within the Master Plan, along with basic street and development patterns, and regulating sheets are included to guide the form of development components. This means that as each phase of the development moves towards construction, the specific details within each phase (exact placement of lot lines, for example) will be reviewed and approved by staff as a final plat. Individual site components are required to be consistent with the design and standards presented in the regulating and master plan.

- *Note: The exceptions to the above include the commercial parcel, condo/apartment/townhome sections and recreation areas. The condo/apartment/townhome sections will either be kept under single ownership as rentals or subdivided into lots which encompass the unit only leaving the remainder of the land in common ownership. Consequently the condo/apartment/townhome sections may be processed as a Major Site Plan with approval by the Planning Board. Development of the recreation areas will be processed as Minor Site Plans (staff-level review). The commercial parcel will go back to Planning Board for major site plan review/approval.*

Other modifications to this approved Master Plan deemed "Major" will return to the Town Council for review and approval.

The applicant is requesting a maximum of 2200 residential units, to be comprised of a mix of single family and multi-family units. The units are clustered in a range of densities. The commercial parcel is limited to 75,000 square feet of commercial uses. The project includes both active and passive recreation and open space, and identifies resource conservation areas as permanently preserved (as is required).

The Master Plan also identifies a potential school site. The applicant is in discussions with Johnston County Public Schools, and the site will be reserved for 18 months from the date of approval to acquire the site in accordance with §155.605(A) of the UDC.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): "The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses."

Per §155.203(L), Planned Developments are subject to the following requirements:

- The development proposed in the master plan is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
- Each planned development shall provide a comprehensive set of design guidelines that demonstrate the project will be appropriate within the context of the surrounding properties and the larger community. All bulk, area and dimensional standards shall be established by the Town Council at the time of approval.

- No resource conservation area (see § 155.500) shall be counted towards lot area. This shall not preclude the platting of lots in such areas, provided that adequate lot area outside the resource conservation area is provided.
- No resource conservation area shall be counted towards the recreation and open space requirements.
- The planned development master plan shall meet or exceed the recreation and open space requirements of an open space residential subdivision.
- A phasing plan is required.

Master Plan Approval Criteria (§155.705(K)):

1. Compliance with all applicable requirements of the UDC;
2. Consistency with the Clayton General Design Guidelines;
3. Conformance of the proposal with the stated purpose of the requested planned development district;
4. Compatibility of the proposed development with the adjacent community;
5. The quality of design intended for each component of the project and the ability of the overall development plan to ensure a unified, cohesive environment at full build-out;
6. Compatible relationships between each component of the overall project;
7. Self-sufficiency of each phase of the overall project;
8. Documentation that the proposed infrastructure improvements accommodate the additional impacts caused by the development, or documentation to assure that the development, as proposed, will not overtax the existing public infrastructure systems;
9. The fiscal impact of the proposal and the proposed financing of required improvements;
10. The success of the proposal in providing adequate pedestrian and bicycle links within the development and with the adjacent community; and
11. The effectiveness with which the proposal protects and preserves the ecologically sensitive areas within the development.

Preliminary Plat Findings of Fact

Since the Master Plan is also acting as a Preliminary Subdivision Plat, the applicant is required to address the Findings of Fact outlined in §155.706 of the UDC. These have been included as an attachment to this report.

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC). Individual lot development specifications including landscaping, building placement, access, driveway placement, etc. are required to be set as a part of the planned development, meet all other applicable Town standards, and be consistent with the provisions of the approved Master Plan.

Compatibility with Surrounding Land Uses

The overall proposed density is 4 dwelling units per acre. Under the current zoning, which includes R-10, R-8, and B-2 zoning districts, the subject property could currently be developed using Conventional Subdivision standards with approximately 2,520 single family lots and 426,888 square feet of commercial uses. These numbers go up substantially if Open Space subdivision standards are utilized. The conventional development standard allocations were determined as follows:

Ex. Zoning	Acreage	Max. Density/Acre	Max. Intensity/Building Coverage	Dwelling Units	Square Footage
R-10	536.6	4	N/A	2,146	N/A
R-8	74.86	5	N/A	374	N/A
B-2	19.6	N/A	50%	N/A	426,888
TOTALS	631.06			2,520	426,888

Because the property is being processed as a Planned Development, units may be clustered to achieve higher densities in some areas while keeping lower densities in other areas to achieve a balance in residential types and lot sizes. Portions of the site will develop with higher residential density than others (i.e. the townhome and apartment options). Those higher densities are located closer to major intersections, while the portions of the site designed for single family detached (lower densities) are designed in the areas adjacent to existing subdivisions, providing a transition from the higher density/intensities.

The proposed density on the subject property is very similar to the zoning of adjacent property to the south (Residential-10, which allows minimum 10,000 square foot lots, or 4 units per acre; and R-8 which allows 8,000 square foot lots, or approximately 5 units per acre). Properties to the east are primarily undeveloped, agriculture, or very large lot single family residential (residential unit located on very large properties). Ole Mill Stream and Smith Ridge Estates directly to the north are established neighborhoods developed at densities of approximately 1 unit per acre.

While those adjacent neighborhoods do have lower densities, Riverwood, to the north, was developed at a similar density to the proposed rezoning.

The commercial parcel proposed at the intersection of Covered Bridge Road and O’Neil Street has reduced in size from approximately 19.6 acres to 13.51 acres. The development plan is limiting the development of the commercial site to a maximum of 75,000 square feet of floor area.

Given the property’s adjacency to Clayton’s “core,” staff is supportive of the development of the entire property as a Planned Development and the proposed density of 4 units per acre so long as adequate measures are taken to ensure traffic safety and desirable neighborhood design that makes this development a benefit to the Town and a desirable place to live.

Landscaping and Buffering

A 20 foot Class C perimeter buffer is provided along the boundary of the property, including along Covered Bridge Road where it bisects the north and south portions of the property. Where able, existing trees and vegetation will be preserved to meet the standards of the Class C buffer. Where a Class C buffer is planted, it will be a minimum of 20 feet in width. All landscaping is required to meet the standards for height and caliper as established in the UDC. Street tree species are required to receive approval from the Planning Director as they will be located in the public right-of-way.

Street trees must be canopy trees and spaced a maximum of 40 feet apart. Street trees will be placed in a widened planting strip located between the sidewalk and street.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions. Required and provided recreation and open space is listed below:

Overall Recreation and Open Space

Planned Developments are required to meet the minimum standards for Recreation and Open Space as set for Open Space Subdivisions in the UDC. Overall Recreation and Open Space requirements include preserved land, passive open space, and active recreation areas. Recreation and Open Space may NOT include resource conservation areas (RCAs) such as riparian buffers, wetlands, ponds, and areas of 25% slope that exceed 5,000 sf in area (the exception to this rule is that the area of a paved greenway may be counted to recreation and open space if located in a RCA).

Required: Either 12.5% of net site area **OR** 1,245 sf per unit, whichever is greater.

2,200 units x 1,245sf = 2,739,000 sf or 63 acres

Net Site Area is 631.06 acres – 111.19 acres in resource conservation areas = 519.87 acres

519.87 ac * .125 = 65 acres

As shown above, as currently proposed, the 12.5% calculation results in the greater number, requiring 65 acres of recreation and open space.

Proposed: 65.08 acres outside of the RCA's.

Improved Recreation Areas

A certain amount of the required Recreation and Open Space must be developed as active recreation amenities for the development.

Required: At least 25% of the required recreation and open space shall be improved.
25% of 65.08 acres is 16.27 acres.

Provided: 29.22 acres

The acreage of proposed recreation and open space will be established as the minimum for the development and will be binding on the development of the property. The established minimums for both overall Recreation and Open Space as well as Active Recreation and Open Space cannot be reduced except by Town Council.

Dedication of Recreation and Open Space to the Town

Per §155.203(I)(2)(a), "all residential development shall be required to either dedicate a portion of the land, or make a payment-in-lieu of dedication at a rate set forth in the town's Comprehensive List of Fees and Charges per lot or dwelling unit." A mix of dedication and fee-in-lieu may be utilized.

At this time, the Town and the developer are discussing the possible donation of Phase 7 (11.13 acres) for use as a public trailhead and park.

Greenways and Sidewalks

The Master Plan proposes a series of interconnected greenways and sidewalks to provide multi-modal access throughout the development.

- Sam's Branch Greenway: The existing Sam's Branch Greenway currently ends just to the east of the southeastern corner of the property, which planned extensions running along the southern boundary of the property along Sam's Branch creek and further west.

The Town is currently in the design phase for the extension of the existing Sam's Branch Greenway west to the entrance to Legend Park (known as "Sam's Branch Phase II"), an extension which traverses the south boundary proposed development. Sam's Branch Phase II greenway also provides potential important connections to downtown Clayton via future connections from Legend Park to the downtown street networks. This phase of the greenway also provides access to Legend Park, which includes a softball field and mountain bike trails.

Future extensions of the greenway just west of Legend Park will provide multi-modal access along City Road to the Municipal and Civitan Parks, as well as to the amenities of Downtown Clayton.

The Sam's Branch Greenway already connects to the Mountains to Sea Trail (aka "Neuse River Greenway"), an almost 30 mile uninterrupted greenway which connects into Raleigh's greenway network, with future extensions planned. This section of the greenway in Clayton is also part of the designated East Coast Greenway network along the eastern coast of the United States.

- Proposed Greenway/Sidewalk exchange
Typically, sidewalks are required on both sides of all streets of new development (including along existing roadways). Staff supports the applicant's proposal to waive the requirement for sidewalks on both sides of the road (reducing it to sidewalks on one side of the road) for identified portions of the development's roadway network so long as a minimum 10 foot wide paved multi-use path / greenway is provided elsewhere in the development at an equal exchange based on construction costs. Staff supports this because while some accessibility is lost with the reduction in sidewalks, this accessibility is made up by the presence of a multi-use path which provides access to other portions of the development, and acts as a part of the Sam's Branch Greenway Trail. Benefits to the applicant include the ability to use the calculated square footage of the paved pathway toward their improved/active recreation requirements and a reduced roadway cross-section width.

Environmental

As required in the UDC, resource conservation areas (including riparian buffers, ponds/waterways, 100-year flood zones, and steep slopes) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted (see Article 5 of the UDC). Additionally, the development will be required to meet any state requirements for protection not addressed by the UDC. Riparian buffers that meet the definition of the UDC in Article 5 shall include a 50 foot undisturbed buffer, measured from the top of bank.

According to the Master Plan, there are 111.19 acres of RCAs on the site, all of which shall remain undisturbed unless proper permits and approvals for disturbance are received from the State or Town, as applicable.

Signs

A Master Sign Plan is required for all signage associated with the development. A typical entrance sign design is shown in the Master Plan. Entrance signs shall be required to meet or exceed the approved sign style set in the Master Plan.

Access/Streets

The primary development access point is located off of Covered Bridge Road, will provide access to the future clubhouse area on the southern portion of the site, and shall align with the existing Brook Hill Drive. All external access shall be approved by either NCDOT or the Town as applicable.

The applicant has provided a detailed Vehicular and Pedestrian Circulation Plan which is part of the Master Plan. The actual alignment of the internal road network as shown on the Plan is for visual reference only and is not binding; road alignment may vary as individual phases are approved so long as basic design components such as shorter block lengths and interconnectivity are maintained. However, external connection points and identified improvements to existing roads and intersections are binding and cannot be modified without major modification approval by the Town Council.

Traffic Impact Analysis

A Traffic Impact Analysis (TIA) has been completed by the applicant and reviewed by NCDOT and the Town. The comments provided by NCDOT have been provided as an attachment to this staff report. The applicant will have the opportunity to revise the TIA and address the traffic comments. Ultimately, the traffic improvements deemed necessary by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase that generates the need for the improvement.

Required Access Points

Per the UDC, no more than 75 certificates of occupancy may be issued within the subdivision until a required secondary access has been constructed or bonded for construction. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction. Access points to existing "stub-out" streets in existing subdivisions (Ole Mill Stream, Smith Ridge Estates) will be required to be constructed as part of the associated phase of development.

Alternative Cross-Section

An alternative cross-sections are proposed as part of this development. As discussed in the Recreation and Open Space component of this report, the cross-sections reflect the proposal to allow sidewalk on just one side of the street in identified roadways within the development.

Several cross-sections propose a planting strip between the sidewalk and the road edge, thus placing the street trees in the public right-of-way. Staff supports the planting strip because of improved aesthetics and enhanced pedestrian safety when the sidewalk is further from the road and buffered by trees.

Cross-sections on NCDOT roadways (City Road, Covered Bridge Road, and North O'Neil Street) will be ultimately approved by NCDOT. Staff will require a minimum 10 foot paved greenway along these roadways as shown on the Master Plan.

Multi-Modal Access

The location of the proposed greenways allow for the extension of Sam's Branch Greenway to Downtown to Legend Park and Municipal Park.

Please see the “Alternative Cross-Section” discussion in the “Access/Streets” section of this report, as well as the “Greenways and Sidewalks” discussion within the “Recreation and Open Space” section of this report for more information on multi-modal access.

Architecture/Design

Mix of Housing Types

While a range of housing types are included in the Master Plan, the exact mix and location of housing types is not intended to be finalized by this Master Plan. To ensure some mix of housing, a minimum of 10% of low, medium, and high density housing development is set by the Master Plan. Beyond this minimum, so long as a mix of housing types is included and the maximum number of units is not exceeded (mix to be chosen from the pre-established housing types in the Master Plan), the number of each type of housing may vary depending on market conditions, etc.

Design

Types of houses to be included in the development are noted on the regulating plan. A graphic architectural elevation of the building type is also included. The elevations are not intended as a set standard, but the final housing product will be required to be consistent with or exceed the style, quality, and materials shown in the graphics. It is required that architectural elevations of the housing types vary from home to home to ensure visual interest.

Setbacks and other Dimensional Standards

Dimensional standards (setbacks, building/house coverage, impervious limits) are set by the Master Plan and approved by the Town Council.

A Note on Townhomes

The UDC sets certain standards for townhome design if a garage is present. If the townhomes have garages, they will be required to meet Town of Clayton standards as addressed in Section 155.301(J) which sets standards such as garage width in relation to the home width. Driveway placement on each lot will also be required to meet the requirements of the UDC. Any requirements that pertain to townhome design will be addressed either through the final plat or site plan review process, as applicable.

Commercial

The commercial component will include architectural and contextual standards as indicated in the Master Plan and Regulating Plan. The development will have an Architectural Review Committee who will review the commercial architecture. Town Staff and Planning Board will also review the architecture and site layout as a part of a Major Site Plan approval.

Waivers/Deviations/Variances from Code Requirements

Per §155.706 of the UDC, the Town Council is authorized to waive certain requirements of §§ 155.600 through 155.607 if it is clear that adequate provisions for the type and intensity of the proposed use has been or will be provided, and there are special circumstances, such as unique characteristics of the lot and area, or strict interpretation of the requirements render the subdivision of the property not feasible or desirable. The UDC states that waivers should meet the following criteria:

1. The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located;

2. The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not generally applicable to other property;
3. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of this chapter are enforced; and
4. The purpose of the waiver is not based primarily upon financial consideration.

The following waivers have been requested by the applicant:

1. Waiver from the Town-approved cross-sections. Revised street Cross-Sections have been requested, as shown in the Master Plan.
 2. Waiver from §155.602(H), which requires sidewalks on both sides of all streets. Allow construction of 10 foot paved multi-use path / greenway on a linear foot-for-foot basis, in place of a fee-in-lieu.
 3. Waiver from §155.602(G) which states that “No residential street cul-de-sac serving lots less than 20,000 square feet in size shall exceed 700 feet in length.” The request is to allow a cul-de-sacs with a length greater than 700 feet to serve lots less than 20,000 square feet in size with approval from the Town of Clayton Fire Marshal.
-

CONSIDERATIONS

- The applicant is requesting approval of a Master Plan for the Steeplechase Planned Development. The Master Plan also acts as the preliminary subdivision plat and so the approval process is quasi-judicial.
 - This approval is subject to approval of PDD 2014-127 (Rezoning to PD-MU).
 - The final decision is made by the Town Council with recommendation from the Planning Board.
 - The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.
 - The applicant is requesting a wastewater allocation of 554,555 gallons per day phased in over time. The Wastewater Allocation must be approved by the Town Council.
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FINDINGS

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION

Staff is recommending:

- 1) Approval of the requested waivers.
- 2) Approval of the Wastewater Allocation request.
- 3) Approval of the Master Plan with the conditions listed below.

CONDITIONS:

1. Following Board approvals, three copies of the Master Plan / Preliminary Subdivision Plat meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. The development of the property is limited to the parameters established on the Master Plan and the Master Plan Document (regulating plan) as approved by the Town Council. Modifications to the approved Master Plan / Preliminary Subdivision Plan or Master Plan Document shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
3. The Master Plan / Preliminary Subdivision Plan is considered a preliminary plat. Individual phases are subject to final plat review with the exception that Condo/Apartment/Townhome areas that will not be further subdivided, and Commercial phases, shall be reviewed as a Major Site Plan.
4. The developer shall reserve the portion of the site shown as a “potential school site” for 18 months from the date of the approval. If developed as a school, the development of the school site will be reviewed as a Major Site Plan.
5. Neighborhood parks and recreational amenities, including the clubhouse site, shall be reviewed as Minor Site Plans prior to construction.
6. The clubhouse and trail system around the pond shall be permitted and under construction prior to the issuance of a Certificate of Occupancy for the 251st residential unit.
7. A combination of dedication and fee-in-lieu may be utilized to meet recreation and open space requirements. To meet requirements, additional recreation area must be dedicated or a recreation fee-in-lieu shall be required at the established rate to supplement the dedicated land (land considered Resource Conservation Areas does not count toward meeting recreation and open space requirements).
8. Annexation of any land not currently within Town Limits shall be required prior to Final Plat approval for the first phase of the development.
9. Development fees shall be paid prior to Final Plat approval for each phase. For phases requiring Site Plan review, fees shall be paid prior to issuance of building permits.
10. All traffic improvements required by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase (as shown on the overall phasing plan with the Master Plan Document/ Regulating Plan) that generates the need for the improvement. The necessary right-of-way for Covered Bridge Road (internal to the project), North O’Neil Street, and City Road shall be dedicated as a part of the first phase (as indicated in the Traffic Study Prepared by Davenport) of the development. The necessary right-of-way for Brookhill Drive and Covered Bridge Road (north of its intersection with North O’Neil Street) shall be dedicated as a part of the second phase (as indicated in the Traffic Study Prepared by Davenport) of the development.
11. All roof mounted and ground mechanical equipment not associated with single family detached residential development must be completely screened from view.
12. Five foot wide sidewalks or ten foot wide multi-use paths shall be installed along at least one side of all roadways within the development as identified in the Master Plan. Where sidewalks are on only one side of the road, the developer shall provide a minimum ten-foot wide paved greenway/multi-use trails

within the development on an equivalent basis based on cost. An Engineer's estimate which documents the cost allocations (in linear footage) between the deleted five foot concrete sidewalk and the proposed 10 foot asphalt multi-use path is required. Any cost shortage between the required five foot sidewalk and 10 foot multi-use path shall be paid as a fee-in-lieu.

13. All sidewalks and greenways shall be bonded or constructed prior to plat recordation for the associated phase, with the exception that the sidewalk in front of residential units may be installed prior to the issuance of a Certificate of Occupancy of the unit.
14. Internal greenways shall be constructed or bonded prior to the first Certificate of Occupancy for the associated phase.
15. All greenways shall meet Town of Clayton standards with a minimum paved width of 10 feet.
16. The acreage of recreation and open space, and active recreation areas identified in the Master Plan shall be considered minimum requirements and may not be reduced without approval by the Town Council. The recreation areas shall be constructed concurrent with the construction of the associated phase and shall be installed or bonded prior to issuance of a certificate of occupancy for that phase.
17. Where a greenway is placed in the same location as a required buffer, that buffer width shall be expanded by a minimum of 15 feet to accommodate the trail and required plantings.
18. A 10' greenway shall be constructed along one side of Covered Bridge Road and North O'Neil Street for the entire project frontage concurrent with necessary roadway improvements. A greenway shall also be constructed along the project frontage adjacent to City Road concurrent with or prior to the construction of a phase which abuts City Road, and shall be installed or bonded prior to issuance of a Certificate of Occupancy for that phase.
19. All required vegetated buffers and plantings, including street trees, shall be installed concurrently with construction of the associated phase of the development and shall be completely installed or bonded prior to issuance of a certificate of occupancy for that phase.
20. A mix of housing types shall be required at the minimum percentages set by the Master Plan and shall be selected from the list of housing type options presented in the Master Plan Document (regulating plan). In no case shall the overall project density exceed 4 units per acre.
21. A mix of housing elevations (variations in architectural features), styles, and colors along each block is required to ensure visual interest and variety. Housing elevations shall be submitted along with each final plat review and shall be reviewed to ensure consistency with the architectural standards presented in the Master Plan and requirement this condition of approval.
22. Final location and configuration of Cluster Mailbox Units (CBUs) shall be determined in the final plat/site plan review (as applicable) for each phase. CBU's are required to have vehicular access/parking, as well as sidewalk /pedestrian access and must be approved by the Planning Department and the United States Postal Service.
23. No more than 75 certificates of occupancy may be issued within the subdivision until the required secondary access has been constructed or bonded for construction.

24. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction.
25. Street tree species shall be approved by the Town Engineer and Town Planning Director as part of individual phase final plat / major site plan review.
26. A Master Sign Plan shall be required prior to installation or approval of any signage. All signs shall require review and approval pursuant to §155.713.
27. Final design of individual elements identified within the Regulating Plan (such as typical lighting, recreation, or architectural elevations) may be modified during individual phase review without need to modify the Regulating Plan, but shall be approved by staff and shall respect (or exceed) the intent and vision of the original approval/design shown in the Regulating Plan, including but not limited to quality, style, and materials. Modifications that are determined by the Planning Director not to meet or exceed the original intent or do not classify as “minor” modifications per the Unified Development Code shall require major review and approval.
28. The review and approval of project water, sewer, storm drainage and street construction drawings must be submitted to and approved by the Public Works Department.
29. Resource Conservation Areas as defined in Article 5 of the Unified Development Code shall remain undisturbed pursuant to standards of Article 5, and shall be shown on all plats as being permanently set aside pursuant to the UDC requirements.
30. Prior to site grading and construction activities, tree protection fencing shall be installed around all resource conservation areas. Once the tree protection fence is installed, it must be inspected by the Planning Department prior to construction activity.
31. A homeowners’ association (HOA) document shall be reviewed by staff and recorded prior to final plat of the first residential phase. The HOA document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Subdivision Findings of Fact
2. Zoning, Aerial, and Future Land Use Map
3. Application
4. Neighborhood Meeting Materials
5. Master Plan / Preliminary Subdivision Plan
6. Traffic Impact Analysis (TIA) executive summary (provided by applicant)
7. NCDOT TIA Analysis Recommendations
8. NCDOT TIA Analysis Recommendations followup letter
9. Wastewater Allocation request

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

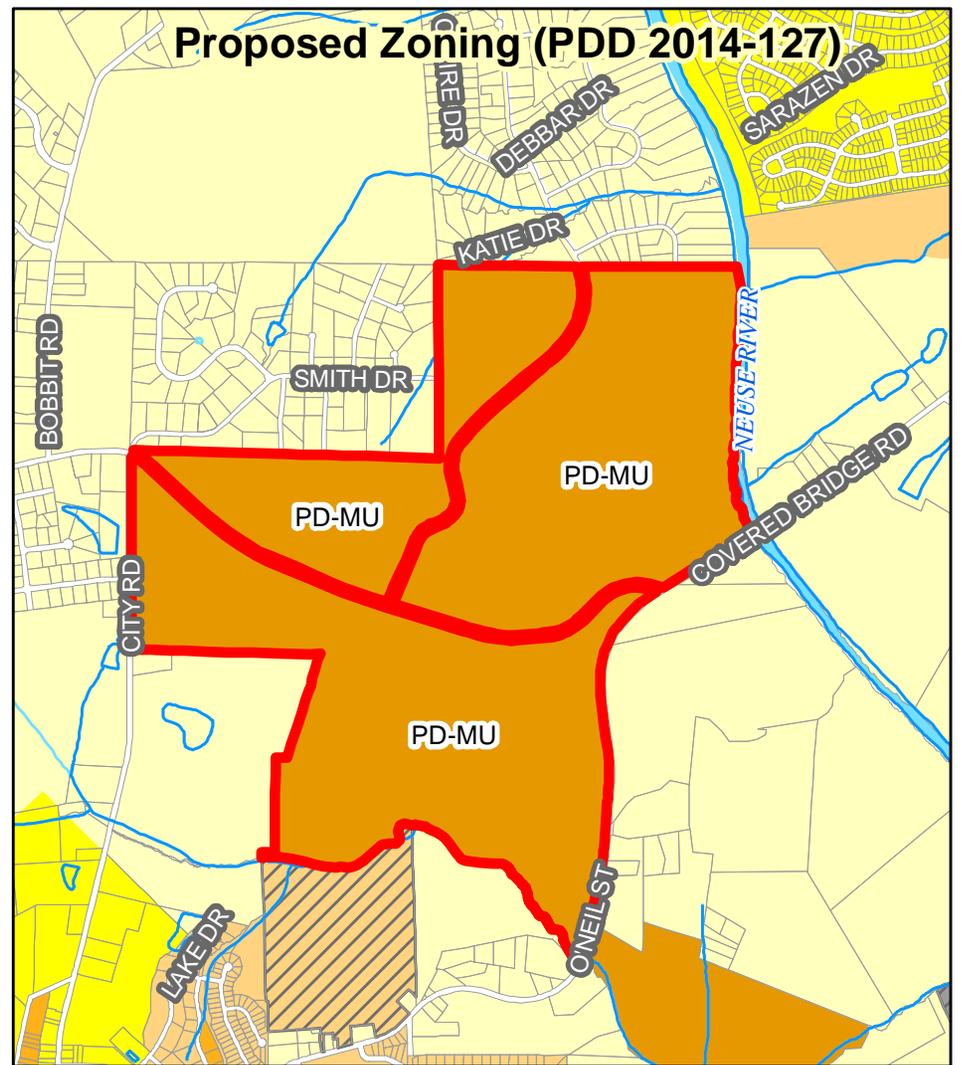
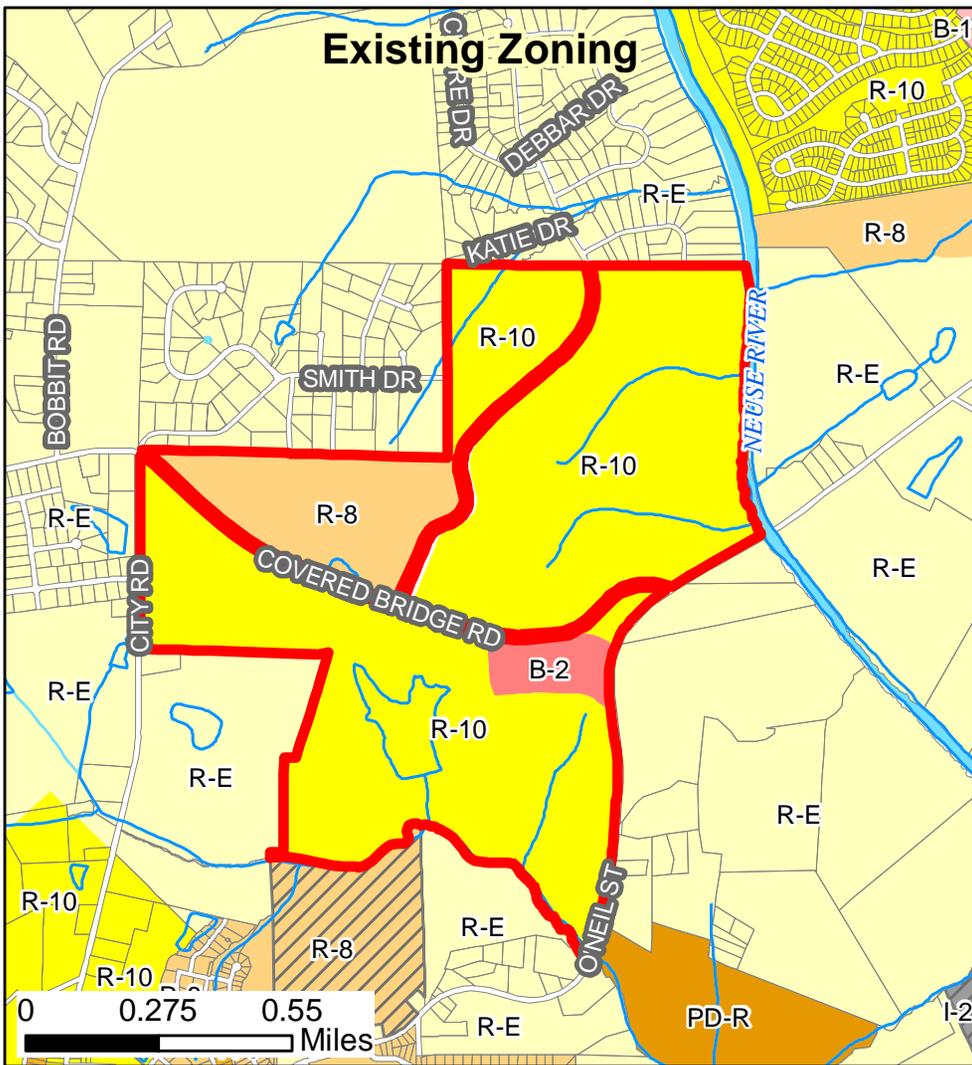
- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

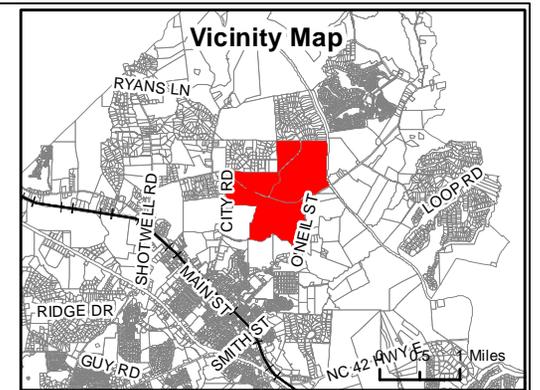
Produced by: TOC Planning

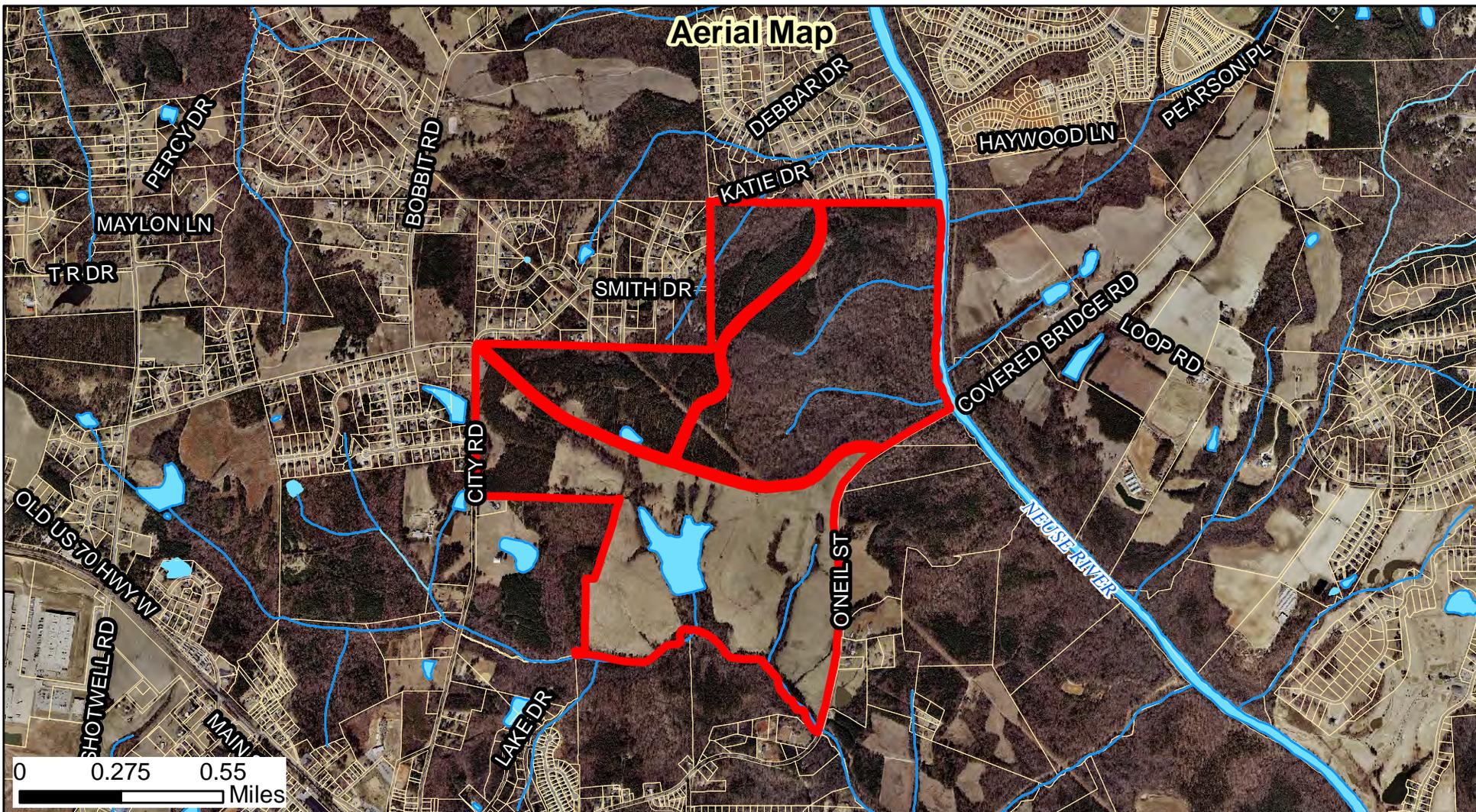
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				PD-C
				I-1
				I-2
				O-I
				PD-MU
				Special Use District





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

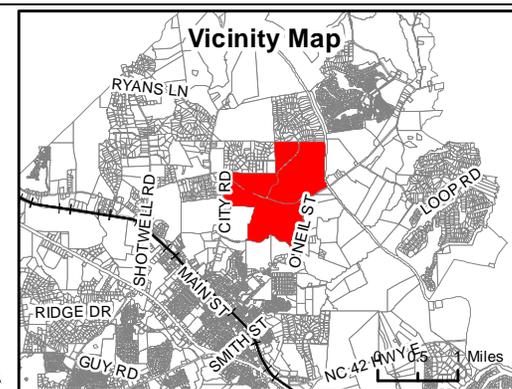
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14

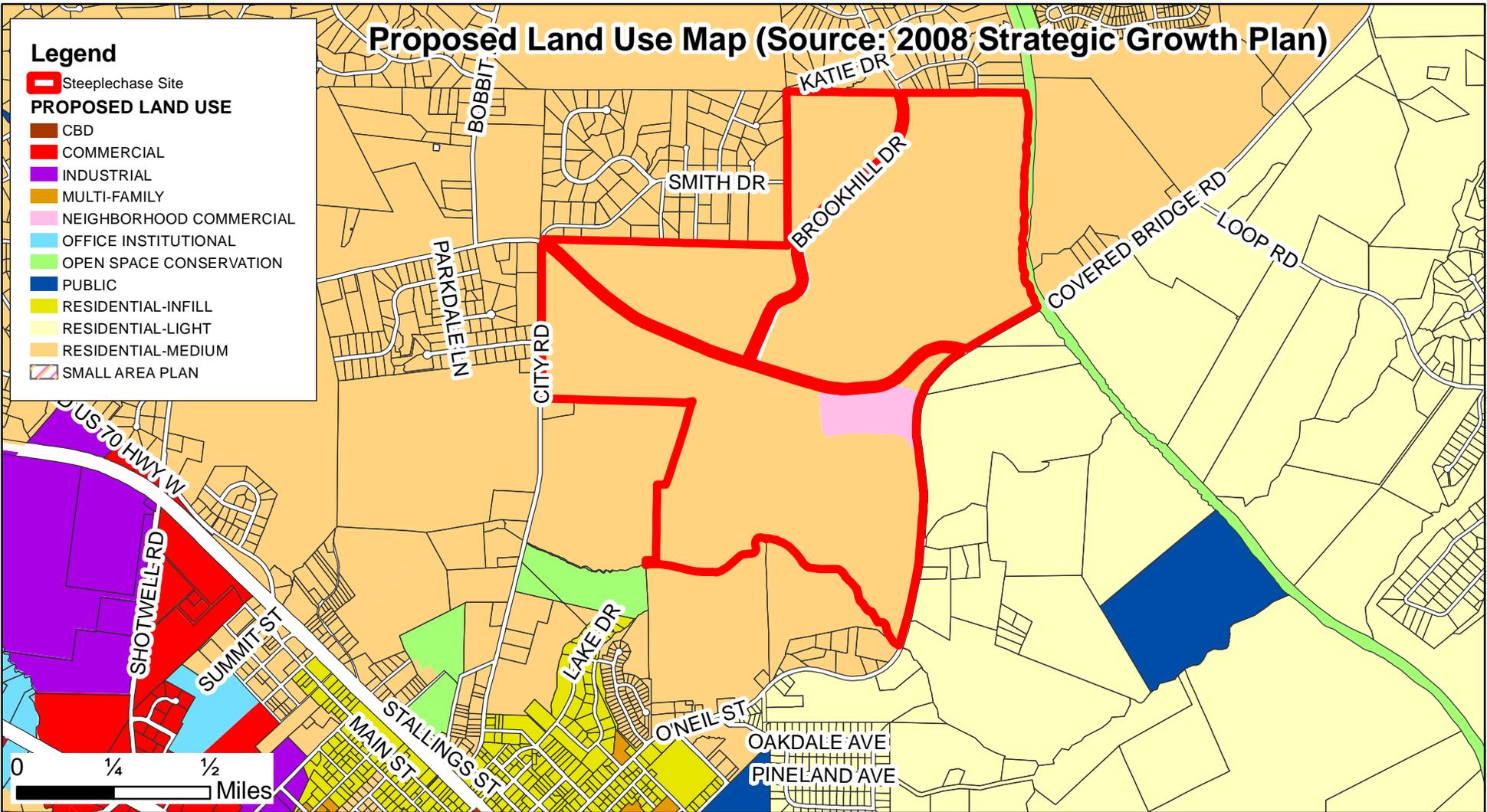


Legend

- SteepleChase_Site
- Water Features



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)



Proposed Land Use Map (Source: 2008 Strategic Growth Plan) Steepchase Planned Development Rezoning to PD-MU

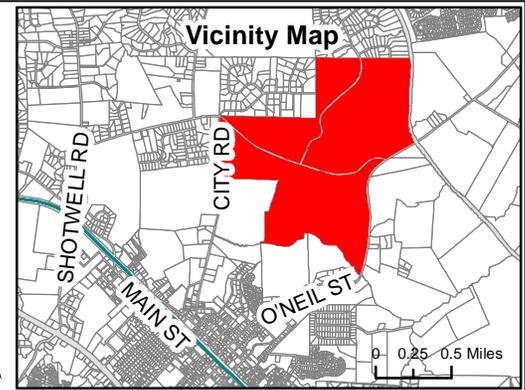
Applicant: Wake Development
 Property Owners: Earps
 Parcel ID Numbers:
 File Number: PDD 2014-127

Produced by: TOC Planning
 01/26/2015

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



Document Path: O:\PLANNING\SUBDIVISIONS\MAJOR SUBDIVISIONS\2014\PSD 2014-128 Steepchase Planned Development - master plan, preliminary plat\Maps\Staff Presentation Map - PSD2014-128 - FLUM.mxd



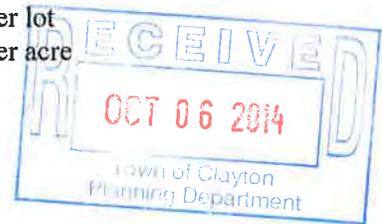


Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
 Subdivision Master Plan: \$700.00 + \$5.00 per acre
 Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified



See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: _____ *Open Space:* _____ Modification to Approved Preliminary Plat
Major: _____ *Minor:* _____
 New Subdivision Master Plan

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed)

Tag #: 05H02009 NC PIN: 066900-38-4997

Location: 1162 Covered Bridge Road, Clayton, NC 27520

Number of Lots (existing): 1 (Proposed) 2500 Min Lot Size: Single family 4500 SF

Zoning District: R-8, R-10 with WPOD and Neighborhood business Electric Provider: Town of Clayton

Wastewater: Septic Well
 Sewer (check one) Water: Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: 10/6/14 Amount Paid: _____ File Number: 2014-128

Fee not submitted w/ app.
 CEB

PROPERTY OWNER INFORMATION

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:** _____
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh NC 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

10/6/14 EB

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/30/14</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Completed Application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Review Fee	<input type="checkbox"/>			<input checked="" type="checkbox"/>	
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

At Final Plats

12. A signed and sealed Traffic Impact Analysis (if required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Neighborhood Meeting Notice Letter <i>See sample letter and meeting requirement, included in this packet. NOT REQUIRED FOR MINOR MODIFICATIONS.</i>	<input type="checkbox"/>	<input type="checkbox"/>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.
14. Neighborhood Meeting summary form <i>Included in this packet – NOT submitted with application. NOT REQUIRED FOR MINOR MODIFICATIONS</i>		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
 The request is to master plan 631.06 acres at 1162 Covered Bridge Road. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units. The club and amenity areas will be focused around the existing R. E. Earp pond and will form the core of the development. Development will begin south of covered bridge road and will move north of covered bridge in the future. A neighborhood commercial development will be located at the intersection of Covered Bridge Road and O'Neil Street.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
 Print Name

[Signature]
 Signature of Applicant

10-2-14
 Date

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.
 Note: Master Subdivision Plans will require fewer details than preliminary subdivision plats. Please speak with Planning staff to confirm plan requirements.

To be completed by the applicant:			Staff:
	Yes	N/A	
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 ⁴⁰⁰ feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each : Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<ul style="list-style-type: none"> - Electric Provider - Water Provider (or indicate if well) - Sewer Provider (or indicate if septic) - Impervious (existing and proposed, square feet and %) 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
24. Proposed streets are labeled, named and dimensioned. Street names must be approved by Town of Clayton. Correct street cross section detail provided. Label street type based on definitions in §155.602(D). If streets are private: <ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." 	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
25. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
26. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.) - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
29. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:			
31. "The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and associated racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Show how streets are projected to property lines to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input type="checkbox"/>	
36. Provide a plant list summary table which includes: - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
37. If common landscaped areas area provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
38. Location, species, and caliper of any existing trees that will remain on site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
40. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
44. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
46. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
53. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Any other information considered by either the applicant or the Town to be pertinent to the review. PD - HP DOCUMENT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Signed by Applicant:  Date: 10-06-'14
for Ken Thompson, PLA



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)
Raleigh NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley (Name - type, print clearly) 7020 NC 42 East (Address)
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard
 (Name - type, print clearly)

3100 SMOKE TREE CT
 (Address)
Raleigh NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp
 (Name - type, print clearly)

7230 NC 42 E
 (Address)

Nancy C Karp
 (Owner's Signature)

Selma, NC 27576
 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Joy Hill 2013	Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 Down Ct, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton, NC 27520
2	John Clarke	1415 Brook Hill Drive
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ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

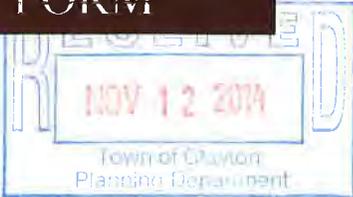
ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



STEEPLECHASE
Planned Development / Master Plan Document



Prepared for Town of Clayton
January 2015



Contents

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Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

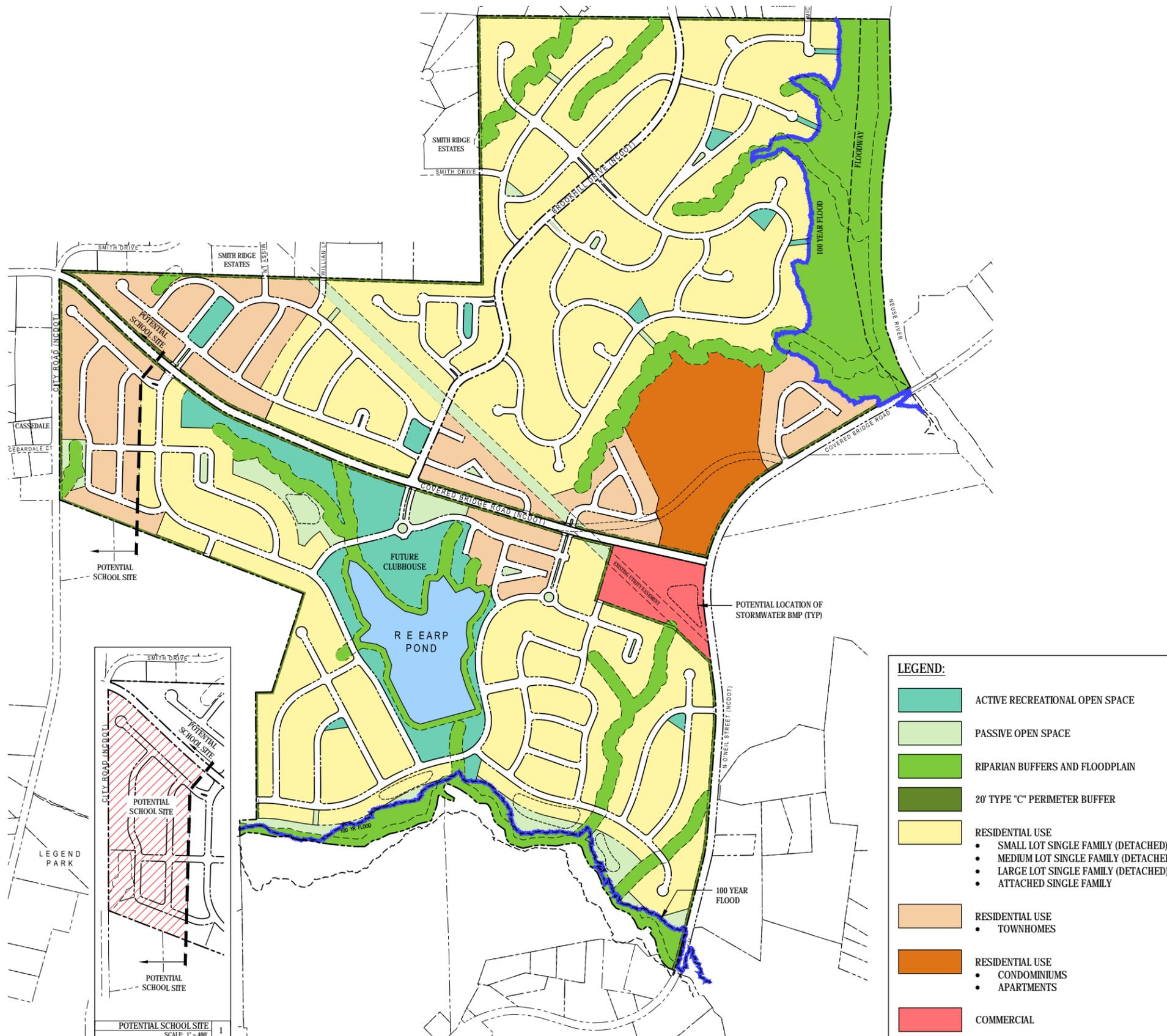
LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

USE	ACRES	% LAND AREA
RCA's (Riparian Buffers, Flood Plain, Pond)	+/- 111.19	+/- 17.62%
Recreation Open Space	+/- 65.08	+/- 10.31%
Residential uses	+/- 444.88	+/- 70.50%
Neighborhood retail	+/- 9.91	+/- 1.57%
Total	631.06	100%

SINGLE FAMILY RESIDENTIAL MINIMUM %	LOT WIDTH	% MINIMUM OF UNITS
Small Lot Single Family	40' and 50'	10%
Medium Lot Single Family	50' and 60'	10%
Large Lot Single Family	60' and greater	10%

*Does not include Townhomes, Condos or Apartments



Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

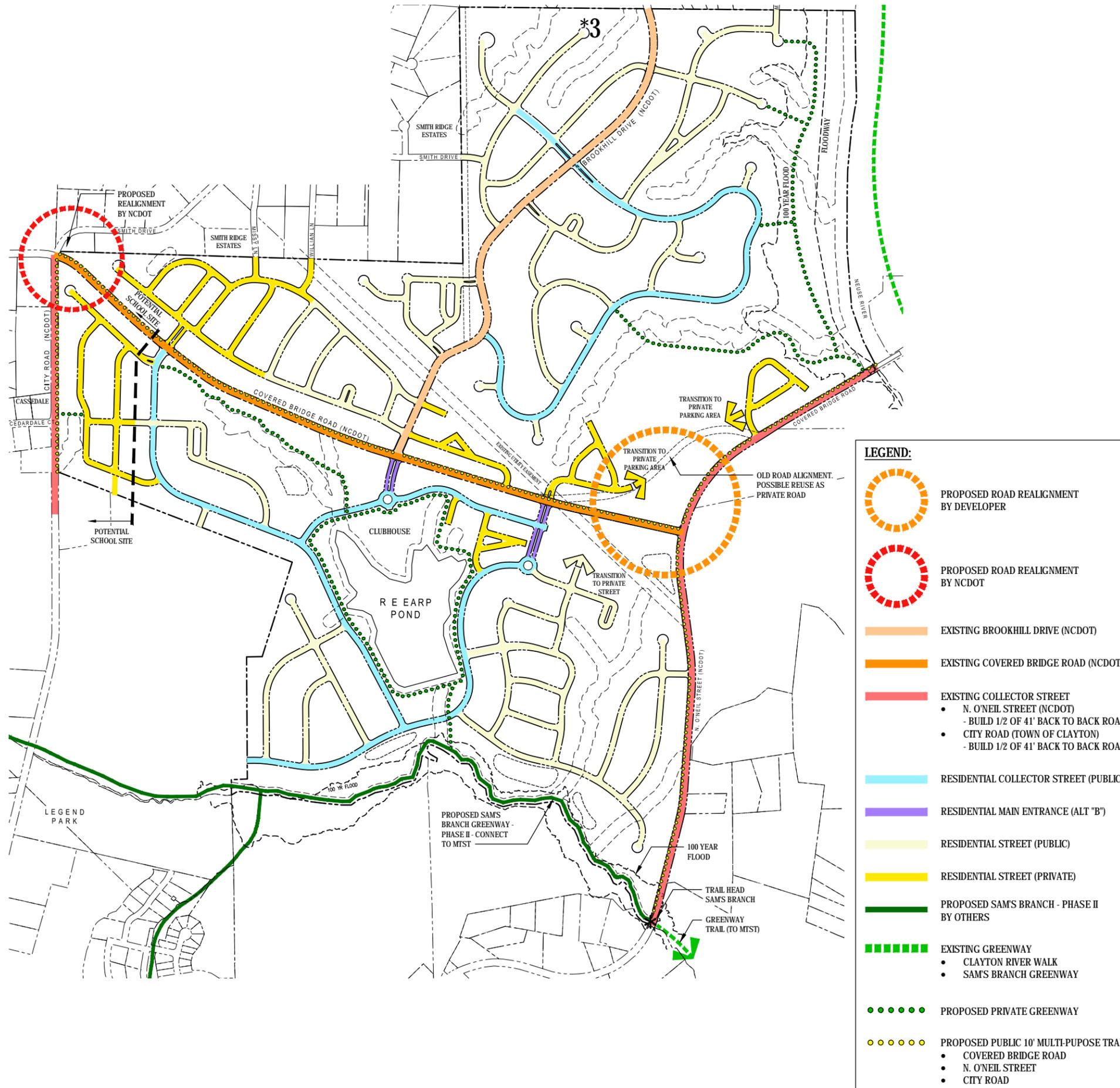
STREETS

The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets provides options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 8). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

SIDEWALKS AND STREET YARDS

Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.



Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCA's). RCA's are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCA's is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

REQUIRED RECREATION & OPEN SPACE

519.87 AC x 12.5% = 64.98 AC

REQUIRED ACTIVE RECREATION SPACE

64.98 ac x 25% = 16.245 AC

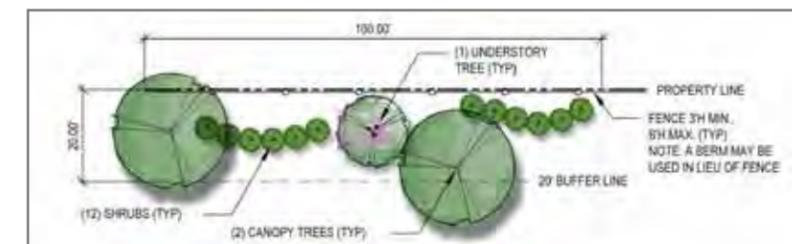
REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%

OPEN SPACE PROVIDED

Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%

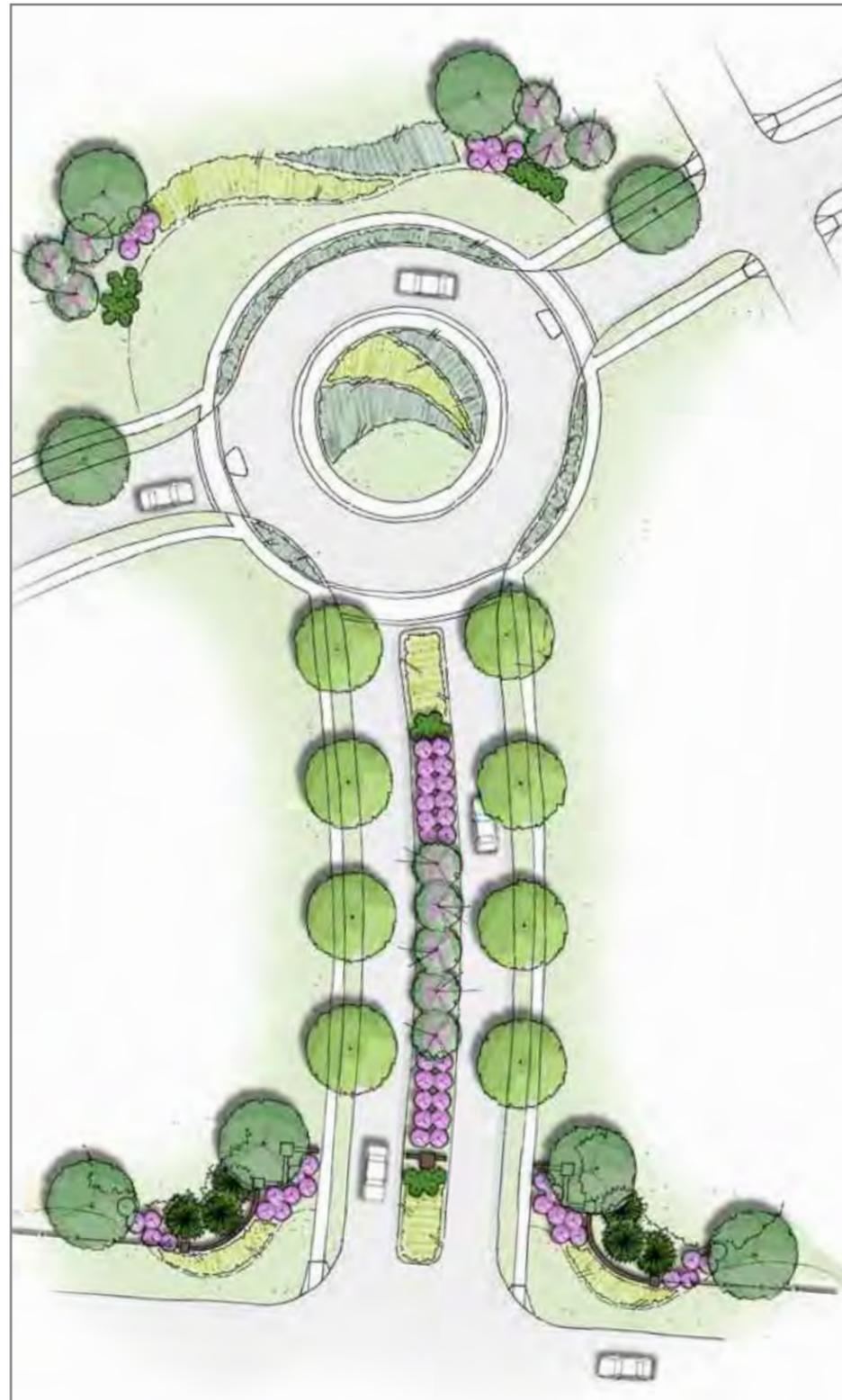
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public	+/- 12,700 LF (127,000 SF / 2.91 AC)
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)



PERIMETER LANDSCAPE BUFFER: CLASS C (typical)





**ENTRY FEATURE /
ROUNDAABOUT (TYPICAL)**

DESIGN ELEMENTS

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
 - (+/- 16) Trees
 - (+/- 75) Shrubs

Recreation and Open Space

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

ROUND-ABOUTS

Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

GREENWAY TRAIL AND SCENIC OVERLOOK

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)

DESIGN ELEMENTS

1. Trail
2. Seating



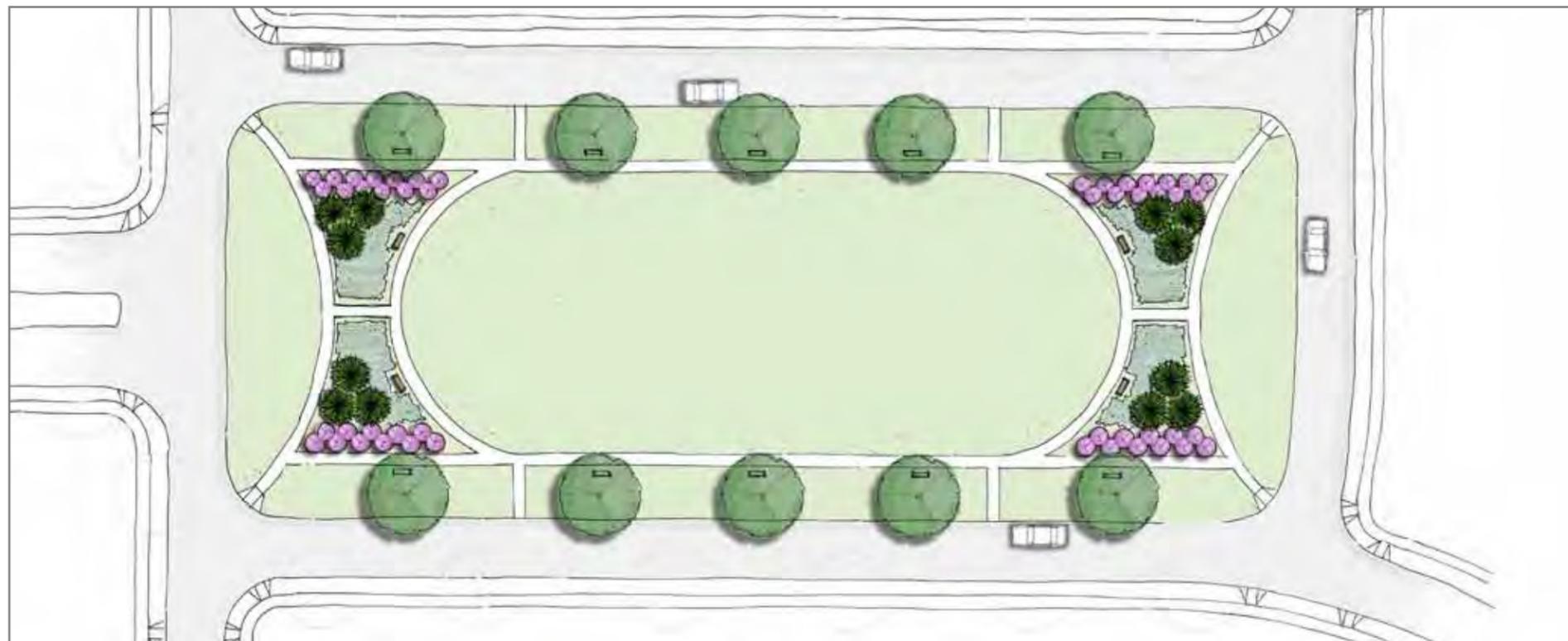
POCKET PARKS

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

"TOT LOT" (TYPICAL)

DESIGN ELEMENTS

- 1. Seating
- 2. Play Structure
- 3. Landscaping



POCKET PARK (TYPICAL)

DESIGN ELEMENTS

- 1. Seating
- 2. Sidewalk
- 3. Landscaping

Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum of 4,500 square feet. Single family homes should be clustered together throughout the community.

LOT STANDARDS

1. Lot standards shall be as follows:
 - a. The minimum lot size shall be 4,500 square feet and no maximum is established.
 - b. The minimum lot width shall be 40' and no maximum is established.
 - c. The minimum lot depth shall be 100' and no maximum is established.
 - d. The maximum lot coverage shall be 70%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	10'
Side Interior Setback	4'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	35'
Accessory	5'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

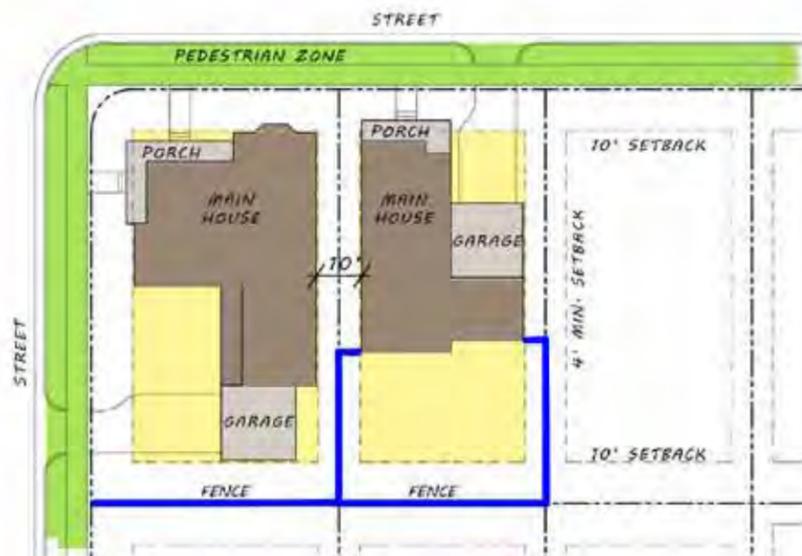
PERMITTED USES AND DIMENSIONAL STANDARDS

1. Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and maybe alley loaded. They may also have accessory apartments and/or living spaces above.
2. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
3. Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
4. Fences may be located on the property line (0' setback).

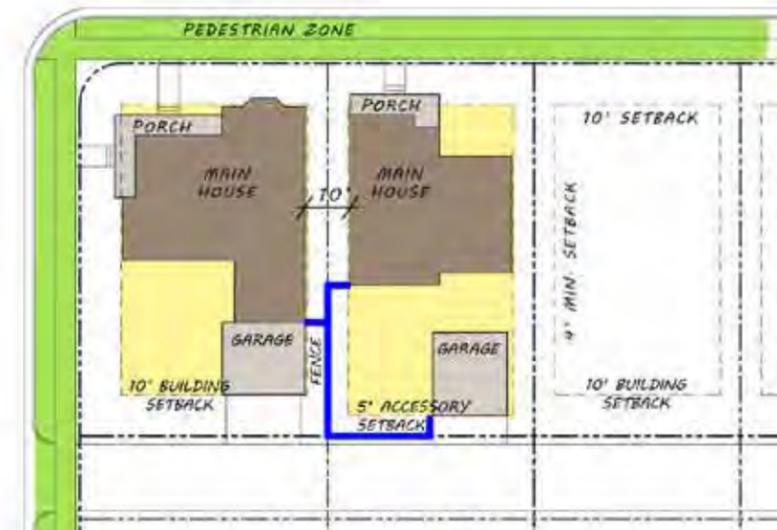
5. Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. Front porches should be no less than 5' in depth and may be at grade.
3. All single family detached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Single Family - Street Access



Lot Type: Single Family - Alley Access



Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 1,000 square feet and no maximum is established.
 - b. The minimum lot width shall be 16' and no maximum is established.
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 70%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	5'
Side Interior Lot Setback	0'
Side Street Setback - Minimum	5'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	45'
Accessory	5'
3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

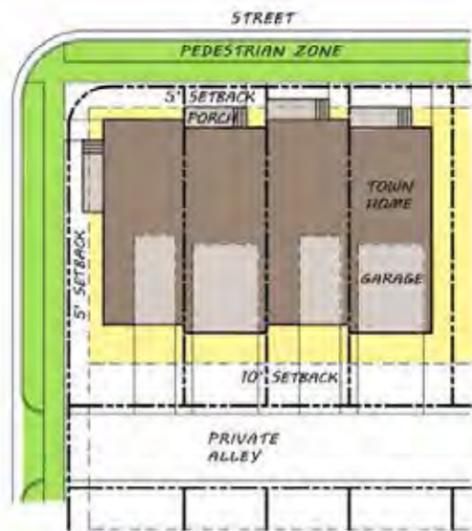
4. The buildable zone is the area defined and bounded by the setbacks on all property lines.
5. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
6. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

PERMITTED USES AND DIMENSIONAL STANDARDS

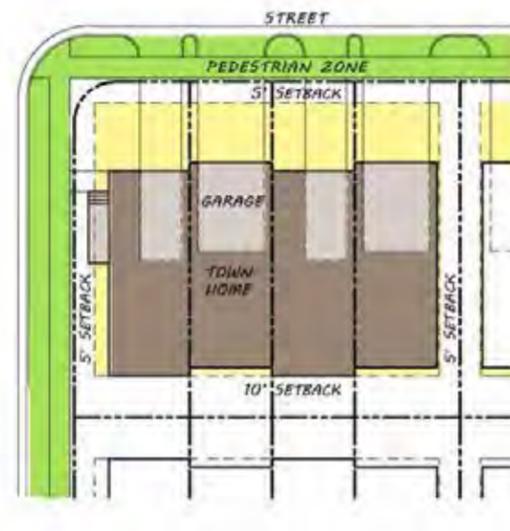
1. Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and maybe be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.
2. Party walls shall be fire rated in accordance with international building code.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

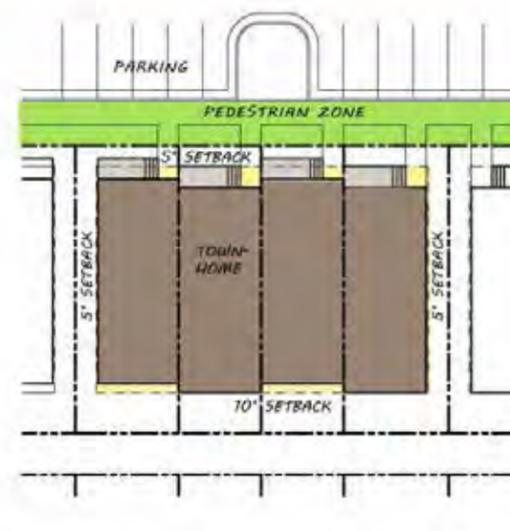
1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. There is no minimum lot size established.
- b. There is no minimum lot width established.
- c. There is no minimum lot depth established.
- d. The maximum lot coverage shall be 80%
- e. The maximum lot impervious area shall be 80%

2. Setbacks shall be as follows:

Front Setback - Minimum	0'
Side Interior Lot Setback	5' (20' min. between buildings)
Side Street Setback - Minimum	0'
Rear Setback - Minimum	5'
Height - Maximum	55'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Minimum building to building separation is 20'
5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.
6. The buildable zone is the area defined and bounded by the setbacks on all property lines.
7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips
8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

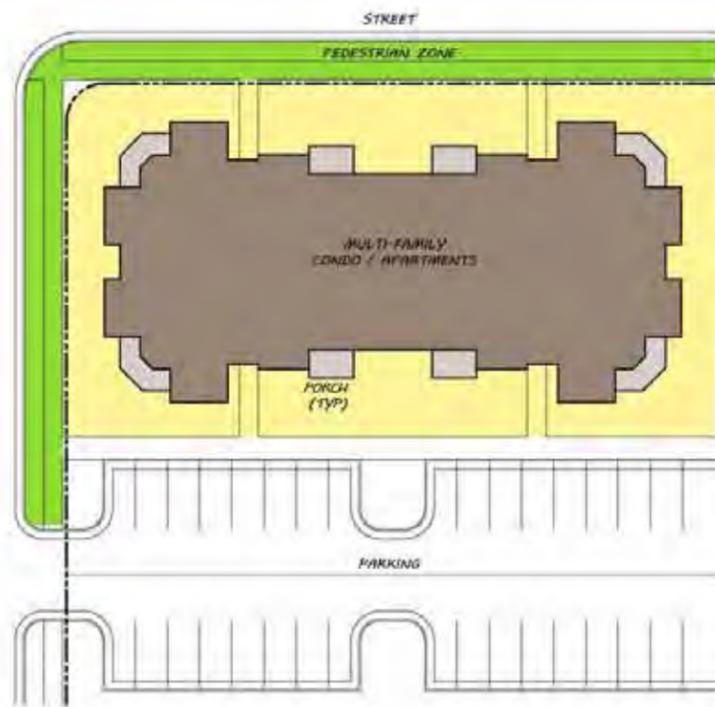
PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.
2. Party walls shall be fire rated in accordance with international building code.
3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

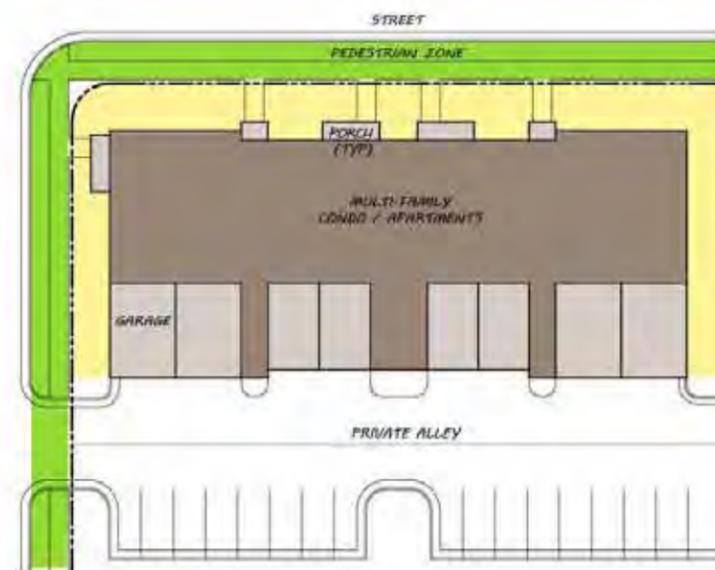
4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in .

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. Balconies or porches are shall be encouraged.
3. All multi- family units will require review by the Architectural Review Committee (see page 12).



Lot Type: Multi-Family - Surface Parking



Lot Type: Multi-Family - Alley Access



Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenway connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. There is no minimum lot size established.
 - b. There is no minimum lot width established.
 - c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

Front Setback - Minimum	15'
Side Interior Lot Setback	5' (10' min. between buildings)
Side Street Setback - Minimum	10'
Rear Setback - Minimum	5'
Height - Maximum	45'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Building entrances should be developed as pedestrian plazas for gatherings.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line but may also include an area along the edge of a public space. The pedestrian zone will include minimum 5' sidewalks and planting strips along building fronts.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.
8. Parking and service areas should be located towards the sides or rear of buildings. Where site conditions or other limiting circumstances result in a building fronting a upon a parking area, a pedestrian zone shall be provided from the back of curb to the outer edge of the sidewalk in a similar manner to that provided along a street.
9. Multi-purpose trails, outdoor seating and other spaces, i.e. docks, viewing areas, etc. maybe provided along the waterfront.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.
5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. All single community buildings will require review by the Architectural Review Committee (see page 12).



Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 6,000 square feet
 - b. The minimum lot width shall be 50'
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 75%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	20'
Side Interior Lot Setback	10'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	20'
Zero Lot Line Side Setback	0'
Height - Maximum	80'

PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).



Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.
- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)
- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.
- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.
- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.
- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

Phasing

OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251st residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

DEVELOPMENT NAME CHANGE

The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

Appendix

COVER	SHEET 0
EXISTING CONDITIONS	SHEETS 1-3
MASTER PLAN	SHEET 4
PHASING PLAN	SHEET 5
OPEN SPACE PLAN	SHEET 6
VEHICULAR AND PEDESTRIAN PLAN	SHEET 7
STREET WAIVER REQUESTS	SHEET 8
SANITARY SEWER PRELIMINARY EVALUATION DETAIL	SHEET 9



Know what's below.
Call before you dig.

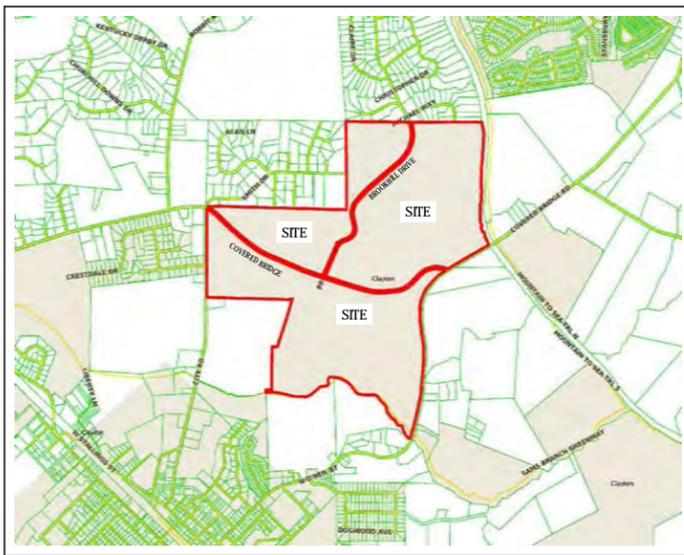
PSD 2014-128 & PDD 2014-127

Preliminary Plat Review (Major Subdivision)

1st Submittal: October 01, 2014
2nd Submittal: October 24, 2014
3rd Submittal: November 10, 2014
4th Submittal: January 7, 2015
5th Submittal: January 14, 2015
6th Submittal: January 20, 2015

Steeplechase Subdivision

1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

Vicinity Map	Project Team	Notes	Sheet Index												
 <p>PIN NUMBER(S): 166900-38-4997 DEED: BOOK 03897, PAGE 0735 SITE ARE: 27,488.974 SF/631.06 AC (ASSESSED ACREAGE); 27,488.102 SF/631.04 AC (CALC. ACREAGE) ZONING(S): R-8 & R-10, NEIGHBORHOOD BUSINESS (B-2) HORIZONTAL AND VERTICAL DATUM: NAD 83 F & NAVD 88 F</p>	<p>OWNER: <i>Nancy Crews Earp & Mary Earp Worley</i> 7230 NC 42 East Selma, North Carolina 27576 919-965-5793 & 919-915-1515 nancyearp@bellsouth.net winkworley@gmail.com</p> <p>DEVELOPER: <i>Galaxy NC, LLC</i> c/o Wakefield Development Company 3100 Smoketree Court, Suite 210 Raleigh, North Carolina 27604 919-556-4310 919-556-0690 (fax) kem@wakedev.com</p> <p>CONSULTANTS: <i>landscape architect</i> JDavis Architects, PLLC 510 Glenwood Avenue, Suite 201 Raleigh, North Carolina 27603 919-835-1500 919-835-1510 (fax) kent@jdavisarchitects.com</p> <p><i>landscape architect</i> Jerry Turner & Associates, INC 905 Jones Franklin Road Raleigh, North Carolina 27606 919-851-7150 919-851-7547 (fax) whood@jerryturnerassoc.com</p> <p>engineer <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Moore@McAdamsCo.com</p> <p>surveyor <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Frederick@McAdamsCo.com</p> <p>traffic engineer <i>Davenport</i> 305 West Forth Street, Suite 2A Winston-Salem, North Carolina 27101 336-744-1636 336-458-9377 (fax)</p> <p>Environmental <i>Spangler Environmental, INC</i> 4338 Bland Road Raleigh, North Carolina 27609 919-875-4288 919-546-0757 (fax)</p>		<p>COVER _____ 0 EXISTING CONDITIONS PLAN _____ 1-3 EXISTING CONDITIONS PLAN _____ 2-3 EXISTING CONDITIONS PLAN _____ 3-3 MASTER PLAN _____ 4 PHASING PLAN _____ 5 RECREATION & OPEN SPACE PLAN _____ 6 VEHICULAR & PEDESTRIAN CIRCULATION PLAN _____ 7 STREET WAIVER REQUESTS _____ 8</p> <p>PROJECT: WDC-14080 10.01.2014 ISSUE: Preliminary Plat Review 10.01.2014</p> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th></th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1st Review Comments</td> <td>10.24.2014</td> </tr> <tr> <td>2nd Review Comments</td> <td>11.10.2014</td> </tr> <tr> <td>3rd Review Comments</td> <td>01.07.2015</td> </tr> <tr> <td>4th Review Comments</td> <td>01.14.2015</td> </tr> <tr> <td>5th Review Comments</td> <td>01.20.2015</td> </tr> </tbody> </table> <p>DRAWN BY: SB CHECKED BY: KT CONTENT: COVER</p>		DATE	1st Review Comments	10.24.2014	2nd Review Comments	11.10.2014	3rd Review Comments	01.07.2015	4th Review Comments	01.14.2015	5th Review Comments	01.20.2015
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5th Review Comments	01.20.2015														

1/20/2015 2:38 PM P:\User1\14080-Covered_Bridge_Assessment\Working_Files-UP\Map\14080-Covered1.dwg

J DAVIS ARCHITECTS
310 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500 | Fax 919.835.1510
PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, North Carolina 27520



Preliminary Plat Review
(Major Subdivision)
Not for Construction



VICINITY MAP
NOT TO SCALE

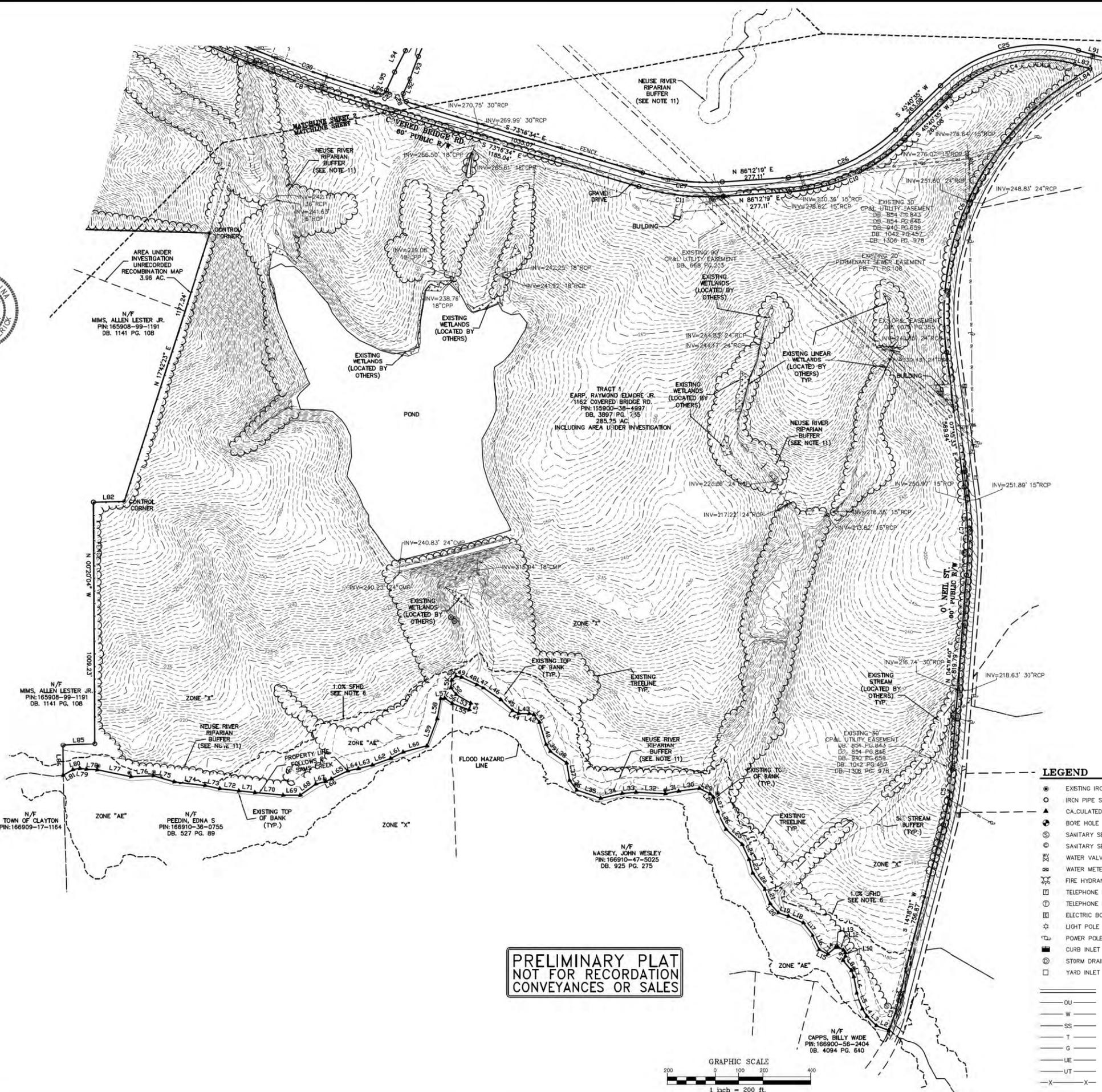
I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS

DAY OF _____ A.D. 2014.

RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (1)(1)(c). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

RONALD T. FREDERICK PLS L-4720



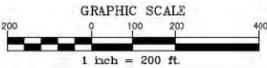
GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY FEMA FIRM COMMUNITY PANEL #372016900J & 372017600J DATED DECEMBER 2, 2005
- REFERENCES: PG. 8 PG. 73 & DB. 3897 PG. 735 OF THE JOHNSTON COUNTY REGISTRY. PIN: 165900-48-9997
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER RIPARIAN BUFFERS MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL)

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER W/WHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
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- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- DU — STORM DRAIN PIPE
- W — OVERHEAD UTILITY LINES
- W — WATER LINE
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- UT — UNDERGROUND TELEPHONE
- X — FENCE



THE JOHN R. MCADAMS
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2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-02893
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REVISIONS:

NO.	DATE	DESCRIPTION

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

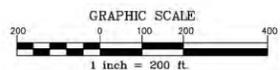
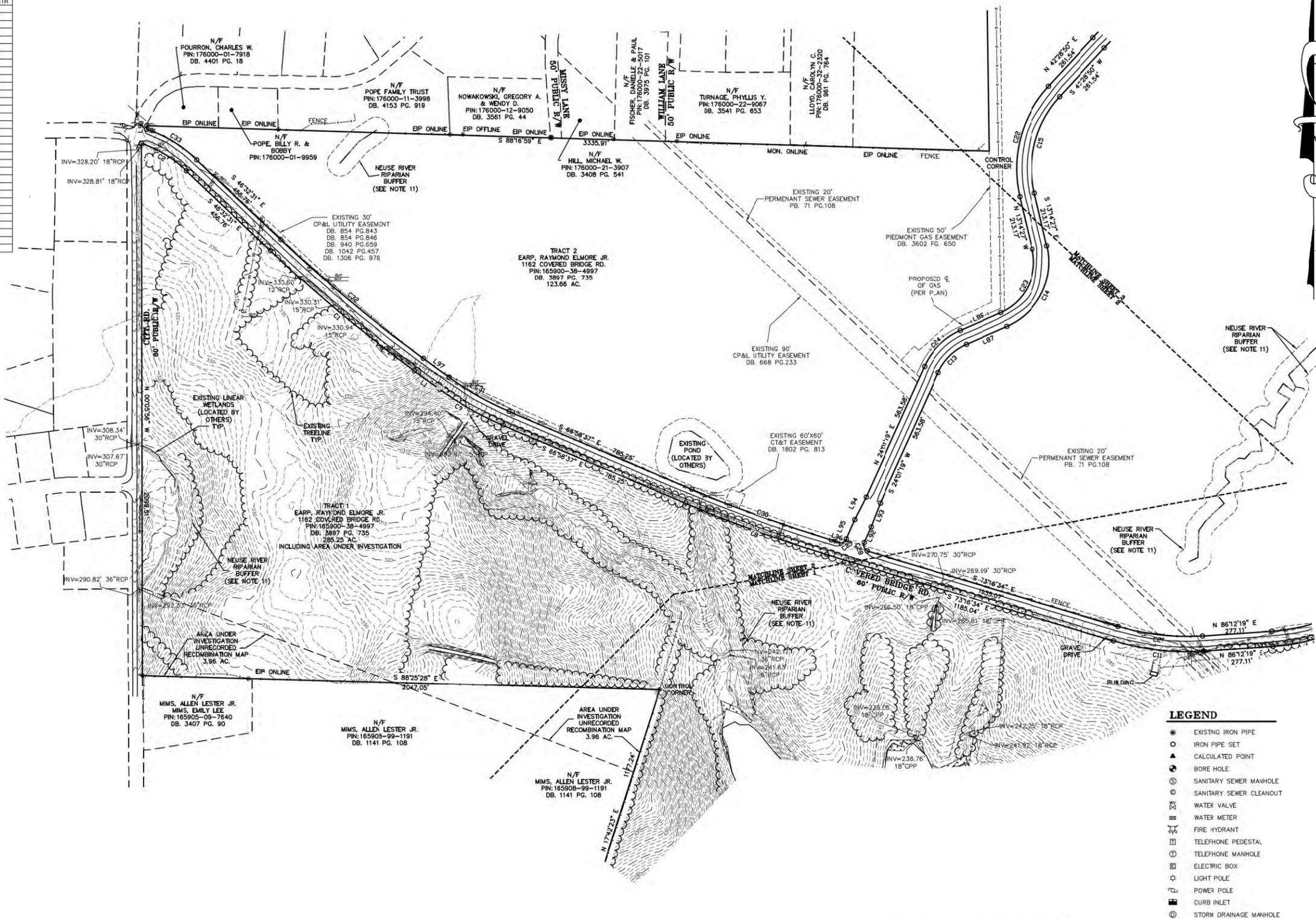
PROJECT NO.	WDL14000
FILENAME:	WDL14000-C1
SURVEYED BY:	RTF
DRAWN BY:	JBT
SCALE:	1"=200'
DATE:	10-29-2014
SHEET NO.	1-3

GENERAL NOTES

1. SEE LINE AND CURVE TABLES THIS SHEET
2. SEE SHEET 1 FOR GENERAL NOTES

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5850.00'	743.38'	S 50°10'56" E	742.89'
C2	490.00'	208.52'	N 58°43'58" W	206.95'
C3	1060.00'	130.94'	N 17°50'51" E	130.86'
C4	536.30'	563.06'	S 75°45'12" W	537.55'
C5	1320.00'	229.78'	N 09°17'53" E	229.49'
C6	1165.00'	1341.49'	S 25°23'43" W	1268.60'
C7	1770.00'	367.74'	N 01°38'27" W	367.08'
C8	5430.00'	593.47'	S 70°08'42" E	593.18'
C9	1250.00'	286.98'	S 60°23'59" E	286.35'
C10	766.00'	541.84'	N 05°36'27" E	530.61'
C11	1005.00'	359.91'	S 03°32'07" E	357.99'
C12	220.00'	160.96'	S 44°58'32" W	157.39'
C13	280.00'	386.96'	N 26°20'59" E	356.89'
C14	420.00'	408.46'	S 14°37'12" W	392.55'
C15	1170.00'	150.20'	S 46°09'30" W	150.10'
C16	1230.00'	318.44'	N 42°24'53" E	317.25'
C17	880.00'	828.39'	N 08°01'31" E	798.14'
C18	820.00'	793.21'	N 07°16'53" E	762.65'
C19	1170.00'	303.10'	N 42°24'53" E	302.25'
C20	1830.00'	157.91'	S 46°09'30" W	157.80'
C21	480.00'	466.81'	S 14°37'12" W	448.63'
C22	220.00'	304.03'	N 26°20'59" E	280.41'
C23	280.00'	204.85'	S 44°58'32" W	200.31'
C24	596.30'	626.05'	S 75°45'12" W	597.69'
C25	706.00'	499.40'	N 05°36'27" E	489.05'
C26	945.00'	338.42'	S 03°32'07" E	336.62'
C27	250.00'	37.96'	S 19°28'31" E	34.41'
C28	250.00'	27.51'	N 50°46'53" E	26.14'
C29	5370.00'	586.92'	S 70°08'42" E	586.62'
C30	1190.00'	273.21'	S 60°23'59" E	272.61'
C31	5790.00'	735.76'	S 50°10'56" E	735.26'
C32	530.00'	234.05'	N 58°43'58" W	232.29'

LINE	BEARING	DISTANCE
L1	N 53°49'21" W	125.41'
L2	S 68°22'48" E	54.82'
L3	S 45°00'04" E	55.30'
L4	S 31°01'56" E	35.81'
L5	S 21°35'11" E	71.21'
L6	S 10°46'33" E	69.38'
L7	S 20°18'57" E	27.57'
L8	S 39°28'49" E	54.26'
L9	S 30°18'17" W	19.74'
L10	S 03°25'08" E	15.80'
L11	S 32°52'53" E	12.50'
L12	S 63°36'45" E	25.28'
L13	N 88°22'42" E	9.46'
L14	N 48°48'30" E	42.88'
L15	S 62°17'19" E	40.34'
L16	S 25°28'51" E	68.84'
L17	S 37°32'55" E	64.95'
L18	S 65°49'20" E	66.77'
L19	S 70°20'45" E	44.26'
L20	S 41°43'41" E	50.71'
L21	S 22°10'52" E	65.37'
L22	S 36°58'10" E	84.09'
L23	S 14°58'39" E	59.02'
L24	S 24°21'23" E	68.05'
L25	S 46°14'39" E	92.25'
L26	S 28°18'23" E	63.28'
L27	S 17°41'06" E	61.58'
L28	S 43°38'40" E	20.09'
L29	S 62°50'21" E	49.48'
L30	S 82°17'59" E	86.87'
L31	N 70°17'57" E	67.40'
L32	S 87°03'50" E	122.72'
L33	N 85°03'51" E	57.26'
L34	N 77°00'51" E	90.83'
L35	S 71°47'00" E	108.59'
L36	S 35°43'08" E	85.80'
L37	S 09°25'19" E	72.95'
L38	S 54°19'50" E	84.79'
L39	S 31°07'13" E	34.06'
L40	S 16°40'18" E	98.00'
L41	S 36°01'29" E	38.80'
L42	S 77°32'10" E	19.64'
L43	S 89°22'39" E	44.35'
L44	S 65°23'15" E	27.92'
L45	S 47°04'21" E	68.54'
L46	S 55°50'55" E	87.81'
L47	S 62°48'31" E	29.70'
L48	S 65°02'29" E	71.02'
L49	S 77°48'47" E	24.70'
L50	N 45°06'00" E	24.51'
L51	N 08°23'27" E	31.73'
L52	N 38°27'00" W	35.79'
L53	N 59°28'45" W	71.72'
L54	N 13°37'28" E	28.25'
L55	S 69°33'57" E	76.68'
L56	S 54°46'22" E	37.78'
L57	N 83°46'40" E	16.73'
L58	N 10°10'06" E	85.68'
L59	N 20°09'29" E	122.53'
L60	N 75°31'08" E	103.55'
L61	N 62°57'11" E	58.40'
L62	N 70°05'52" E	80.21'
L63	N 75°47'12" E	61.28'
L64	N 77°51'09" E	46.17'
L65	N 63°46'59" E	75.51'
L66	N 64°46'25" E	28.12'
L67	N 76°28'40" E	43.61'
L68	N 53°48'52" E	79.19'
L69	S 89°58'29" E	72.73'
L70	S 84°41'21" E	117.79'
L71	S 84°03'12" E	68.10'
L72	S 83°05'53" E	80.01'
L73	S 77°52'22" E	62.52'
L74	S 83°23'33" E	130.27'
L75	S 73°28'38" E	90.61'
L76	N 87°44'54" E	93.77'
L77	S 78°45'25" E	144.94'
L78	S 86°29'45" E	44.76'
L79	S 83°27'49" E	27.87'
L80	N 78°58'30" E	29.29'
L81	N 59°40'56" E	47.26'
L82	N 88°47'08" E	129.50'
L83	S 74°10'10" E	66.56'
L84	S 58°23'00" W	68.68'
L85	N 87°30'58" E	132.30'
L86	N 00°29'04" W	126.60'
L87	S 65°56'25" W	175.32'
L88	N 65°56'25" E	175.32'
L89	S 27°17'20" E	193.81'
L90	S 26°51'53" E	18.08'
L91	S 74°10'10" E	121.21'
L92	S 24°01'19" W	67.23'
L93	S 21°09'34" W	100.12'
L94	N 26°53'04" E	100.12'
L95	N 24°01'19" E	82.37'
L96	S 73°18'34" E	43.63'
L97	N 53°49'21" W	125.41'
L98	S 05°44'14" W	14.80'



**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
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- OU — OVERHEAD UTILITY LINES
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- UT — UNDERGROUND TELEPHONE
- X — X — FENCE

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2905 Meridian Parkway
Durham, North Carolina 27713
License No. C-0285
(800) 755-5646 • McAdamsCo.com



REVISIONS:

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKEFREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

PROJECT NO. WDL-14000
FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 2-3

GENERAL NOTES

- SEE SHEET 2 FOR LINE AND CURVE TABLES.
- SEE SHEET 1 FOR GENERAL NOTES.

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
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- X — FENCE LINE

NC GRID NAD 83(2011)

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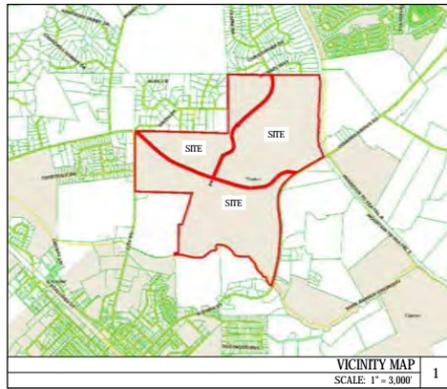
REVISIONS:

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

PROJECT NO.	WDL-14000
FILENAME	WDL14000-C1
SURVEYED BY	RTF
DRAWN BY	JBT
SCALE	1"=200'
DATE	10-29-2014
SHEET NO.	3-3

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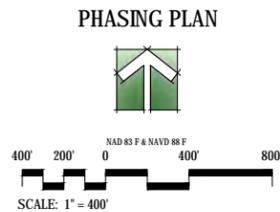


VICINITY MAP
SCALE: 1" = 3,000'



NOTES:
THE CLUBHOUSE PERMIT SHALL BE REQUIRED PRIOR TO THE 251ST BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 9.95
3	+/- 19.23
4	+/- 7.11
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 9.52
13	+/- 13.27
14	+/- 11.06
15	+/- 34.64
16	+/- 26.84
17	+/- 12.35
18	+/- 16.06
19	+/- 10.78
20	+/- 13.79
21	+/- 19.61
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 14.45
33	+/- 26.13
34	+/- 12.97
35	+/- 18.63
36	+/- 54.25
FUTURE	+/- 13.51
TOTAL	+/- 637.00



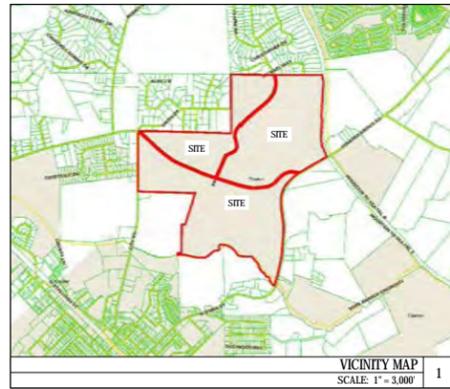
J DAVIS ARCHITECTS
310 Oldwood Ave., Suite 201 | Raleigh, NC 27605 | Tel: 919.855.1500 | Fax: 919.855.1510
PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520



Preliminary Plat Review
(Major Subdivision)
Not for Construction

PROJECT:	WDC-14080	DATE:	10.01.2014
ISSUE:	Prelim. Plat (Maj Sub)	DATE:	10.01.2014
REVISIONS:	1st Review Comments	DATE:	10.24.2014
	2nd Review Comments	DATE:	11.10.2014
	3rd Review Comments	DATE:	01.07.2015
	4th Review Comments	DATE:	01.14.2015
	5th Review Comments	DATE:	01.20.2015
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	PHASING PLAN		



VICINITY MAP
SCALE: 1" = 3,000'



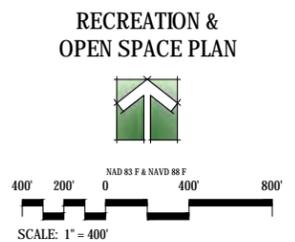
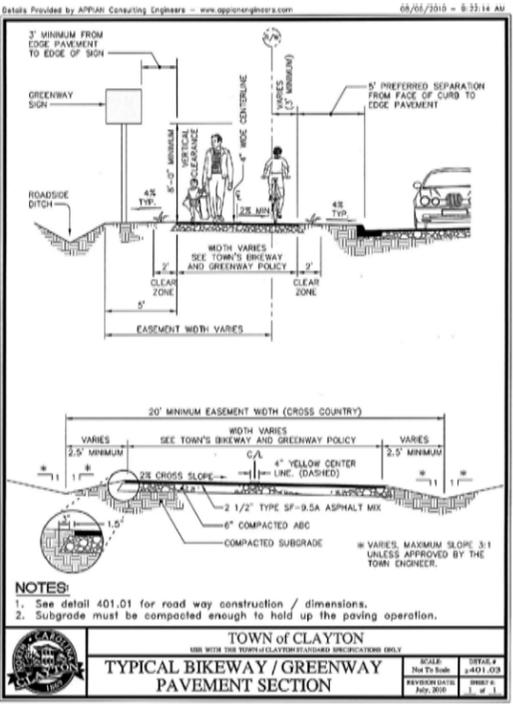
REQUIRED ACTIVE RECREATION SPACE		
64.98 ac x 25% = 16.245 AC		
REQUIRED CONSERVATION AREAS		
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%
OPEN SPACE PROVIDED		
Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS		
Public	+/- 12,700 LF (127,000 SF / 2.91 AC)	
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)	

ACTIVE RECREATION SPACE BREAKDOWN	
Clubhouse	7.02 AC
Greenway	3.07 AC
Parks	19.13 AC

NOTES:
ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.

LEGEND:

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAM'S BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
- DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY



J DAVIS ARCHITECTS
310 Oldmeadow Ave., Suite 201 | Raleigh, NC 27603 | Tel: 919.855.1000 | Fax: 919.855.1510
PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520



Preliminary Plat Review
(Major Subdivision)
Not for Construction

PROJECT:	DATE:
WDC-14080	10.01.2014
ISSUE: Prelim. Plat (Maj Sub)	10.01.2014
REVISIONS:	
1st Review Comments	10.24.2014
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3rd Review Comments	01.07.2015
4th Review Comments	01.14.2015
5th Review Comments	01.20.2015
DRAWN BY:	KT, SB
CHECKED BY:	KT
CONTENT:	RECREATION & OPEN SPACE PLAN

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	gpd	Average WW Flow	cfs	Record Lots
					gpm		date
Phase 1							
Open Space							
Phase 2	65	2.5	250 gal/day-unit	16,250	11	0.025	July-15
Townhome							
Phase 3	68	4	250 gal/day-unit	17,000	12	0.026	July-15
Single Family (65-70)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 4	18	4	250 gal/day-unit	4,500	3	0.007	July-15
Single Family (65-70)							
Subtotal	151			37,750			
Phase 5	83	4	250 gal/day-unit	20,750	14	0.032	July-16
Single Family (65-70)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 6	77	4	250 gal/day-unit	19,250	13	0.030	July-16
Single Family (65-70)							
Phase 7	10	4	250 gal/day-unit	2,500	2	0.004	July-16
Single Family (65-70)							
Phase 8	38	4	250 gal/day-unit	9,500	7	0.015	July-16
Single Family (65-70)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 9	60	4	250 gal/day-unit	15,000	10	0.023	July-16
Single Family (65-70)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 10	57	4	250 gal/day-unit	14,250	10	0.022	July-16
Single Family (65-70)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Subtotal	325			81,250			
Phase 11	60	3.5	250 gal/day-unit	15,000	10	0.023	July-17
Single Family (50-55/60-65)							
Phase 12	40	3.5	250 gal/day-unit	10,000	7	0.015	July-17
Single Family (50-55/60-65)							
Phase 13	140	2.5	250 gal/day-unit	35,000	24	0.054	July-17
Townhome							
Phase 14	104	2.5	250 gal/day-unit	26,000	18	0.040	July-17
Townhome							
Subtotal	344			86,000			
Commercial							
Commercial / Retail	75,000	sf	0.13 gal/day-sf	9,750	7	0.015	July-18
Total Units Phases 1-14	820		Total WW Flow Phases 1-14	214,750	149	0.332	

Estimate of average daily flow of wastewater for Steeplechase (Phases 15-33):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	gpd	Average WW Flow	cfs	Recorded Lots
					gpm		date
Phase 15	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	July-18
Clubhouse / Amenity							
Phase 16	95	2.5	250 gal/day-unit	23,750	16	0.037	July-18
Townhome							
Phase 17	95	2.5	250 gal/day-unit	23,750	16	0.037	July-18
Townhome							
Phase 18	80	2.5	250 gal/day-unit	20,000	14	0.031	July-18
Townhome							
Subtotal	270			68,605			
Phase 19	40	4	250 gal/day-unit	10,000	7	0.015	July-19
Single Family (65-70/70-75)							
Phase 20	90	3.5	250 gal/day-unit	22,500	16	0.035	July-19
Single Family (50-55/60-65)							
Phase 21	80	4	250 gal/day-unit	20,000	14	0.031	July-19
Single Family (65-70/70-75)							
Phase 22	10	4	250 gal/day-unit	2,500	2	0.004	July-19
Single Family (65-70/70-75)							
Single Family (50-55/60-65)	3.5		250 gal/day-unit	8,750	6	0.014	
Phase 23	35	3.5	250 gal/day-unit	8,750	6	0.014	July-19
Single Family (50-55/60-65)							
Phase 24	30	3.5	250 gal/day-unit	7,500	5	0.012	July-19
Single Family (50-55/60-65)							
Subtotal	320			80,000			
Phase 25	35	3.5	250 gal/day-unit	8,750	6	0.014	July-20
Single Family (50-55/60-65)							
Phase 26	25	4	250 gal/day-unit	6,250	4	0.010	July-20
Single Family (65-70/70-75)							
Phase 27	40	4	250 gal/day-unit	10,000	7	0.015	July-20
Single Family (65-70/70-75)							
Phase 28	25	4	250 gal/day-unit	6,250	4	0.010	July-20
Single Family (65-70/70-75)							
Phase 29	50	4	250 gal/day-unit	12,500	9	0.019	July-20
Single Family (65-70/70-75)							
Phase 30	60	4	250 gal/day-unit	15,000	10	0.023	July-20
Single Family (65-70/70-75)							
Phase 31	75	2.5	250 gal/day-unit	18,750	13	0.029	July-20
Townhome							
Subtotal	310			77,500			
Phase 32	380	2	240 gal/day-unit	91,200	63	0.141	July-21
Apartment							
Subtotal	380			91,200			
Phase 33	90	2.5	250 gal/day-unit	22,500	16	0.035	July-22
Townhome							
Total Units Phases 15-33	1,370		Total WW Flow Phases 15-33	339,805	236	0.526	
Total Units	2,190		Total Flow	554,555			





Transportation Impact Analysis

Steeplechase Mixed-Use Development Clayton, NC

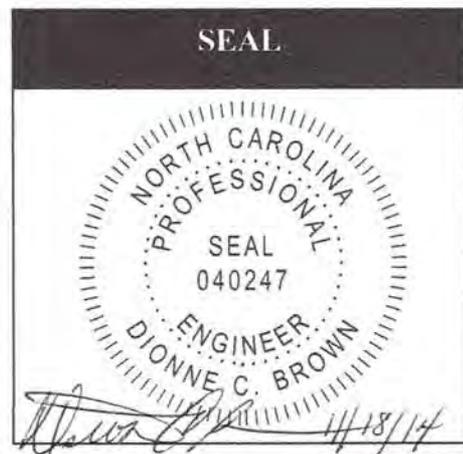
Prepared for Galaxy NC, LLC/ CO/
Wakefield Development Co.
November 6, 2014

Analysis by: Dionne C. Brown, P.E.

Drafting/Graphics by: Dionne C. Brown, P.E.

Reviewed by: Mary Morgan, P.E.

Sealed by: Dionne C. Brown, P.E.



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**Steeplechase Mixed-Use Development – Transportation Impact Analysis
Clayton, NC
Prepared for Galaxy NC, LLC/ CO/ Wakefield Development Co.
November 6, 2014**

Executive Summary

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The site is proposed to have access points on Covered Bridge Road, O'Neil Street and Brookhill Drive. The site plan is shown in Figure 1. This study analyzes two phases for the property's development. Phase 1 is located south of Covered Bridge Road and Phase 2 is located north of Covered Bridge Road and includes the proposed retail uses at the southwest corner of Covered Bridge Road and O'Neil Street.

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

It should be noted that the land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic. The following intersections were included in the study:

1. Covered Bridge Road at City Road/ Smith Drive
2. Covered Bridge Road at Site Access 1
3. Covered Bridge Road at Brookhill Drive/ Site Access 2
4. Covered Bridge Road at Site Access 3
5. Covered Bridge Road at O'Neil Street
6. O'Neil Street at Site Access 4
7. Covered Bridge Road at Site Access 5
8. Covered Bridge Road at Site Access 6
9. Brookhill Drive at Site Access 7
10. Brookhill Drive at Site Access 8
11. Brookhill Drive at Site Access 9
12. Brookhill Drive at Site Access 10
13. Brookhill Drive at Site Access 11
14. Covered Bridge Road at Shotwell Road

According to the site plan there are an additional five (5) access points along state maintained roads, one (1) on Covered Bridge Road and four (4) on Brookhill Drive. These roads are designed into a network of residential streets that have other outlets to the main corridor. Since the majority of this development is residential and is the primary generator of traffic, it was assumed that the percentage of traffic would be low at these access points. Therefore, the study intersections were narrowed down to the major access points on the state maintained roads.

The study intersections were analyzed during AM (7-9) and PM (4-6) peaks for the following conditions:

- 2014 Existing Conditions
- 2017 Future No Build Conditions
- 2017 Phase 1 Build-Out Conditions
- 2017 Phase 1 Build-Out with Improvements (as necessary)
- 2019 Future No Build Conditions
- 2019 Full Build-Out Conditions
- 2019 Full Build-Out with Improvements (as necessary)

NCDOT was contacted to obtain background information and to ascertain the elements to be covered in this Transportation Impact Analysis (TIA). Information regarding the property was provided by Wakefield Development Co.

Phase 1 - Discussion of Results

The following section discusses 2017 Phase 1 level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM and PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 1

In Phase 1 Build conditions, this intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM peak and LOS D in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 3

This intersection is expected to operate at LOS C in the AM and PM peaks during Phase 1 future build conditions. Based on projected volumes, an eastbound right turn lane and westbound left turn lane will be warranted on Covered Bridge Road. In order to facilitate turning movements in and out of this site access, the following improvements are recommended:

- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Provide westbound left turn lane with 100 feet of storage and appropriate taper
- Provide northbound right turn lane with 100 feet of storage and appropriate taper

With these improvements, this intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak.

Covered Bridge Road at O'Neil Street

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. This LOS F condition is due to a lack of sufficient gaps for left-turning vehicles from the stop-controlled approach, which is the result of conflicting traffic volumes on O'Neil Street. With the addition of Phase 1 site traffic, LOS D is expected in the AM peak and LOS F in the PM peak.

This intersection is anticipated to operate at a deficient level of service regardless of the proposed development. In order to improve the operation of this intersection, the following improvements are recommended:

- Provide northbound left turn lane with 100 feet of storage and appropriate taper
- Provide southbound right turn lane with 100 feet of storage and appropriate taper
- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Realignment as depicted in the site plan

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak, reducing the AM delay by 9.7 seconds and the PM delay by 125.6 seconds. The LOS F condition is anticipated to be limited to the peak hour and the SimTraffic model results indicate that there are no queuing issues.

O'Neil Street at Site Access 4

In Phase 1 Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS E in the AM peak and LOS F in the PM peak. With the addition of Phase 1 site traffic, LOS F is expected in the AM and PM peaks.

As further discussed in the report, the existing traffic volumes at this intersection indicate that a signal is currently warranted. Therefore, in order to improve the operation and safety of this intersection, the following improvements are recommended:

- Signalize the intersection
- Provide northbound right turn lane with 200 feet of storage and appropriate taper
- Provide southbound left turn lane with 200 feet of storage and appropriate taper
- Restripe westbound lane to provide right turn lane with 100 feet of storage

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS B in the PM peak.

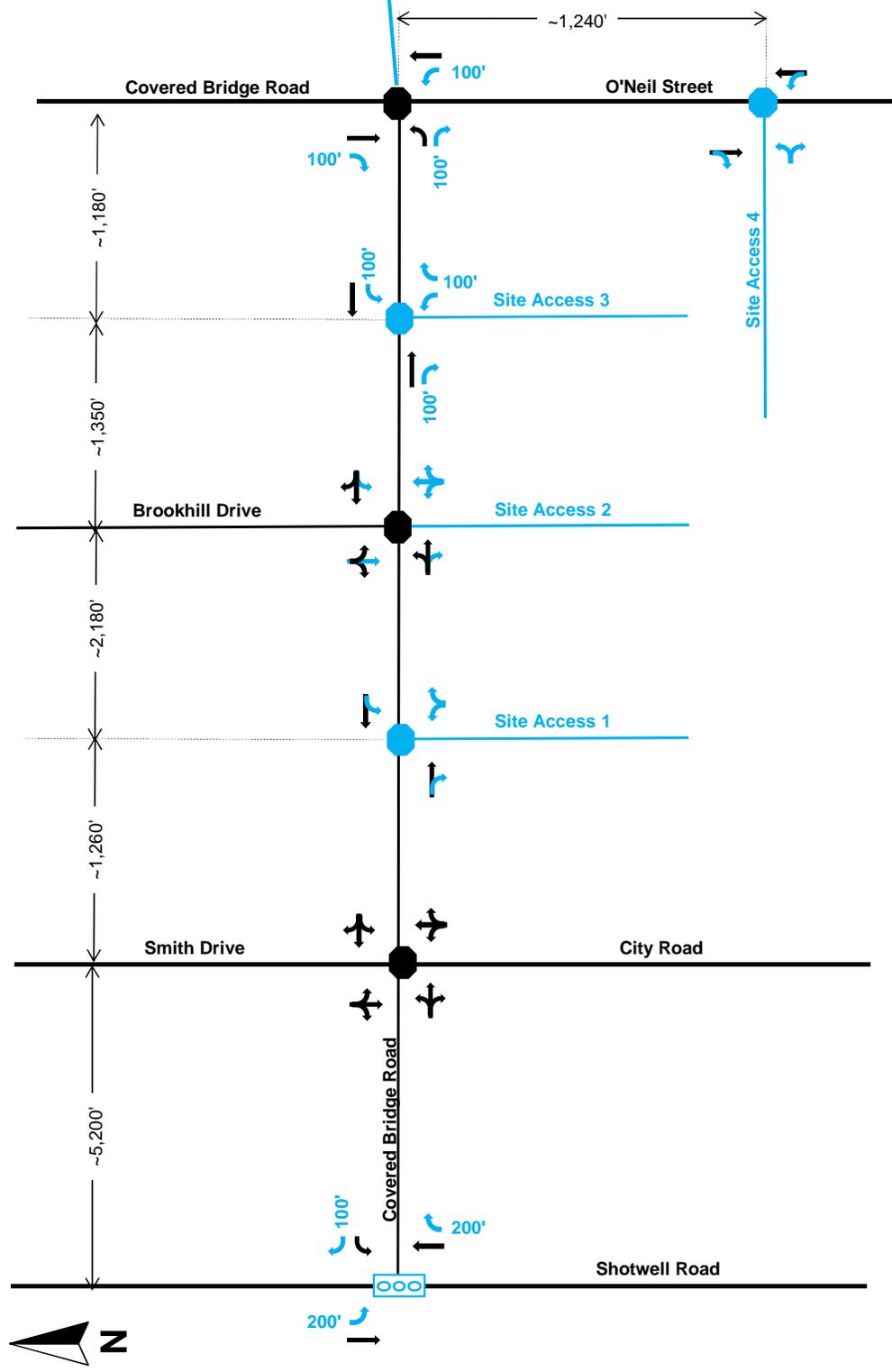
Improvements are illustrated in Figure 9 for Phase 1.

LEGEND
SIGNALIZED INTERSECTION
UNSIGNALIZED INTERSECTION
ROADWAY
TRAFFIC MOVEMENT
BLACK = EXISTING
GREY = UNANALYZED
BLUE = PROPOSED

FIGURE 9
PHASE 1 BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE DEVELOPMENT

PROJECT NUMBER 14-425



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*** NOT TO SCALE ***

Phase 1 Level of Service Summary

Table A presents the summary of the level of service analysis for all study intersections.

Table A - Level of Service Summary – Phase 1 Build Conditions				
AM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (12.8) SB Approach	C (18.8) SB Approach	
Covered Bridge Road at Site Access 1			C (17.4) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.3) SB Approach	C (21.8) NB Approach	
Covered Bridge Road at Site Access 3			C (15.7) NB Approach	B (13.9) NB Approach
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (18.0) EB Approach	D (27.1) EB Approach	C (17.4) EB Approach
O'Neil Street at Site Access 4			B (12.6) EB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	E (40.5) WB Approach	F (266.0) WB Approach	C (23.5) Signalized
PM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.1) NB Approach	C (18.4) SB Approach	
Covered Bridge Road at Site Access 1			C (21.3) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.3) SB Approach	D (31.6) NB Approach	
Covered Bridge Road at Site Access 3			C (20.2) NB Approach	C (16.9) NB Approach
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (104.1) EB Approach	F (254.7) EB Approach	F (129.1) EB Approach
O'Neil Street at Site Access 4			B (14.5) EB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (50.9) WB Approach	F (426.5) WB Approach	B (16.4) Signalized
LOS (delay in seconds)				
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay				

Full Build Discussion of Results

The following section discusses 2019 Full Build level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peak. This LOS F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. Therefore, no improvements are recommended.

Covered Bridge Road at Site Access 1

In Full Build conditions, this intersection is expected to operate at LOS E in the AM peak and LOS F in the PM. The LOS E/F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. In addition, site traffic will have the opportunity to utilize other site access points, including signals, which will serve as a relief valve should the delay be excessive. Therefore, no improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peaks. In order to improve the operation of this intersection, it is recommended to:

- Signalize the intersection
- Provide an eastbound left turn lane of 400 feet of storage with appropriate taper
- Provide a westbound left turn lane of 150 feet of storage with appropriate taper
- Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper
- Provide a southbound full storage for left turn and through-right turn lanes

With these improvements, it is expected to operate at LOS D in the AM and PM peaks.

Covered Bridge Road at Site Access 3

With the recommended improvement in place from Phase 1, this intersection is expected to operate at LOS C in the AM peak and LOS D in the PM peak. No additional improvements are recommended.

Covered Bridge Road at O'Neil Street

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. With the addition of Full Build site traffic, LOS E is expected in the AM peak and LOS F in the PM peak with the improvements in place from Phase 1. It is recommended to signalize this intersection in order to accommodate future traffic volumes.

With this improvement, this intersection is expected to operate at LOS B in the AM and PM peaks.

O'Neil Street at Site Access 4

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 5

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 6

In Full Build conditions, this unsignalized intersection is expected to operate at LOS D in the AM peak and LOS E in the PM peak. A LOS E is typical for minor streets at unsignalized intersections, but delays are expected to be minimal. Therefore, no improvements are recommended.

Brookhill Drive at Site Access 7

In Full Build conditions, this unsignalized intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 8

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS A in the PM peak. No improvements are recommended.

Brookhill Drive at Site Access 9

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 10

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

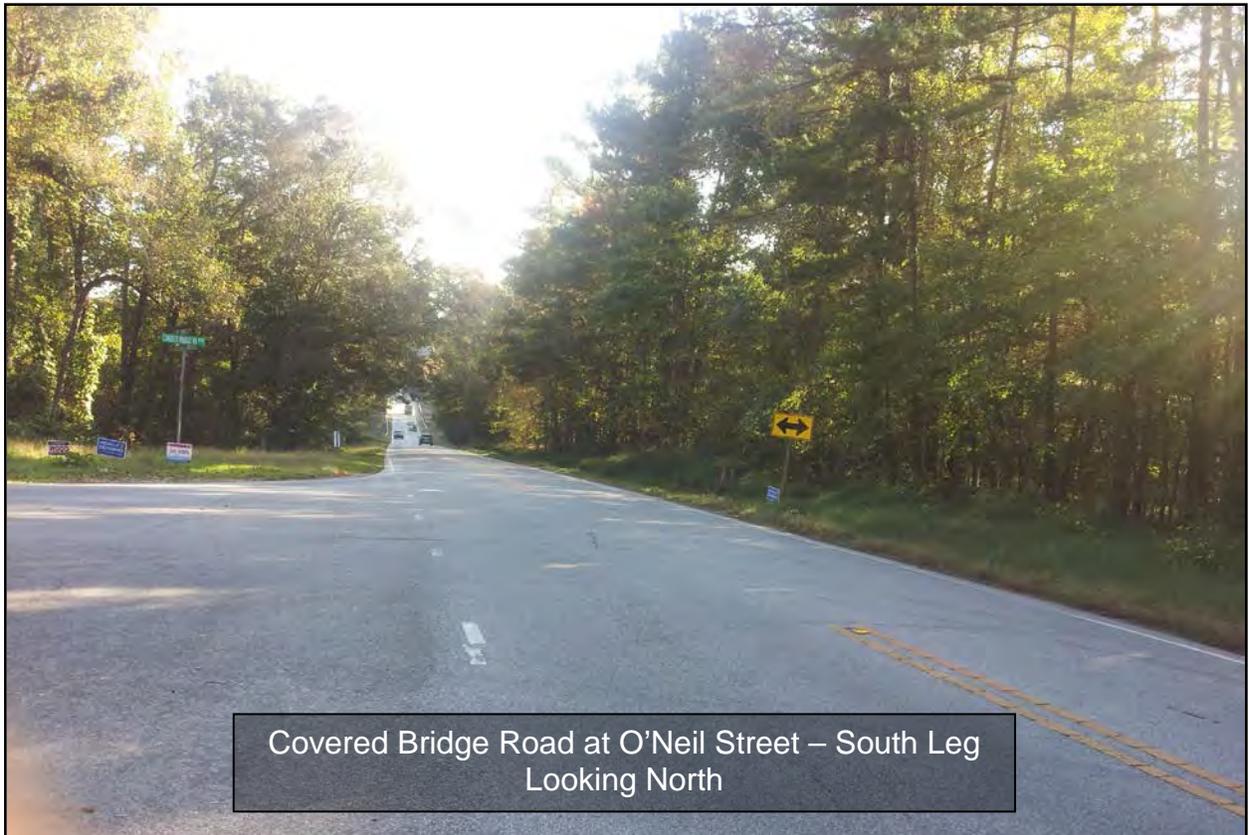
Brookhill Drive at Site Access 11

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS F in the AM and PM peaks. With the recommended improvements in place from Phase 1, this intersection is expected to operate at LOS D in the AM peak and LOS C in the PM peak.

Improvements are illustrated in Figure 14 for Full Build.



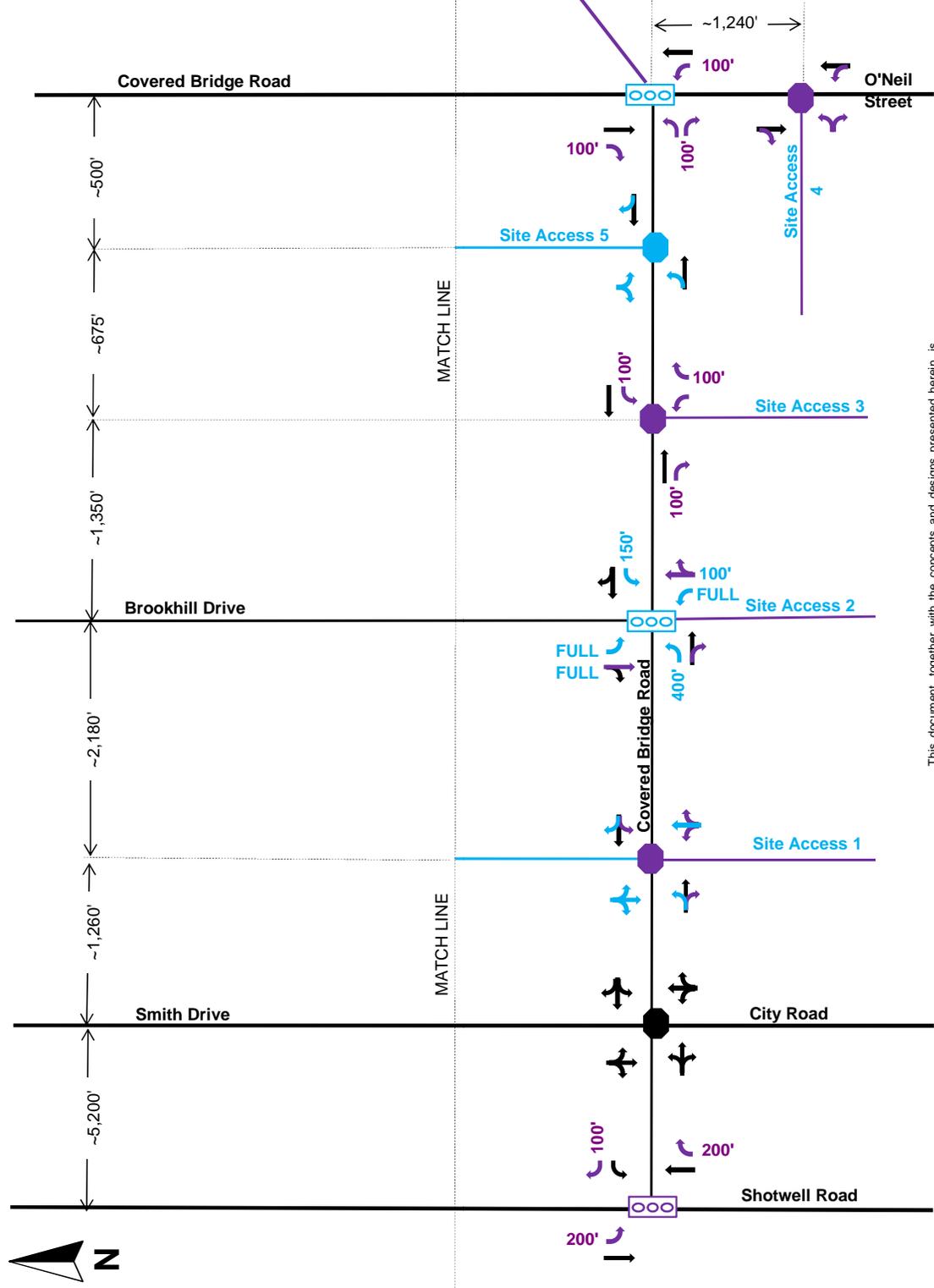
Covered Bridge Road at O'Neil Street – South Leg
Looking North

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	PURPLE = PHASE 1
	BLUE = PROPOSED

**FIGURE 14
FULL BUILD
RECOMMENDED
IMPROVEMENTS**

STEEPLECHASE MIXED-USE
DEVELOPMENT

PROJECT NUMBER 14-425



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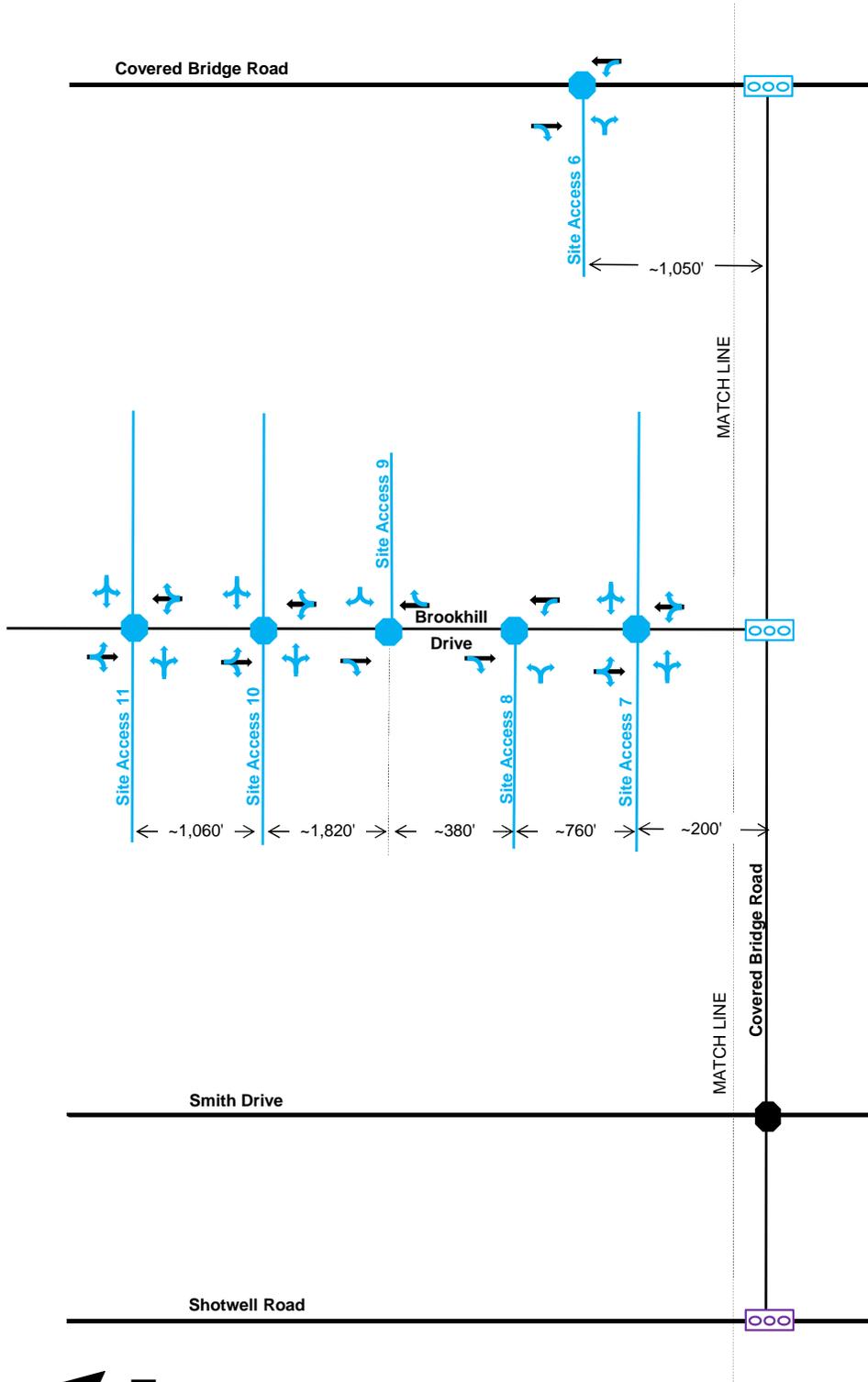
*** NOT TO SCALE ***

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
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	BLUE = PROPOSED

FIGURE 14
FULL BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE
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Full Build Level of Service Summary

Table B presents the summary of the level of service analysis for all study intersections.

Table B - Level of Service Summary – Full Build Conditions				
AM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (13.1) SB Approach	F (50.8) SB Approach	
Covered Bridge Road at Site Access 1			E (42.5) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.5) SB Approach	F (Err) NB Approach	D (44.5) Signalized
Covered Bridge Road at Site Access 3			C (17.5) NB Approach	
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (19.0) EB Approach	E (37.9) EB Approach	B (12.9) Signalized
O'Neil Street at Site Access 4			B (13.1) EB Approach	
Covered Bridge Road at Site Access 5			B (14.7) SB Approach	
Covered Bridge Road at Site Access 6			D (31.1) EB Approach	
Brookhill Drive at Site Access 7			C (15.7) WB Approach	
Brookhill Drive at Site Access 8			B (10.5) EB Approach	
Brookhill Drive at Site Access 9			B (11.2) WB Approach	
Brookhill Drive at Site Access 10			B (11.6) WB Approach	
Brookhill Drive at Site Access 11			B (10.3) WB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	F (50.5) WB Approach	D (44.5) Signalized	

LOS (delay in seconds)
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

Table B - Level of Service Summary – Full Build Conditions cont.

PM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.4) NB Approach	F (61.5) SB Approach	
Covered Bridge Road at Site Access 1			F (66.7) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.6) SB Approach	F (Err) NB Approach	D (41.1) Signalized
Covered Bridge Road at Site Access 3			D (33.8) NB Approach	
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (139.1) EB Approach	F (406.3) EB Approach	B (18.5) Signalized
O'Neil Street at Site Access 4			C (15.1) EB Approach	
Covered Bridge Road at Site Access 5			C (17.8) SB Approach	
Covered Bridge Road at Site Access 6			E (48.5) EB Approach	
Brookhill Drive at Site Access 7			C (17.4) WB Approach	
Brookhill Drive at Site Access 8			A (9.3) EB Approach	
Brookhill Drive at Site Access 9			B (11.7) WB Approach	
Brookhill Drive at Site Access 10			B (12.5) WB Approach	
Brookhill Drive at Site Access 11			B (10.9) WB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (64.7) WB Approach	C (21.7) Signalized	

LOS (delay in seconds)

Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

Summary and Conclusion

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic.

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

This study analyzes two phases for the property's development:

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

Table C on the following page summarizes the recommended improvements for each Phase. Improvements are illustrated in Figure 9 and Figure 14 for Phase 1 and Full Build, respectively.

In conclusion, this study has reviewed the impacts of both background traffic and this development traffic, and has determined that with the recommended improvements in place, there will be adequate capacity to accommodate future traffic. The final design of these improvements will need to be coordinated during the site plan approval process.

Please note that all accesses to the site are required to be constructed to NCDOT standards where applicable.

Table C - Recommended Improvement Summary

Intersection	Phase 1	Full Build
Covered Bridge Road at Brookhill Drive/ Site Access 2	No improvements	<ul style="list-style-type: none"> • Signalize intersection • Provide eastbound left turn lane of 400 feet of storage with appropriate taper • Provide westbound left turn lane of 150 feet of storage with appropriate taper • Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper • Provide a southbound full storage for left turn and through-right turn lanes
Covered Bridge Road at Site Access 3	<ul style="list-style-type: none"> • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Provide westbound left turn lane of 100 feet of storage with appropriate taper • Provide separate northbound right turn lane of 100 feet of storage with appropriate taper 	No additional improvements
Covered Bridge Road at O'Neil Street	<ul style="list-style-type: none"> • Provide northbound left turn lane of 100 feet of storage with appropriate taper • Provide southbound right turn lane of 100 feet of storage with appropriate taper • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Realignment as depicted in site plan 	<ul style="list-style-type: none"> • Signalize intersection
Covered Bridge Road at Shotwell Road	<ul style="list-style-type: none"> • Signalize intersection • Provide northbound left turn lane of 200 feet of storage with appropriate taper • Provide southbound right turn lane of 200 feet of storage with appropriate taper • Restripe westbound lane to provide right lane with 100 feet of storage and appropriate taper 	No additional improvements

***All other intersections require no improvements**



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION



TRANSPORTATION MOBILITY AND SAFETY DIVISION
TRAFFIC MANAGEMENT UNIT
CONGESTION MANAGEMENT SECTION

January 20, 2015

Traffic Impact Analysis Review Report
Steeplechase Development

TIA Project: SC-2014-064
Division: 4
County: Johnston
Description: Steeplechase Development on SR 1700 (Covered Bridge Rd) at SR 1708 (O'Neal St) in Clayton



BenJetta L. Johnson, P. E.
Congestion Management Regional Engineer

Solomon Mengesha
Congestion Management Project Design Engineer

Steeplechase Development

SC-2014-064	Johnston County	01/20/2015
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Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data presented in the sealed Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	11/19/2014	Date of Site Plan Prepared by Galaxy NC, LLC	10/01/2014
Date of Complete Information for Project Received by CMS	12/02/2014		
Date of Preliminary Review Letter Accepting TIA for Review	12/04/2014	Date of Sealed TIA Prepared by Davenport Engineering	11/18/2014

Proposed Development

According to the TIA, the proposed Steeplechase Mixed-Use Development is to be located on SR 1700 (Covered Bridge Rd) in Johnston County. The TIA states the development is to be constructed in two phases.

Phase 1 is to be constructed by 2017 and is to consist of the following:

Land Use	Land Use Code	Size
Single Family Detached Housing	210	498 Dwelling Unit
Townhomes/Condos	230	320 Dwelling Unit

Phase 2 is to be constructed by 2019 and is to consist of the following: (Total Build-out)

Land Use	Land Use Code	Size
Apartments	220	344 Dwelling Unit
Single Family Detached Housing	210	1,118 Dwelling Unit
Townhomes/Condos	230	643 Dwelling Unit
Shopping Center	820	25,000 Square Feet

Trip Generation – Phase 1 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	112	377	489
PM Peak Hour	386	216	602
Daily Trips			6,369

Trip Generation – Phase 2 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	313	947	1,260
PM Peak Hour	1,016	628	1,644
Daily Trips			17,892

Requested Access Points		
Driveway	Public Roadway	Access Type
1	SR 1700 (Covered Bridge Rd)	All-Movement
2	SR 1700 (Covered Bridge Rd)	All-Movement
3	SR 1700 (Covered Bridge Rd)	All-Movement
4	O'Neil Street	All-Movement
5	SR 1700 (Covered Bridge Rd)	All-Movement
6	SR 1700 Covered Bridge Rd)	All-Movement
7	Brookhill Drive	All-Movement (Denied)
8	Brookhill Drive	All-Movement
9	Brookhill Drive	All-Movement
10	Brookhill Drive	All-Movement
12	Brookhill Drive	All-Movement

TIP Projects in Study Area
 None In Area

Strategic Highway Corridors
 None In Area

TIA Comments
 The following items vary from our recommended practices:

- Cycle lengths used for one or more intersections were below the minimums recommended without further clarification or justification. Determination of the number of signal phases should follow NCDOT Signals and Geometrics procedures.
- For future analyses, the PEF should include a small amount of traffic where movement volumes are listed as zero. Otherwise Synchro will consider that movement a non-permissible movement.

General Reference
 For reference to various documents applicable to this review please reference the following link: <http://www.ncdot.org/doh/preconstruct/traffic/tepp/Topics/C-37/C-37.html>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section at (919) 773-2800.

Recommendations

LEGEND

① Improvement by Developer. Congestion Management concurs with recommendation.
 ② Improvement by Developer. Additional or modified recommendations.

Phase 1 Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru/Right Lane to Shared Left/Thru/Right Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ②
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ②
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **NB Site Driveway #1**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

New Signal

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②

- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB O'Neil Street**
 - 50' Right-Turn Lane ②
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Phase 2 (Full Build-Out) Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #5 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #5**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual 250' (Each) Left-Turn Lane ②
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 150' Left-Turn Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ②
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the NB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **NB Site Driveway #1A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB Site Driveway #1B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1709 (City Rd)/Smith Dr Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 50' Left-Turn Lane ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - 50' Right-Turn Lane ②
- **SB O'Neil Street**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #6 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **NB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #6**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #7 Intersection

Deny Driveway/Access

- Due to the close proximity to Brookhill Drive and SR 1700 (Covered Bridge Rd) signalized intersection, we recommend denying this Site Driveway ②

Brookhill Drive and Site Driveway #8 Intersection

- **NB Brookhill Drive**
 - 50' Left-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #8**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #9 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB Site Driveway #9**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

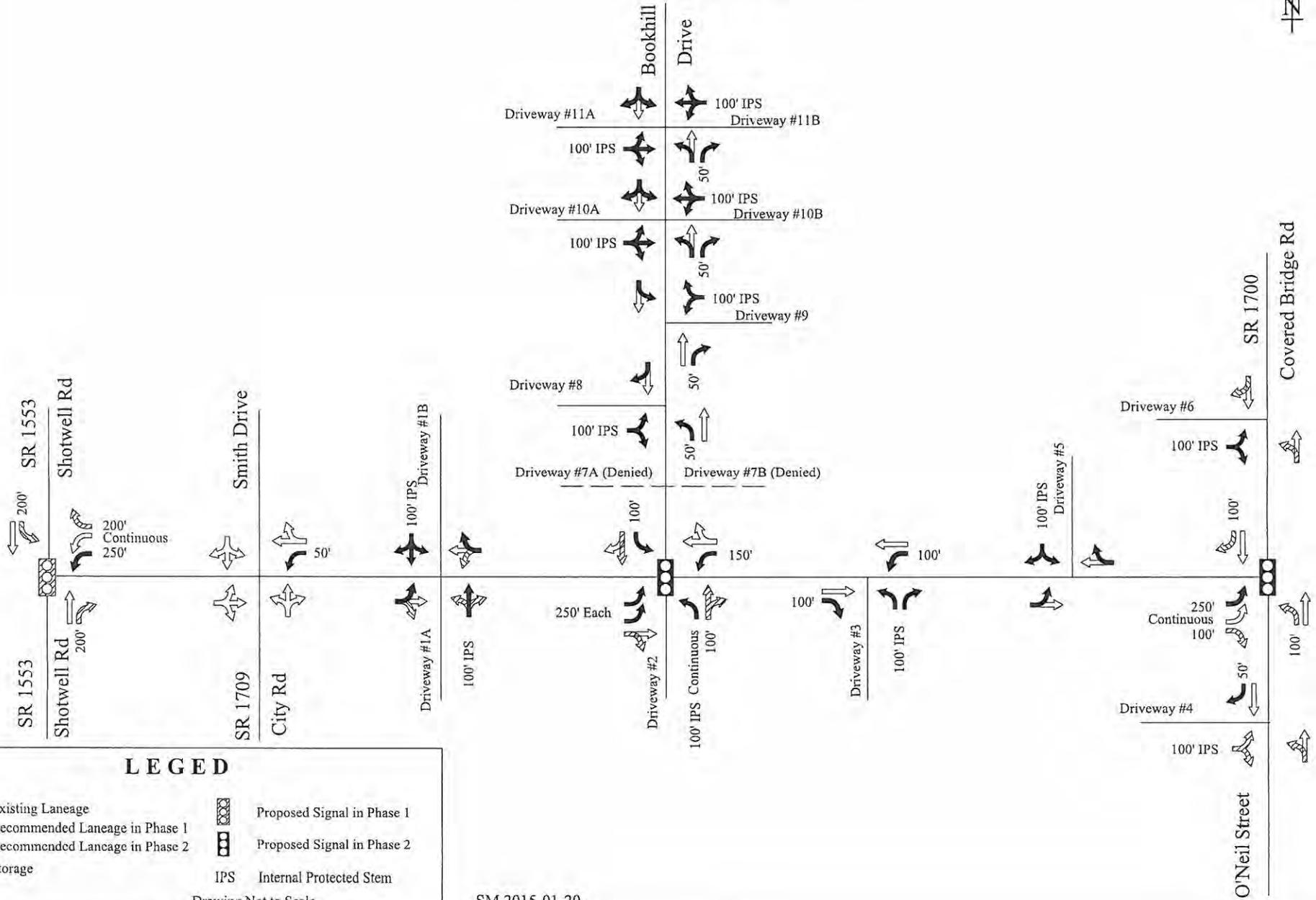
Brookhill Drive and Site Driveway #10 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #10A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **WB Site Driveway #10B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #11 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #11A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **EB Site Driveway #11B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Steeplechase Mixed Use Development SC-2014-064



LEGED

- Existing Laneage
- Recommended Laneage in Phase 1
- Recommended Laneage in Phase 2
- Storage
- Proposed Signal in Phase 1
- Proposed Signal in Phase 2
- IPS Internal Protected Stem

Drawing Not to Scale

SM 2015-01-20



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY
GOVERNOR

ANTHONY J. TATA
SECRETARY

January 29, 2015

DELIVERY VIA EMAIL

David L. DeYoung, AICP
Planning Director - Town of Clayton
PO Box 879
Clayton, NC 27528

COUNTY: Johnston

SUBJECT: **Preliminary TIA Review of Steeplechase Mixed Use Development Proposed on SR 1700 Covered Bridge Road, SR 1708 O'Neil Street, SR 1709 City Road and SR 2620 Brookhill Drive**

Dear Mr. DeYoung:

This office has reviewed the Traffic Impact Analysis (TIA) for the subject mixed use development and offers the following comments. Please be advised that these comments are in addition to any requirements that included in the Traffic Impact Analysis Review Report performed by the Congestion Management Section of the Transportation Mobility and Safety Division of NCDOT. This review should not be mistaken for a final review and acceptance of the TIA, nor approval of the driveway permit, design/construction plans, or final plat.

- The Department agrees with the Town that the TIA needs to be updated to reflect the following:
 - Correct number of dwelling units and/or commercial square footage
 - Roundabout design as requested by the Town at Brookhill Drive/Site Driveway #2
 - Desired cross section as required by Town needs to be considered as it affects all recommend improvements and could impact ingress/egress at all intersections and driveways
 - Desired access at designated commercial site
 - Desired access at designated school site
 - Provide overall site plan with that shows the limits of Phase 1 and Phase 2
 - Show access on City Road as required by the Town if a school is not built
 - Analyze the following intersections as a roundabout:
 - Covered Bridge and City Road / Smith Drive
 - Covered Bridge Road and O'Neil Street
 - Provide 2 different scenarios. The first will provide analysis showing operations if NCDOT allows full access at Driveways #1 & #3/5. Secondly, provide analysis showing operations with a left-over movement with right in right out (no left egress at Driveways #1 & #3/ 5)
- The rural parkway cross section required by the Town for Covered Bridge Road (SR 1700) shall be designed to current North Carolina Department of Transportation Roadway Standards. The typical section shall require a minimum 110 feet dedicated right-of-way, 23 foot monolithic

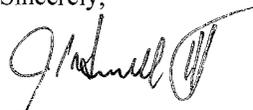
District Engineer's Office
2671 US 70 West, Goldsboro, NC 27530
Telephone: (919) 739-5300

landscaped island, two 12 foot travel lanes (one each direction), two foot paved shoulders, two 19 foot earth shoulders and appropriate ditches and or slopes. The wide shoulders are to accommodate any future widening that may occur. The Department will defer to the Town for any additional right-of-way required for the purpose of multi-use paths, sidewalks, or landscape buffers as multi-use paths are desired to be placed outside the ROW as possible. Left and right turn lanes will be required on Covered Bridge Road (SR 1700) for turning movements allowed after final review of the TIA

- The Department agrees with the Town that all additional access shown on Covered Bridge Road shall be eliminated other than Site Access #1, #2, and #3 (5). Any outparcels along Covered Bridge road shall be served internally

Please be advised that additional comments for each intersection as well as off site improvements are forthcoming upon receipt and review of the revised TIA as required by the Town and the comments above. Feel free to contact me if you have any additional questions or concerns.

Sincerely,



Jiles P. Harrell, PE
District Engineer

JPH

cc: Tim Little, PE - Division Engineer
Andy Brown, PE - Division Traffic Engineer
Driveway Permit File
Subdivision File



November 10, 2014

Mr. Steve Biggs
Town Manager
Town of Clayton
111 East Second Street
Clayton, North Carolina 27528

**Re: Brookhill Master Plan
MP/PSD-2014-128
Request for Sewer Allocation
WDL-14010**

On behalf of Wakefield Development Company & Galaxy NCLLC, McAdams Company has computed the preliminary sanitary sewer average daily flows for the proposed subdivision referenced above and have enclosed our calculations in the attachment to this letter. In our calculations, we provided a breakdown of potential flows anticipated to be generated on an annual basis with the total project flow listed on the last page. In addition, our calculations used the approved flow rate per unit for the Town of Clayton, as allowed by NCDENR, instead of a per bedroom calculation. Wakefield Development Company & Galaxy NCLLC is requesting sanitary sewer allocation on the basis of the provided information from the Town for the proposed Master Plan.

Consideration of this request is greatly appreciated. Upon your review, if you should have any questions or require additional information, please do not hesitate to contact me at (919) 361-5000.

Sincerely,

THE JOHN R. McADAMS COMPANY, INC.

Jonathan G. Moore, PE
Director, Residential

JM/rf

Attachment

The John R. McAdams
Company, Inc.

Raleigh / Durham, NC
2905 Meridian Parkway
Durham, North Carolina 27713
(919) 361-5000

Charlotte, NC
11301 Carmel Commons Blvd,
Suite 111
Charlotte North Carolina 28226
(704) 527-0800

McAdamsCo.com



Brookhill Sanitary Sewer Preliminary Evaluation

McAdams
10-Nov-14

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Record Lots date
				gpd	gpm	cfs	
Phase 1							July-15
Amenity / Clubhouse	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	
Phase 2							July-15
Townhome	72	2.5	250 gal/day-unit	18,000	13	0.028	
Phase 3							July-15
Single Family (65-70)	32	4	250 gal/day-unit	8,000	6	0.012	
Single Family (50-55/60-65)	75	3.5	250 gal/day-unit	18,750	13	0.029	
Phase 4							July-15
Single Family (65-70)	20	4	250 gal/day-unit	5,000	3	0.008	
Subtotal	199			50,855			
Phase 5							July-16
Single Family (65-70)	48	4	250 gal/day-unit	12,000	8	0.019	
Single Family (50-55/60-65)	68	3.5	250 gal/day-unit	17,000	12	0.026	
Phase 6							July-16
Single Family (65-70)	45	4	250 gal/day-unit	11,250	8	0.017	
Phase 7							July-16
Single Family (65-70)	15	4	250 gal/day-unit	3,750	3	0.006	
Phase 8							July-16
Single Family (65-70)	26	4	250 gal/day-unit	6,500	5	0.010	
Single Family (50-55/60-65)	8	3.5	250 gal/day-unit	2,000	1	0.003	
Phase 9							July-16
Single Family (65-70)	24	4	250 gal/day-unit	6,000	4	0.009	
Single Family (50-55/60-65)	32	3.5	250 gal/day-unit	8,000	6	0.012	
Phase 10							July-16
Single Family (65-70)	42	4	250 gal/day-unit	10,500	7	0.016	
Single Family (50-55/60-65)	15	3.5	250 gal/day-unit	3,750	3	0.006	
Subtotal	323			80,750			
Phase 11							July-17
Single Family (50-55/60-65)	65	3.5	250 gal/day-unit	16,250	11	0.025	
Phase 12							July-17
Single Family (50-55/60-65)	45	3.5	250 gal/day-unit	11,250	8	0.017	
Phase 13							July-17
Townhome	145	2.5	250 gal/day-unit	36,250	25	0.056	
Phase 14							July-17
Townhome	108	2.5	250 gal/day-unit	27,000	19	0.042	
Subtotal	363			90,750			
Commercial							
Commercial / Retail	25,000	sf	0.13 gal/day-sf	3,250	2	0.005	July-18
Total Units Phases 1-14	885		Total WW Flow Phases 1-14	225,605	157	0.349	

Estimate of average daily flow of wastewater for Brookhill North (Phases 15-33):

McAdams
10-Nov-14

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Recorded Lots
				gpd	gpm	cfs	
Phase 15							July-18
Single Family (50-55/60-65)	95	3.5	250 gal/day-unit	23,750	16	0.037	
Phase 16							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 17							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 18							July-18
Townhome	80	2.5	250 gal/day-unit	20,000	14	0.031	
Subtotal	365			91,250			
Phase 19							July-19
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 20							July-19
Single Family (50-55/60-65)	90	3.5	250 gal/day-unit	22,500	16	0.035	
Phase 21							July-19
Single Family (65-70/70-75)	80	4	250 gal/day-unit	20,000	14	0.031	
Phase 22							July-19
Single Family (65-70/70-75)	10	4	250 gal/day-unit	2,500	2	0.004	
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 23							July-19
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 24							July-19
Single Family (50-55/60-65)	30	3.5	250 gal/day-unit	7,500	5	0.012	
Subtotal	320			80,000			
Phase 25							July-20
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 26							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 27							July-20
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 28							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 29							July-20
Single Family (65-70/70-75)	50	4	250 gal/day-unit	12,500	9	0.019	
Phase 30							July-20
Single Family (65-70/70-75)	60	4	250 gal/day-unit	15,000	10	0.023	
Phase 31							July-20
Townhome	75	2.5	250 gal/day-unit	18,750	13	0.029	
Subtotal	310			77,500			
Phase 32							July-21
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	
Subtotal	380			91,200			
Phase 33							July-22
Townhome	90	2.5	250 gal/day-unit	22,500	16	0.035	
Total Units Phases 15-33	1,465		Total WW Flow Phases 15-33	362,450	252	0.561	
Total Units	2,350		Total Flow	588,055			

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5g

Meeting Date: February 16, 2015

TITLE: Special Event 2014-129 Millstock Art and Music Festival

DESCRIPTION: Mr. Naegelen, Downtown Development Coordinator, will provide details regarding the Millstock Art and Music Festival scheduled for June 6, 2015

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

2-16-15

**Place on March 2, 2015
Consent Agenda**

Special Event Report



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Millstock Art & Music Festival **File Number:** 2014-29
Event Description: 15th Annual Millstock Festival features artist, music, children’s activates, foot Trucks, vendors.
Event Date(s): June 6, 2015 **Event Time(s):** 10:00 am to 5:00 pm
Event Location: Horne Square
Event Coordinator: John McFadden **Contact Number:** 919-865-7295
Contact Email: Jewelerjohn@hotmail.com
Attendees (Per Day): 1500-2000 Set-up: 7:00 am Cleanup: 6:00 pm

TOWN SERVICES REQUESTED:

Departme nt / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	Trash Rollout Carts (12) regular / (12) Recycle	Deliver to Horne Square: 6/5/15 & Pick up 6/8/15.	Steve Blasko	359-1287
Public Works	Road & Parking lot barricades/cones - Horne Square parking lot - Smith & Main Street - Second & S Lombard - Barbour & Main Closure times are: Horne Square – Midnight to 6:00 pm (PD) Road Closure – 7:00 am – 6:00 pm	Deliver to appropriate areas for Police Department & volunteers to put in place	Steve Blasko	359-1287
Town Council	Authorize Closure on June 6, 2015: <i>Horne Square parking lot: Midnight to 6:00 pm</i> <i>Smith & Main Street: 7:00 am to 6:00 pm</i> <i>Second & S Lombard: 7:00 am to 6:00 pm</i> <i>N. Lombard from NCRR R-O-W to Main 7:00 am to 6:00 pm</i>			
Electric Dept	Use of power block at rear of Horne Square for bands setting up on N Lombard Street	6/6/15	Dale Medlin	359-1292
NCDOT	Closure of Main Street from Smith Street to Barbour Street on June 6, 2015 from 7:00 am to 6:00 pm			

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved	Date: 1/29/15	<input type="checkbox"/> No Council Action needed
	<input type="checkbox"/> Denied		
Council Action	Presentation	Date: 2/16/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Consent Agenda	Date:	Date:
Pending Actions	<input checked="" type="checkbox"/> DOT Road Closure Approval		<input type="checkbox"/> Issue Permit Date:
	<input checked="" type="checkbox"/> ABC Permit Submittal		
	<input type="checkbox"/> Other		

(SEC – Special Event Committee)

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5h **Meeting Date:** February 16, 2015

TITLE: Special Event 2015-02 – Town Square Concert Series

DESCRIPTION: Mr. Naegelen, Downtown Development Coordinator, will provide details regarding the 2015 Town Square Concert Series.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015 Consent Agenda	Special Event Report



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Town Square Concert Series **File Number:** 2015-02
Event Description: Concert Series sponsored by DDA

Event Date(s): 5-21,6-18,7-16,8-20, 9-17 **Event Time(s):** 6:00 PM TO 9:00 PM
Event Location: Town Square
Event Coordinator: Bruce Naegelen **Contact Number:** 919-280-1278
Contact Email: bnaegelen@townofclaytonnc.org
Attendees (Per Day): 1100+

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	Trash Carts - 6 regular 6 recycled	Concert dates	Steve Blasko	919 359-1287
Public Works	Barricades – Town Square parking lot & Fayetteville/Main and Fayetteville/Second	Concert dates	Steve Blasko	919 359-1287
Town Council	Request to close Town Square Parking Lot 6:00 am – 10:00 pm	Concert Dates		
Town Council	Request to close Fayetteville Street from Main to Second 5:00 pm – 10:00 pm	Concert Dates		

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved	Date: 1/29/15	<input type="checkbox"/> No Council Action needed
	<input type="checkbox"/> Denied		
Council Action	Presentation	Date: 2/16/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Consent Agenda	Date:	Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval	<input type="checkbox"/> Issue Permit	Date:
	<input checked="" type="checkbox"/> ABC Permit Submittal		
	<input type="checkbox"/> Other		

(SEC – Special Event Committee)

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6a

Meeting Date: February 16, 2015

TITLE: Warranty and Dedication Acceptances

**DESCRIPTION: Chandler's Ridge (Old Lyndale) Phases 1 & 2
Spring Branch, Phase 1
Glen Laurel East, Phases 2A & 2B
Spring Branch Commercial Subdivision, Phase 1
Spring Branch Medical & Commercial Park, Phase 2
South Tech Park/Harvest Mil Lane**

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

12-15-14

Place on March 2, 2015

Inspectors Memos

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE
(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Copy: Danny Blackburn, Blackburn Engineering
Dave DeYoung, Planning Director

Date: January 23, 2015

Re: Chandlers Ridge (Old Lyndale) Subdivision, Phases 1 & 2

The referenced final lift of asphalt pavement has been installed. Please schedule Council action for the acceptance of this work, subject to a one-year warranty period. Upon expiration of the warranty, pavement and base course condition will be evaluated and any identified faults corrected by the developer prior to final acceptance.

TOWN OF CLAYTON

OPERATIONS CENTER

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(919) 553-1530

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"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Date: February 3, 2015

Cc: Dave DeYoung, Planning Director
Jonathan Barnes, Dalton Engineering

Subject: Spring Branch, Phase 1 Asphalt

Please place a final acceptance request for the referenced asphalt pavement on the next available agenda. A final inspection was completed with no deficiencies noted. Upon acceptance, the Town will assume all maintenance duties.

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

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(919) 553-1530

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(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Copy: Danny Blackburn, Blackburn Consulting Engineering
David DeYoung, Planning Director

Date: January 27, 2015

Re: Glen Laurel East, Phases 2A & 2B

Please place a final acceptance request for the referenced asphalt pavement on the next available agenda. Asphalt and base course conditions have been inspected and found to be satisfactory in accordance with Town specifications. Upon Council acceptance, the Town will assume all maintenance duties.

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

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(919) 553-1530

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(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector

Copy: Dave DeYoung, Planning Director
Jonathan Barnes, Dalton Engineering

Date: February 3, 2015

Re: Spring Branch Commercial Subdivision, Phase 1

Please place a final acceptance request for the subject public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed and all punch list items have been corrected. Upon acceptance, the Town will assume all operation and maintenance duties.

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

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(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector *CR*

Copy: Dave DeYoung, Planning Director
Jonathan Barnes, Dalton Engineering

Date: February 3, 2015

Re: Spring Branch Medical & Commercial Park, Phase 2

Please place a final acceptance request for the referenced public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed with no identifiable faults discovered. Upon acceptance, the Town will assume all operation and maintenance duties.

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE
(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Copy: Dave DeYoung, Planning Director
Steven Sanderson, Sanderson Engineering

Date: February 3, 2015

Re: South Tech Park / Harvest Mill Lane

Please place a final acceptance request for the subject public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed with no identifiable faults discovered. Upon acceptance, the Town will assume all operation and maintenance duties.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7a

Meeting Date: February 16, 2015

TITLE: DISCUSSION – Watershed Protection Overlay

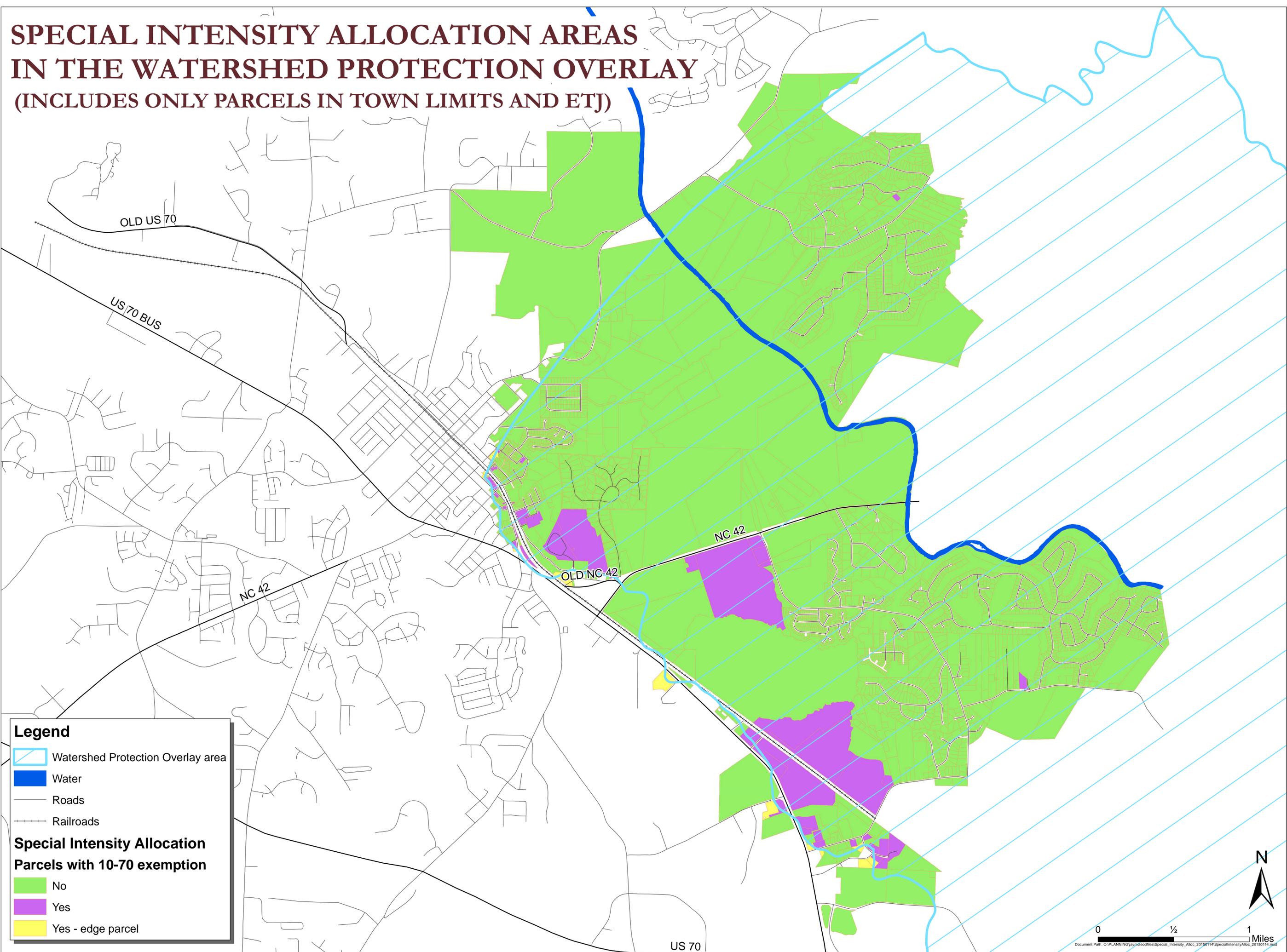
DESCRIPTION: Mr. DeYoung will provide an updated report regarding Special Intensity Allocations within the Watershed Protection Area.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	None	Data Report Map

SPECIAL INTENSITY ALLOCATION AREAS IN THE WATERSHED PROTECTION OVERLAY (INCLUDES ONLY PARCELS IN TOWN LIMITS AND ETJ)

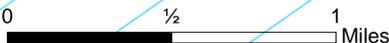


Legend

-  Watershed Protection Overlay area
-  Water
-  Roads
-  Railroads

**Special Intensity Allocation
Parcels with 10-70 exemption**

-  No
-  Yes
-  Yes - edge parcel



Document Path: O:\PLANNING\laym\docfiles\Special_Intensity_Alloc_20150114\SpecialIntensityAlloc_20150114.pxd

Special Intensity Allocation (SIA) Tracking dataset

Date last updated: 01/30/2015

Acreage in Watershed Protection Overlay (WPO) and in the Clayton ETJ	6,908.1
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Acreage available for Special Intensity Allocation (SIA), according to the 10-70 rule*	690.805
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PIN	TAG	Owner Name	Acreage
166806-29-8912	05008017A	BRANNON, RUBY P LIFE ESTATE	0.11
167700-48-8826	05I05019W	BRYANT, ROBERT M	0.78
167700-58-6857	05I05019P	BW 127 LLC	4.49
167700-59-0242	05I05019T	CAPITAL PROPERTIES OF RALEIGH	1.07
168803-04-6711	05J05008B	CARE OF CLAYTON LLC	3.08
167800-08-7314	05I04002A	CATERPILLAR INC	139.31
167700-38-4916	05I05018	CBE DEVELOPMENT LLC	2.01
166918-32-1429	05035041	CHURCH OF GOD PROPHECY (THE)	0.58
166918-20-7150	05008017B	CLAYTON AREA MINISTRIES INC	0.08
166918-20-7904	05037017A	CLAYTON CHURCH OF GOD	0.03
166918-20-7912	05037017	CLAYTON CHURCH OF GOD	0.11
166806-49-4447	05037010R	CLAYTON MULTI FAMILY	17.86
167700-49-5090	05I05019U	COMMERCIAL PROPERTIES	1.21
167700-58-1980	05I05019S	CURRIE, DAVID T JR	0.58
166917-21-0550	05011031B	DALTON, JERRY T	0.31
166807-68-2584	05H03008L	EAST VILLAGE INVESTMENTS LLC	1.03
166806-29-8767	05008071	ELLERBE, ETTA JEAN CANADY	0.19
166806-38-2972	05008010	G&E HOLDINGS LLC	0.46
166917-11-7758	05011032	GOFF, KAREN M	0.04
167700-38-4780	05I05020Q	GOLDLEAF PROPERTIES LLC	0.06
166806-29-8512	05008008	GORDON, CHARLES B	0.69
166806-29-7288	05008005	GORDON, CHARLES B	0.03
167800-21-5181	05I05001D	GRIFOLS THERAPEUTICS INC	57.40
167800-32-1371	05I05001F	GRIFOLS THERAPEUTICS INC	65.19
167800-33-1200	05I05001E	GRIFOLS THERAPEUTICS INC	54.65
166917-20-3991	05009006	GRISSOM, SANDRA L	0.12
166918-30-5328	05037008V	HCY LLC	4.81
167800-11-8801	05I05001V	HOSPIRA INC	7.49
166917-21-1129	05009001	HOWARD, EMORY F	0.40
167700-68-0854	05I05008K	JOHNSTON COUNTY INDUSTRIAL	7.97
167800-20-0142	05I05040B	KLOPFER ASSOCIATES NC LLC	2.33
166917-21-0507	05011031D	KRISTOFF, LAWRENCE E II &	0.34
166806-39-1049	05008035	LEE, RAYMOND E	0.24
166917-11-9700	05011031	MCLEOD, BERNARD F III	0.80
166806-29-9490	05008011	MERCADO, MARIA L	0.15

166917-12-8012	05011035	MITCHINER, HERMAN A	0.09
166800-84-0769	05I04017	MOORING CAPITAL FUND LLC	1.69
166913-22-1604	05036041	MT VERNON CHURCH	0.66
166913-22-1784	05036001	MT VERNON UNITED CHR OF CHRIST	0.21
167800-12-0788	05I05001B	NATVAR HOLDINGS INC DEL CORP	3.77
167800-18-5884	05I04003B	NC KEEN LAND LLC	1.46
167800-19-2673	05I04003C	NC KEEN LAND LLC	4.63
167800-19-4135	05I04003N	NC KEEN LAND LLC	5.82
167700-58-4409	05I05019N	NEUSE RIVER LEASING INC A	1.19
167700-58-6227	05I05019O	NEUSE RIVER LEASING INC A	2.76
167700-48-9258	05I05019L	NEUSE RIVER LEASING INC A	0.004
167700-58-2364	05I05019M	NEUSE RIVER LEASING INC A	0.59
167804-41-9237	05E99010G	NOVO NORDISK PHARMACEUTICAL	53.08
166917-11-6884	05011034	PARKER, DORIS V	0.04
167804-51-8252	05I05013	POWHATAN FREE WILL BAPTIST	3.13
167804-51-9032	05I05011D	POWHATAN FREE WILL BAPTIST	0.09
166917-21-0492	05011029A	PRICE KORNEGAY LLC	0.23
166806-38-3799	05008010A	REVOCABLE TRUST OF GEORGE W	0.24
166806-39-1093	05008035A	RICHARDSON, HEATHER ANNE	0.13
166917-22-1105	05036069	ST AUGUSTINE A M E CHURCH	0.37
166807-59-2827	05037010E	TH CLAYTON DEVELOPMENT COMPANY LLC	52.81
166806-39-0265	05008036	THOMAS G HEAD LIVING TRUST	0.59
166806-38-4771	05008010B	THOMPSON LEE LLC	0.14
166917-20-4725	05009008	THORPE, MELODY JOHNSON	0.28
166917-20-4851	05009007	THORPE, MELODY JOHNSON	0.05
166808-98-0827	05H03100F	TOWN OF CLAYTON	4.59
166917-12-9194	05032003B	TOWN OF CLAYTON	0.23
167700-58-3884	05I05019R	TWIFORD BEST WOOD LLC	1.17
167800-10-7381	05I05040	TWIFORD PONY FARM LLC	0.09
166918-30-1510	05037009Q	UNITED STATES POSTAL SERVICE	3.88
177004-61-0692	16I03004A	USA AUTO BODY SHOP INC	0.99
167700-39-0749	05I05017	WALTHOM GROUP III LLC II	6.44
167700-39-0419	05I05017E	WALTHOM GROUP III, LLC	1.95
167700-39-3255	05I05017C	WALTHOM GROUP III, LLC	2.45
167700-38-1808	05I05017A	WILLIAMS, MARIE S	0.21
166806-48-5430	05037010D	WIL-THOM LLC	0.83
166917-11-7774	05011031C	WINSTEAD BUILDING I A NC PTSHP	0.02
Total			532.88

These parcels are only partially within the WPO. The acreage shown is the area only within the WPO.

Acreage remaining for SIA designation 157.922

* The 10-70 Rule allows Clayton to designate 10% of its WPO area for up to 70% impervious surface development, provided that certain stormwater control measures are implemented.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7b

Meeting Date: February 16, 2015

TITLE: DISCUSSION – Legislative Agenda

DESCRIPTION: Mr. Biggs will lead discussion regarding support of NC League “Municipality Advocacy Goals” and restoring or replacing the NC Historic Preservation Economic Develop Tax Credit.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	None	None

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7c

Meeting Date: February 16, 2015

TITLE: DISCUSSION – ABC Referendum

DESCRIPTION: Ms. Ross will led the discussion regarding possible ABC referendum,

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	None	None

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7d

Meeting Date: February 16, 2015

TITLE: DISCUSSION – Budget Calendar

DESCRIPTION: Mr. Biggs will led discussion regarding current budget calendar and also scheduling of budget work session(s),

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	None	Budget Calendar

Town of Clayton
FY 15-16 Budget Calendar

1. Initiation of NWS Budget Module for FY 2016.
Completed.
2. FY 15 Close-out Meetings.
(Public Works [2 slots], Clayton Center, Electric, Recreation, Human Resources, Police, Fire, Library)
-Jan 5- Jan 8, 2015
3. Submittal of FY 15-16 Departmental budget requests and end of year expenditure estimates:
 - a. Personnel (to HR): January 23, 2015
-HR entry of all personnel: March 6, 2015
 - b. Capital Outlay: February 20, 2015
 - c. Operating budget and EOY expenditure estimates:
 - Section One**: March 9, 2015. (Finance, CS, HR, Library, PD, CDS, Fire, Clayton Center)
 - Section Two**: March 13, 2015. (PW in 3 groups [GS-Streets & PM, GF- Other, W&S Fund], P&R, Electric, Debt Service, Info. Services)
4. Management Review and Feedback: By March 18, 2015
5. Departmental Meetings- Presentations to Town Manager and Budget Review Team, Written Response to Management Review & Feedback
Section One Presentations: March 24 to 30, 2015.
Section Two Presentations: March 31 to April 6, 2015
6. Distribution of FY 15-16 Budget Proposal to Town Council with Summary Presentation
-May 4, 2015.
7. Council Budget Work Sessions
-May 13 and 14, 2015.
8. Council Comments & Questions to Town Manager: By May 18, 2015

9. Final Town Manager Review with Responses and Revisions: May 26, 2016
9. Public Hearing and Budget Wrap-up Presentation
June 1, 2015
10. Adoption of Town of Clayton FY 15-16 Annual Budget
-June 15, 2015.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 8c

Meeting Date: February 16, 2015

TITLE: STAFF - TOWN CLERK

DESCRIPTION: Calendar of Events

ITEM SUMMARY:

Date:

Requested Action:

Info. Provided:

02-16-15

None

Calendar of Events

February 2015

- Council Meeting – Monday, February 16, 2015 @ 6:30 PM

March 2015

- Council Meeting – Monday, March 2, 2015 @ 6:30 PM
- Spring Forward: 2015 Daylight Saving Time begins – Sunday, March 8, 2015, at 2:00 AM
- Council Meeting – Monday, March 16, 2015 @ 6:30 PM
- TOWN HALL DAY – Wednesday, March 18, 2015 – Raleigh All Day
- TOWN HALL DAY Dinner – Wednesday, March 18, 2015 @ 6:00 PM – Clayton Center
- The Clayton Center Palladian Series: Yesterday and Today “Interactive Beatles Experience” – Friday, March 20, 2015 @ 8:00 PM

April 2015

- Good Friday Holiday – Friday, April 3, 2015
- Council Meeting – Monday, April 6, 2015 @ 6:30 PM
- The Clayton Center Palladian Series: The Fabulous Equinox – Jeremy Davis & Orchestra– Saturday, April 11, 2015 @ 8:00 PM
- Council Meeting – Monday, April 20, 2015 @ 6:30 PM

May 2015

- Council Meeting – Monday, May 4, 2015 @ 6:30 PM
- Council Meeting – Monday, May 18, 2015 @ 6:30 PM
- Memorial Day Holiday – Monday, May 25, 2015

June 2015

- Council Meeting – Monday, June 1, 2015 @ 6:30 PM
- Council Meeting – Monday, June 15, 2015 @ 6:30 PM

July 2015

- Independence Day Holiday – Friday, July 3, 2015
- Council Meeting – Monday, July 20, 2015 @ 6:00 PM

August 2015

- Council Meeting – Monday, August 3, 2015 @ 6:30 PM
- Council Meeting – Monday – August 17, 2015 @ 6:30 PM

September 2015

- Labor Day Holiday – Monday – September 7, 2015
- Council Meeting – **TUESDAY** – September 8, 2015 @ 6:30 PM
- Council Meeting – Monday – September 21, 2015 @ 6:30 PM

October 2015

- Council Meeting – Monday – October 5, 2015 @ 6:30 PM
- NCLM Annual Conference – October 11-13, 2015; Winston Salem, NC

- **Council Meeting – Monday- October 19, 2015 @ 6:30 PM**

November 2015

- **Fall Back: 2015 Daylight Saving Time ends – Sunday, November 1, 2015, at 2:00 AM**
- **Council Meeting – Monday – November 2, 2015 @ 6:30 PM**
- **Veteran’s Day Holiday – Wednesday, November 11, 2015**
- **Council Meeting – Monday – November 16, 2015 @ 6:30 PM**
- **Thanksgiving Day Holiday – Thursday, November 26, 2015 & Friday, November 27, 2015**

December 2015

- **Council Meeting – Monday – December 7, 2015 @ 6:30 PM**
- **Council Meeting – Monday – December 21, 2015 @ 6:30 PM**
- **Christmas Holiday – Wednesday, December 23, 2015; Thursday, December 24, 2015; & Friday, December 25, 2015**