

Jody L. McLeod  
**MAYOR**

Bruce Thompson  
**TOWN ATTORNEY**

Steve Biggs  
**TOWN MANAGER**



Bob Satterfield  
R.S. "Butch" Lawter, Jr.  
Art Holder  
Jason Thompson  
**COUNCIL MEMBERS**

Michael Grannis  
**MAYOR PRO TEM**

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## **TOWN COUNCIL MEETING**

**MARCH 2, 2015**

### **AGENDA**

#### **MAYOR AND TOWN COUNCIL**

**MAYOR JODY L. MCLEOD**  
**MAYOR PRO TEM MICHAEL GRANNIS**  
**COUNCILMAN BOB SATTERFIELD**

**COUNCILMAN ART HOLDER**  
**COUNCILMAN R.S. "BUTCH" LAWTER, JR.**  
**COUNCILMAN JASON THOMPSON**

#### **TOWN STAFF**

**STEVE BIGGS, TOWN MANAGER**  
**KIMBERLY A. MOFFETT, TOWN CLERK**  
**BRUCE THOMPSON II, TOWN ATTORNEY**

**AGENDA**  
**THE REGULAR MEETING OF THE CLAYTON TOWN COUNCIL**

**MONDAY, MARCH 2, 2015**  
**6:30 PM**

**THE CLAYTON CENTER**  
**COUNCIL CHAMBERS**

1. **CALL TO ORDER**  
Pledge of Allegiance & Invocation – Mayor Jody L. McLeod
2. **ADJUSTMENT OF THE AGENDA**
3. **CONSENT AGENDA**  
*(Items on the consent agenda are considered routine in nature or have been thoroughly discussed at previous meetings. Any member of the Council may request to have an item removed from the consent agenda for further discussion.)*
  - a. **Warranty and Dedication Acceptances:**
    - Chandlers Ridge (Old Lyndale) – Phases 1 & 2
    - Spring Branch, Phase 1
    - Glen Laurel East, Phases 2A & 2B
    - Spring Branch Commercial Subdivision, Phase 1
    - Spring Branch Medical & Commercial Park, Phase 2
    - South Tech Park/Harvest Mill Lane
  - b. **Approval of Special Event - 2015-02 – 2015 Town Square Concert Series**
  - c. **Resolution #2015-07 – Water Reclamation Reimbursement**
  - d. **Proclamation – Arbor Day 2015**
  - e. **Ordinance #2015-03-01 – Amendment Related to Right-Of-Way Encroachments**

**Suggested Action: Motion for Approval of Consent Agenda as Presented**
4. **INTRODUCTIONS AND SPECIAL PRESENTATIONS**
  - a. **Junior Girl Scout Troop 672 - Community Services Project –Grace Episcopal Church Back Pack Buddies**

**Suggested Action: None**
5. **PUBLIC HEARINGS**
  - a. **Public Hearing – PSD 2014-145 – Lions Gate –Phases 7 A, 7B,7C, & 7D**

**Suggested Action: Motion for Approval**

b. Public Hearing - SUP 2014-143 – Murdock Solar Farm  
**Suggested Action:** Motion for Approval

c. Public Hearing – PDD 2014-127 – Steeplechase Planned Development – Rezoning to PD-MU

**Suggested Action:** Pending Revised Traffic Study

d. Public Hearing - PSD 2014-128 - Steeplechase Planned Development – Preliminary Plat/Master Plan

**Suggested Action:** Pending Revised Traffic Study

6. **OLD BUSINESS**

a. Special Event - 2014-129 – Millstock Art and Music Festival  
*Presenter:* Bruce Naegelen, Downtown Development Coordinator

**Suggested Action:** Approval of Event

b. Clayton Center Office Renovations  
*Presenter:* Steve Biggs, Town Manager

**Suggested Action:** Approval to move forward

7. **NEW BUSINESS**

a. Legislative Agenda

- Support NC League of Municipalities “Municipal Advocacy Goals”
- Seek Restoration or Replacement of North Carolina Historic Preservation Economic Development Tax Credit

*Presenter:* Steve Biggs, Town Manager

b. Resolution Appointing Deputy Town Clerk and Duties  
*Presenter:* Kimberly Moffett, Town Clerk

**Suggested Action:** Place on March 16, 2015 Consent Agenda

c. Dumpster Service Court Design & Location Update  
*Presenter:* Anthony Garcia, Downtown Development Association

8. **STAFF REPORTS**

- a. Town Manager
- b. Town Attorney
- c. Town Clerk
  - Calendar of Events
- d. Other Staff

- **Status of Comp. Plan Update**  
*Presenter: David DeYoung, Planning Director*

**9. OTHER BUSINESS**

- Informal Discussion & Public Comment**
- Council Comments**

**10. ADJOURNMENT**

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 3a**

**Meeting Date: March 2, 2015**

**TITLE: Consent - Warranty and Dedication Acceptances**

**DESCRIPTION: Chandlers Ridge (Old Lyndale) Phases 1 & 2  
Spring Branch, Phase 1  
Glen Laurel East, Phases 2A & 2B  
Spring Branch Commercial Subdivision, Phase 1  
Spring Branch Medical & Commercial Park, Phase 2  
South Tech Park/Harvest Mil Lane**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015	Inspectors Memos
3-2-15	Approval	Inspectors Memos

# TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE  
(919) 553-1530

VEHICLE MAINTENANCE  
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS  
(919) 553-1530

WATER RECLAMATION  
(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Copy: Danny Blackburn, Blackburn Engineering  
Dave DeYoung, Planning Director

Date: January 23, 2015

Re: Chandlers Ridge (Old Lyndale) Subdivision, Phases 1 & 2

The referenced final lift of asphalt pavement has been installed. Please schedule Council action for the acceptance of this work, subject to a one-year warranty period. Upon expiration of the warranty, pavement and base course condition will be evaluated and any identified faults corrected by the developer prior to final acceptance.

# TOWN OF CLAYTON OPERATIONS CENTER

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(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector

Copy: Dave DeYoung, Planning Director  
Jonathan Barnes, Dalton Engineering

Date: February 3, 2015

Re: Spring Branch Commercial Subdivision, Phase 1

Please place a final acceptance request for the subject public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed and all punch list items have been corrected. Upon acceptance, the Town will assume all operation and maintenance duties.

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(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk 

From: Chris Rowland, Construction Inspector

Copy: Danny Blackburn, Blackburn Consulting Engineering  
David DeYoung, Planning Director

Date: January 27, 2015

Re: Glen Laurel East, Phases 2A & 2B

Please place a final acceptance request for the referenced asphalt pavement on the next available agenda. Asphalt and base course conditions have been inspected and found to be satisfactory in accordance with Town specifications. Upon Council acceptance, the Town will assume all maintenance duties.

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(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Date: February 3, 2015

Cc: Dave DeYoung, Planning Director  
Jonathan Barnes, Dalton Engineering

Subject: Spring Branch, Phase 1 Asphalt

Please place a final acceptance request for the referenced asphalt pavement on the next available agenda. A final inspection was completed with no deficiencies noted. Upon acceptance, the Town will assume all maintenance duties.

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(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector *CR*

Copy: Dave DeYoung, Planning Director  
Jonathan Barnes, Dalton Engineering

Date: February 3, 2015

Re: Spring Branch Medical & Commercial Park, Phase 2

Please place a final acceptance request for the referenced public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed with no identifiable faults discovered. Upon acceptance, the Town will assume all operation and maintenance duties.

# TOWN OF CLAYTON OPERATIONS CENTER

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(919) 553-1535

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## MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector 

Copy: Dave DeYoung, Planning Director  
Steven Sanderson, Sanderson Engineering

Date: February 3, 2015

Re: South Tech Park / Harvest Mill Lane

Please place a final acceptance request for the subject public water, sewer, associated storm drainage utilities, and all pertinent easements on the next available agenda. A final inspection was performed with no identifiable faults discovered. Upon acceptance, the Town will assume all operation and maintenance duties.

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 3b**

**Meeting Date: March 2, 2015**

**TITLE: Consent - Special Event # 2015-02**

**DESCRIPTION: 2015 Town Square Concert Series – This series is sponsored by the DDA and will run monthly, be held on Thursday evenings beginning on May 21,2015 and ending on September 17, 2015**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015 Consent Agenda	Special Event Report
3-2-15	Approval	Special Event Report



**Town of Clayton**  
**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

**SPECIAL EVENT ACTION ITEM REPORT**

**Planning Staff Contact: Bruce Naegelen: 919-280-1278**

**EVENT INFORMATION:**

**Event Name:** Town Square Concert Series      **File Number:** 2015-02  
**Event Description:** Concert Series sponsored by DDA  


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**Event Date(s):** 5-21,6-18,7-16,8-20, 9-17      **Event Time(s):** 6:00 PM TO 9:00 PM  
**Event Location:** Town Square  
**Event Coordinator:** Bruce Naegelen      **Contact Number:** 919-280-1278  
**Contact Email:** [bnaegelen@townofclaytonnc.org](mailto:bnaegelen@townofclaytonnc.org)  
**Attendees (Per Day):** 1100+

**TOWN SERVICES REQUESTED:**

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	Trash Carts - 6 regular 6 recycled	Concert dates	Steve Blasko	919 359-1287
Public Works	Barricades – Town Square parking lot & Fayetteville/Main and Fayetteville/Second	Concert dates	Steve Blasko	919 359-1287
Town Council	Request to close Town Square Parking Lot 6:00 am – 10:00 pm	Concert Dates		
Town Council	Request to close Fayetteville Street from Main to Second 5:00 pm – 10:00 pm	Concert Dates		

**STAFF USE:**

SEC Approval	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Date: 1/29/15	<input type="checkbox"/> No Council Action needed
Council Action	Presentation      Date: 2/16/15 Consent Agenda      Date:		<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval <input checked="" type="checkbox"/> ABC Permit Submittal <input type="checkbox"/> Other		<input type="checkbox"/> Issue Permit    Date:

(SEC – Special Event Committee)

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 3c**

**Meeting Date: March 2, 2015**

**TITLE: Consent – Reimbursement Resolution**

**DESCRIPTION:** This resolution declares intent of the Town to reimburse itself from the proceeds of a future financing contract for certain expenditures made and/or to be made in connection with water reclamation improvements.

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015 Consent Agenda	Resolution
3-2-15	Approval	Resolution

**TOWN OF CLAYTON  
REIMBURSEMENT RESOLUTION**

**RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CLAYTON DECLARING ITS INTENTION TO REIMBURSE ITSELF FROM THE PROCEEDS OF A FUTURE FINANCING CONTRACT FOR CERTAIN EXPENDITURES MADE AND/OR TO BE MADE IN CONNECTION WITH WATER RECLAMATION IMPROVEMENTS.**

**WHEREAS**, the Town of Clayton (the “Town”) is a Town organized and existing under the laws of the state of North Carolina; and

**WHEREAS**, the Town has paid and/or will pay certain expenditures (the “Expenditures”) in connection with the purchase of rolling stock (the “Project”); and

**WHEREAS**, the Town Council of the Town (the “Council”) has determined that those moneys previously advanced and to be advanced on and after the date hereof to pay the Expenditures are available only for a temporary period and it is necessary to reimburse the Town for the Expenditures from the proceeds of a future financing contract (the “Contract”);

**NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL AS FOLLOWS:**

Section 1. The Council hereby declares the Town’s intent to reimburse the Town with the proceeds of the Contract for the Expenditures with respect to the Project made prior to adoption of this resolution and on and after the date hereof. The Town reasonably expects on the date hereof that it will reimburse the Expenditures with the proceeds of the Contract.

Section 2. Each Expenditure will be either (a) of a type properly chargeable to a capital account, (b) a cost of issuance with respect to the Contract, or (c) a nonrecurring item that is not customarily payable from current revenues.

Section 3. The maximum principal amount of the Contracts are expected to be entered into for the Project is \$330,000.

Section 4. The Town will make a reimbursement allocation, which is a written allocation by the Town that evidences the Town's use of proceeds of the Contract to reimburse an Expenditure, no later than 18 months after the later of the date on which the Expenditure is paid or the Project are placed in service or abandoned, but in no event more than three years after the date on which the Expenditure is paid. The Town recognizes that exceptions are available for certain "preliminary expenditures", and costs of issuance.

Section 5. This resolution shall take effect immediately upon its passage.

Duly resolved this 2nd day of March 2015, while in regular session.

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Jody L. McLeod  
Mayor

Attest:

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Kimberly A. Moffett, CMC  
Town Clerk

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 3d**

**Meeting Date: March 2, 2015**

**TITLE: Consent – Arbor Day Proclamation**

**DESCRIPTION: This proclamation officially recognizes Friday, March 20, 2015 as Arbor Day.**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015 Consent Agenda	Proclamation
3-2-15	Approval	Proclamation

## **TOWN OF CLAYTON PROCLAMATION - ARBOR DAY**

**WHEREAS**, in 1872, J. Sterling Morton, who would become Secretary of Agriculture under President Grover Cleveland, proposed to the Nebraska Board of Agriculture that a special day be set aside for planting trees; and,

**WHEREAS**, the resulting holiday – Arbor Day – was first observed in that State with the planting of more than one million trees and is now observed throughout the nation and the world; and

**WHEREAS**, trees are renewable resources that yield fruit and nuts for food and profit, wood for construction, fuel for warmth, paper products and a variety of other goods and materials; and

**WHEREAS**, trees intercept storm water, reduce runoff and erosion, clean air and water, produce oxygen, slow climate change by absorbing carbon dioxide, provide habitat for wildlife, and moderate air temperature; and

**WHEREAS**, when properly selected and tended appropriately, trees increase property values, enhance economic vitality of business districts, provide buffers from traffic and are a source of joy and spiritual renewal; and

**WHEREAS**, the Town of Clayton achieved Tree City, USA status in 2006 and continues to maintain and improve our urban forest by the planting of additional trees to enhance our community; and

**WHEREAS**, Arbor Day reminds us of the timeless observation by its founder, J. Sterling Morton, that “Each generation takes the earth as trustees;”

**NOW, THEREFORE, LET IT BE PROCLAIMED** by the Honorable Mayor and Town Council of the Town of Clayton, North Carolina, that Friday, March 20, 2015, be recognized as “**Arbor Day**” and we urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands. We encourage all citizens to plant trees to promote the well-being of this and future generations because a healthy urban forest can bring a sense of vibrancy or respite, adventure or calm and escape or contentment, amidst asphalt and concrete.

Duly proclaimed by the Clayton Town Council this 2<sup>nd</sup> day of March 2015, while in regular session.

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Jody L. McLeod,  
Mayor

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 3e**

**Meeting Date: March 2, 2015**

**TITLE: Consent – Right of Way Encroachment Ordinance**

**DESCRIPTION: Proposed ordinance as necessary to protect the condition and integrity of the Town streets, sidewalks, and infrastructure as located in the public right-of-way.**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Place on March 2, 2015 Consent Agenda	Ordinance
3-2-15	Approval	Ordinance <i>(Will be provided at meeting)</i>

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 4a**

**Meeting Date: March 2, 2015**

**TITLE: Special Presentations - Girl Scout Troop 672**

**DESCRIPTION: Members of Junior Girl Scout Troop 672 will be to share details about their upcoming Community Services Project. They will be working in conjunction Grace Episcopal Church and the Back Pack Buddy program.**

**RELATED GOAL:**

**ITEM SUMMARY:**

**Date:**

**Action:**

**Info. Provided:**

**3-2-15**

**Non I**

**N/A**

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 5a**

**Meeting Date: March 2, 2015**

**TITLE: Public Hearing - PSD 2014-145**

**DESCRIPTION:** LionsGate - Phases 7A, 7B, 7C & 7D, located within the LionsGate Planned Development located near the intersection of Amelia Church and Shotwell Road. Applicant, DC Adams Engineering, is requesting preliminary subdivision plat approval for the major subdivision which would allow a total of 82 townhome units.

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing For March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing	Staff Report Supporting Documents



Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

*Town Council, February 16, 2015*

**STAFF REPORT**

**Application Number:** PSD 2014-145 (major subdivision)  
**Project Name:** LionsGate Phases 7A -7D

**NC PIN:** A portion of parcels 165919-51-7554 and 165919-61-2030  
**County Tag #:** A portion of 05G02198M and 05E01199C  
**Town Limits/ETJ:** Town Limits  
**Overlay:** None  
**Master Plan:** LionsGate SUP 2013-71 (to be modified for consistency)  
**Applicant:** DC Adams Engineering, Inc.  
**Owners:** LionsGate Village, LLC

**Neighborhood Meeting:** Not required – part of an approved Planned Development Master Plan  
**Public Noticing:** Property posted January 16, 2015  
**Planning Board:** January 26, 2015

**PROJECT LOCATION:** The project is located within the LionsGate Planned Development, near the intersection of Amelia Church and Shotwell Road, within Town Limits.

**REQUEST:** The applicant is requesting preliminary subdivision plat approval for the major subdivision of Phases 7A, 7B, 7C, and 7D in the LionsGate Planned Development to allow a total of 82 townhome units.

**SITE DATA:**

**Acreeage:** 10.31 acres total  
                   Phase 7A: 4.43 acres  
                   Phase 7B: 2.62 acres  
                   Phase 7C: 1.29 acres  
                   Phase 7D: 1.97 acres

**Zoning:** PD-MU (Planned Development – Mixed Use)  
**Existing Use:** Vacant  
**Existing Impervious:** None - property is vacant.

**DEVELOPMENT DATA:**

Proposed Uses: Townhome residential units

Buildings: 82 residential units (15 buildings) – each unit will be on its own subdivided lot

Number of Stories: Maximum height of 40 feet

Impervious Surface: Maximum allowed impervious for combined phases 7A-7D (*per approved master plan*): 60%

Maximum proposed impervious: 52% (see plan sheet for breakdown of impervious surfaces per use)

Maximum impervious per lot: 100%

Required Parking: 2 spaces per unit plus 1 guest space per 4 units (multi-family requirement)

Total required at 82 units: 185 spaces

Proposed Parking: 188 spaces, including 6 handicap-accessible spaces

Fire Protection: The Town of Clayton Fire Department will provide fire protection.

Access/Streets: Accessed off of Fieldspar Lane and Middleton Street within the LionsGate development.

Water/Sewer Provider: Town of Clayton

Electric Provider: Duke/Progress Energy

**ADJACENT ZONING AND LAND USES:**

**North:** Zoning: Residential-10 (R-10)  
Existing Use: Vacant, Single Family Residential

**South:** Zoning: Planned Development Mixed Use  
Existing Use: LionsGate future Phases 1A, 1B, and 2A

**East:** Zoning: Planned Development – Mixed Use (PD-MU)  
Existing Use: LionsGate Planned Development (Open Space)

**West:** Zoning: Planned Development – Mixed Use (PD-MU)  
Existing Use: LionsGate Planned Development (Existing Daycare, Single Family Residential)

**STAFF ANALYSIS AND COMMENTARY:**

**Overview**

The applicant is requesting preliminary subdivision plat approval for Phases 7A, 7B, 7C, and 7D as depicted on the LionsGate Master Plan.

The applicant is requesting approval for a total of 82 lots:

- Phase 7A: 36 lots/units
- Phase 7B: 24 lots/units
- Phase 7C: 10 lots/units
- Phase 7D: 12 lots/units

Each townhome unit will be on an individual subdivided lot. Townhomes will not have garages or driveways and instead will share common parking areas. The proposed layout includes a range of 3 to 8 units per building and all will be accessed off of the future Fieldspar Lane, which will be constructed as part of Phases 1A and 1B (single family homes).

**Consistency with Master Plan**

The latest approved version of this plan is SUP 2013-71. A minor amendment to this plan is required for consistency with the proposed 7A-7D phases (to adjust phase lines and park location). Approval of this preliminary subdivision plat is subject to approval of the revised Master Plan and is listed as a Condition of Approval.

Despite the need for minor modifications to the Master Plan, the proposed subdivision is consistent with the approved Master Plan.

**Consistency with the Unified Development Code**

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC) with the exception of the waiver request for the buffer (read below).

**Landscaping and Buffering**

A Class C perimeter buffer is provided along Amelia Church Road and will be located within the 35 foot greenway easement. The proposed buffer is “Alternative 3” as defined in the Unified Development Code and will be variable in width from 20 feet to 35 feet to allow for placement of the future greenway.

The applicant is requesting alternative compliance to the Class C buffer requirement. This buffer usually includes a visual buffer which is six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The applicant is requesting alternative compliance because they have dedicated a 35’ greenway easement and the Clayton Community Center Pedestrian Connector Greenway will be passing through the buffer.

In addition to the above, the installation of buffer materials will be delayed until such time as the greenway is built to allow for flexibility in greenway location, and plantings may be placed on either side of the trail.

**Garbage / Recycling**

Per the Town’s solid waste ordinances, dumpsters shall be required for trash and recycling services. Dumpsters are required for multi-family development.

**Recreation and Open Space**

Recreation and open space requirements were set by the overall LionsGate Planned Development.

The recreation and open space proposed in Phases 7A-7D is required to meet the requirements set forth in the LionsGate Planned Development Master Plan, which designates a 0.95 acre park adjacent to the daycare facility.

The current proposed design requests a relocation of this park to a location across the street. As noted earlier in this report, a Master Plan revision is required to relocate park areas and phase lines. So long as the park area is not decreased in size, these modifications are considered minor and staff feels the relocation is acceptable.

The proposed park will require Minor Site Plan approval prior to construction, and will require construction or bonding as a part of the construction of Phase 7A.

### **Environmental**

Resource conservation areas (stream buffers, 100-year flood zones) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted. In this case, the stream buffer shown will be required to meet minimum state requirements only (50 foot buffer including two zones: zone one being 30 feet of undisturbed buffer and zone two being 20 feet of area that may be graded, but not built upon) rather than the Town's standard requirement for a 50 foot undisturbed buffer. This is because the Master Plan showing the two-zone state requirement was approved prior to the Town's rule for a 50 foot undisturbed buffer.

### **Signs**

No signage is requested as part of this request. Any signage will be required to receive applicable permits and meet requirements of the Unified Development Code.

### **Access/Streets**

Access will be provided off of the future Fieldspar Lane, approved as part of Phase 1A and 1B. Fieldspar Lane is accessed off of Middleton Street, which is the existing primary entrance to LionsGate off of Amelia Church Road. No additional access to Amelia Church Road is proposed.

The townhomes will be accessed via two private drives extending off of Fieldspar Lane. The townhomes to the west of Fieldspar Lane have an exit-only option onto Middleton Street to limit dead-end parking within the development.

### **Multi-Modal Access**

Sidewalks are provided along Fieldspar Lane, and are provided along the front of the townhomes along the private drives. The site includes a 10 foot multi-use path for a portion of Fieldspar Lane, which will connect from Middleton Street to the future greenway along Amelia Church Road. The greenway that will be constructed by the developer will be constructed as part of the associated phase.

### **Architecture/Design**

The townhomes do not have garages or driveways and instead utilize a common parking area. Architectural elevations have been provided by the applicant for approval along with the preliminary subdivision plat.

### **Waivers/Deviations/Variations from Code Requirements**

The applicant is requested alternative compliance for the buffer along Amelia Church Road:

- 1) Alternative compliance within the Class C buffer along Amelia Church Road to remove the visual buffer requirement of six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The Clayton Community Center Pedestrian Connection greenway will be built within a dedicated 35 foot easement in this location. The greenway within the buffer and creates a unique situation where the berm, fence, or wall is not desirable.

Alternative Landscape Compliance requests are approved by the Planning Board. The Planning Board voted to approve the request at their January 26, 2015 meeting.

## **CONSIDERATIONS:**

- The applicant is requesting Preliminary Subdivision Plat approval for Phases 7A, 7B, 7C, and 7D.
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## **FINDINGS:**

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

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## **CONDITIONS:**

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.
2. Approval is subject to approval of a revision to the approved Master Plan for LionsGate to ensure consistency between the proposed subdivision of Phases 7A-7D and the specifications of the Master Plan.
3. Development shall be consistent with the specifications and conditions of approval associated with the approved LionsGate Planned Development Master Plan.
4. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy for each phase of the development. All site improvements shall be installed prior to the final site inspection.
5. The park shall be active recreation, shall be approved via a Minor Site Plan, and shall be constructed or bonded as a part of Phase 7A.
6. All development fees shall be paid prior to final plat recordation.
7. The bike trail shall be constructed prior to the issuance of a certificate of occupancy for the associated phase.
8. Sidewalks shall be constructed or bonded prior to issuance of a Certificate of Occupancy for the associated building.
9. Resource conservation areas as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.
10. The review and approval of project water, sewer, storm drainage and street construction drawings shall be approved by the Public Works Department prior to issuance of building permits. Two sets of these drawings must be submitted for approval to Public Works Department when they become available.

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**Planning Board Recommendation: Approval with Conditions as listed.**

**Town Council Recommendation:**

**Attachments:**

1. Findings of Fact
2. Aerial/Zoning Map
3. Application
4. Planning Board recommendation
5. Plans

**APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY**

*Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:*

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDD. FURTHERMORE, THIS SUBDIVISION IS CONSISTENT WITH ALL REQUIREMENTS SET ASIDE BY THE APPROVED MASTER PLAN.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

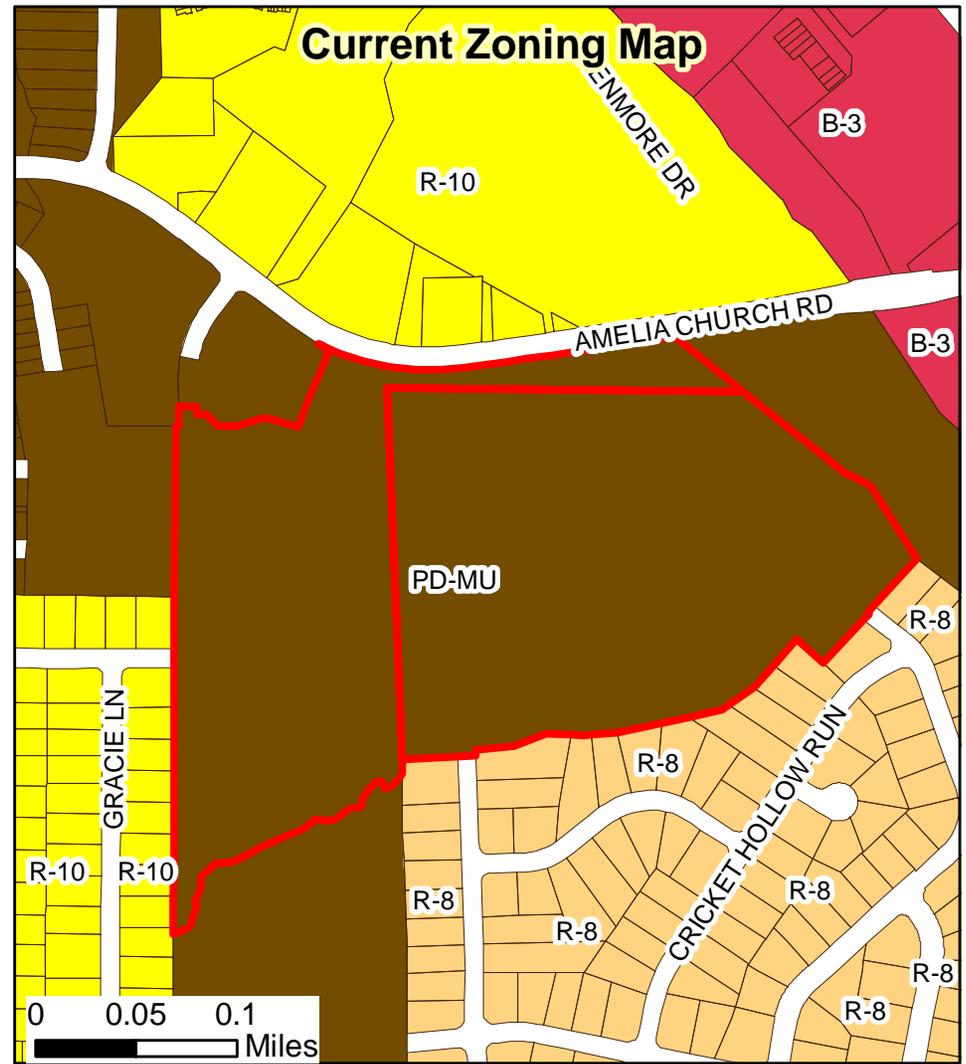
THE SUBDIVISION DESIGN IS SUCH THAT IT WILL BE BENEFICIAL TO ORDERLY DEVELOPMENT ON ADJACENT TRACTS. THIS DEVELOPMENT WILL ADD TO THE TOWN'S GREENWAY TRAIL SYSTEM AND IMPROVE WALKABILITY WITHIN THE CITY LIMITS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE SUBDIVISION IS DESIGNED TO PROVIDE PROPER TRAFFIC FLOW WITHIN THE NEIGHBORHOOD AND PROVIDES APPROPRIATE CONNECTIONS TO THE EXISTING STREET SYSTEM FOR SAFE INGRESS AND EGRESS.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPMENT PATTERN IN THE TOWN.



**LionsGate Phase 7A - 7D - Preliminary Subdivision  
Part of LionsGate Planned Development**

Applicant: DC Adams Engineering, c/o Donnie Adams  
 Property Owner: LionsGate Village, LLC  
 NC PIN(s): A portion of 165919-51-7554 and 165919-61-2030  
 Tag #: A portion of 05G02198M and 05E01199C  
 File Number: PSD 2014-145

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



12/29/14

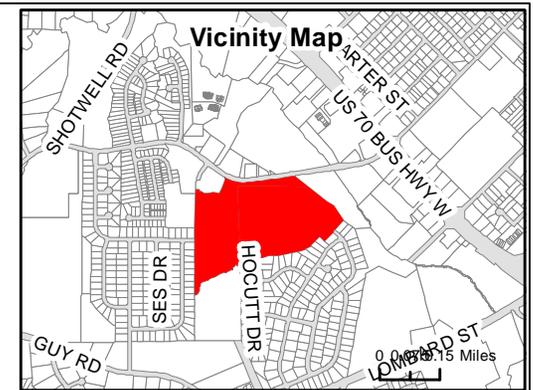
**Legend**

LionsGate Subject Parcels

**FLOODZONE**

AE - 100 Year Flood Zone

AEFW - Floodway





Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## SUBDIVISION APPLICATION

*Pursuant to Article 7, Section 155.706 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a Subdivision (major, minor, final plat, or exempt) application. Applicants seeking subdivision approval shall schedule a pre-application conference with the Planning Director in accordance with Section 155.702(A).*

*Subdivision applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fees are as follows:*

- *Minor Subdivision: \$200.00 + \$5.00/lot.*
- *Major Subdivision: \$400.00 + \$5.00/lot.*
- *Open Space Subdivision = \$700.00 + \$5.00/acre.*
- *Final Plat: \$250.00 + \$5.00/lot.*
- *Exempt Map/Recombination: \$100.00.*

*All fees are due when the application is submitted. Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Subdivision applications.*

### SUBDIVISION TYPE:

Application Type:

- Minor Subdivision     
  Major Subdivision     
  Final Plat     
  Exempt Map  
 Recombination

### SITE INFORMATION:

Name of Project: LIONSGATE PHASES 7A - 7D      Acreage of Property: 10.10  
 Preliminary Plat Approval Date (if applicable): N/A  
 Parcel ID Number: 056021981      Tax ID: 3811079 & 381376  
 Location: OFF MIDDLETOWN ST - OFF AMELIA CHURCH RD - FIELDSPAR LN  
 Section(s): LIONSGATE      Phase(s): 7A-THRU 7D  
 Number of Lots (Existing): 0      (Proposed): 82      Min. Lot Size: \_\_\_\_\_  
 Zoning District: PD-MU      Planned Development? (Y/N): Y      Electric Provider: DUKE ENERGY  
 Specific Use: SINGLE FAMILY  
 Recreation/Open Space Requirement:     
  Fee in lieu     
  Land Dedication (acreage) N/A

### FOR OFFICE USE ONLY

File Number: \_\_\_\_\_ Date Received: DEC 01 2014 Amount Paid: \$810.00

July 2013 Page 1 of 11

2014-145

**OWNER INFORMATION:**

Name: LIONSGATE VILLAGE, LLC  
Mailing Address: 400 RIVERWOOD DR, CLAYTON, NC 27527  
Phone Number: 919-550-8080 Fax: N/A  
Email Address: brian.strickland@fredsmithcompany.com

**APPLICANT INFORMATION:**

Applicant: DC ADAMS ENGINEERING, INC  
Mailing Address: 335 ATHLETIC CLUB BLVD  
Phone Number: 919-763-7278 Fax: N/A  
Contact Person: DONNIE ADAMS  
Email Address: dennie@dcadamspe.com

**REQUIRED PLANS AND SUPPLEMENTAL INFORMATION**

The following items must accompany a Subdivision Plan application. This information is required, except where otherwise noted:

- Required plans (please see the plan requirements checklist below).
- Road Name Approval Application (if applicable).
- A signed and sealed traffic impact analysis (if required).
- Verification of wastewater allocation (granted or requested).
- Verification of approval for the potable water and waste water system improvements from North Carolina Department of Environment and Natural Resources (NCDENR).
- Verification of approval for individual well and septic systems from Johnston County Department of Environmental Health Services (if applicable).
- Driveway permits (Town of Clayton or NCDOT encroachment with associated documentation).
- A copy of proposed deed restrictions and/or covenants (if applicable).

**APPLICANT AFFIDAVIT**

I/We, the undersigned, do hereby make application and petition to the Town of Clayton to approve the subject Subdivision Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

DONNIE ADAMS  
Print Name

[Signature]  
Signature of Applicant

12/1/2014  
Date

**APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY**

*Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:*

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THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPEMENT PATTERN IN THE TOWN.

## PRELIMINARY PLAN REQUIREMENTS

*The following information is required for all preliminary subdivision plans:*

**Provided**

- | Yes                                 | No                                  | N/A                                 |   |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Plans are <sup>24</sup> / <sub>18</sub> inches by <sup>34</sup> / <sub>24</sub> inches with a scale no smaller than 1 inch = 100 feet.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Name of township, county, and state in which the property is located.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Vicinity sketch.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | Provide project data in tabular form:   |
|                                     |                                     | <input checked="" type="checkbox"/> | Area of tract in square feet and acres  |
|                                     |                                     | <input checked="" type="checkbox"/> | Owner's name and address  |
|                                     |                                     | <input checked="" type="checkbox"/> | Within Town limits or ETJ   |
|                                     |                                     | <input checked="" type="checkbox"/> | Zoning of property (and any special conditions if applicable)   |
|                                     |                                     | <input checked="" type="checkbox"/> | Number of lots per acre (density)   |
|                                     |                                     | <input checked="" type="checkbox"/> | Acreeage in Resource Conservation Areas (UDC § 155.500)   |
|                                     |                                     | <input checked="" type="checkbox"/> | Indicate if the site is within a Watershed Protection Overlay   |
|                                     |                                     | <input checked="" type="checkbox"/> | Annexation number (if applicable)   |
|                                     |                                     | <input checked="" type="checkbox"/> | FEMA designated flood plain and floodway (including FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Surveyor or professional engineer's name, seal, and registration number.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Date of survey and plat preparation.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated. |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 - Plats and subdivisions; mapping requirements.                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | All lot boundaries changed or eliminated by requested combination are indicated by dashed lines.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Accurate location and description of all monuments, markers and control points.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | The names of adjacent landowners, or lot, block, parcel, subdivision designations or other legal reference where applicable.  |

- Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated where crossing or forming any boundary line of the property shown. Sight triangles noted where required.
- Location of all existing buildings and structures.
- Minimum building setbacks are noted.
- Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).
- Location of all existing and proposed fire hydrants.
- Location of all existing and proposed drainage structures.
- Proposed streets are labeled, named and dimensioned. Street names must be approved by Johnston County. Correct street cross section detail provided.
- Location, purpose and dimensions of areas to be used for purposes other than residential and public.
- Any other information considered by either the applicant or the town to be pertinent to the review.

### FINAL PLAN REQUIREMENTS

*In addition to the information listed above, the following information is required for all final subdivision plans:*

**Provided**

- | Yes                      | No                       | N/A                                 |  |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | All lot boundaries changed or eliminated by requested combination are indicated by dashed lines.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Approved street names are labeled.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Width and type of buffer is noted (if applicable).   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Verification of minimum Finished Floor Elevation (FFE). The minimum FFE must be at least two feet above the Base Flood Elevation (BFE) on properties affected by FEMA 100 year flood plain.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the boundaries of any greenway dedicated to the Town of Clayton and label "Public Greenway Dedicated to the Town of Clayton."   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:<br><i>"The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | If streets are to remain private: <ul style="list-style-type: none"> <li><input type="checkbox"/> The Home Owners Association (HOA) documents must be approved by the Town Attorney</li> <li><input type="checkbox"/> Streets are labeled "Private Streets – No Town Maintenance"</li> </ul>   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Any other information considered by either the applicant or the town to be pertinent to the review.  |





**Result 1**

id: 05G02205D  
 Tag: 05G02205D  
 Tax Unique Id: 3971901  
 NCPin: 165919-51-2519  
 Mapsheet No: 165919  
 Owner Name 1: GREEAR PROPERTIES LLC  
 Owner Name 2:  
 Mail Address 1:  
 Mail Address 2: PO BOX 4206  
 Mail Address 3: GREENSBORO, NC 27404-4206  
 Site Address 1:  
 Site Address 2:  
 Book: 04345  
 Page: 0597  
 Market Value: 1287250  
 Assessed Acreage: 2.08  
 Calc. Acreage: 2.1  
 Sales Price: 1700000  
 Sale Date: 2013-08-27

**Result 2**

id: 05G02205B  
 Tag: 05G02205B  
 Tax Unique Id: 4055869  
 NCPin: 165918-41-8761  
 Mapsheet No: 165918  
 Owner Name 1: SUNBELT GOLF GROUP LLC  
 Owner Name 2:  
 Mail Address 1: 400 RIVERWOOD DR  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27527-0000  
 Site Address 1: 18 MIDDLETON ST  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03038  
 Page: 0572  
 Market Value: 1506180  
 Assessed Acreage: 4.58  
 Calc. Acreage: 4.28  
 Sales Price: 0  
 Sale Date: 2005-12-22

**Result 3**

id: 05G02205E  
 Tag: 05G02205E  
 Tax Unique Id: 0  
 NCPin: 165918-41-8221  
 Mapsheet No: 165918  
 Owner Name 1: JOYNER VENTURES LLC  
 Owner Name 2:  
 Mail Address 1: 394 FLEMING ROAD  
 Mail Address 2:  
 Mail Address 3: YOUNGSVILLE, NC 27596-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 04433  
 Page: 0334  
 Market Value: 0  
 Assessed Acreage: 5.06  
 Calc. Acreage: 5.04  
 Sales Price: 0  
 Sale Date: 2014-04-09

**Result 4**

id: 05G03004D  
 Tag: 05G03004D  
 Tax Unique Id: 3816053  
 NCPin: 165807-59-3912  
 Mapsheet No: 165807  
 Owner Name 1: TOWN OF CLAYTON  
 Owner Name 2:  
 Mail Address 1: P O BOX 879  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27528-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 03042  
 Page: 0538  
 Market Value: 56370  
 Assessed Acreage: 11.55  
 Calc. Acreage: 11.864  
 Sales Price: 0  
 Sale Date: 2005-12-30

**Result 5**

id: 05E01113  
 Tag: 05E01113  
 Tax Unique Id: 3813668  
 NCPin: 165919-50-5481  
 Mapsheet No: 165919  
 Owner Name 1: ROMAN, EDGARDO  
 Owner Name 2: ROMAN, CARMEN  
 Mail Address 1: 121 HOCUTT LANE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 00000-0000  
 Site Address 1: 121 HOCUTT DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03579  
 Page: 0123  
 Market Value: 128620  
 Assessed Acreage: 0.42  
 Calc. Acreage: 0.406  
 Sales Price: 129000  
 Sale Date: 2008-07-24

**Result 6**

id: 05E01168  
 Tag: 05E01168  
 Tax Unique Id: 3865227  
 NCPin: 165919-50-8436  
 Mapsheet No: 165919  
 Owner Name 1: DASHKAVICH, CHARLOTTE  
 EDWARDS  
 Owner Name 2:  
 Mail Address 1: 755 EPPS BRIDGE PKWY  
 Mail Address 2:  
 Mail Address 3: ATHENS, GA 30606-6987  
 Site Address 1: 116 HOCUTT DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03271  
 Page: 0696  
 Market Value: 148400  
 Assessed Acreage: 0.51  
 Calc. Acreage: 0.528  
 Sales Price: 153000  
 Sale Date: 2007-01-18

**Result 7**

id: 05E01172  
 Tag: 05E01172  
 Tax Unique Id: 3868221  
 NCPin: 165919-50-9389  
 Mapsheet No: 165919  
 Owner Name 1: SCOTT, LESLIE M  
 Owner Name 2:  
 Mail Address 1: 207 WILLOWBROOK CIR  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27527-9731  
 Site Address 1: 120 BILTMORE DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04029  
 Page: 0424  
 Market Value: 131090  
 Assessed Acreage: 0.47  
 Calc. Acreage: 0.461  
 Sales Price: 0  
 Sale Date: 2011-09-30

**Result 8**

id: 05E01169  
 Tag: 05E01169  
 Tax Unique Id: 3813669  
 NCPin: 165919-50-8328  
 Mapsheet No: 165919  
 Owner Name 1: PERREGO, JOEL  
 Owner Name 2: PERREGO, TIFFANY  
 Mail Address 1: 120 HOCUTT DRIVE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 120 HOCUTT DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 02997  
 Page: 0939  
 Market Value: 137340  
 Assessed Acreage: 0.37  
 Calc. Acreage: 0.372  
 Sales Price: 128000  
 Sale Date: 2005-10-17

**Result 9**

id: 05E01173  
 Tag: 05E01173  
 Tax Unique Id: 3813672  
 NCPin: 165919-60-0475  
 Mapsheet No: 165919  
 Owner Name 1: HAYES, CHRISTINA MICHELLE  
 Owner Name 2: HAYES, ASHLEY  
 Mail Address 1: 116 BILMORE DRIVE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 116 BILTMORE DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03706  
 Page: 0576  
 Market Value: 125390  
 Assessed Acreage: 0.3  
 Calc. Acreage: 0.309  
 Sales Price: 125000  
 Sale Date: 2009-05-26

**Result 10**

id: 05E01174  
 Tag: 05E01174  
 Tax Unique Id: 3907046  
 NCPin: 165919-60-1457  
 Mapsheet No: 165919  
 Owner Name 1: IH4 PROPERTY NC LP  
 Owner Name 2:  
 Mail Address 1: 9335 HARRIS CORNERS PKY ST  
 100  
 Mail Address 2:  
 Mail Address 3: CHARLOTTE, NC 28269  
 Site Address 1: 112 BILTMORE DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04470  
 Page: 0804  
 Market Value: 136050  
 Assessed Acreage: 0.35  
 Calc. Acreage: 0.347  
 Sales Price: 0  
 Sale Date: 2014-07-09

**Result 11**

id: 05E01175  
 Tag: 05E01175  
 Tax Unique Id: 3813674  
 NCPin: 165919-60-2447  
 Mapsheet No: 165919  
 Owner Name 1: DELGADO, EDWARD  
 Owner Name 2: TATUM, LISA  
 Mail Address 1: 108 BILTMORE DRIVE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 108 BILTMORE DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03539  
 Page: 0329  
 Market Value: 137740  
 Assessed Acreage: 0.42  
 Calc. Acreage: 0.416  
 Sales Price: 150000  
 Sale Date: 2008-05-01

**Result 12**

id: 05E01071  
 Tag: 05E01071  
 Tax Unique Id: 3813652  
 NCPin: 165919-60-4524  
 Mapsheet No: 165919  
 Owner Name 1: SWEARINGEN, DOUG  
 Owner Name 2: SWEARINGEN, KELLY  
 Mail Address 1: 17 CRICKET HOLLOW RUN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-5923  
 Site Address 1: 17 CRICKET HOLLOW RUN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04441  
 Page: 0538  
 Market Value: 162530  
 Assessed Acreage: 0.49  
 Calc. Acreage: 0.48  
 Sales Price: 158000  
 Sale Date: 2014-04-30

**Result 13**

id: 05E01072  
 Tag: 05E01072  
 Tax Unique Id: 3880871  
 NCPin: 165919-60-4597  
 Mapsheet No: 165919  
 Owner Name 1: SEELIG, CHARLES THOMAS  
 Owner Name 2: SEELIG, TAMARA DAWN  
 Mail Address 1: 13 CRICKET HOLLOW RUN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 13 CRICKET HOLLOW RUN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 01544  
 Page: 0676  
 Market Value: 143860  
 Assessed Acreage: 0.35  
 Calc. Acreage: 0.344  
 Sales Price: 105000  
 Sale Date: 1996-09-05

**Result 14**

id: 05E01073  
 Tag: 05E01073  
 Tax Unique Id: 3813653  
 NCPin: 165919-60-5644  
 Mapsheet No: 165919  
 Owner Name 1: LAJINESS, BRITTANY R  
 Owner Name 2:  
 Mail Address 1: 9 CRICKET HOLLOW RUN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-5923  
 Site Address 1: 9 CRICKET HOLLOW RUN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04461  
 Page: 0923  
 Market Value: 155750  
 Assessed Acreage: 0.31  
 Calc. Acreage: 0.309  
 Sales Price: 152000  
 Sale Date: 2014-06-18

**Result 15**

id: 05E01074  
 Tag: 05E01074  
 Tax Unique Id: 3804465  
 NCPin: 165919-60-5790  
 Mapsheet No: 165919  
 Owner Name 1: MAYNARD, DAVID W  
 Owner Name 2: MAYNARD, NANCY P  
 Mail Address 1: 2322 HOLLIDAY DR  
 Mail Address 2:  
 Mail Address 3: LARAMIE, WY 82070-4847  
 Site Address 1: 5 CRICKET HOLLOW RUN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04140  
 Page: 0536  
 Market Value: 147090  
 Assessed Acreage: 0.32  
 Calc. Acreage: 0.316  
 Sales Price: 150000  
 Sale Date: 2012-07-02

**Result 16**

id: 05E01075  
 Tag: 05E01075  
 Tax Unique Id: 3791631  
 NCPin: 165919-60-7715  
 Mapsheet No: 165919  
 Owner Name 1: GROOMS, CLAUDETTE  
 Owner Name 2:  
 Mail Address 1: 61 SLEEPY CREEK DR  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-7239  
 Site Address 1: 61 SLEEPY CREEK DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04294  
 Page: 0338  
 Market Value: 146880  
 Assessed Acreage: 0.33  
 Calc. Acreage: 0.326  
 Sales Price: 0  
 Sale Date: 2013-05-20

**Result 17**

id: 05E01076  
 Tag: 05E01076  
 Tax Unique Id: 3861328  
 NCPin: 165919-60-8950  
 Mapsheet No: 165919  
 Owner Name 1: FARNSWORTH, WILLIAM  
 Owner Name 2:  
 Mail Address 1: 6317 SALEM RD  
 Mail Address 2:  
 Mail Address 3: CINCINNATI, OH 45230-2701  
 Site Address 1: 58 SLEEPY CREEK DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03915  
 Page: 0833  
 Market Value: 230910  
 Assessed Acreage: 0.31  
 Calc. Acreage: 0.301  
 Sales Price: 0  
 Sale Date: 2010-11-10

**Result 18**

id: 05E01077  
 Tag: 05E01077  
 Tax Unique Id: 3895530  
 NCPin: 165919-60-9816  
 Mapsheet No: 165919  
 Owner Name 1: RODRIGUEZ, ORLANDO LUIS  
 Owner Name 2: RODRIGUEZ, ASHLEY HINES  
 Mail Address 1: 62 SLEEPY CREEK DR  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-7238  
 Site Address 1: 62 SLEEPY CREEK DR  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04358  
 Page: 0929  
 Market Value: 192200  
 Assessed Acreage: 0.29  
 Calc. Acreage: 0.292  
 Sales Price: 0  
 Sale Date: 2013-09-24

**Result 19**

id: 05E01201C  
 Tag: 05E01201C  
 Tax Unique Id: 3854685  
 NCPin: 165919-61-9316  
 Mapsheet No: 165919  
 Owner Name 1: TOWN OF CLAYTON  
 Owner Name 2:  
 Mail Address 1: 231 E SECOND STREET  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 03002  
 Page: 0948  
 Market Value: 9350  
 Assessed Acreage: 6.35  
 Calc. Acreage: 6.502  
 Sales Price: 0  
 Sale Date: 2005-10-25

**Result 20**

id: 05G02008V  
 Tag: 05G02008V  
 Tax Unique Id: 3815121  
 NCPin: 165919-51-4703  
 Mapsheet No: 165919  
 Owner Name 1: AMELIA VILLAGE LLC  
 Owner Name 2:  
 Mail Address 1: 701 EXPOSITION PL STE 101  
 Mail Address 2: SUITE 115  
 Mail Address 3: RALEIGH, NC 27615-3356  
 Site Address 1:  
 Site Address 2:  
 Book: 01786  
 Page: 0905  
 Market Value: 30780  
 Assessed Acreage: 1.71  
 Calc. Acreage: 1.714  
 Sales Price: 0  
 Sale Date: 1999-01-22

**Result 21**

id: 05G02010I  
 Tag: 05G02010I  
 Tax Unique Id: 3854190  
 NCPin: 165919-51-5787  
 Mapsheet No: 165919  
 Owner Name 1: HESTER, R FLETCHER JR  
 Owner Name 2: HESTER, KIMBERLY P  
 Mail Address 1: 252 AMELIA CH RD  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 01230  
 Page: 0639  
 Market Value: 9660  
 Assessed Acreage: 0.46  
 Calc. Acreage: 0.409  
 Sales Price: 2000  
 Sale Date: 1991-11-19

**Result 22**

id: 05G02010A  
 Tag: 05G02010A  
 Tax Unique Id: 3815131  
 NCPin: 165919-51-6654  
 Mapsheet No: 165919  
 Owner Name 1: HESTER, ROYAL FLETCHER JR  
 Owner Name 2:  
 Mail Address 1: 252 AMELIA CH RD  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 252 AMELIA CHURCH RD  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 00880  
 Page: 0822  
 Market Value: 118120  
 Assessed Acreage: 1  
 Calc. Acreage: 0.642  
 Sales Price: 0  
 Sale Date: 1980-01-01

**Result 23**

id: 05G02009H  
 Tag: 05G02009H  
 Tax Unique Id: 3815101  
 NCPin: 165919-51-8622  
 Mapsheet No: 165919  
 Owner Name 1: HESTER, R FLETCHER JR  
 Owner Name 2: HESTER, KIMBERLY P  
 Mail Address 1: 252 AMELIA CH RD  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 01531  
 Page: 0134  
 Market Value: 8020  
 Assessed Acreage: 0.33  
 Calc. Acreage: 0.295  
 Sales Price: 0  
 Sale Date: 1996-07-02

**Result 24**

id: 05G02010G  
 Tag: 05G02010G  
 Tax Unique Id: 3855941  
 NCPin: 165919-51-9641  
 Mapsheet No: 165919  
 Owner Name 1: N C NATURAL GAS CORP  
 Owner Name 2:  
 Mail Address 1: C/O JOHN E RAPER JR  
 Mail Address 2: PO BOX 2129  
 Mail Address 3: FAYETTEVILL., NC 27302-0000  
 Site Address 1:  
 Site Address 2:  
 Book: 01203  
 Page: 0070  
 Market Value: 2960  
 Assessed Acreage: 0.05  
 Calc. Acreage: 0.039  
 Sales Price: 0  
 Sale Date: 1991-04-10



\*\*\* DISCLAIMER \*\*\*

Johnston County assumes no legal responsibility for the information represented here.

**Result 25**

**id:** 05G02010E  
**Tag:** 05G02010E  
**Tax Unique Id:** 3895302  
**NCPin:** 165919-62-1126  
**Mapsheet No:** 165919  
**Owner Name 1:** AMELIA VILLAGE PHASE I, LLC  
**Owner Name 2:**  
**Mail Address 1:** 701 EXPOSITION PL STE 101  
**Mail Address 2:**  
**Mail Address 3:** RALEIGH, NC 27615-3356  
**Site Address 1:** 1070 KENMORE DR  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 02612  
**Page:** 0237  
**Market Value:** 8272685  
**Assessed Acreage:** 17.4  
**Calc. Acreage:** 17.57  
**Sales Price:** 0  
**Sale Date:** 2003-12-31

**Result 26**

**id:** 05G02008G  
**Tag:** 05G02008G  
**Tax Unique Id:** 3815110  
**NCPin:** 165918-40-9950  
**Mapsheet No:** 165918  
**Owner Name 1:** ROBEY, ROANNE STROUD  
**Owner Name 2:**  
**Mail Address 1:** 803 GARRISON AVENUE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Site Address 1:** 803 GARRISON AVE  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 02204  
**Page:** 0305  
**Market Value:** 122730  
**Assessed Acreage:** 0.33  
**Calc. Acreage:** 0.311  
**Sales Price:** 98500  
**Sale Date:** 2002-03-22

**Result 27**

**id:** 05G02072  
**Tag:** 05G02072  
**Tax Unique Id:** 3815886  
**NCPin:** 165918-40-9743  
**Mapsheet No:** 165918  
**Owner Name 1:** SMITH, FREDERICK G  
**Owner Name 2:**  
**Mail Address 1:** 1007 MULBERRY RD  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-2131  
**Site Address 1:** 101 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 03008  
**Page:** 0210  
**Market Value:** 130900  
**Assessed Acreage:** 0.32  
**Calc. Acreage:** 0.325  
**Sales Price:** 115000  
**Sale Date:** 2005-11-01

**Result 28**

**id:** 05G02008F  
**Tag:** 05G02008F  
**Tax Unique Id:** 3815108  
**NCPin:** 165918-40-9644  
**Mapsheet No:** 165918  
**Owner Name 1:** NARRON, JENNIFER LYNN  
**Owner Name 2:**  
**Mail Address 1:** 313 WAVERLY DR  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27527-6651  
**Site Address 1:** 103 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 03806  
**Page:** 0451  
**Market Value:** 126560  
**Assessed Acreage:** 0.26  
**Calc. Acreage:** 0.259  
**Sales Price:** 136000  
**Sale Date:** 2010-01-25

**Result 29**

id: 05G02070  
 Tag: 05G02070  
 Tax Unique Id: 3815850  
 NCPin: 165918-40-8468  
 Mapsheet No: 165918  
 Owner Name 1: FRITZ, NICHOLAS  
 Owner Name 2: FRITZ, ALISSA  
 Mail Address 1: 171 SOUTHWICK AVE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27527-5231  
 Site Address 1: 105 GRACIE LN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03535  
 Page: 0169  
 Market Value: 123990  
 Assessed Acreage: 0.26  
 Calc. Acreage: 0.263  
 Sales Price: 122000  
 Sale Date: 2008-04-25

**Result 30**

id: 05G02069  
 Tag: 05G02069  
 Tax Unique Id: 3815834  
 NCPin: 165918-40-8450  
 Mapsheet No: 165918  
 Owner Name 1: HAYES, SHERWOOD LYNN  
 Owner Name 2: HAYES, CHRISTINA C  
 Mail Address 1: 107 GRACIE LANE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-0000  
 Site Address 1: 107 GRACIE LN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 03103  
 Page: 0622  
 Market Value: 122300  
 Assessed Acreage: 0.26  
 Calc. Acreage: 0.265  
 Sales Price: 112000  
 Sale Date: 2006-04-19

**Result 31**

id: 05G02008E  
 Tag: 05G02008E  
 Tax Unique Id: 3815085  
 NCPin: 165918-40-8351  
 Mapsheet No: 165918  
 Owner Name 1: CHESTNUT, KERRY II AND  
 Owner Name 2: CHESTNUT, JANET  
 Mail Address 1: 109 GRACIE LANE  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-7948  
 Site Address 1: 109 GRACIE LN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 01800  
 Page: 0489  
 Market Value: 134680  
 Assessed Acreage: 0.26  
 Calc. Acreage: 0.261  
 Sales Price: 105000  
 Sale Date: 1999-03-01

**Result 32**

id: 05G02067  
 Tag: 05G02067  
 Tax Unique Id: 3803478  
 NCPin: 165918-40-8254  
 Mapsheet No: 165918  
 Owner Name 1: POST, DANE STEVEN  
 Owner Name 2:  
 Mail Address 1: 111 GRACIE LN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-7948  
 Site Address 1: 111 GRACIE LN  
 Site Address 2: CLAYTON, NC 27520-  
 Book: 04096  
 Page: 0470  
 Market Value: 130900  
 Assessed Acreage: 0.26  
 Calc. Acreage: 0.262  
 Sales Price: 123500  
 Sale Date: 2012-03-23



**\*\*\* DISCLAIMER \*\*\***

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**Result 33**

**id:** 05G02066  
**Tag:** 05G02066  
**Tax Unique Id:** 3815871  
**NCPin:** 165918-40-8155  
**Mapsheet No:** 165918  
**Owner Name 1:** MENTEER, ROBERT E II  
**Owner Name 2:**  
**Mail Address 1:** 113 GRACIE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Site Address 1:** 113 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 01930  
**Page:** 0275  
**Market Value:** 134770  
**Assessed Acreage:** 0.26  
**Calc. Acreage:** 0.264  
**Sales Price:** 100000  
**Sale Date:** 2000-04-28

**Result 34**

**id:** 05G02065  
**Tag:** 05G02065  
**Tax Unique Id:** 3870885  
**NCPin:** 165918-40-8057  
**Mapsheet No:** 165918  
**Owner Name 1:** LEONA SUZANNE ANDERSON TRUST  
**Owner Name 2:** ANDERSON, LEONA SUZANNE TRUSTE  
**Mail Address 1:** 115 GRACIE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-7948  
**Site Address 1:** 115 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 04062  
**Page:** 0574  
**Market Value:** 121490  
**Assessed Acreage:** 0.26  
**Calc. Acreage:** 0.266  
**Sales Price:** 0  
**Sale Date:** 2011-12-28

**Result 35**

**id:** 05G02064  
**Tag:** 05G02064  
**Tax Unique Id:** 3878590  
**NCPin:** 165806-49-8958  
**Mapsheet No:** 165806  
**Owner Name 1:** TETTERTON, ROBERT J  
**Owner Name 2:**  
**Mail Address 1:** 117 GRACIE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-7948  
**Site Address 1:** 117 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 04196  
**Page:** 0283  
**Market Value:** 118440  
**Assessed Acreage:** 0.26  
**Calc. Acreage:** 0.248  
**Sales Price:** 110000  
**Sale Date:** 2012-10-29

**Result 36**

**id:** 05G02008D  
**Tag:** 05G02008D  
**Tax Unique Id:** 3872882  
**NCPin:** 165806-49-8951  
**Mapsheet No:** 165806  
**Owner Name 1:** DRAUGHON, CINDY L  
**Owner Name 2:**  
**Mail Address 1:** 119 GRACIE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Site Address 1:** 119 GRACIE LN  
**Site Address 2:** CLAYTON, NC 27520-  
**Book:** 03226  
**Page:** 0072  
**Market Value:** 124970  
**Assessed Acreage:** 0.26  
**Calc. Acreage:** 0.267  
**Sales Price:** 112000  
**Sale Date:** 2006-10-30

## DC Adams Engineering, Inc.

335 Athletic Club Blvd  
Clayton, NC 27527

Office: 919-763-7278  
[donnie@dcadamspe.com](mailto:donnie@dcadamspe.com)  
Firm # C-3894

December 1, 2014

David DeYoung, AICP  
Planning Director  
Town of Clayton  
111 E. Second Street  
Clayton, NC 27527

Subject:

Lionsgate Phase 7A-7D Subdivision Application

Dear Mr. DeYoung,

Please find attached a subdivision application package for Lionsgate Phase 7A & 7B. The application fee (\$400 + \$5/lot = \$810) is attached as well.

Please feel free to give me a call with any questions that may arise – 919-763-7278.

Sincerely,



Donald C. Adams, Jr., PE



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

January 28, 2015

Donnie Adams  
DC Adams Engineering, Inc.  
335 Athletic Club Blvd  
Clayton, NC 27527  
Email: [donnie@dcadamspe.com](mailto:donnie@dcadamspe.com)

**RE: PSD 2014-145 LionsGate Phases 7A – 7D Preliminary Subdivision Plat**

**NC PINs:** A portion of parcels 165919-51-7554 and 165919-61-2030

**County Tag(s):** A portion of 05G02198M and 05E01199C

Dear Mr. Adams:

At their regular meeting on January 26, 2015, the Town of Clayton Planning Board made the following votes regarding the subject request:

- 1) Vote to recommend approval of request for preliminary subdivision plat approval PSD 2014-145
- 2) Approval by vote of the Alternative Landscape Compliance request to allow a modified Class C buffer along Amelia Church Road (to remove the six foot visual requirement due to the expanded buffer width and location of the greenway).

You (or an authorized representative of the project) are required to attend the following upcoming public meeting regarding PSD 2014-145:

**Town Council Work Session**

Date: Monday, February 26, 2015

Time: 6:30 pm

Location: Council Chambers, Town Hall

*The applicant is required to attend, but will not be asked to speak. Staff will make a presentation to the council regarding the request.*

**Town Council Regular Meeting**

Date: Monday, March 2, 2015

Time: 6:30 pm

Location: Council Chambers, Town Hall

*The applicant is required to attend, and will be asked to speak and answer questions after a presentation by staff. The Council will make a decision of whether to approve or deny the*

*request based on findings of fact as outlined in Section 155.706 of the Unified Development Ordinance. As this is a quasi-judicial hearing, you will be asked to be sworn in to speak on behalf of the request and present evidence to support the Findings of Fact in Section 155.706(l)(10).*

If you have any questions, please do not hesitate to contact me or Jay McLeod ([jwmcleod@townofclaytonnc.org](mailto:jwmcleod@townofclaytonnc.org) or 919-359-9335).

Sincerely,

*Emily Beddingfield*

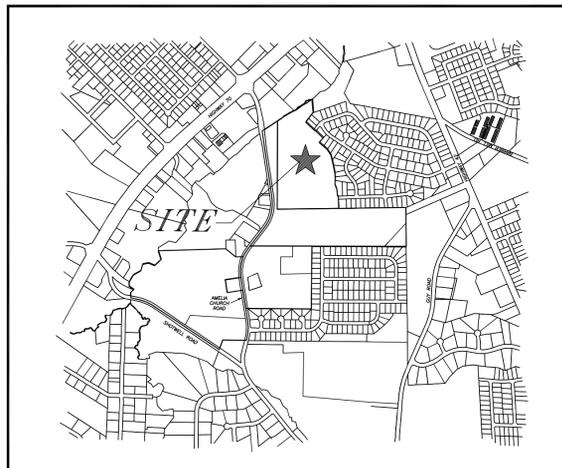
Emily Beddingfield, AICP  
Town Planner  
Email: [EBeddingfield@townofclaytonnc.org](mailto:EBeddingfield@townofclaytonnc.org)  
Phone: 919-359-2102

PRELIMINARY SUBDIVISION DESIGN

LIONSGATE  
PHASES 7A-7D

IN

TOWN OF CLAYTON, NC



SITE VICINITY MAP  
NOT TO SCALE

SHEET INDEX

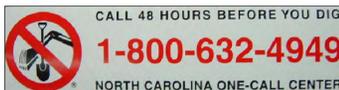
**DEVELOPER/APPLICANT:**  
 FRED SMITH COMPANY, LLC  
 400 Riverwood Drive  
 Clayton, NC 27527  
 CONTACT/AGENT: DONNIE C. ADAMS  
 919 763-7278

<u>SHEET TITLE</u>	<u>SHEET No.</u>
EXISTING CONDITIONS.....	1
SITE PLAN.....	2
UTILITY PLAN.....	3
LANDSCAPE PLAN.....	4
LANDSCAPE DETAILS.....	5



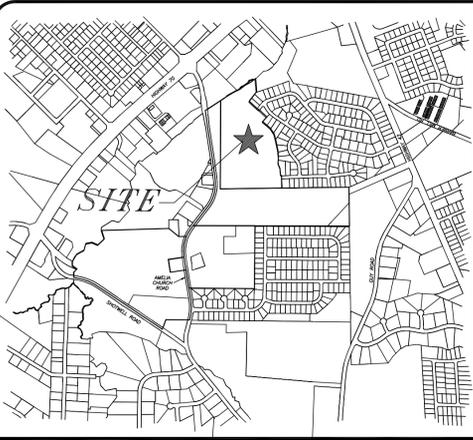
335 ATHLETIC CLUB BLVD  
 CLAYTON, NC 27527  
 919-763-7278 donnie@dcadamspe.com  
 FIRM # C-3894

**LIONSGATE PHASES 7A-7D**  
 FRED SMITH COMPANY, CLAYTON, NC 27527



REVISED  
 3:43 pm, Feb 04, 2015

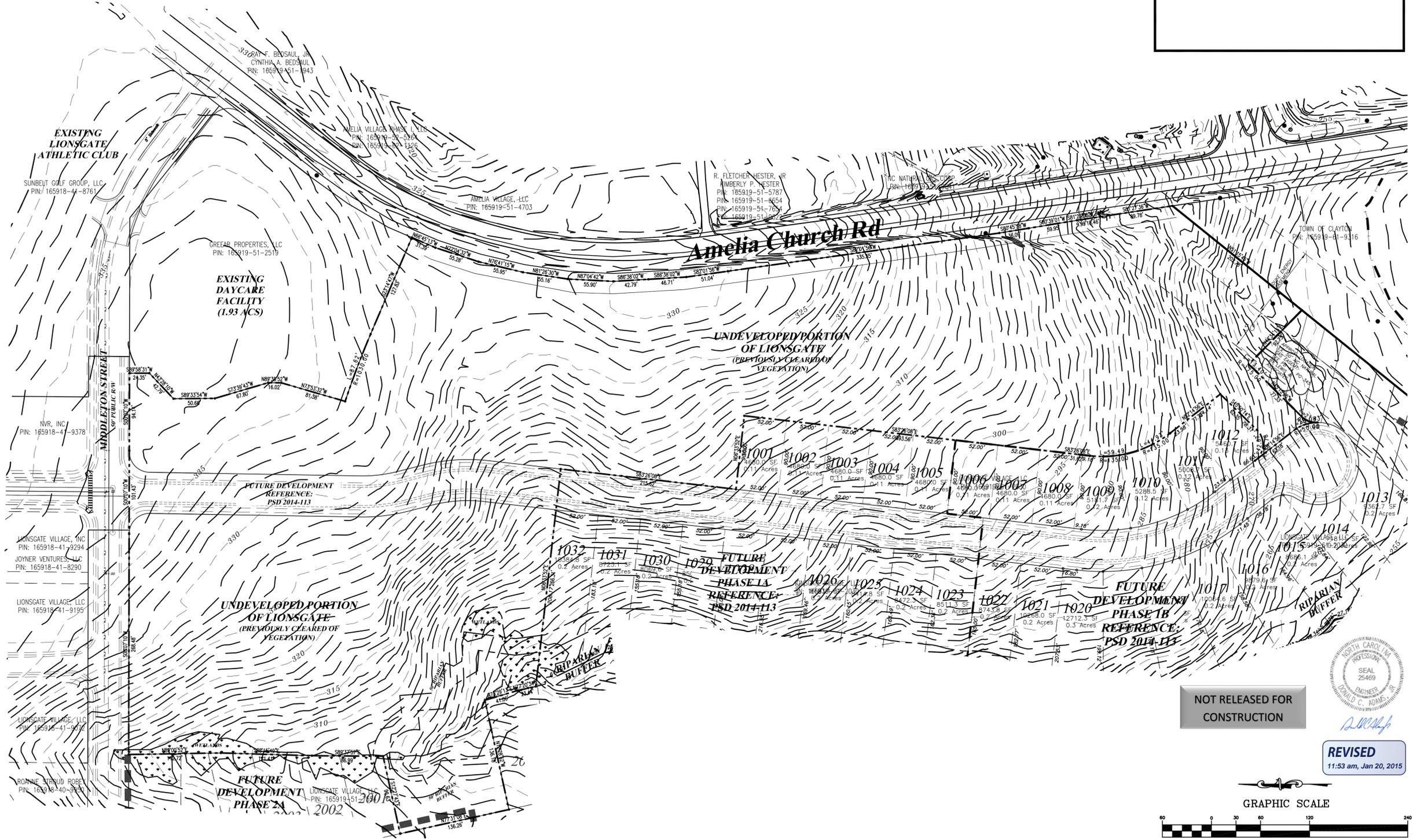
NOT RELEASED FOR  
 CONSTRUCTION



VICINITY MAP  
SEE SHEET

**SITE INFORMATION**

1. OWNER: LIONSGATE VILLAGE, LLC  
400 RIVERWOOD DR.  
CLAYTON, NC 27520
2. SITE IS LOCATED WITHIN TOWN LIMITS
3. PARCEL #: 165919-51-7554 & 165919-61-2030
4. TAX #: 05G02198M & 05E01199C
5. TOTAL SITE ACREAGE: (SEE CHART SHEET 2)
6. RESOURCE CONSERVATION AREA: 0.60 AC (INCLUDES RIPARIAN BUFFER AND WETLANDS)
7. NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900I, DATED 12/02/2005
8. CURRENT ZONING: PD-MU
9. PROPOSED USE: TOWNHOME SUBDIVISION



**EXISTING LIONSGATE ATHLETIC CLUB**

SUNBELT GOLF GROUP, LLC  
PIN: 165918-41-8761

GREAR PROPERTIES, LLC  
PIN: 165919-51-2519

**EXISTING DAYCARE FACILITY (1.93 ACS)**

NVR, INC  
PIN: 165918-41-9378

LIONSGATE VILLAGE, INC  
PIN: 165918-41-9294

JOYNER VENTURES, LLC  
PIN: 165918-41-8290

LIONSGATE VILLAGE, LLC  
PIN: 165918-41-9195

LIONSGATE VILLAGE, LLC  
PIN: 165918-41-9074

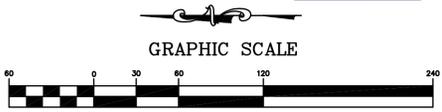
ROANNE STRAUD ROBERTS  
PIN: 165918-40-9367

**Amelia Church Rd**

NOT RELEASED FOR  
CONSTRUCTION



REVISED  
11:53 am, Jan 20, 2015



REVISIONS:  
1. 01/16/2015 - TOWN OF CLAYTON REC COMMENTS  
2. 01/22/2015 - TOWN OF CLAYTON REC COMMENTS

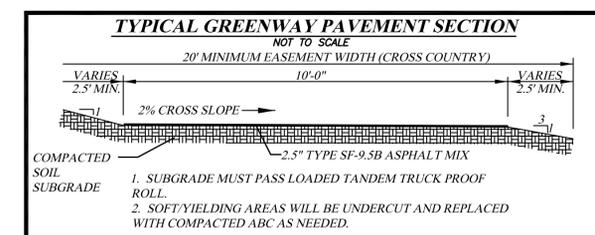
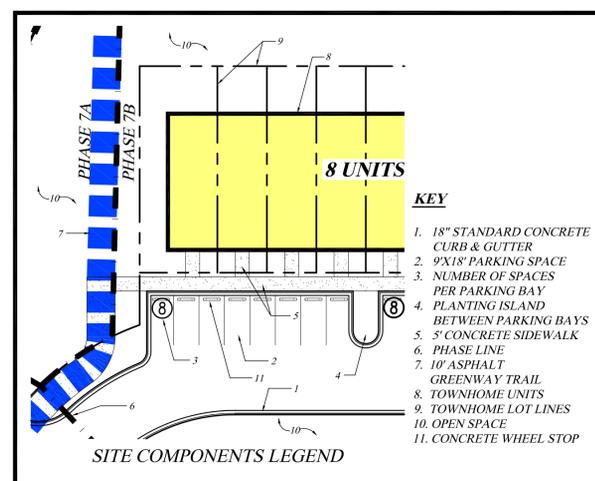
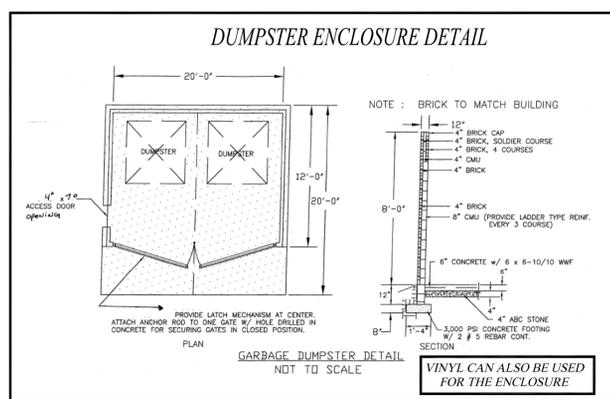
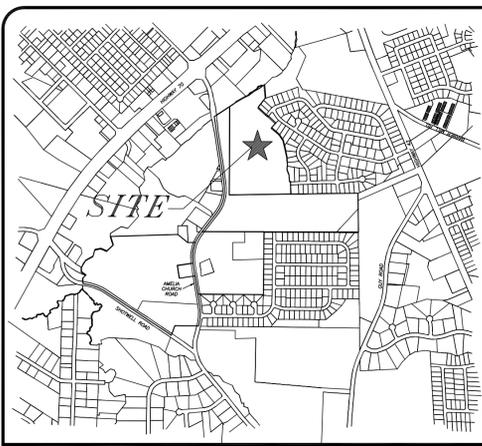
335 ATHLETIC CLUB BLVD  
CLAYTON, NC 27527  
dca@dcadams.com  
919-763-2728  
FIRM # C-3894

**DC ADAMS ENGINEERING, INC**

LionsGate  
Phase 7 Townhomes  
FRED SMITH COMPANY, CLAYTON, NC 27527

EXISTING CONDITIONS

FILE: LIONSGATE 7A-7D  
DESIGN: DCA  
DRAWN: TMH  
CHECKED: DCA  
HORIZONTAL SCALE: 1"=60'  
VERTICAL SCALE: N/A  
DATE: 12/01/2014  
JOB NO.:  
SHEET: 1 OF 5

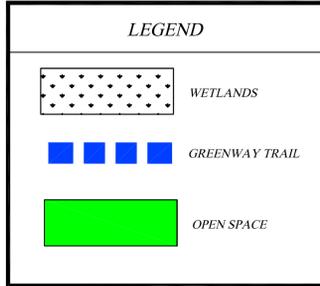


### SITE INFORMATION

- OWNER: LIONSGATE VILLAGE, LLC  
400 RIVERWOOD DR.  
CLAYTON, NC 27520
- SITE IS LOCATED WITHIN TOWN LIMITS
- PARCEL #: 165919-51-7554 & 165919-61-2030
- TAX #: 0502198M & 0501199C
- TOTAL SITE ACREAGE: (SEE CHART THIS SHEET)
- TOTAL OPEN SPACE: (SEE CHART THIS SHEET)
- RESOURCE CONSERVATION AREA: (SEE TABLE THIS SHEET)
- NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900I, DATED 12/02/2005
- CURRENT ZONING: PD-MU
- PROPOSED LOTS: 82 RESIDENTIAL TOWNHOME LOTS
- BUILDING COVERAGE: 68,880 SF/ 15.5% OF SITE
- DENSITY: 8 UNITS PER ACRE
- ALL OPEN SPACE TO BE MAINTAINED BY LIONSGATE HOA
- THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN ANY LAND USE BUFFER
- ELECTRIC PROVIDER: DUKE ENERGY PROGRESS
- WATER PROVIDER: TOWN OF CLAYTON
- SEWER PROVIDER: TOWN OF CLAYTON
- MAXIMUM IMPERVIOUS SURFACE ALLOWED: 60%
- PROPOSED OVERALL IMPERVIOUS AREA: (SEE CHART THIS SHEET)
- PROPOSED IMPERVIOUS AREA PER LOT: (SEE CHART THIS SHEET)
- REQUIRED PARKING: 2 SPACES/UNIT (AS PER 155.401(C)(2) TABLE 4-2)
- PROPOSED # OF PARKING SPACES: 188 (INCLUDES 6 ACCESSIBLE PARKING SPACES AS PER ADA PARKING REQUIREMENTS)
- ALL STREETS IN THIS DEVELOPMENT ARE PRIVATE. NO TOWN OF CLAYTON MAINTENANCE PROVIDED. STREETS WILL BE MAINTAINED BY LIONSGATE HOA

### OPEN SPACE SUMMARY

<b>ACTIVE OPEN SPACE</b>	TOTAL AREA:	41,382 SF/0.95 AC
<b>RESOURCE CONSERVATION AREAS</b>	RIPARIAN BUFFER:	21,712 SF/0.50 ACS
	WETLANDS:	4,356 SF/0.10 AC
	TOTAL AREA:	26,068 SF/0.60 AC
<b>OTHER OPEN SPACE</b>	TOTAL AREA:	150,350 SF/3.45 AC
<b>TOTAL OPEN SPACE:</b>		<b>217,800 SF/5.0 ACS</b>



NOTE  
THE 50' RIPARIAN BUFFER AND ALL RESOURCE CONSERVATION AREAS WILL REMAIN UNDISTURBED IN ACCORDANCE ARTICLE 5 OF THE UNIFIED DEVELOPMENT CODE

THE TOWN OF CLAYTON AND/OR JOHNSTON COUNTY RESERVE THE RIGHT TO MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE EXISTING PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

### VICINITY MAP

#### IMPERVIOUS AREA IN ROW

PHASE	TOTAL ROW AREA		PROPOSED IMPERVIOUS AREA		% OF ROW IN IMPERVIOUS
	ACS	SF	ACS	SF	
7A-7D	2.4	104544	2.14	93366	89%

#### IMPERVIOUS AREA IN OPEN SPACE

PHASE	TOTAL OPEN SPACE AREA		PROPOSED IMPERVIOUS AREA		% OF OPEN SPACE IN IMPERVIOUS
	ACS	SF	ACS	SF	
7A-7D	5	217800	0.24	10479	5%

#### IMPERVIOUS AREA IN SUBDIVIDED LOTS

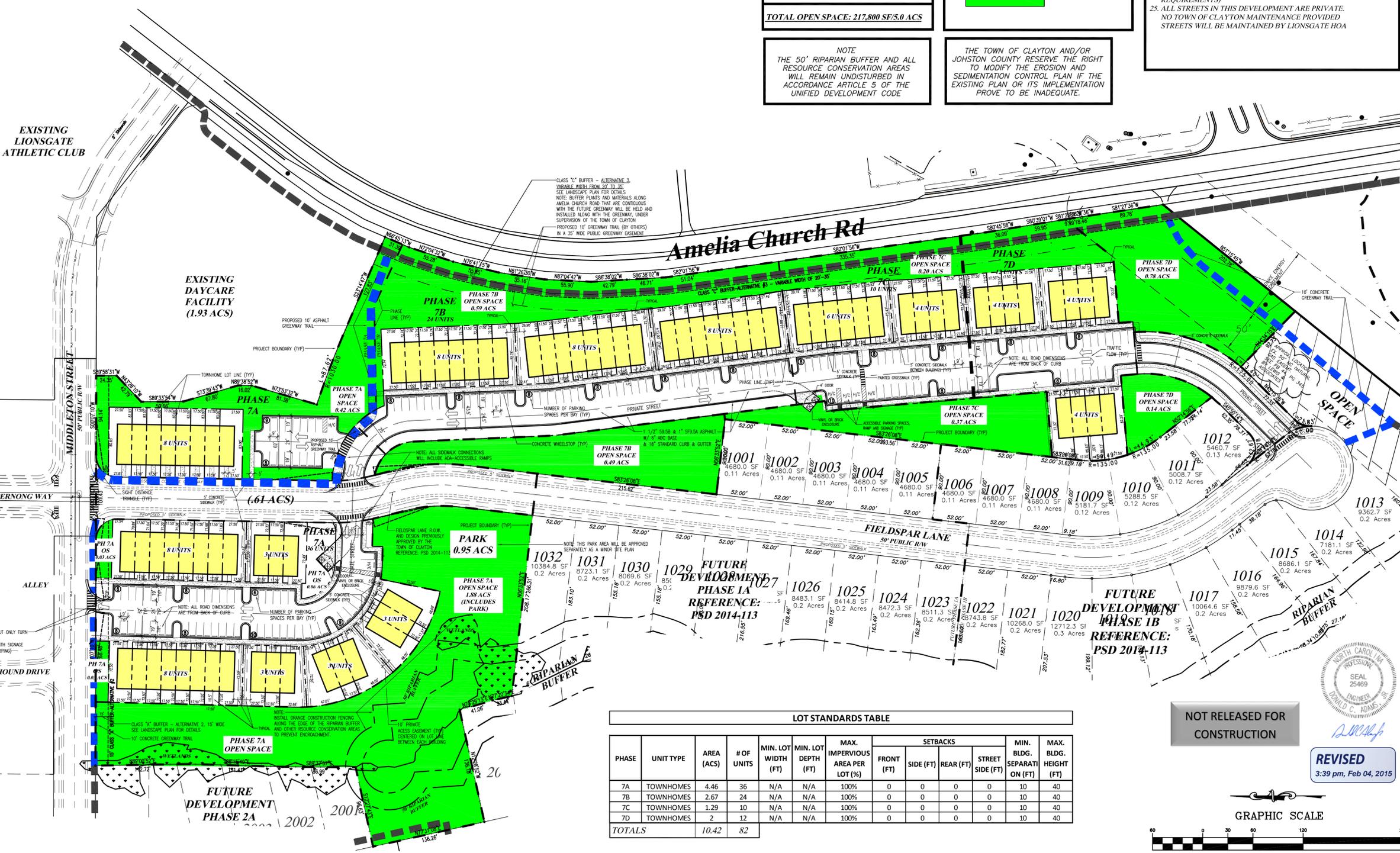
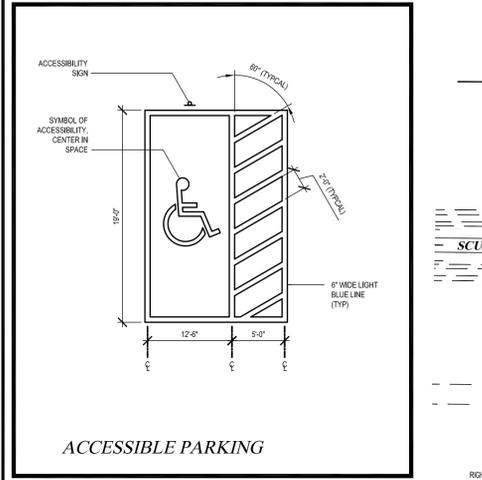
PHASE	# LOTS	TOTAL AREA IN LOTS		MAX. IMPERVIOUS AREA (ACS/SF)		MAX. % IMPERVIOUS PER LOT
		ACS	SF	ACS	SF	
7A-7D	82	3.02	131551	3.02	131551	100%

#### PHASES 7A-7D TOTALS - PROPOSED IMPERVIOUS AREA

USE TYPE	TOTAL AREA	PROPOSED IMPERVIOUS WITHIN USE TYPE	% OF TOTAL PHASE IN IMPERVIOUS
ROW	2.4 ACS	2.14 ACS	21%
OPEN SPACE	5 ACS	0.24 ACS	2%
LOTS	3.02 ACS	3.02 ACS	29%
<b>TOTAL</b>	<b>10.42 ACS</b>	<b>5.40 ACS</b>	<b>52%</b>

#### PHASE 7A-7D IMPERVIOUS AREA SUMMARY

MAX. IMPERVIOUS AREA ALLOWED:	6.25 ACS	60%
MAX. IMPERVIOUS AREA PROPOSED:	5.40 ACS	52%



### LOT STANDARDS TABLE

PHASE	UNIT TYPE	AREA (ACS)	# OF UNITS	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	MAX. IMPERVIOUS AREA PER LOT (%)	SETBACKS				MIN. BLDG. SEPARATION (FT)	MAX. BLDG. HEIGHT (FT)
							FRONT (FT)	SIDE (FT)	REAR (FT)	STREET SIDE (FT)		
7A	TOWNHOMES	4.46	36	N/A	N/A	100%	0	0	0	0	10	40
7B	TOWNHOMES	2.67	24	N/A	N/A	100%	0	0	0	0	10	40
7C	TOWNHOMES	1.29	10	N/A	N/A	100%	0	0	0	0	10	40
7D	TOWNHOMES	2	12	N/A	N/A	100%	0	0	0	0	10	40
<b>TOTALS</b>		<b>10.42</b>	<b>82</b>									

NOT RELEASED FOR CONSTRUCTION

REVISIONS:  
1. 12/01/2014 - TOWN OF CLAYTON, NC COMMENTS  
2. 01/27/2015 - TOWN OF CLAYTON, NC COMMENTS  
3. 02/04/2015 - ADDED DUMPSTER SITES  
FIRM # C-3894

355 ATHLETIC CLUB BLVD  
CLAYTON, NC 27527  
dadam@dcadams.com  
919.763.2728  
FIRM # C-3894

DC ADAMS ENGINEERING, INC

LionsGate Phase 7 Townhomes  
FRED SMITH COMPANY, CLAYTON, NC 27527

PRELIMINARY SUBDIVISION PLAN

FILE: LIONSGATE 7A-7D  
DESIGN: DCA  
DRAWN: TMH  
CHECKED: DCA  
HORIZONTAL SCALE: 1"=60'  
VERTICAL SCALE: N/A

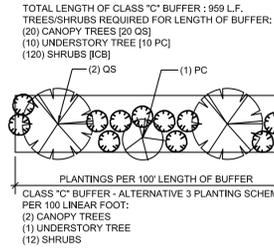
DATE: 12/01/2014  
JOB NO.:  
SHEET: 2 OF 5

GRAPHIC SCALE  
1 inch = 60 ft.

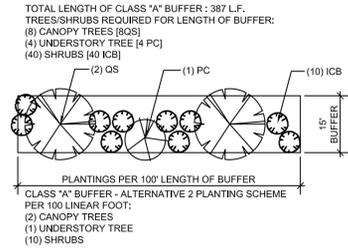
( IN FEET )  
1 inch = 60 ft.



# Class "C" Buffer-Alternative 3



# Class "A" Buffer-Alternative 2



# Plant List

ALIAS	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
<b>C A N O P Y T R E E S (CANOPY TREES = 83)</b>								
AROG	28	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5"	8' MIN.	-	B & B	PARKING TREES
QS	33	QUERCUS SHUMARDII	SHUMARD OAK	2.5"	8' MIN.	-	B & B	BUFFER PLANTINGS
ZSG	39	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5"	8' MIN.	-	B & B	STREET TREES
<b>U N D E R S T O R Y T R E E S (UNDERSTORY TREES = 54)</b>								
CCF	15	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2"	6' MIN.	-	CONT/B&B	
LIN	7	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE STANDARDS	2"	6' MIN.	-	CONT/B&B	
MS	18	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	2"	6' MIN.	-	CONT/B&B	
PC	14	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL	2"	6' MIN.	-	CONT/B&B	BUFFER PLANTINGS
<b>S H R U B S (TOTAL SHRUBS = 160, INCLUDES SHRUBS USED FOR SCREENING/BUFFERS)</b>								
ICB	179	ILEX CORNUTA BURFORDII	BURFORD HOLLY	-	30" MIN.	-	1 GAL.	BUFFER PLANTINGS/ PARKING SCREEN

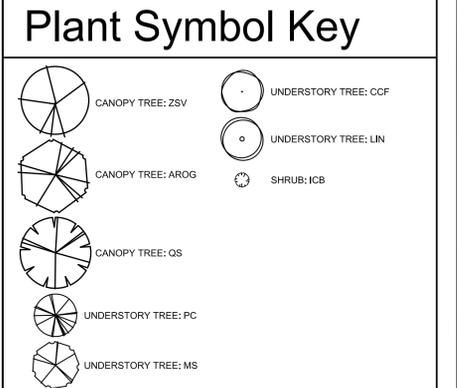
LAWN AREAS: SEEDED WITH TARHEEL II TALL FESCUE (NOTE: OWNER MAY SUBSTITUTE BERMUDA, CENTIPEDE OR ZOYSIA SOD AS DESIRED)

1. ALL PLANTS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF CLAYTON RULES, REGULATIONS AND REQUIREMENTS AND, AT THE LEAST, MEET THE TOWN'S MINIMUM REQUIREMENTS FOR CODE COMPLIANCY.

2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND IS TO NOTIFY THE CONTRACTOR ASAP OF ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLAN THAT REQUIRE CLEARANCES FOR ACCESS.

3. THE LANDSCAPE CONTRACTOR SHALL ADJUST ANY SCREEN PLANTING AS NEEDED TO MAINTAIN REQUIRED CLEARANCES AROUND TRANSFORMERS, GENERATORS AND OTHER UTILITIES THAT REQUIRE CLEARANCES FOR ACCESS.

4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A DESIGN-BUILD IRRIGATION PLAN FOR THIS PROJECT TO THE OWNER FOR REVIEW AND ACCEPTANCE, REFER TO SHEET LS2.00 FOR IRRIGATION DIRECTIVES.

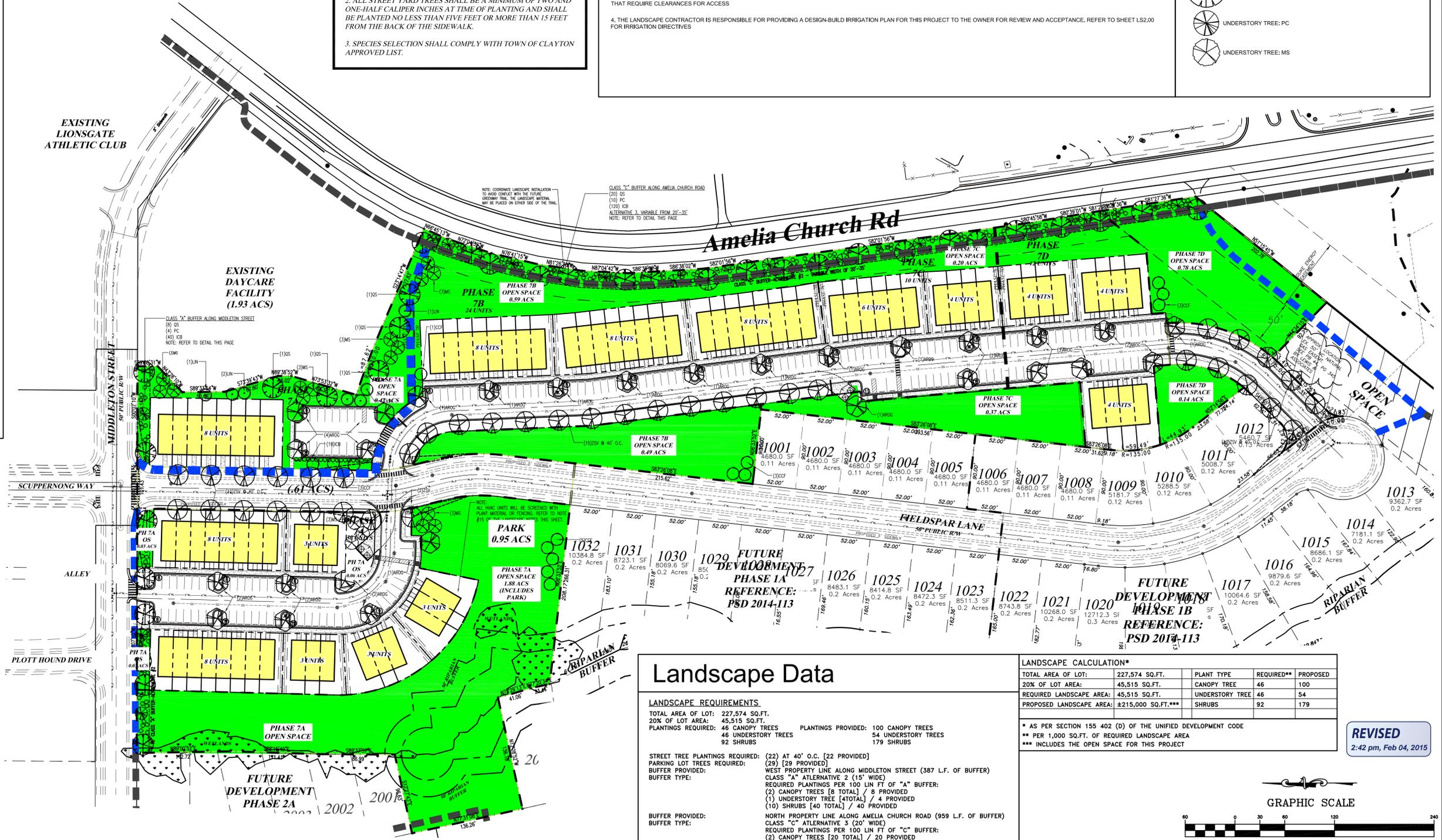


# Landscape Notes

- GENERAL LANDSCAPE NOTES**
1. ALL PLANT MATERIALS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
  2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ALL DAMAGES MADE TO UNDERGROUND UTILITIES.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.
  4. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE LANDSCAPE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
  5. ALL DISTURBED AREAS NOT IDENTIFIED TO EITHER BE SEEDED OR SOODED SHALL BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
  6. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  7. ALL PLANTING BEDS, SAUCERS, AND AREAS DESIGNATED TO BE MULCHED SHALL BE MULCHED WITH A MINIMUM OF 3-INCHES OF TRIPLE SHREDDED HARDWOOD MULCH.
  8. PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A 2" TO 3" DEEP "V" CUT ALONG ITS BORDER WITH SOODED OR SEEDS AREAS.
  9. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  10. GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
  11. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL LANDSCAPING IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN AND ENUMERATED ON THIS SHEET UNLESS ALTERNATIVE METHODS OR PRACTICES ARE REVIEWED AND ACCEPTED BY THE LANDSCAPE ARCHITECT.
  12. AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS THAT ARE SQUARE IN SHAPE AND ARRANGED IN ROWS SHOULD BE PRUNED INTO BOXED AND CLIPPED HEDGEROWS.
  13. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
  14. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
  15. ALL HVAC AND MECHANICAL EQUIPMENT WILL BE SCREENED WITH LANDSCAPING OR DECORATIVE FENCING.

**STREET YARD TREES**

1. STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FEET (SPACE A MAXIMUM OF 50 FEET APART).
2. ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED NO LESS THAN FIVE FEET OR MORE THAN 15 FEET FROM THE BACK OF THE SIDEWALK.
3. SPECIES SELECTION SHALL COMPLY WITH TOWN OF CLAYTON APPROVED LIST.



## Landscape Data

**LANDSCAPE REQUIREMENTS**

TOTAL AREA OF LOT: 227,574 SQ.FT.  
 20% OF LOT AREA: 45,515 SQ.FT.  
 PLANTINGS REQUIRED: 46 CANOPY TREES, 46 UNDERSTORY TREES, 92 SHRUBS

PLANTINGS PROVIDED: 100 CANOPY TREES, 54 UNDERSTORY TREES, 179 SHRUBS

STREET TREE PLANTINGS REQUIRED: (22) AT 40' O.C. [22 PROVIDED]  
 PARKING LOT TREES REQUIRED: (29) [29 PROVIDED]  
 BUFFER PROVIDED: WEST PROPERTY LINE ALONG MIDDLETON STREET (387 L.F. OF BUFFER)  
 BUFFER TYPE: CLASS "A" ALTERNATIVE 2 (15' WIDE)  
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "A" BUFFER:  
 (2) CANOPY TREES [8 TOTAL] / 8 PROVIDED  
 (1) UNDERSTORY TREE [4 TOTAL] / 4 PROVIDED  
 (10) SHRUBS [40 TOTAL] / 40 PROVIDED

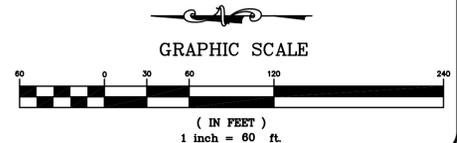
BUFFER PROVIDED: NORTH PROPERTY LINE ALONG AMELIA CHURCH ROAD (959 L.F. OF BUFFER)  
 BUFFER TYPE: CLASS "C" ALTERNATIVE 3 (20' WIDE)  
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "C" BUFFER:  
 (2) CANOPY TREES [20 TOTAL] / 20 PROVIDED  
 (1) UNDERSTORY TREE [10 TOTAL] / 10 PROVIDED  
 (12) SHRUBS [120 TOTAL] / 120 PROVIDED

## LANDSCAPE CALCULATION\*

TOTAL AREA OF LOT:	227,574 SQ.FT.	PLANT TYPE	REQUIRED**	PROPOSED
20% OF LOT AREA:	45,515 SQ.FT.	CANOPY TREE	46	100
REQUIRED LANDSCAPE AREA:	45,515 SQ.FT.	UNDERSTORY TREE	46	54
PROPOSED LANDSCAPE AREA:	±215,000 SQ.FT.***	SHRUBS	92	179

\* AS PER SECTION 155 402 (D) OF THE UNIFIED DEVELOPMENT CODE  
 \*\* PER 1,000 SQ.FT. OF REQUIRED LANDSCAPE AREA  
 \*\*\* INCLUDES THE OPEN SPACE FOR THIS PROJECT

**REVISED**  
2:42 pm, Feb 04, 2015



FILE: LIONSGATE 7A-7D  
 DESIGN: TMH  
 DRAWN: TMH  
 CHECKED: DCA  
 HORIZONTAL SCALE: 1"=60'  
 VERTICAL SCALE: N/A  
 DATE: 12/01/2014  
 JOB NO.:  
 SHEET: 4 OF 5

LionsGate Phase 7 Townhomes  
 FRED SMITH COMPANY, CLAYTON, NC 27527  
 DC ADAMS ENGINEERING, INC  
 335 ATHLETIC CLUB BLVD  
 CLAYTON, NC 27527  
 dommie@dcadams.com  
 919-763-7278  
 P/AM # C-3894

**LANDSCAPE WORK SPECIFICATIONS**

**SCOPE OF WORK:** FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK OF THIS SECTION INCLUDING INSTALLATION OF TREES, SHRUBS, GROUND COVERS, PERENNIALS, SOD, SEEDING, MULCH, AND APPURTENANCES.

**JOB CONDITIONS:** ATTENTION SHALL BE DIRECTED TO THE LOCATION OF ACTIVE UTILITIES WITHIN THE LIMITS OF WORK. BEFORE COMMENCING ANY WORK REQUIRED BY THE CONTRACT, THE CONTRACTOR SHALL LOCATE ALL UTILITIES, SUBSURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MARKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM THE WORK COVERED BY THE CONTRACT.

**MATERIALS AND WORK:** THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR HIS AGENT. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

**PLANT MATERIALS:** ALL MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IF FIELD GROWN, NATURALLY SHAPED, AND WELL-BRANCHED FULL FOLIAGED WHEN IN LEAF WITH HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS FURNISHED SHALL BE FREE OF ANY INSECT INFESTATIONS OR THEIR EGGS, AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT LOCALITY. ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY.

**PLANT SIZE:** SPECIFIED SIZES INDICATE MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND SIZE ARE INDICATED FOR A SINGLE SPECIES, BOTH REQUIREMENTS MUST BE MET.

**PLANT HANDLING & STORAGE:** PLANTS AND THEIR ROOT SYSTEMS SHALL BE ADEQUATELY PROTECTED FROM DRYING OUT AT ALL TIMES. PLANT MATERIALS SHALL BE WATERED PRIOR TO TRANSPORT AND KEPT MOIST PRIOR TO PLANTING. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE KEPT IN THE SHADE AND WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.

BALLED & BURLAPPED PLANTS SHALL BE LIFTED FROM THE BOTTOM ONLY, NOT BY STEMS OR TRUNKS.

CARE SHALL BE TAKEN WHEN REMOVING THE CONTAINER FROM CONTAINER-GROWN PLANTS SO AS NOT TO INJURE THE PLANTS' ROOTS.

**SUBSTITUTIONS:** IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT AVAILABLE, A WRITTEN PROPOSAL FOR USE OF A SIMILARLY-SIZED AND TYPE OF PLANT AND CORRESPONDING COST ADJUSTMENT WILL BE CONSIDERED. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**BACKFILL MATERIAL:** NATIVE SOIL SHALL NOT BE USED FOR BACKFILL BUT IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. THE REMAINDER OF UNUSED NATIVE SOIL SHALL BE HAULED AWAY FROM THE SITE. BACKFILL MATERIAL SHALL BE A BLENDED SOIL MATERIAL AND SHALL BE CONSIST OF 40% COMPOST, 35% SAND, AND 25% CLAY. THE COMPOST SHALL BE A TURKEY COMPOST BEARING THE U.S. COUNCIL SEAL OF ASSURANCE. THE SAND SHALL BE OBTAINED FROM A SAND QUARRY AND FREE OF ALL VIABLE WEED SEED. OTHER CONDITIONS OF THE BACKFILL SHALL BE AS FOLLOWS:

MAXIMUM SOLUBLE SALTS:	350 PPM
RELATIVE DENSITY:	25%-50%, LOOSE
RELATIVE PERMEABILITY:	2.5-10 IN./HR.
PLASTIC INDEX:	4-10
PH RANGE:	6.0-6.8

BACKFILL MATERIAL SHALL BE TESTED AND TEST RESULTS SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE.

**PLANT FERTILIZER:** SHALL BE A COMPLETE FERTILIZER OF WHICH 50% OF THE NITROGEN IS DERIVED FROM NATURAL ORGANIC SOURCES OR LEPREFORM. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 10% NITROGEN, 10% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

**WATER:** SHALL BE FURNISHED BY THE OWNER.

**PLANT MATERIAL INSTALLATION:** MATERIALS SHALL ONLY BE PLANTED DURING PERIODS OF SUITABLE WEATHER CONDITIONS.

THE OWNER SHALL BE NOTIFIED OF SUBSURFACE CONDITIONS THAT WOULD PROVE DETRIMENTAL TO PLANT SURVIVAL OR GROWTH. ALTERNATE LOCATIONS FOR MATERIAL SHALL BE DETERMINED BY THE CONTRACTOR AND LANDSCAPE ARCHITECT.

ALL TREES AND SHRUBS SHALL BE PLANTED IN INDIVIDUAL HOLES. THE SIDES AND BOTTOM OF HOLES SHALL BE SCARIFIED PRIOR TO PLANTING. BACKFILL WITH THE SOIL MIXTURE SPECIFIED ON THE DRAWINGS. BACKFILLING SHALL BE ACCOMPLISHED IN LIFTS TO ENSURE ELIMINATION OF ALL AIR POCKETS. ALL PLANTS SHALL BE POSITIONED TO PLACE MOST ATTRACTIVE SIDE TO VIEW AND IN A PLUMB POSITION.

INSTALL 6 FT. DIAMETER SAUCERS MADE OF SOIL AROUND LARGE TREES AND 4 FT. DIAMETER SAUCERS AROUND SMALL TREES.

IMMEDIATELY FOLLOWING PLANTING, PLANTS SHALL BE MULCHED. WHERE PLANTS ARE PLANTED IN GROUPS, THE AREA ABOUT THE PLANT AS WELL AS THE AREA BETWEEN PLANTS SHALL BE COVERED WITH MULCH. PLANTS SHALL BE THOROUGHLY WATERED FOLLOWING MULCHING.

STAKE ALL TREES IN ACCORDANCE WITH THE DRAWINGS.

PRUNING SHALL BE LIMITED TO THE REMOVAL OF INJURED BRANCHES AND TWIGS. USE CLEAN AND SHARP PRUNING TOOLS.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN DURING PROGRESS OF INSTALLATION WORK.

**PLANTING BEHIND SEGMENTAL RETAINING WALLS:** CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE INSTALLATION OF PROPOSED TREES AND SHRUBS BEHIND SEGMENTAL RETAINING WALLS. CONTRACTOR SHALL PROCEED WITH CAUTION WHEN EXCAVATING SO AS NOT TO TEAR OR REMOVE SECTIONS OF THE GEGRID FABRIC THAT IS TYPICALLY LOCATED 18 TO 24 INCHES BELOW FINISHED GRADE. PENETRATION OF THE GEGRID IS PERMITTED TO PLANT INDIVIDUAL TREES OR LARGE SHRUBS AS NECESSARY. HOWEVER, EXCAVATION OF THE PLANTING HOLE AND PERFORATION OF THE GEGRID FABRIC SHALL BE ACCOMPLISHED USING AN AUGER OR BY HAND CUTTING THE FABRIC FOLLOWING EXCAVATION BY A BACKHOLE WITH A SMOOTH-EDGE BUCKET.

**MAINTENANCE OF PLANT MATERIALS:** PLANT MATERIALS SHALL BE MAINTAINED FOLLOWING PLANTING AND UNTIL FINAL ACCEPTANCE IS GRANTED BY THE OWNER. MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, PRUNING, MULCHING, ADJUSTMENT OF GUYING, RESTORATION OF PLANT POSITION OR SAUCERS, AND SPRAYING IF NECESSARY. FINAL ACCEPTANCE FOR SEGMENTS OF THE CONTRACT WORK MAY BE GRANTED BY THE OWNER.

THE CONTRACTOR SHALL PROTECT PLANTED AREAS WITH STAKES AND FLAGGING TO LIMIT DAMAGE.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN WHEN MAINTENANCE OPERATIONS ARE IN PROGRESS.

ALL INSTALLED MATERIALS SHALL BE IN ACCEPTABLE CONDITION WHEN CONTRACTOR APPLIES FOR PAYMENT.

**INSPECTION AND ACCEPTANCE OF WORK:** UPON 48 HOURS ADVANCE NOTICE, THE LANDSCAPE ARCHITECT SHALL INSPECT ALL WORK FOR ACCEPTANCE. THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE SHALL TERMINATE AT THE DATE OF ACCEPTANCE OF EACH SEGMENT OF WORK. UPON THE DATE OF ACCEPTANCE, THE GUARANTEE PERIOD SHALL COMMENCE.

**GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE TO PROVIDE TO THE OWNER THRIVING PLANT MATERIALS TO INCLUDE TREES, SHRUBS, AND GROUND COVERS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE. ADDITIONALLY, THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THRIVING PERENNIALS, ANNUALS, WELL-ESTABLISHED SEEDED AREAS, AND WELL-ROOTED SODDED AREAS FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE. THE GUARANTEES ARE SUBJECT TO THE FOLLOWING CONDITIONS:

THE OWNER IS RESPONSIBLE FOR PROPER WATERING OF PLANT MATERIALS, SEEDED AREAS, AND SODDED AREAS FOLLOWING FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN INSTRUCTIONS SPECIFYING THE RATES AND EXTENT OF WATERING REQUIRED. THE CONTRACTOR SHALL MAKE MONTHLY INSPECTIONS FOR A PERIOD OF (1) YEAR AT NO EXTRA COST TO THE OWNER, TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE TO THE WATERING PROGRAM. ANY RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING.

DAMAGE CAUSED TO PLANT MATERIALS FROM ACTS OF NATURE, VANDALISM, EROSION, OR MALICIOUS ACTS WILL VOID THE GUARANTEE FOR ANY EFFECTED MATERIALS.

DAMAGE TO PLANT MATERIALS CAUSED BY DISEASE INCLUDING BROWN PATCH IN TURF GRASSES EXCLUDE ANY EFFECTED MATERIALS FROM THE GUARANTEE.

**PLANT MATERIAL REPLACEMENT:** THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL PLANTS NOT IN THRIVING CONDITION AS DETERMINED BY THE OWNER DURING AND AT THE END OF THE GUARANTEE PERIOD. THE REPLACEMENT OF ALL REJECTED PLANTS SHALL EXTEND FOR AN ADDITIONAL 30 CALENDAR DAYS.

**TURF MATERIALS:** MATERIALS REQUIRED FOR SEEDING AND OR SODDING SHALL CONFORM TO THE FOLLOWING:

**FERTILIZER:** SHALL BE A TURFGRADE, HIGH PHOSPHORUS FERTILIZER, IN WHICH 1/2 TO 3/4 OF THE NITROGEN IS SLOWLY AVAILABLE. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 18% NITROGEN, 24% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

**LIME:** SHALL BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 30% MAGNESIUM CARBONATES IN A PELLETED FORM.

**ANTI-EROSION MULCH:** SHALL BE CLEAN, SEED-FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.

**GRASS SEED:** SHALL BE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY "OFFICIAL SEED ANALYSTS OF NORTH AMERICA." PROVIDE TYPE OR MIXTURE COMPOSED OF SPECIES AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

**SOD:** SHALL BE FRESHLY CUT, DROUGHT-RESISTANT SOD, FREE OF OBJECTIONABLE BROADLEAF OR GRASSY WEEDS. PROVIDE TYPE AS SPECIFIED BELOW.

**PREPARATION OF TURF AREAS:** PRIOR TO SEEDING OR SOD INSTALLATION, VERIFY THAT ALL TRENCHING AND OTHER LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED.

ALL DISTURBED AREAS SHALL BE DRESSED TO TYPICAL SECTIONS AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. REMOVE FROM THE SITE ALL TEMPORARY SEEDING OR STABILIZATION MEASURES.

ALL AREAS TO RECEIVE SEED OR SOD SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE:

REMOVE ANY UNDESIRABLE VEGETATION OR DEBRIS.

APPLY LIMESTONE ACCORDING TO SOIL TEST RECOMMENDATION OR AT A RATE OF 4000 LBS. PER ACRE.

RIP THE AREA TO A MINIMUM DEPTH OF 4 TO 6 INCHES.

REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER DEBRIS AND PULVERIZE THE TOP 2 INCHES OF LOOSENED SOIL TO PROVIDE A SMOOTH AND UNIFORM SURFACE.

APPLY TURFGRADE FERTILIZER IN A MANNER THAT ENSURES UNIFORM DISTRIBUTION. FERTILIZER SHALL BE APPLIED AT A RATE THAT PROVIDES 5 LBS. OF PHOSPHORUS PER 1000 S.F. LIGHTLY MIX WITH SOIL AND SMOOTH SURFACE.

**SODDING:** APPLY DROUGHT-RESISTANT, TURF-TYPE FESCUE SOD (E.G. "REBEL III", "BONANZA", "CONFEDERATE", ETC.) IN THE FOLLOWING MANNER:

SOD SHALL BE PLACED ON A SMOOTH, EVEN SURFACE CONFORMING TO FINISH GRADE REQUIREMENTS. FINISH GRADE SHALL BE 1 INCH BELOW SURFACES OF ADJACENT SIDEWALKS AND CURBING. SOIL SHALL BE WATERED BEFORE SOD IS LAID. ALL SOD SHALL BE CUT BY AN APPROVED MECHANICAL SOD CUTTER. UNDER NO CIRCUMSTANCES SHALL ANY SODDING WORK BE DONE UNLESS WEATHER AND SOIL CONDITIONS ARE SUITABLE.

HANDLING OF SOD SHALL BE DONE IN A MANNER AS TO PREVENT TEARING, BREAKING, DRYING, OR OTHER DAMAGE.

SOD SHALL BE INSTALLED ON-SITE IN NOT MORE THAN 72 HOURS AFTER CUTTING. IF THE SOD IS NOT INSTALLED WITHIN 48 HOURS AFTER CUTTING, IT SHALL BE UNSTACKED OR UNROLLED, PLACED IN SHADE, AND KEPT MOIST UNTIL INSTALLATION.

LAY SOD PARALLEL TO THE DIRECTION OF THE SLOPE AND IN A MANNER WHICH WILL PERMIT JOINTS TO ALTERNATE.

FIT SOD PIECES TOGETHER TIGHTLY SO THAT NO JOINT IS VISIBLE, AND TAMP SOD FIRMLY AND EVENLY BY HAND.

AFTER SODDING IS COMPLETE AND APPROVED BY LANDSCAPE ARCHITECT, SODDED AREAS SHALL BE ROLLED WITH A 200 LB. ROLLER.

WATER SODDED AREAS IMMEDIATELY AFTER FINAL ROLLING WITH A FINE SPRAY TO A DEPTH OF 4 INCHES. KEEP ALL SODDED AREAS CONTINUOUSLY MOST THEREAFTER UNTIL 30 CALENDAR DAYS FOLLOWING INSTALLATION. USE FINE SPRAY NOZZLES ONLY.

INSPECT AND MAINTAIN SODDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SODDED AREAS FAIL TO BECOME ROOTED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS WITH NEW SOD MATERIALS.

**SEEDING:** APPLY TURF-TYPE SEED MIXTURE (E.G. "CONFEDERATE" FESCUE MIXTURE, "TRI-BLEND", ETC.) AT A RATE OF 6 LBS. PER 1000 S.F. KENTUCKY 31 TALL FESCUE IS UNACCEPTABLE.

CUT/PACK SEEDED AREAS AND APPLY ANTI-EROSION MULCH AT A RATE OF 2 TONS PER ACRE.

INSPECT AND MAINTAIN SEEDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SEEDED AREAS FAIL TO BECOME ESTABLISHED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS FOR ESTABLISHMENT OF A SUITABLE TURFGRASS.

**IRRIGATION DIRECTIVES**

A. THE GENERAL CONTRACTOR SHALL SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF HIS CHOICE, OR HAVE THE PLANTING CONTRACTOR SUB-CONTRACT THE IRRIGATION WORK TO A FIRM OF THEIR CHOICE

B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO SPRAY THE LAWN AND PLANT BEDS SEPARATELY AS SHOWN ON THE PLAN AROUND THE BUILDING, BUT, IN OUTLYING AREAS ISLANDS OF SHRUBS SHALL BE OVERSPRAYED WITH THE LAWN HEADS OR, PER PLAN, MAY HAVE SHRUB HEADS ON THE ADJACENT LAWN ZONE

C. PROVIDE ADEQUATE ZONES TO INDIVIDUALLY CONTROL IRRIGATION FOR ALL THE DIFFERENT EXPOSURES AND SLOPES AT LEAST AS INDICATED ON THE PLANS AS WELL AS TO BE ABLE TO BEST MATCH THE WATER AVAILABLE TO THE SYSTEM

D. SUBMIT HEAD LAYOUT AND ROUTING PLAN TO THE ARCHITECT FOR APPROVAL OF THE LAYOUT AND ZONE DESIGN

E. IN MUNICIPAL AREAS PROVIDE THE OWNER A (DOLLAR) CHOICE TO SET A SEPARATE METER FOR THE IRRIGATION, OR TO USE THE EXISTING METERED SOURCE FOR THE IRRIGATION

F. IN MUNICIPAL AREAS THE CONTRACTOR SHALL PROVIDE THE BACK-FLOW PREVENTION DEVICES REQUIRED BY THE MUNICIPALITY

G. PROVIDE THE OWNER A PLASTIC COVERED COLOR CODED PLAN TO TACK TO THE WALL NEXT TO THE CONTROLLER LOCATION

H. PROVIDE (3) THREE COPIES OF "AS-BUILT" LAYOUT AND OPERATING INSTRUCTIONS TO THE OWNER.

**IRRIGATION NOTES**

- NOTE TO IRRIGATION CONTRACTOR:** MANY MUNICIPALITIES ARE CURRENTLY REVISING THEIR ORDINANCES AND REGULATIONS REGARDING IRRIGATION SYSTEMS. BEFORE THIS PROJECT IS BID OR INSTALLED, THE CONTRACTOR SHALL VERIFY WITH THE RULING MUNICIPALITY THAT THE PROPOSED SYSTEM MEETS ALL LOCAL REGULATIONS, AREAS OF SPECIAL CONCERN INCLUDE:
- RIGHT-OF-WAY EASEMENT AGREEMENTS FOR PLACEMENT OF IRRIGATION WITHIN STREET/ROAD RIGHT-OF-WAYS.
  - BACKFLOW PREVENTION DEVICES, WHETHER THESE ARE REQUIRED AND IF SO, WHAT TYPES ARE APPROVED.
  - CERTIFICATION/LICENSE TO INSTALL BACKFLOW PREVENTER DEVICES AND METERS.
  - "WINTER SERVICE" REQUIREMENTS FOR BACKFLOW PREVENTER DEVICES.
  - USE OF A SECOND METER FOR IRRIGATION USE ONLY.
  - WATER RATION DAYS IN WHICH IRRIGATION SYSTEM CANNOT BE USED.
  - ALL OTHER REGULATIONS NOT MENTIONED HEREIN.

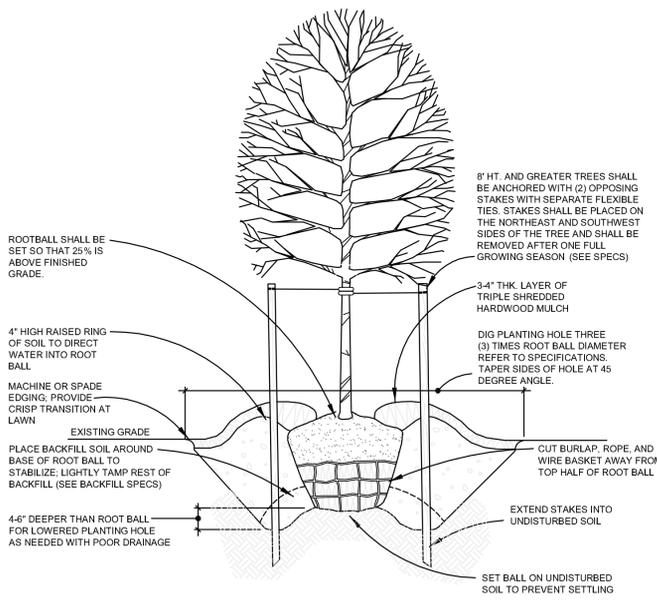
SHOULD THE BID/CONSTRUCTION DOCUMENTS BE INCONSISTANT WITH CURRENT LOCAL REGULATIONS, THE CONTRACTOR SHALL PRESENT THE OWNER WITH A QUOTE/CONTRACT THAT INDICATES MODIFICATIONS TO MAKE THE SYSTEM COMPLIANT WITH ALL THE LOCAL CODES.

**PERMITS FEES:** THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO INSTALL THE SYSTEM AND HE SHALL PAY ANY ASSOCIATED FEES, COST FOR THESE ITEMS SHALL BE INCLUDED IN THE QUOTE/CONTRACT FOR THE IRRIGATION SYSTEM.

**IRRIGATION DIRECTIVES AND NOTES SCALE: NTS 5**

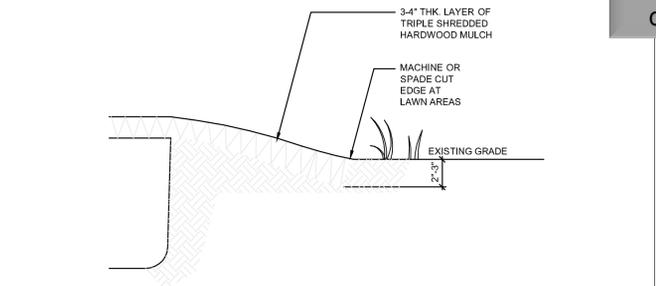
**NOTES**

- THE PLANTING PROCES IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
- FOR SINGLE STEM TREES, DO NOT SUPPLY TREES WITH MULTIPLE LEADERS. ONLY PROVIDE TREES WITH A SINGLE LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS AND TO INSURE COMPLIANCE WITH SIGHT DISTANCE STANDARDS.
- MARK THE NORTH SIDE OF THE TREE AT THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
- WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL ADJUSTMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA.
- FOR CONTAINER-GROWN TREES, SET THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAKING DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.

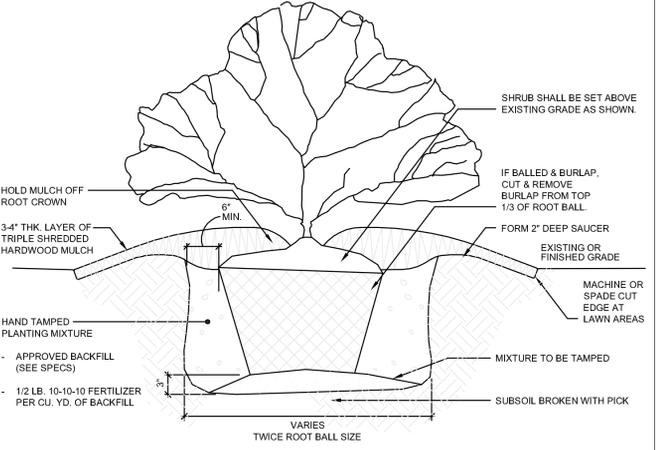


**LANDSCAPE WORK SPECIFICATIONS SCALE: NTS 6**

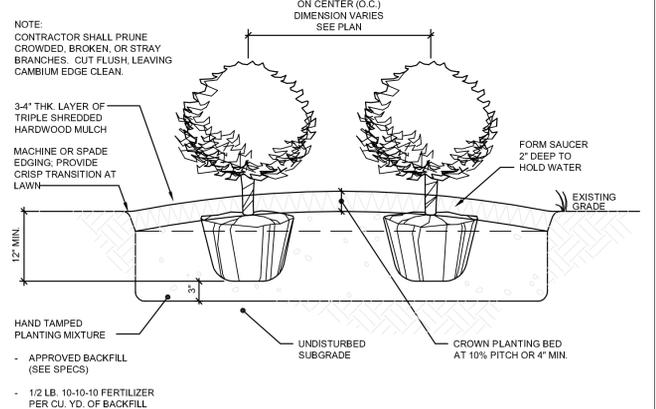
**\* TYPICAL TREE INSTALLATION SCALE: NTS 4**



**BED EDGING SCALE: NTS 1**



**\*TYPICAL SHRUB INSTALLATION SCALE: NTS 2**



**MASSING PLANT INSTALLATION SCALE: NTS 3**



**TALMAGE "MARK" HALL, ASLA**  
100 Dove Court  
Clayton, NC 27520  
tel 919.810.8408  
email: talmagemark@gmail.com

NOTE: THIS SEAL AND SIGNATURE APPLIES ONLY TO THE LANDSCAPE PLAN, LANDSCAPE DETAILS AND LANDSCAPE NOTES

**NOT RELEASED FOR CONSTRUCTION**

335 ATHLETIC CLUB BLVD  
CLAYTON, NC 27527  
dominic@dcadamspe.com  
919-763-7678  
FIRM # C-3894

**DC ADAMS ENGINEERING, INC**



LionsGate  
Phase 7 Townhomes  
FRED SMITH COMPANY, CLAYTON, NC 27527

LANDSCAPE DETAILS

FILE	LONGSTATE 7A-7D
DESIGN	TMH
DRAWN	TMH
CHECKED	DCA
HORIZONTAL SCALE	1"=60'
VERTICAL SCALE	N/A
DATE	12/01/2014
JOB NO.	

SHEET 5 of 5

TOWN OF CLAYTON  
MOTION GRANTING SUBDIVISION APPROVALS  
SHORT FORM

Motion:

Based on the substantial and competent evidence and testimony presented to the Town Council on this matter, the Council finds and concludes that Subdivision Application **PSD 2014-145**, Lions Gate, Phases 7A, 7B,7C, & 7D, (subject to the conditions recommended by the Planning Board and Planning Staff and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representatives):

- (1) That the subdivision meets all required specifications of the Town Unified Development Ordinance;
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area;
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare; and
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

Duly adopted by the Clayton Town Council this 2nd day of March, 2015.

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 5b**

**Meeting Date: March 2, 2015**

**TITLE: Public Hearing – SUP 2014-143**

**DESCRIPTION: Murdock Solar Farm – 2663 Guy Road. Applicant is requesting a Special Use Permit for a 21+ acre solar farm on a 31.9 acre parcel.**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing For March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing	Staff Report Supporting Documents



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

*Town Council, February 16, 2015*

## STAFF REPORT

**Application Number:** SUP 2014-143 (Special Use Permit)  
**Project Name:** Murdock Solar Farm

**NC PIN / Tag #:** 164900-26-3570 / 05G02021WC  
**Town Limits/ETJ:** ETJ  
**Overlay:** none  
**Applicant:** Sunlight Partners, LLC.  
**Owners:** Albert Newsome  
**Developer:** Sunlight Partners, LLC.

**Neighborhood Meeting:** Held January 6th, 2014.  
**Public Noticing:** January 16, 2015

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**PROJECT LOCATION:** The project is located at 2663 Guy Rd. The parcel's western border is the Wake County / Johnston County line. It is west of Guy Rd, south of US Hwy 70 W Business, and south of Golden Nugget Dr.

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**REQUEST:** The applicant is requesting special use permit approval for a 21± acre solar farm on a 31.9 acre parcel. A solar farm is a low-impact industrial-type use where solar panels generate electricity that is sold into the grid through the local electricity provider, in this case Duke Energy. This Special Use Permit application is running concurrently with a Site Plan (SP2014-144), which contains the site plan details for the solar farm use on the property.

---

### SITE DATA:

**Acreage:** 31.9 acres  
**Present Zoning:** Residential Estate (R-E)  
**Proposed Zoning:** Residential Estate (R-E)  
**Existing Use:** Vacant and/or agriculture

### DEVELOPMENT DATA:

**Proposed Uses:** Solar farm  
**Buildings:** None – three small structures would house equipment, approx. 100 sqft. each and 8' tall.

Number of Stories: The solar panel arrays will extend 12' above grade.

Impervious Surface: 5±%

Required Parking: none.

Proposed Parking: 1 for maintenance.

Fire Protection: Town of Clayton Fire Department.

Access/Streets: Access will be provided via an access easement off of Guy Rd, through an adjacent parcel owned by Donald Larry Newsome (Tag # 05G02022WC). Internal access will be along a proposed 20' wide gravel road.

Water/Sewer Provider: none.

Electric Provider: Duke Energy

**ADJACENT ZONING AND LAND USES:**

**North:** Zoning: Residential Estate (R-E)  
Existing Use: Single Family Residential

**South:** Zoning: Residential Estate (R-E)  
Existing Use: Vacant or agricultural, Single Family Residential

**East:** Zoning: Residential Estate (R-E)  
Existing Use: Single Family Residential

**West:** Zoning: Residential-30 (R-30) (in Wake County)  
Existing Use: Vacant or agricultural, Single Family Residential

**STAFF ANALYSIS AND COMMENTARY:**

**Overview**

The applicant is requesting a Special Use Permit to use the land for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is consistent with the current surrounding uses, which are primarily vacant land or agricultural. This Special Use Permit application is with a concurrent Site Plan application (SP2014-144).

**Associated Site Plan**

Pursuant to §155.711(D)(1), concurrent with a request for a special use permit, an applicant shall submit a site plan for review and approval. This site plan is processed as any other site plan with a final decision made by the applicable reviewing body.

The concurrent site plan application running this this Special Use Permit is SP2014-144, the applicant is requesting site plan approval for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be

shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is not inconsistent with the current surrounding uses, which are primarily vacant land or agricultural.

**Consistency with the Strategic Growth Plan**

The proposed development is not inconsistent with the Strategic Growth Plan. Locating this type of use on the outskirts of the ETJ on the Wake County border is not objectionable to the Strategic Growth Plan.

**Consistency with the Unified Development Code**

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC).

**Landscaping and Buffering**

The proposed site plan will have a 12'-15' tall (at 3-5 years after planting) evergreen landscaping buffer planted along it's entire perimeter, with some natural vegetation kept where the buffer intersects existing wetland areas (less than 5% of the perimeter).

**Recreation and Open Space**

N/A.

**Environmental**

Three small wetlands have been identified in the site plan. None of them are required to be managed per Town Code. They will be trimmed manually and maintained at heights of 4' on the interior wetland and 12' on the wetlands in the landscape buffer.

**Signs**

No monument signs are requested at this time and none will likely be requested.

**Site Design**

A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

**Access/Streets**

An access easement on the north side of the parcel will be obtained from the adjacent landowner. A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

**Waivers/Deviations/Variances from Code Requirements**

A modified landscape buffer is being proposed that will provide a year-round visual buffer of the 12' tall solar panels.

## FINDINGS

When considering a Special Use Permit application, The Town Council shall consider specific Findings of Fact. A Special Use which fails to meet any of these Findings shall be deemed adverse to the public interest and shall not be approved. The applicant has addressed the Findings expressly established by Chapter 155.711 (I) of the UDC. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

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## CONSIDERATIONS

- The Town Council approves Special Use Permits.
  - This site is on the outskirts of the ETJ on the Wake County line.
  - Solar farms are possible in Residential Estate (R-E) areas with a Special Use Permit. This Site Plan is running concurrently with a Special Use Permit application.
  - Planning Board has approved the Site Plan.
  - Planning Board has made a recommendation to the Town Council to approve the Special Use Permit.
- 

## RECOMMENDATION:

Staff is recommending **approval of the Special Use Permit with the following conditions:**

1. The development of the site is limited to the approved site plan (reference project # SP 2014-144).
  2. All mechanical equipment (excluding the electrical tie-in and utility metering area) must be completely screened from view from outside of the site.
  3. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
- 

**Planning Board Recommendation: Approval with Conditions as listed.**

**Town Council Recommendation:**

## ATTACHMENTS

1. Findings of Fact
2. Aerial/Zoning Map
3. Application
4. Neighborhood Meeting Materials
5. Planning Board recommendation
6. Plans: site and existing
7. Access easement

**REQUIRED FINDINGS OF FACT**

*Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.*

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

Please See Attached Project Narrative

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

Please See Attached Project Narrative

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

Please See Attached Project Narrative

- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

Please See Attached Project Narrative





2014

Project Narrative for Murdock Solar



Submitted by:  
Sunlight Partners, LLC  
11/20/2014

INTRODUCTION .....2

PROJECT DESCRIPTION .....2

PROJECT LOCATION .....3

REQUIRED FINDING OF FACT.....4

CONCLUSION .....6

## INTRODUCTION

Sunlight Partners respectfully submits the following as supporting documentation for the affirmation that the Candace Solar project meets the requirements for approval of a Conditional Use Permit (CUP) within the I-2 zoning districts.

## PROJECT DESCRIPTION

The proposed Murdock Solar project will consist of an unmanned, 4 Mega-watt (MW), fixed tilt, photovoltaic solar farm. The project is situated on Parcel No. 05G2021WC within the Town of Clayton.

Components of the project will consist of mounted photovoltaic solar panels, electrical power inverters, electrical transformers, and buried electrical conduit. The solar generating facility will interconnect to the existing utility grid. **Figure 1** shows a typical photovoltaic solar generating facility.



Figure 1 - Conceptual Site Rendering.

## PROJECT LOCATION

The Murdock Solar project site is located at 433 Guy Road, Clayton, NC.

**Figure 2** depicts project location.

Figure 2 – Murdock Solar project site.



## REQUIRED FINDING OF FACT

Section 155.711(l) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.**

*The Murdock Solar Project will not materially endanger the public health, safety, or general welfare if located where proposed and developed according to the plan as submitted and approved.*

**Public Health & Safety-** *The Murdock Solar facility will not adversely affect public health and safety. The solar facility is an unmanned, infrequently visited project site. As such, the project will not increase the existing demand on public safety agencies (police and fire departments). The project site will be enclosed with a fence, preventing access to the general public.*

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.**

*The Murdock Solar project will comply with all required regulations of the Unified Development Ordinance (UDO) and any specific conditions and specifications required for this project. The UDO was reviewed during the design phase of this project, as a good faith effort at compliance, prior to the submittal of the Conditional Use Permit application.*

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.**

*Because the Murdock Solar project will have landscaping and natural buffers shielding the project from view, the project will not adversely affect the use, physical attribute, or impact the value of adjoining or abutting property.*

*In 2013, David Massey was commissioned to perform an analysis on solar farm impacts on adjacent property values within Guilford County, North Carolina. Mr. Massey is a State Certified General Real*

*Estate Appraiser by the State of North Carolina and a Licensed Real Estate Broker. Mr. Massey's practice consists of residential and commercial appraisals in Guilford, Alamance, Orange, Durham, Randolph, Chatham and Caswell Counties of North Carolina.*

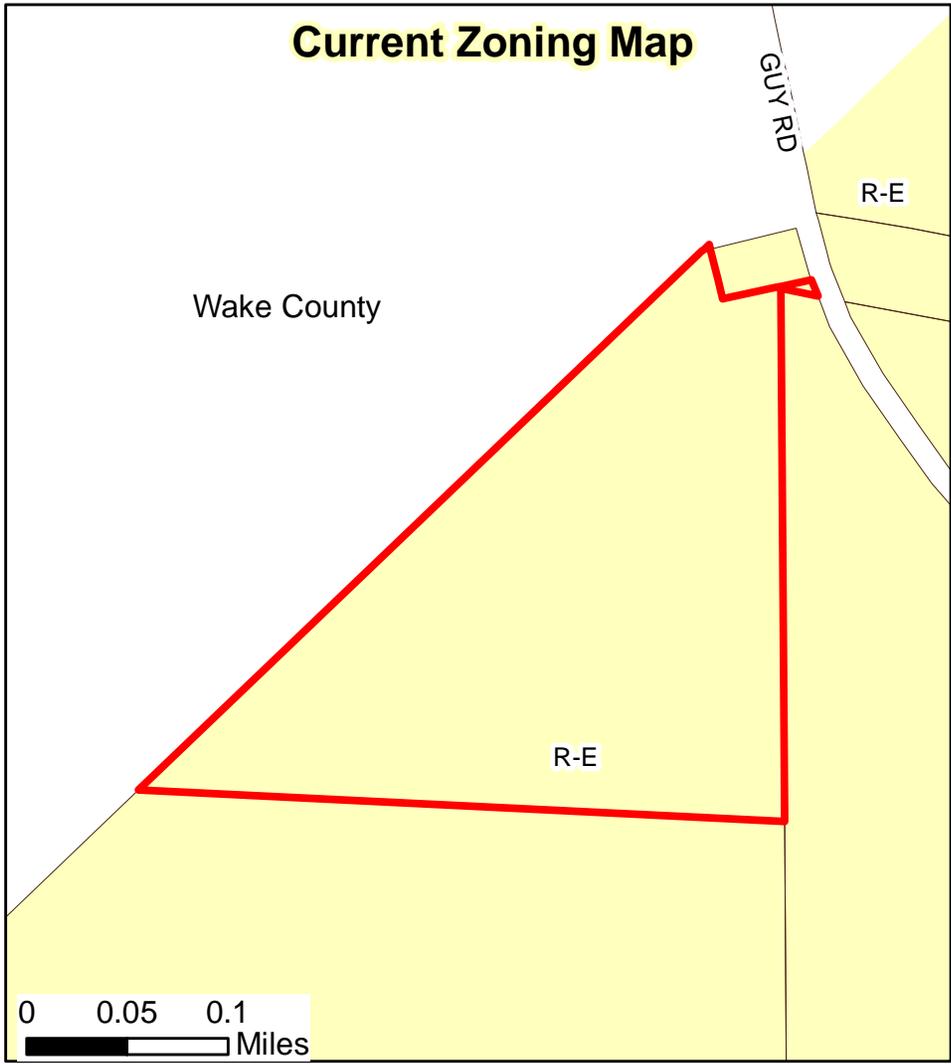
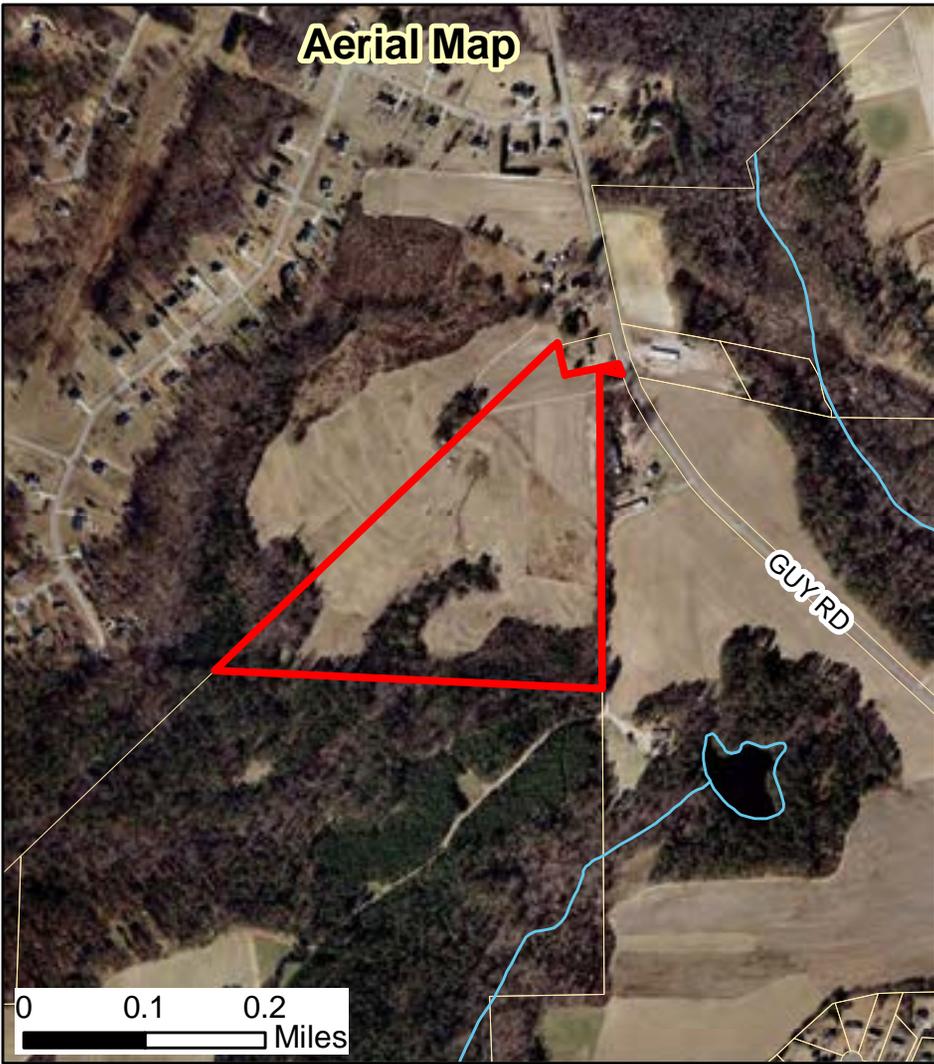
*Mr. Massey's study was performed to address the impact on adjacent property values related to two similar sized solar projects that Sunlight Partners was permitting in Guilford County. In the study (Attachment B) Mr. Massey concludes that, "My professional and expert opinion is that the two proposed Solar Farms that will not be visible will have no impact on the market values of the surrounding properties. The Solar Farms with the proposed landscaping buffers and natural buffers will not create a negative externality for the surrounding properties as they will not be visible."*

**4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.**

*The proposed location for the Murdock Solar project is designated as Residential-Agricultural District. The Murdock Solar project will be in harmony with the area and will be in compliance with the plan for the physical development of the Town due to the fact that project will not increase the population density within the Residential/Agricultural area, will not require urban services, will not decrease the level of service on existing roads, and views of the Murdock Solar project will be shielded by natural and landscape buffers.*

## **CONCLUSION**

The Murdock Solar project has been designed, in good faith, to meet all required conditions and specifications as set forth by the Town of Clayton. Sunlight Partners believes that the finding of facts has been adequately addressed, and that the Murdock Solar project meets the requirements for approval of a Conditional Use Permit (CUP).



## Murdock Solar Farm Special Use Permit and Site Plan

Applicant: Murdock Solar c/o Keith Colson  
 Property Owner: Albert Lee Newsome  
 Parcel ID Number: 164900-26-3570  
 Tag #: 05G02021WC  
 File Number: SUP 2014-143 and SP 2014-144

Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

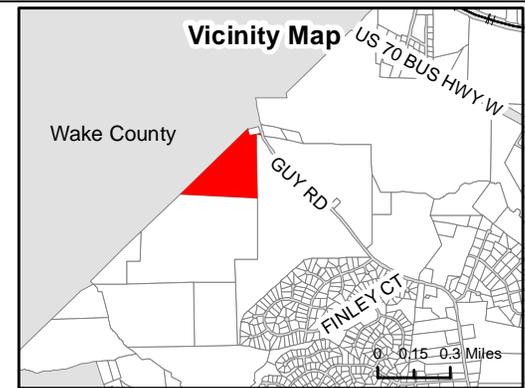


12/29/14



### Legend

- Murdock\_Solar\_Farm\_Site
- FLOODZONE**
- A
- AE - 100 Year Flood Zone
- AEFW - Floodway
- SHADED X - 500 year Flood





Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## SPECIAL USE APPLICATION

*Pursuant to Article 7, Section 155.711 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to allow a Special Use. Special Uses are uses that may be appropriate in a particular district, but have the potential to create incompatibilities with adjacent uses.*

*Fee: The application fee is \$400.00. All fees are due when the application is submitted.*

*Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Special Use Permit applications.*

### APPLICATION TYPE

New Special Use Permit                       Major Modification to an approved SUP  
 Permit Modified: \_\_\_\_\_

### SITE INFORMATION

Name of Project: Murdock Solar                      Acreage of Property: 31.9  
 Parcel ID Number: 05G02021 WC                      Tax ID: GPIN 164900-26-3570  
 Deed Book: \_\_\_\_\_                      Deed Page(s): \_\_\_\_\_  
 Address/Location: 2780 Guy Road, Clayton NC 27520

Existing Use: Ag                      Proposed Use: 4MW Solar Facility  
 Is project within a Planned Development?                       No                       Yes  
 Planned Development District (if applicable): \_\_\_\_\_  
 Is project within an Overlay District:                       No                       Yes  
 Overlay District (if applicable): \_\_\_\_\_

### OFFICE USE ONLY

Date Received: 12/1/14                      Amount Paid: 400<sup>00</sup>                      Permit Number: 2014-143  
2014-143

MASTER PROJECT  
2014-142

## PROPERTY OWNER INFORMATION

**Name:** Albert Newsome

**Mailing Address:** 433 Guy Road, Clayton NC 27520

**Phone Number:** 919-553-4275 **Fax:** \_\_\_\_\_

**Email Address:** \_\_\_\_\_

## APPLICANT INFORMATION

**Applicant:** Murdock Solar, LLC

**Mailing Address:** 4115 East Valley Auto Drive #204 Mesa AZ, 85206

**Phone Number:** 480-582-1540 **Fax:** \_\_\_\_\_

**Contact Person:** Keith Colson

**Email Address:** keith.colson@sunlightpartners.com

## REQUIRED INFORMATION (to be submitted with the application)

*The following items must accompany a Conditional Use Permit (CUP) application.*

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
2. Review Fee (\$400)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
3. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. Owner's Consent Form (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
5. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
6. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
7. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
8. If applicant is concurrently applying for site plan approval, a copy of the proposed site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements included in this packet</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
10. Set of stamped, addressed envelopes using the adjacent property owners list	May be provided at time of submittal OR no later than 25 days prior to the Town Council meeting.				
11. Neighborhood meeting summary form (9 copies) <i>Form is included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

*Note: More information may be requested by the Planning Department depending on the project*

**REQUIRED FINDINGS OF FACT**

*Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.*

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

Please See Attached Project Narrative

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

Please See Attached Project Narrative

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

Please See Attached Project Narrative

- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

Please See Attached Project Narrative



# NEIGHBORHOOD MEETING SUMMARY FORM

## FILL OUT THE FOLLOWING:

Date of Mailing: 12-23-14

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: TRACY BRUNSON Signature: 

Date of Meeting: JAN 6, 2014 Time of Meeting: 6pm

Location of Meeting: 111 E. 2nd Street CLAYTON, NC 27520

**Meeting Summary/Minutes:** provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Discussed Facility Access + How it will be maintained +

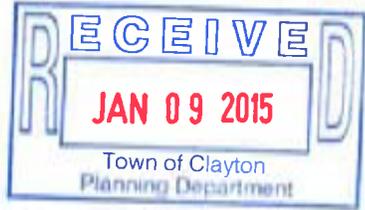
Discussed Replacement of Electric Fence

Discussed Lease Agreement

Discussed Process of Selling Power

Discussed PPA w/ Duke + how that works

*Please write clearly (or submit a typed summary), and use additional sheets if necessary.*



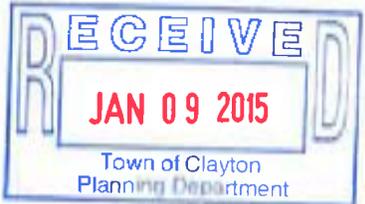


# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

**Applicant:** MURDOCK SOLAR

**Location/Date:** TOWN OF CLAYTON / 1-6-15

	NAME	ADDRESS
1	<i>[Handwritten Signature]</i>	<i>[Handwritten Address]</i>
2	<i>Ham Newsome</i>	<i>101 Buttonwood Dr, Clayton, NC</i>
3	<i>Larry Newsome</i>	<i>3017 Buttonwood Lane Clayton N.C.</i>
4		
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Sunlight Partners, LLC  
4115 E. Valley Auto Dr. Suite #204  
Mesa, AZ 85206

January 12, 2015

Jay McLeod, AICP  
Planner  
Town of Clayton  
111 East Second Street  
Clayton, NC 27528  
[jwmcleod@townofclaytonnc.org](mailto:jwmcleod@townofclaytonnc.org)

Mr. Jay McLeod, this letter is to be a summary of the discussion that occurred on January 6, 2015 at 6pm. Sunlight Partners (SLP) met with three landowners that have land adjacent to our proposed solar facility location.

In this meeting the question was asked about access to the site, Sunlight Partners had a discussion with Mr. Jack Gorrell regarding the existing access that cuts through his property. He agreed to provide Mr. Newsome with access; SLP has initiated the process of having all the legal documents created for this process.

Mr. Larry Newsome had a concern about the removal of the existing electric fence that is used to keep the cows on the property that our solar facility is proposed on. Mr. Larry Newsome was asking if we would be willing to replace the fence. SLP asked Larry to come have a proposal put together with a cost for the new fence and then SLP could make a decision based on the need.

Mr. Adam Newsome had some general questions about the lease arrangement, how long the term is and how many extensions there are. This led into a discussion about the utility and how the PPA process is and the process of selling power. SLP was able to answer all of the questions that community had and hopefully gave them a better understanding of the project and the entire process associated with this type of project.

Thank you

Tracy Brunson  
Project Manager  
Sunlight Partners  
Office 800-673-1125  
Direct 480-582-1575

**TOWN OF CLAYTON  
PLANNING BOARD WRITTEN RECOMMENDATION  
SPECIAL USE PERMIT**

**SUP 2014-143 Murdock Solar Farm**

On January 26, 2015 the Planning Board heard the above-referenced request and made the following vote:

Recommendation to the Town Council to:

- approve the request with the conditions presented by staff.
- approve the request with the following modified or added conditions:

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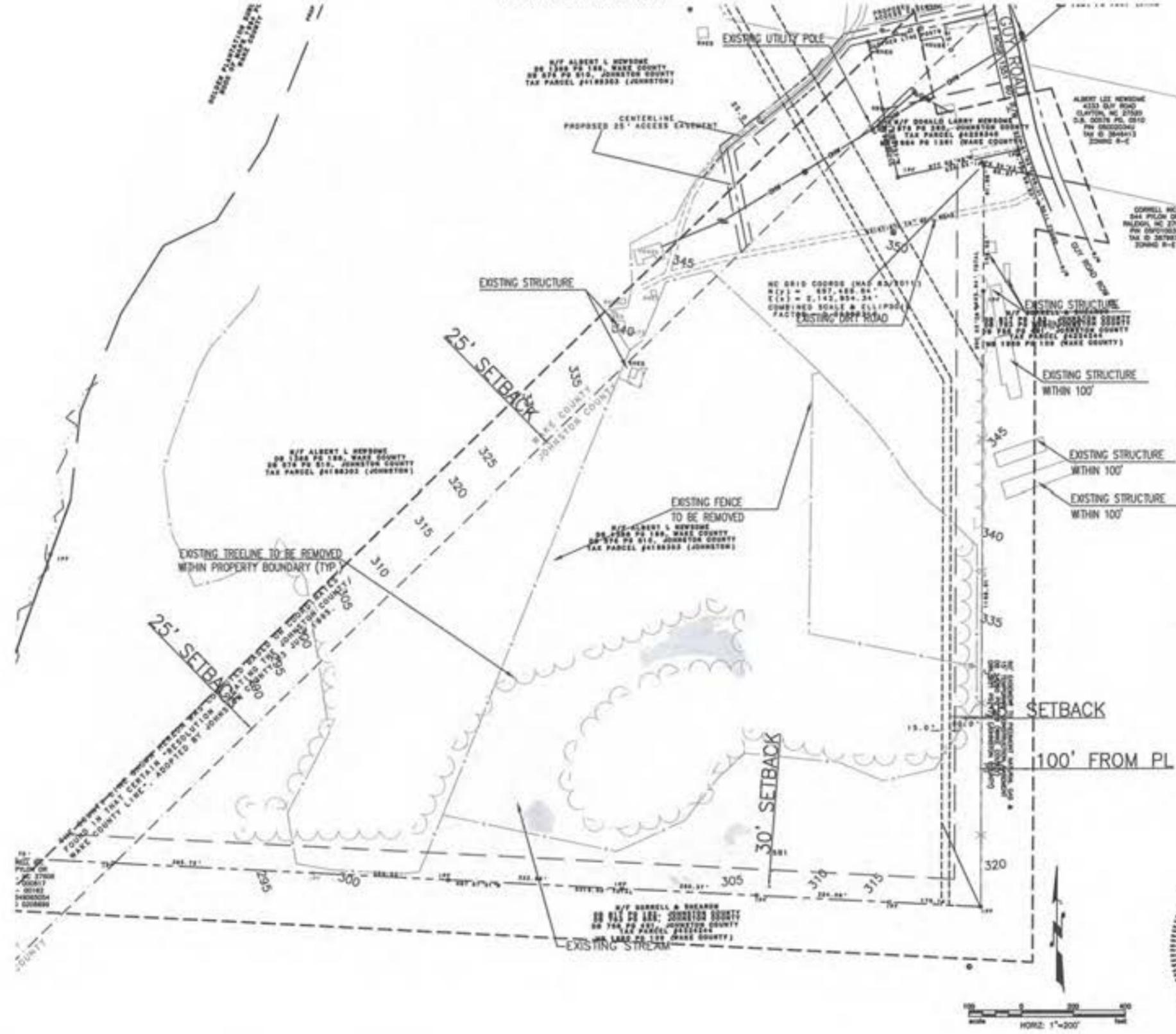
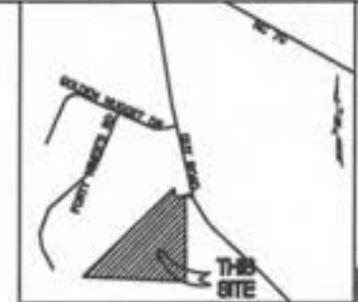
deny the request.

Recommendation(s) made this 26 day of January while in regular session.

Signed:

  
\_\_\_\_\_  
Frank Price, Planning Board Chair

# SITE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA



**DEVELOPER**  
SUNLIGHT PARTNERS, LLC  
4115 E. VALLEY AUTO DR. SUITE#204  
MESA, ARIZONA 85208  
PHONE: 801-550-7150  
FAX: 480-582-1575  
ATTN: KEITH COLSON

**OWNER**  
ALBERT NEWSOME  
4333 GUY RD  
CLAYTON, NC 27520

**ENGINEER**  
D.E.P. ENGINEERING SOLUTIONS  
25 CARRIAGE WAY  
SCARBOROUGH, ME 04074  
PHONE: 207-217-2216  
ATTN: MICHAEL WALLACE

**SITE ADDRESS**  
MURDOCK SOLAR LLC  
2883 GUY RD  
CLAYTON, NC 27520

**PARCEL NUMBER**  
PARC # 164900-20-3570  
ZONING DISTRICT = R-E

**SITE SUMMARY TABLE**

GROSS ACREAGE	31.8 ACRE
NET ACREAGE	31.8 ACRE
EXISTING LAND USE	AGRICULTURE
PROPOSED LAND USE	RENEWABLE ENERGY FACILITY
PERCENT IMPERVIOUS	0%
AREA OF DISTURBANCE	12.7 - 21 ACRES

**SETBACKS**  
FRONT = 35 FEET  
SIDE = 25 FEET  
REAR = 30 FEET

**SHEET INDEX**  
1. SITE PLAN

**LEGEND**

—	BOUNDARY LINE
- - -	SET BACK LINE
- · - · -	SECURITY FENCE
□	PROPOSED UTILITY METERING SECTION
~~~~~	EXISTING TREELINE
■	SOLAR PANELS
□	INVERTER
○	NCS MONUMENT
- · - · -	R/W LINE
---	MAJOR CONTOUR
---	MINOR CONTOUR
~~~~~	WETLAND AREA



EXISTING CONDITIONS

"MURDOCK SOLAR LLC"  
TOWN OF CLAYTON, NORTH CAROLINA

PROJECT

DATE: 12/15/14  
DRAWN BY: MW  
CHECKED BY: MW  
DATE: 12/15/14  
SCALE: AS SHOWN  
SHEET NO. 2

JOB NO. MURDOCK SOLAR

SHEET NO. 2

1-800-632-4849

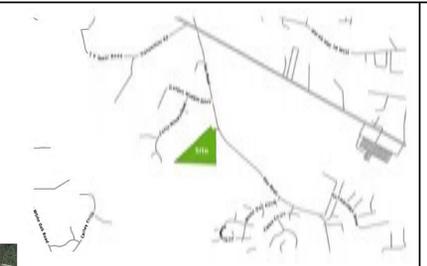




**LANDSCAPE NOTES**

1. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
2. UNDERSTORY TREES SHALL BE 6" TALL AND 2" CALIPER AT THE TIME OF PLANTING AND SCREENING SHRUBS SHALL BE 30" TALL AT THE TIME OF PLANTING.
3. PLANT SPECIES LISTED IN THE BUFFER DETAIL PLAN ARE MEANT TO INDICATE THE BASIS OF DESIGN. OTHER SIMILAR SPECIES WILL BE ACCEPTABLE PENDING FINAL ADMINISTRATIVE REVIEW AND APPROVAL BY TOWN OF CLAYTON PLANNING DEPARTMENT.
4. MANAGED RE-GROWTH IN WETLAND AREAS REFERS TO MANAGING CLEARED VEGETATION (ACTIVITY THAT IS CONSIDERED EXEMPT FROM BEING CONSIDERED AND IMPACT BY THE US ARMY CORPS OF ENGINEERS) TO KEEP IT FROM REACHING HEIGHTS THAT WOULD SHADE THE ARRAY. SHADE BUFFER LAND CLEARING SHOWN IN JURISDICTIONAL AREAS IS NOT CONSIDERED A DISCHARGE OF DREDGE MATERIAL AS DEFINED IN SECTION 232.2 (3)(ii) "Activities that involve only the cutting or removing of vegetation above the ground (e.g., mowing, rotary cutting, and chainsawing) where the activity neither substantially disturbs the root system nor involves mechanized pushing, dragging, or other similar activities that redeposit excavated soil material."

# LANDSCAPE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA



**VICINITY MAP**  
N.T.S

**DEVELOPER**

SUNLIGHT PARTNERS, LLC  
4115 E. VALLEY AUTO DR. SUITE#204  
MESA, ARIZONA 85206  
PHONE: 801-550-7150  
FAX: 480-582-1575  
ATTN: KEITH COLSON

**OWNER**

ALBERT NEWSOME  
4333 GUY RD  
CLAYTON, NC 27520

**ENGINEER**

D.E.E.P. ENGINEERING SOLUTIONS  
25 CARRIAGE WAY  
SCARBOROUGH, ME 04074  
PHONE: 207-217-2216  
ATTN: MICHAEL WALLACE

**SITE ADDRESS**

MURDOCK SOLAR LLC  
2663 GUY RD  
CLAYTON, NC 27520

**PARCEL NUMBER**

PARID # 164900-26-3570  
ZONING DISTRICT = R-E

**SITE SUMMARY TABLE**

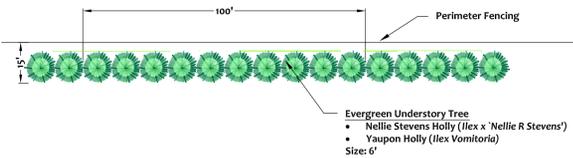
GROSS ACREAGE	:31.9 ACRE
NET ACREAGE	:31.9 ACRE
EXISTING LAND USE	:AGRICULTURAL
PROPOSED LAND USE	:ALTERNATIVE ENERGY FACILITY
PERCENT IMPERVIOUS	:1.5%
AREA OF DISTURBANCE	:+/- 21 ACRES

**SETBACKS**

FRONT = 35 FEET  
SIDE = 25 FEET  
REAR = 30 FEET

**LEGEND**

	BOUNDARY LINE
	SET BACK LINE
	SECURITY FENCE
	PROPOSED UTILITY METERING SECTION
	EXISTING TREELINE
	SOLAR PANELS
	INVERTER
	NCS MONUMENT
	R/W LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	FLOW LINE
	PROPOSED BUFFER PLANTING



**Typical Buffer Planting Detail per 100'**

PLANTING SCHEDULE PER 100 LINEAR FT.							
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE COND	REMARKS	HEIGHT SPREAD
	IV	10	Ilex vomitoria	Yaupon Holly	6'	Evergreen	6' min. 6'-8'
ALTERNATE SPECIES VARIETY							
	INS	10	Ilex x 'Nellie R Stevens'	Nellie R Stevens Holly	6' Ht.	Evergreen	6' min. 5'-6'



**Buffer Elevation**



REVISIONS:


LANDSCAPE PLAN

"MURDOCK SOLAR LLC"

TOWN OF CLAYTON, NORTH CAROLINA

PROJECT:

Job No:	TB
Drawn By:	MRW
1st Submit:	11-21-14
2nd Submit:	
3rd Submit:	

CALL THESE NUMBERS DAYS BEFORE YOU DIE

**1-800-692-4949**

JOB NO.  
MURDOCK SOLAR

SHEET NO.  
**3**

**Town of Clayton  
Town Council  
SUP Motion Sheet**

After considering the competent, material, and substantial evidence presented, including the application and materials of record, I move to (PICK ONE):

- Approve
- Deny
- Approve with Conditions

SUP Application 2014-143.

This motion is based on the following findings:

1. The application **will not** materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

**OR**

The application **will** materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved. (State evidence supporting finding.)

\*\*\*\*\*

2. The application **meets all** required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances, or other applicable regulations.

**OR**

The application **does not meet all** required specifications and **does not** conform to the standards and practices of sound land use planning and the Town Code of Ordinances, or other applicable regulations. (State evidence supporting finding.)

\*\*\*\*\*

3. The application **will not** substantially injure the value of adjoining or abutting property, and **will not** be detrimental to the use or development of adjacent properties or other neighborhood uses.

OR

The application **will** substantially injure the value of adjoining or abutting property, and **will** be detrimental to the use or development of adjacent properties or other neighborhood uses. (State evidence supporting finding).

\*\*\*\*\*

4. The application **will not** adversely affect the adopted plans and polices of the Town, or violate the character of existing standards for development of the adjacent properties.

OR

The application **will** adversely affect the adopted plans and polices of the Town, or violate the character of existing standards for development of the adjacent properties. (State evidence supporting finding.)

\*\*\*\*\*

**[If approved with conditions]** The applicant meets the above findings subject to the following conditions:

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 5c**

**Meeting Date: February 16, 2015**

**TITLE: Public Hearing - PDD 2014-127 – SteepleChase Planned Development – Rezoning to PD-MU**

**DESCRIPTION: SteepleChase Planned Development – Rezoning to PD-MU. This is a 631 acre project and is generally located east of City Road, west of North O’Neil Street, and between Sam’s Branch and the Neuse River. The applicant is requesting approval to rezone the subject property to Planned Development –Mixed Use.**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing	Updated Staff Report Supporting Documents



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

*Town Council  
February 16, 2015*

## STAFF REPORT

**Application Number:** PDD 2014-127 (Rezoning to Planned Development)  
**Project Name:** Steeplechase Planned Development

**Associated Application:** PSD 2014-128 (Master Plan)  
**NC PINs:** 166900-38-4997  
**TAG #s:** 05H02009  
**Town Limits/ETJ:** Town Limits  
**Overlay:** None  
**Applicant:** Galaxy NC, LLC, c/o Wakefield Development  
**Owners:** Raymond Elmore Earp Jr. Irrevocable Trust

**Neighborhood Meeting:** Held October 27, 2014  
**Public Noticing:** Property posted November 7, 2014

---

**PROJECT LOCATION:** The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

---

**REQUEST:** The applicant is requesting approval to rezone the subject property to Planned Development – Mixed Use.

---

### SITE DATA:

**Acreage:** 631.04 acres  
**Present Zoning:** Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)  
**Proposed Zoning:** Planned Development – Mixed Use (PD-MU)  
**Existing Use:** Vacant/Agriculture/Forested  
**Overlay:** Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

---

**ADJACENT ZONING AND LAND USES:**

<b>North:</b>	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
<b>South:</b>	Zoning:	Residential Estate (R-E), Residential 8 (R-8 SUD)
	Existing Use:	Vacant / Single Family Residential /Agriculture
<b>East:</b>	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential / Agriculture
<b>West:</b>	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential

---

**STAFF ANALYSIS AND COMMENTARY:**

**Overview**

The applicant is requesting the subject property be rezoned to Planned Development – Mixed Use (PD-MU). Concurrent with the request to rezone property to a Planned Development District, a Master Plan has been submitted. That application is under concurrent review under case #PSD 2014-128. Both the rezoning and the master plan must be approved for the PD-MU District to be approved. Details of the Master Plan are provided in a separate staff report.

**Planned Development Review Criteria**

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

**Consistency with the Strategic Growth Plan**

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

### **Compatibility with Surrounding Land Uses**

Although the overall proposed density is 4 dwelling units per acre, the master plan has been designed to provide lower densities adjacent to existing subdivisions. These lower densities are compatible to the densities in the adjacent subdivisions and provide a transition from the higher density/intensities. The commercial parcel is currently limited in the master plan regulating documents to neighborhood commercial (B-2 uses) and a maximum of 75,000 square feet of floor area.

### **Landscaping and Buffering**

Planned Developments require a Class C perimeter buffer is provided along the boundary of the property.

### **Recreation and Open Space**

Planned Developments are required to meet or exceed the standards established for open space subdivisions.

---

## **CONSIDERATIONS**

- The applicant is requesting approval of a rezoning of the subject parcel to Planned Development – Mixed Use.
- This approval is subject to approval of PSD 2014-128 (Master Plan).
- The final decision is made by the Town Council with recommendation from the Planning Board.
- The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.

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## **STAFF RECOMMENDATION**

Staff is recommending:

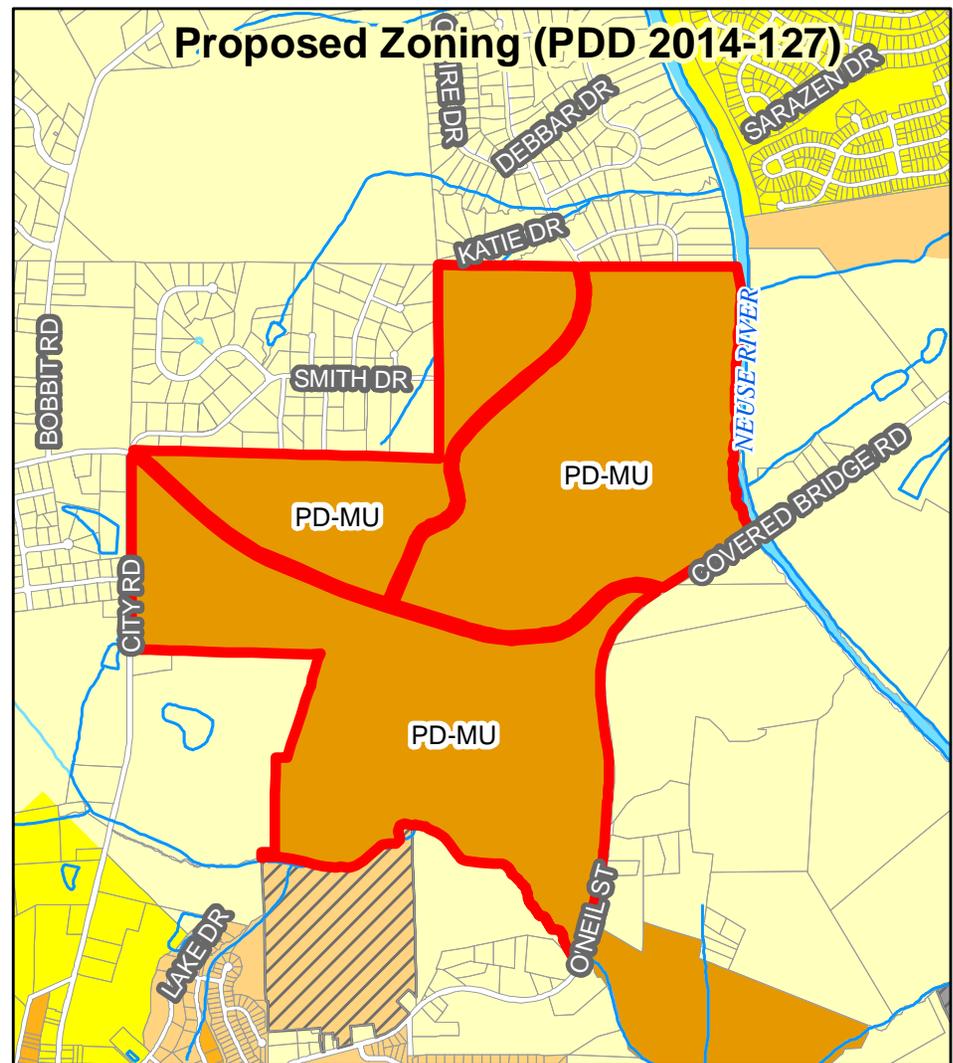
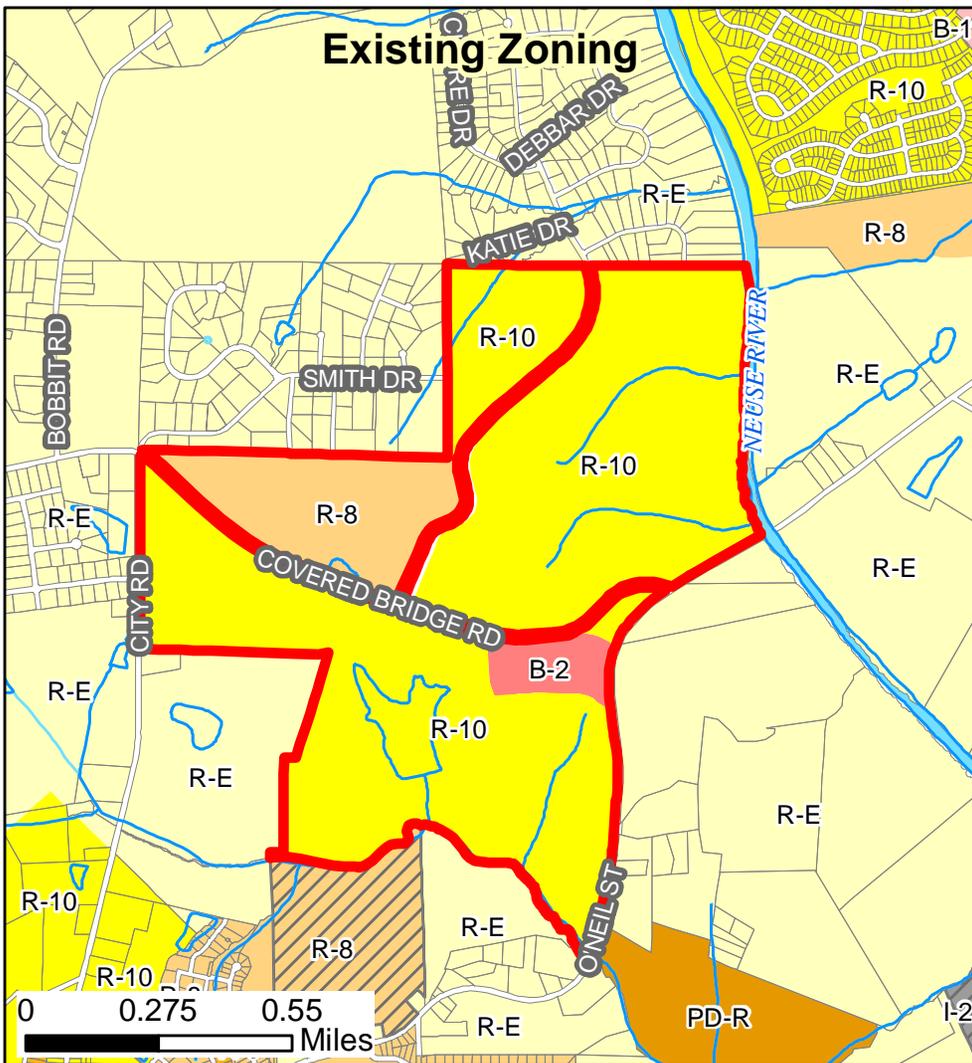
- 1) Approval of the rezoning.

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**Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.**

### **Attachments:**

1. Existing and Proposed Zoning Map
2. Aerial Map
3. Application
4. Neighborhood Meeting Materials



## SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development  
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST  
 Size: 631 acres  
 Parcel ID Number: 166900-38-4997  
 Tag #: 05H02009  
 File Number: PDD 2014-127 and PSD 2014-128

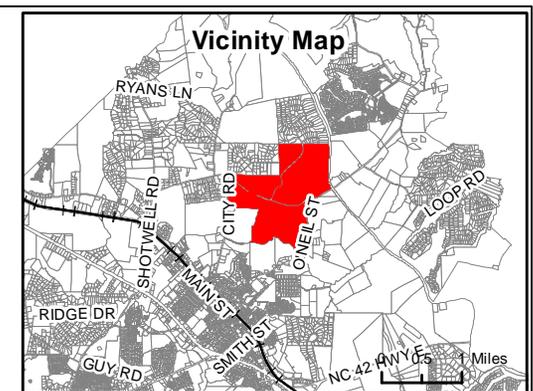
Produced by: TOC Planning

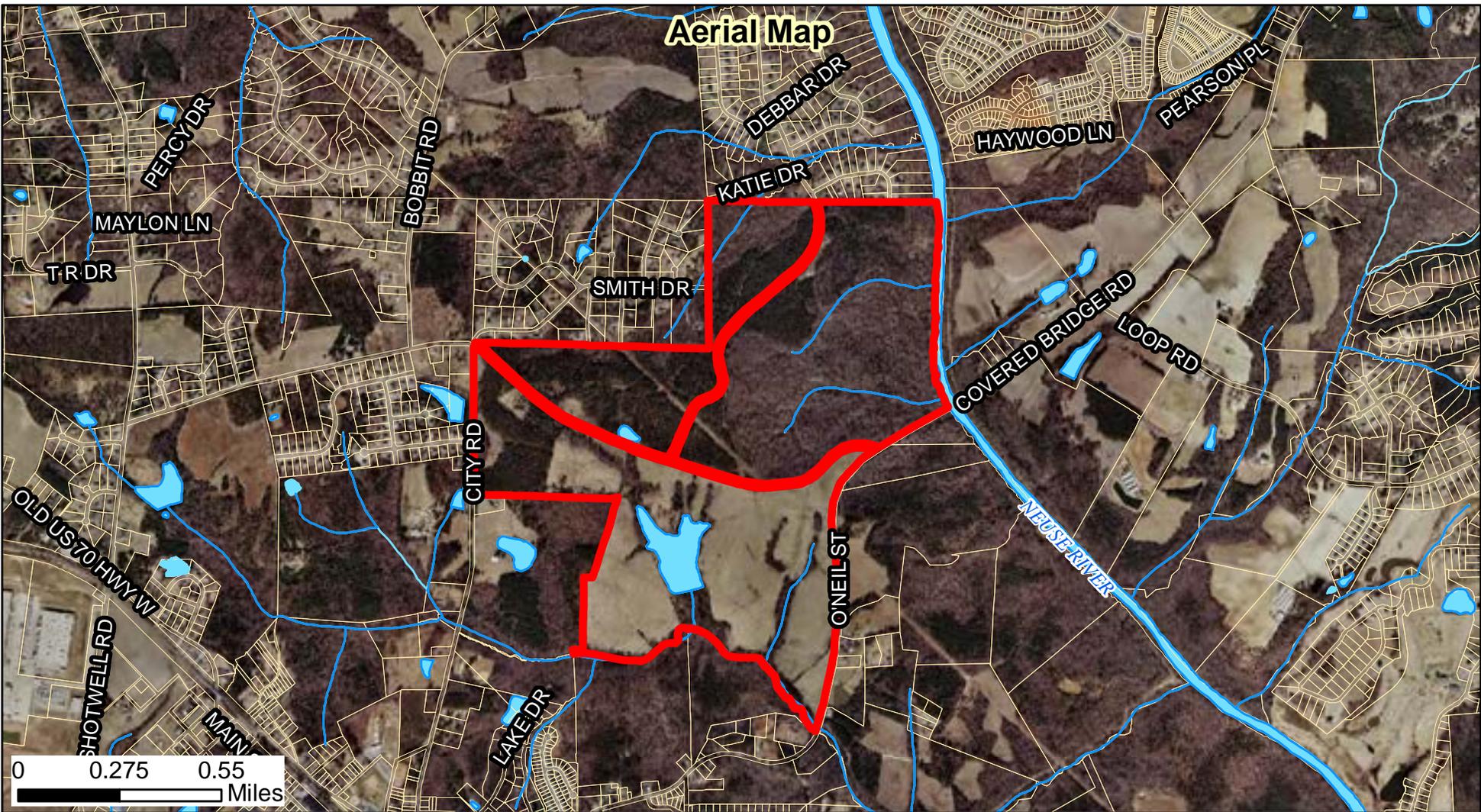
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.  
 11/12/14



### Legend

	SteepleChase_Site	<b>ZONING</b>		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				Special Use District





## SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development  
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST  
 Size: 631 acres  
 Parcel ID Number: 166900-38-4997  
 Tag #: 05H02009  
 File Number: PDD 2014-127 and PSD 2014-128

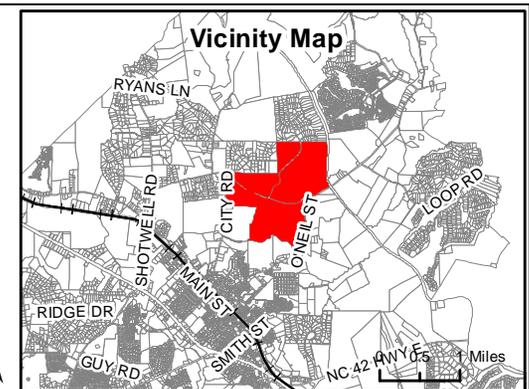
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.  
 11/12/14



### Legend

- SteepleChase\_Site
- Water Features





Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## REZONING APPLICATION

*Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.*

*Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.*

*If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.*

*Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.*

### SITE INFORMATION:

Name of Project: Steeplechase Subdivision      Acreage of Property: 631.06 AC (Assessed AC)  
 Parcel ID Number: 05H02009      Tax ID: 0869846  
 Deed Book: 03897      Deed Page(s): 0735  
 Address: 1162 Covered Bridge Road, Clayton, NC 27520  
 Location: South of Smith Ridge Estates and Ole Mill Stream Subdivisions, and North of Sams Branch  
Greenway between Covered Bridge Road and City Road  
 Existing Use: Vacant      Proposed Use: Residential/Commercial  
 Existing Zoning District: R-10, R-8, and Neighborhood Business (B-2)  
 Requested Zoning District: PD MU  
 Is project within a Planned Development:       Yes       No  
 Planned Development District (if applicable): \_\_\_\_\_  
 Is project within an Overlay District:       Yes       No  
 Overlay District (if applicable): Watershed Protection Overlay District

### FOR OFFICE USE ONLY

File Number: 2014-127      Date Received: 10/6/14      Amount Paid: #4,155.00

**OWNER INFORMATION:**

**Name:** Nancy Crews Earp & Mary Earp Worley  
**Mailing Address:** 7230 NC 42 East, Selma, NC 27576  
**Phone Number:** 919-965-5793 & 919-915-1515 **Fax:**  
**Email Address:** nancyearp@bellsouth.net & winkworley@gmail.com

**APPLICANT INFORMATION:**

**Applicant:** Galaxy NC, LLC c/o Wakefield Development  
**Mailing Address:** 3100 Smoketree Court, Suite 210, Raleigh 27604  
**Phone Number:** (919) 556-4310 **Fax:** (919) 556-0690  
**Contact Person:** Kem Ard  
**Email Address:** kem@wakedev.com

**REQUIRED PLANS AND SUPPLEMENTAL INFORMATION**

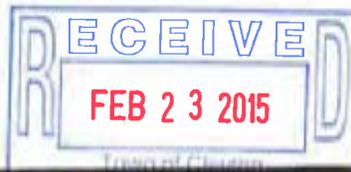
*The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:*

- A signed and sealed boundary survey (**not more than a year old unless otherwise approved by the Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

**JUSTIFICATION STATEMENT**

*Please provide detailed information concerning all requests. Attach additional sheets if necessary.*

The request is to rezone 631.06 acres at 1162 Covered Bridge Road from R-8, R-10 and neighborhood business (B-2) to PD MU. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units.



# UPDATED FINDINGS OF FACT

## APPROVAL CRITERIA

*All applications for a Rezoning must address the following findings:*

1. Consistency with the adopted plans of the Town.

The Town of Claytons Strategic Growth plan adopted in 2008 designates a majority of the property as residential medium and small portion as neighborhood commercial. The residential medium designation allows up to 8 dwelling units to the acre. The proposed use is for 3.96 dwelling units to the acre which is compliant with the Strategic Growth Plan.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The permitted uses and the proposed uses are generally the same. The subject property is primarily gently rolling land with the R. E. Earp pond located on the southern tract. The USDA soils study identifies this land as suitable for residential development.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed designation allows for a mixture of residential uses with some neighborhood commercial at the intersection of O'Neil and Covered bridge Roads. These uses proposed for this property are designated in Town of Clayton's Strategic Growth Plan and complies with the balance of uses identified in the plan.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

The volume of wastewater to be generated is calculated to be 554,555 gallons per day at build-out for 2,200 units in 35 phases. Town engineering has indicated that downstream gravity outfall, pumping and treatment facilities are adequate for this volume. Public water supply needed to serve those units is expected to be 610,010 gallons and is available to the site. The site will meet all local, state and federal stormwater management criteria for both quantity and quality control on the property. Local road corridors have been analyzed and a Traffic Impact Analysis has been prepared and is now being updated per comments from NCDOT and Town officials. Final road improvement recommendations are pending. The proposed land plan will set aside both passive and active open space areas to serve the project. In addition a public greenway will pass through the site. A 28-acre school site is being reserved for a public school. The County Public School system has not indicated any concerns for student capacity issues due to the proposed project.

5. It has been determined that the legal purposes for which zoning exists are not violated.

The existing zoning is not in error and is compliant with the Town of Clayton Strategic Growth Plan. The rezoning to PD MU will still allow the current uses but will allow for the orderly and unified development of the site.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

The proposed development has access to public water and sewer adjacent to the site. The stormwater will be treated on site and will address volume and quality issues prior to discharge. A Traffic Impact Analysis is in the process of being completed and should indicate that with the proposed road improvements adjacent to the site that there will be no adverse traffic impacts as well.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

No one adjacent property owner will benefit at the detriment of the general public. The proposed uses are already permitted in the current zoning, the rezoning will allow for and orderly and unified development of the site. The orderly and unified development of the site should benefit the adjacent property owners overall.

**APPLICANT AFFIDAVIT**

*I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.*

Kem Ard  
Print Name

[Signature]  
Signature of Applicant

10-2-14  
Date

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE, CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	O'BRIEN, ANGELLA J O'BRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT, CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
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05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY, CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541





**Town of Clayton  
Planning Department**

111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

## OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STAY PURCHASE Address or PIN #: 066900-38-4997

**AGENT/APPLICANT INFORMATION:**

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)  
Raleigh NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT  
and Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

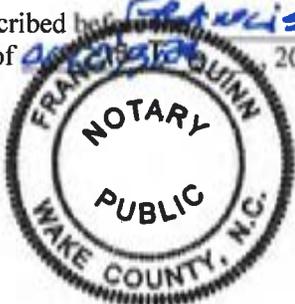
**OWNER AUTHORIZATION:**

Mary Earp Worley (Name type, print clearly) 7020 NC 42 East (Address)  
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of April, 2014.

SEAL



Francis T. Quinn  
Notary Public

My Commission Expires: MAY 5, 2016



**Town of Clayton**  
**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## OWNER'S CONSENT FORM

*Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.*

**Project Name:** STEEPLECHASE      **Address or PIN #:** 066900-38-4997

**AGENT/APPLICANT INFORMATION:**

Kem Ard      3100 SMOKE TREE CT  
 (Name - type, print clearly)      (Address)  
RALEIGH NC 27604  
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

REZONING - PLAN DEVELOPMENT  
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

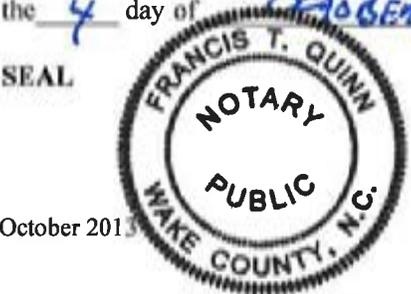
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**OWNER AUTHORIZATION:**

Nancy C Karp      7230 NC 42 E  
 (Name - type, print clearly)      (Address)  
Nancy C Karp      Selma, NC 27576  
 (Owner's Signature)      (City, State, Zip)

**STATE OF** NORTH CAROLINA  
**COUNTY OF** WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of SEPTEMBER, 2014.



Francis T. Quinn  
 Notary Public  
 My Commission Expires: MAY 5, 2016

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER      10/27/14

	NAME	ADDRESS
1	Ma The Macklin	1233 mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos	1577 Business Town Rd, Robbins, NC 27325
3	Daniel Smith	509 Starling St, Clayton, NC 27520
4	Joy Hill	2013 Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debbor Dr, Clayton 27520
6	Brian Markley	604 Charleston Dr, Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr, Clayton NC 27520
13	Jim Mann	142 Claire Wk, Clayton, NC 27520
14	Cliff Morgan	146 Claire P, Clayton, NC 27520
15	Kathy Leibel	672 Christoph Dr, Clayton, NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALPACIS	2001 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr, Clayton, NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Dr 27520

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER      10/27/14

	NAME	ADDRESS
1	Scott Winstan	150 Claire Dr. Clayton NC 27510
2	Jack & Pat Bachelor	120 Christophe S. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Whitaker	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	<del>Chynell</del>	101 Michael Way
7	Jane Trudell	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MENTCH	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton Old Mill Stream
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapp	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr Clayton 27520

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

**Applicant:** STEEPLECHASE

**Location/Date:** CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton,
2	John Clarke	1415 Brook Hill Drive
3		
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NC  
27520

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

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05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
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05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
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05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
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05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
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05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
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05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
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05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
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05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

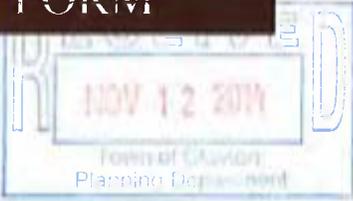
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PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

# NEIGHBORHOOD MEETING SUMMARY FORM



**FILL OUT THE FOLLOWING:**

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: [Handwritten Signature]

Date of Meeting: October <sup>27</sup> 17, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

**Meeting Summary/Minutes:** provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27<sup>th</sup>

Location: The Poole Room at the Clayton Center @ 111 E 2<sup>nd</sup> Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID  
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



**TOWN OF CLAYTON**  
**ZONING AMENDMENT**  
**CONSISTENCY AND REASONABLENESS STATEMENT**

PDD2014-127  
Steeplechase rezoning to PD-MU

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- The Proposed Land Use Map (Figure 6.4)
- Objective 1.2 – increase residential presence in downtown.
- Objective 2.1 – balance development/investment: old & new.
- Objective 2.5 – more housing opportunities: beyond starter homes.
- Objective 5.1 – expand greenway program.

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically:

- **Staff recommends that the Planning Board approve the rezoning.**
- **The Planning Board recommends an approval of the rezoning at their February 23, 2015 meeting.**
- **The Planning Board recommended approval of the Steeplechase Planned Development Master Plan (PSD2014-128, which functions as the Preliminary Subdivision Plan at their February 23, 2015 meeting.**

the above referenced zoning amendment is reasonable and in the public interest.

TOWN OF CLAYTON  
MOTION GRANTING SUBDIVISION APPROVALS  
SHORT FORM

Motion:

Based on the substantial and competent evidence and testimony presented to the Town Council on this matter, the Council finds and concludes that Subdivision Application **PSD 2014-128, Steeplechase Planned Development**, (subject to the conditions recommended by the Planning Board and Planning Staff and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representatives):

- (1) That the subdivision meets all required specifications of the Town Unified Development Ordinance;
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area;
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare; and
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

Duly adopted by the Clayton Town Council this 2nd day of March, 2015.

**COUNCIL MOTION SHEET**  
**ZONING ORDINANCE AMENDMENT**  
**(Rezoning or Text Amendment)**

After considering the recommendations of the Planning Board and Planning Director, I move to [**approve OR deny**] [**case number PDD 2014-127**]

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet [with the following modifications: STATE MODIFICATIONS, IF ANY].

**AN ORDINANCE AMENDING THE ZONING ORDINANCE  
AND ZONING MAP  
OF THE TOWN OF CLAYTON, NORTH CAROLINA**

**PDD 2014-127 “Steeplechase Planned Development” Rezoning to PD-MU**

WHEREAS a petition has been filed with the Town Council of the Town of Clayton requesting an amendment to the Zoning Ordinance and Zoning Map of the Town of Clayton to include in the Planned Development – PD-MU zone the property described below, said property formerly being zoned Residential (R-8), Residential-10 (R-10), R-E and Neighborhood Business (B-2); and

WHEREAS said property is owned by Nancy Crews Earp and Mary Earp Worley; and

WHEREAS the Planning Board of the Town of Clayton has reviewed the proposed change(s) and made a recommendation thereupon; and

WHEREAS notice of a public hearing to consider the proposed change was published in accordance with law in the Clayton News Star, a local newspaper, as required by Section 155.702(D) of the Clayton Unified Development Code and by Section 160A-364 of the North Carolina General Statutes; and

WHEREAS a notice of the proposed zoning classification action was mailed to the owner(s) of the parcel(s) of land involved, as shown on the County Tax Listings, and to the owners of all parcels of land abutting that (those) parcel(s) of land and within 100 feet of the subject parcel(s) of land, as shown on the County Tax Listings, by depositing a copy of the same in the United States Mail, first class postage paid, as required by Section 155.702(D) of the Zoning Ordinance of the Town of Clayton and by Section 160A-384 of the General Statutes; and

WHEREAS the said public hearing was actually conducted at 6:30 p.m. on March 2, 2015, wherein a reasonable opportunity was given to all those in attendance to speak either in favor or against the said change or to make relevant comments;

THEREFORE, after duly considering the matter, THE TOWN COUNCIL OF THE TOWN OF CLAYTON DOES HEREBY ORDAIN:

SECTION 1. That the Unified Development Code of the Town of Clayton is hereby amended to include in the Planned Development – PD MU zone the following described property:

General Description:

South of Smith Ridge Estates and Ole Mill Stream Subdivision, North of Sam's Branch Greenway, between Covered Bridge Road and O'Neil Street on the east, and City Road on the west, with Covered Bridge Road, and Brookhill Drive running partly through the parcel.

Specific Description:

Parcel No. 05H02009 Tax ID #0869846

SECTION 2. That the official Town of Clayton Zoning Map is hereby amended to include in the Planned Development – PD-MU zone the above-described property and will be so marked.

SECTION 3. That if any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. That this ordinance shall become effective immediately upon its adoption.

DULY ADOPTED this 2nd day of March, 2015.

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Jody L. McLeod, Mayor

ATTEST:

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Kimberly A. Moffett, CMC  
Town Clerk

PDD 2014-127

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 5d**

**Meeting Date: March 2, 2014**

**TITLE: Public Hearing - PSD 2014-128**

**DESCRIPTION:** Steeplechase Planned Development – Preliminary Plat/Master Plan. The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing	Updated Staff Report Supporting Documents

**NOTE: Modified Final Conditions will be provided prior to meeting.**



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

*Town Council  
February 16, 2015*

## STAFF REPORT

**Application Number:** PSD 2014-128 (Preliminary Plat / Master Plan for Planned Development)  
**Project Name:** Steeplechase Planned Development

**Associated Application:** PDD 2014-127 (Rezoning to PD-MU)  
**NC PINs:** 166900-38-4997  
**TAG #s:** 05H02009  
**Town Limits/ETJ:** Town Limits  
**Overlay:** None  
**Applicant:** Galaxy NC, LLC, c/o Wakefield Development  
**Owners:** Raymond Elmore Earp Jr. Irrevocable Trust

**Neighborhood Meeting:** Held October 27, 2014  
**Public Noticing:** Property posted November 7, 2014

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**PROJECT LOCATION:** The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

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**REQUEST:** The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

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### SITE DATA:

**Acreeage:** 631.04 acres  
**Present Zoning:** Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)  
**Proposed Zoning:** Planned Development – Mixed Use (PD-MU)  
**Existing Use:** Vacant/Agriculture/Forested  
**Existing Impervious:** None – site is undeveloped  
**Overlay:** Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

**DEVELOPMENT DATA:**

All information below is as proposed by the applicant. Planned developments are unique in that they do not carry pre-established development standards. All bulk, area, and dimensional standards are set by the approval process and are binding once approved by Town Council. (See §155.202(L)). PLEASE NOTE THAT ALL MODIFIED DEVELOPMENT STANDARDS ARE SPECIFICALLY LISTED IN THE MASTER PLAN DOCUMENT. STANDARDS WHICH ARE NOT SPECIFICALLY CALLED OUT MUST MEET THE MINIMUM REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

Proposed Uses:	Residential/Non-residential – mix of housing types (single family, townhomes, condominiums and apartments), recreational amenities, and commercial uses.
Proposed Buildings:	Multiple buildings and phases include mixed residential, commercial and recreational (club house) buildings.
Proposed Residential Density:	Maximum 4 units per acre for residential portion of property (calculation does not include commercial site)
Proposed Commercial Intensity:	9.91 acres / 80% per lot building coverage / 75,000 SF max.
Proposed Maximum Building Height:	<p>Detached Homes – Single Family: 35 feet max.</p> <p>Attached Homes – Townhome &amp; Single Family: 45 feet max.</p> <p>Multi-Family – Condos &amp; Apartments: 55 feet max.</p> <p>Amenity and Club: 45 feet max.</p> <p>Commercial Area: 80 feet max.</p> <p><i>Staff note: For reference, the maximum height in all existing general residential zoning districts is 35 feet. Maximum height in existing general commercial zoning districts is 60 feet (in B-3 and O-1). Maximum height for apartments/condos/townhomes is set by the Planned Development process.</i></p> <p><i>Staff supports the request for 80 feet in height for the Commercial area because it would allow for mixed use development with office and residential uses in upper stories.</i></p>
Proposed Impervious Surface:	<p>Overall Development: 70%</p> <p><i>The Master Plan is divided into a series of phases. Some phases may exceed maximum impervious with the understanding that the overall project may not exceed the maximum impervious surface percentage. As each phase is approved for development, it will be reviewed for consistency with the maximums set in the Master Plan, ensuring the overall development does not exceed the 70% maximum.</i></p>
Required Parking:	Parking will be required as established by the Unified Development Ordinance and will be reviewed as each phase is approved for development.
Access:	Primary access is identified along Covered Bridge Road (3 aligned entrances/intersections) and North O’Neil Street (two entrances).

	Additional internal connections exist along Brook Hill Drive as well as interconnectivity to existing stub streets in Smith Ridge estates and Old Mill Stream subdivisions. Additional access points may occur on City Road if the School District utilizes the portion of the site set aside for school use. Several major roadway improvements will be necessary as a part of this development. Details of roadway and intersection improvements will be determined as part of the review of the Traffic Impact Analysis. The Traffic Impact Analysis review by NCDOT is included as an attachment to this staff report.
Water/Sewer Provider:	Town of Clayton
Electric Provider:	Town of Clayton
Proposed minimum Recreation and Open Space:	Overall: 64.98 Acres Active Recreation: 16.245 acres <i>See discussion on Recreation and Open Space, below. Recreation and Open Space and Active Recreation acreages are minimums and cannot be reduced except by Town Council approval via a major modification to the Master Plan.</i>
Proposed Dimensional Standards:	Minimum Dimensional Standards (setbacks, building coverage, and height) are set based on use in the Master Plan.  The Master Plan includes a provision that all setbacks may be modified by up to 20% with approval by the Planning Director.

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### ADJACENT ZONING AND LAND USES:

**North:** Zoning: Residential Estate (R-E)  
Existing Use: Single Family Residential

**South:** Zoning: Residential Estate (R-E), Residential 8 (R-8 SUD)  
Existing Use: Vacant / Single Family Residential /Agriculture

**East:** Zoning: Residential Estate (R-E)  
Existing Use: Single Family Residential / Agriculture

**West:** Zoning: Residential Estate (R-E)  
Existing Use: Single Family Residential

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### STAFF ANALYSIS AND COMMENTARY:

#### Overview

The applicant is requesting preliminary subdivision plat approval for the Master Plan for the Steeplechase Planned Development. This 631 acre project is under concurrent request to be rezoned to Planned Development

Mixed Use (PD-MU) under case # PDD 2014-127. Both the rezoning and the master plan must be approved for the PD-MU District to be approved.

The Master Plan is also acting as the Preliminary Subdivision Plat, as is permitted by the UDC. All dimensional standards are set within the Master Plan, along with basic street and development patterns, and regulating sheets are included to guide the form of development components. This means that as each phase of the development moves towards construction, the specific details within each phase (exact placement of lot lines, for example) will be reviewed and approved by staff as a final plat. Individual site components are required to be consistent with the design and standards presented in the regulating and master plan.

- *Note: The exceptions to the above include the commercial parcel, condo/apartment/townhome sections and recreation areas. The condo/apartment/townhome sections will either be kept under single ownership as rentals or subdivided into lots which encompass the unit only leaving the remainder of the land in common ownership. Consequently the condo/apartment/townhome sections may be processed as a Major Site Plan with approval by the Planning Board. Development of the recreation areas will be processed as Minor Site Plans (staff-level review). The commercial parcel will go back to Planning Board for major site plan review/approval.*

*Other modifications to this approved Master Plan deemed "Major" will return to the Town Council for review and approval.*

The applicant is requesting a maximum of 2200 residential units, to be comprised of a mix of single family and multi-family units. The units are clustered in a range of densities. The commercial parcel is limited to 75,000 square feet of commercial uses. The project includes both active and passive recreation and open space, and identifies resource conservation areas as permanently preserved (as is required).

The Master Plan also identifies a potential school site. The applicant is in discussions with Johnston County Public Schools, and the site will be reserved for 18 months from the date of approval to acquire the site in accordance with §155.605(A) of the UDC.

### **Planned Development Review Criteria**

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

#### Definition:

Definition of PD-MU (§155.200(A)(3)(d)): "The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses."

#### Per §155.203(L), Planned Developments are subject to the following requirements:

- The development proposed in the master plan is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
- Each planned development shall provide a comprehensive set of design guidelines that demonstrate the project will be appropriate within the context of the surrounding properties and the larger community. All bulk, area and dimensional standards shall be established by the Town Council at the time of approval.

- No resource conservation area (see § 155.500) shall be counted towards lot area. This shall not preclude the platting of lots in such areas, provided that adequate lot area outside the resource conservation area is provided.
- No resource conservation area shall be counted towards the recreation and open space requirements.
- The planned development master plan shall meet or exceed the recreation and open space requirements of an open space residential subdivision.
- A phasing plan is required.

Master Plan Approval Criteria (§155.705(K)):

1. Compliance with all applicable requirements of the UDC;
2. Consistency with the Clayton General Design Guidelines;
3. Conformance of the proposal with the stated purpose of the requested planned development district;
4. Compatibility of the proposed development with the adjacent community;
5. The quality of design intended for each component of the project and the ability of the overall development plan to ensure a unified, cohesive environment at full build-out;
6. Compatible relationships between each component of the overall project;
7. Self-sufficiency of each phase of the overall project;
8. Documentation that the proposed infrastructure improvements accommodate the additional impacts caused by the development, or documentation to assure that the development, as proposed, will not overtax the existing public infrastructure systems;
9. The fiscal impact of the proposal and the proposed financing of required improvements;
10. The success of the proposal in providing adequate pedestrian and bicycle links within the development and with the adjacent community; and
11. The effectiveness with which the proposal protects and preserves the ecologically sensitive areas within the development.

Preliminary Plat Findings of Fact

Since the Master Plan is also acting as a Preliminary Subdivision Plat, the applicant is required to address the Findings of Fact outlined in §155.706 of the UDC. These have been included as an attachment to this report.

**Consistency with the Strategic Growth Plan**

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

**Consistency with the Unified Development Code**

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC). Individual lot development specifications including landscaping, building placement, access, driveway placement, etc. are required to be set as a part of the planned development, meet all other applicable Town standards, and be consistent with the provisions of the approved Master Plan.

**Compatibility with Surrounding Land Uses**

The overall proposed density is 4 dwelling units per acre. Under the current zoning, which includes R-10, R-8, and B-2 zoning districts, the subject property could currently be developed using Conventional Subdivision standards with approximately 2,520 single family lots and 426,888 square feet of commercial uses. These numbers go up substantially if Open Space subdivision standards are utilized. The conventional development standard allocations were determined as follows:

Ex. Zoning	Acreage	Max. Density/Acre	Max. Intensity/Building Coverage	Dwelling Units	Square Footage
R-10	536.6	4	N/A	2,146	N/A
R-8	74.86	5	N/A	374	N/A
B-2	19.6	N/A	50%	N/A	426,888
<b>TOTALS</b>	<b>631.06</b>			<b>2,520</b>	<b>426,888</b>

Because the property is being processed as a Planned Development, units may be clustered to achieve higher densities in some areas while keeping lower densities in other areas to achieve a balance in residential types and lot sizes. Portions of the site will develop with higher residential density than others (i.e. the townhome and apartment options). Those higher densities are located closer to major intersections, while the portions of the site designed for single family detached (lower densities) are designed in the areas adjacent to existing subdivisions, providing a transition from the higher density/intensities.

The proposed density on the subject property is very similar to the zoning of adjacent property to the south (Residential-10, which allows minimum 10,000 square foot lots, or 4 units per acre; and R-8 which allows 8,000 square foot lots, or approximately 5 units per acre). Properties to the east are primarily undeveloped, agriculture, or very large lot single family residential (residential unit located on very large properties). Ole Mill Stream and Smith Ridge Estates directly to the north are established neighborhoods developed at densities of approximately 1 unit per acre.

While those adjacent neighborhoods do have lower densities, Riverwood, to the north, was developed at a similar density to the proposed rezoning.

The commercial parcel proposed at the intersection of Covered Bridge Road and O’Neil Street has reduced in size from approximately 19.6 acres to 13.51 acres. The development plan is limiting the development of the commercial site to a maximum of 75,000 square feet of floor area.

Given the property’s adjacency to Clayton’s “core,” staff is supportive of the development of the entire property as a Planned Development and the proposed density of 4 units per acre so long as adequate measures are taken to ensure traffic safety and desirable neighborhood design that makes this development a benefit to the Town and a desirable place to live.

**Landscaping and Buffering**

A 20 foot Class C perimeter buffer is provided along the boundary of the property, including along Covered Bridge Road where it bisects the north and south portions of the property. Where able, existing trees and vegetation will be preserved to meet the standards of the Class C buffer. Where a Class C buffer is planted, it will be a minimum of 20 feet in width. All landscaping is required to meet the standards for height and caliper as established in the UDC. Street tree species are required to receive approval from the Planning Director as they will be located in the public right-of-way.

Street trees must be canopy trees and spaced a maximum of 40 feet apart. Street trees will be placed in a widened planting strip located between the sidewalk and street.

### **Recreation and Open Space**

Planned Developments are required to meet or exceed the standards established for open space subdivisions. Required and provided recreation and open space is listed below:

#### Overall Recreation and Open Space

Planned Developments are required to meet the minimum standards for Recreation and Open Space as set for Open Space Subdivisions in the UDC. Overall Recreation and Open Space requirements include preserved land, passive open space, and active recreation areas. Recreation and Open Space may NOT include resource conservation areas (RCAs) such as riparian buffers, wetlands, ponds, and areas of 25% slope that exceed 5,000 sf in area (the exception to this rule is that the area of a paved greenway may be counted to recreation and open space if located in a RCA).

Required: Either 12.5% of net site area **OR** 1,245 sf per unit, whichever is greater.

2,200 units x 1,245sf = 2,739,000 sf or 63 acres

Net Site Area is 631.06 acres – 111.19 acres in resource conservation areas = 519.87 acres  
519.87 ac \* .125 = 65 acres

As shown above, as currently proposed, the 12.5% calculation results in the greater number, requiring 65 acres of recreation and open space.

Proposed: 65.08 acres outside of the RCA's.

#### Improved Recreation Areas

A certain amount of the required Recreation and Open Space must be developed as active recreation amenities for the development.

Required: At least 25% of the required recreation and open space shall be improved.  
25% of 65.08 acres is 16.27 acres.

Provided: 29.22 acres

The acreage of proposed recreation and open space will be established as the minimum for the development and will be binding on the development of the property. The established minimums for both overall Recreation and Open Space as well as Active Recreation and Open Space cannot be reduced except by Town Council.

#### Dedication of Recreation and Open Space to the Town

Per §155.203(I)(2)(a), "all residential development shall be required to either dedicate a portion of the land, or make a payment-in-lieu of dedication at a rate set forth in the town's Comprehensive List of Fees and Charges per lot or dwelling unit." A mix of dedication and fee-in-lieu may be utilized.

At this time, the Town and the developer are discussing the possible donation of Phase 7 (11.13 acres) for use as a public trailhead and park.

### Greenways and Sidewalks

The Master Plan proposes a series of interconnected greenways and sidewalks to provide multi-modal access throughout the development.

- Sam's Branch Greenway: The existing Sam's Branch Greenway currently ends just to the east of the southeastern corner of the property, which planned extensions running along the southern boundary of the property along Sam's Branch creek and further west.

The Town is currently in the design phase for the extension of the existing Sam's Branch Greenway west to the entrance to Legend Park (known as "Sam's Branch Phase II"), an extension which traverses the south boundary proposed development. Sam's Branch Phase II greenway also provides potential important connections to downtown Clayton via future connections from Legend Park to the downtown street networks. This phase of the greenway also provides access to Legend Park, which includes a softball field and mountain bike trails.

Future extensions of the greenway just west of Legend Park will provide multi-modal access along City Road to the Municipal and Civitan Parks, as well as to the amenities of Downtown Clayton.

The Sam's Branch Greenway already connects to the Mountains to Sea Trail (aka "Neuse River Greenway"), an almost 30 mile uninterrupted greenway which connects into Raleigh's greenway network, with future extensions planned. This section of the greenway in Clayton is also part of the designated East Coast Greenway network along the eastern coast of the United States.

- Proposed Greenway/Sidewalk exchange  
Typically, sidewalks are required on both sides of all streets of new development (including along existing roadways). Staff supports the applicant's proposal to waive the requirement for sidewalks on both sides of the road (reducing it to sidewalks on one side of the road) for identified portions of the development's roadway network so long as a minimum 10 foot wide paved multi-use path / greenway is provided elsewhere in the development at an equal exchange based on construction costs. Staff supports this because while some accessibility is lost with the reduction in sidewalks, this accessibility is made up by the presence of a multi-use path which provides access to other portions of the development, and acts as a part of the Sam's Branch Greenway Trail. Benefits to the applicant include the ability to use the calculated square footage of the paved pathway toward their improved/active recreation requirements and a reduced roadway cross-section width.

### **Environmental**

As required in the UDC, resource conservation areas (including riparian buffers, ponds/waterways, 100-year flood zones, and steep slopes) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted (see Article 5 of the UDC). Additionally, the development will be required to meet any state requirements for protection not addressed by the UDC. Riparian buffers that meet the definition of the UDC in Article 5 shall include a 50 foot undisturbed buffer, measured from the top of bank.

According to the Master Plan, there are 111.19 acres of RCAs on the site, all of which shall remain undisturbed unless proper permits and approvals for disturbance are received from the State or Town, as applicable.

## **Signs**

A Master Sign Plan is required for all signage associated with the development. A typical entrance sign design is shown in the Master Plan. Entrance signs shall be required to meet or exceed the approved sign style set in the Master Plan.

## **Access/Streets**

The primary development access point is located off of Covered Bridge Road, will provide access to the future clubhouse area on the southern portion of the site, and shall align with the existing Brook Hill Drive. All external access shall be approved by either NCDOT or the Town as applicable.

The applicant has provided a detailed Vehicular and Pedestrian Circulation Plan which is part of the Master Plan. The actual alignment of the internal road network as shown on the Plan is for visual reference only and is not binding; road alignment may vary as individual phases are approved so long as basic design components such as shorter block lengths and interconnectivity are maintained. However, external connection points and identified improvements to existing roads and intersections are binding and cannot be modified without major modification approval by the Town Council.

### Traffic Impact Analysis

A Traffic Impact Analysis (TIA) has been completed by the applicant and reviewed by NCDOT and the Town. The comments provided by NCDOT have been provided as an attachment to this staff report. The applicant will have the opportunity to revise the TIA and address the traffic comments. Ultimately, the traffic improvements deemed necessary by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase that generates the need for the improvement.

### Required Access Points

Per the UDC, no more than 75 certificates of occupancy may be issued within the subdivision until a required secondary access has been constructed or bonded for construction. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction. Access points to existing "stub-out" streets in existing subdivisions (Ole Mill Stream, Smith Ridge Estates) will be required to be constructed as part of the associated phase of development.

### Alternative Cross-Section

An alternative cross-sections are proposed as part of this development. As discussed in the Recreation and Open Space component of this report, the cross-sections reflect the proposal to allow sidewalk on just one side of the street in identified roadways within the development.

Several cross-sections propose a planting strip between the sidewalk and the road edge, thus placing the street trees in the public right-of-way. Staff supports the planting strip because of improved aesthetics and enhanced pedestrian safety when the sidewalk is further from the road and buffered by trees.

Cross-sections on NCDOT roadways (City Road, Covered Bridge Road, and North O'Neil Street) will be ultimately approved by NCDOT. Staff will require a minimum 10 foot paved greenway along these roadways as shown on the Master Plan.

## **Multi-Modal Access**

The location of the proposed greenways allow for the extension of Sam's Branch Greenway to Downtown to Legend Park and Municipal Park.

Please see the “Alternative Cross-Section” discussion in the “Access/Streets” section of this report, as well as the “Greenways and Sidewalks” discussion within the “Recreation and Open Space” section of this report for more information on multi-modal access.

## **Architecture/Design**

### Mix of Housing Types

While a range of housing types are included in the Master Plan, the exact mix and location of housing types is not intended to be finalized by this Master Plan. To ensure some mix of housing, a minimum of 10% of low, medium, and high density housing development is set by the Master Plan. Beyond this minimum, so long as a mix of housing types is included and the maximum number of units is not exceeded (mix to be chosen from the pre-established housing types in the Master Plan), the number of each type of housing may vary depending on market conditions, etc.

### Design

Types of houses to be included in the development are noted on the regulating plan. A graphic architectural elevation of the building type is also included. The elevations are not intended as a set standard, but the final housing product will be required to be consistent with or exceed the style, quality, and materials shown in the graphics. It is required that architectural elevations of the housing types vary from home to home to ensure visual interest.

### Setbacks and other Dimensional Standards

Dimensional standards (setbacks, building/house coverage, impervious limits) are set by the Master Plan and approved by the Town Council.

### A Note on Townhomes

The UDC sets certain standards for townhome design if a garage is present. If the townhomes have garages, they will be required to meet Town of Clayton standards as addressed in Section 155.301(J) which sets standards such as garage width in relation to the home width. Driveway placement on each lot will also be required to meet the requirements of the UDC. Any requirements that pertain to townhome design will be addressed either through the final plat or site plan review process, as applicable.

### Commercial

The commercial component will include architectural and contextual standards as indicated in the Master Plan and Regulating Plan. The development will have an Architectural Review Committee who will review the commercial architecture. Town Staff and Planning Board will also review the architecture and site layout as a part of a Major Site Plan approval.

## **Waivers/Deviations/Variations from Code Requirements**

Per §155.706 of the UDC, the Town Council is authorized to waive certain requirements of §§ 155.600 through 155.607 if it is clear that adequate provisions for the type and intensity of the proposed use has been or will be provided, and there are special circumstances, such as unique characteristics of the lot and area, or strict interpretation of the requirements render the subdivision of the property not feasible or desirable. The UDC states that waivers should meet the following criteria:

1. The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located;

2. The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not generally applicable to other property;
3. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of this chapter are enforced; and
4. The purpose of the waiver is not based primarily upon financial consideration.

**The following waivers have been requested by the applicant:**

1. Waiver from the Town-approved cross-sections. Revised street Cross-Sections have been requested, as shown in the Master Plan.
  2. Waiver from §155.602(H), which requires sidewalks on both sides of all streets. Allow construction of 10 foot paved multi-use path / greenway on a linear foot-for-foot basis, in place of a fee-in-lieu.
  3. Waiver from §155.602(G) which states that “No residential street cul-de-sac serving lots less than 20,000 square feet in size shall exceed 700 feet in length.” The request is to allow a cul-de-sacs with a length greater than 700 feet to serve lots less than 20,000 square feet in size with approval from the Town of Clayton Fire Marshal.
- 

**CONSIDERATIONS**

- The applicant is requesting approval of a Master Plan for the Steeplechase Planned Development. The Master Plan also acts as the preliminary subdivision plat and so the approval process is quasi-judicial.
  - This approval is subject to approval of PDD 2014-127 (Rezoning to PD-MU).
  - The final decision is made by the Town Council with recommendation from the Planning Board.
  - The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.
  - The applicant is requesting a wastewater allocation of 554,555 gallons per day phased in over time. The Wastewater Allocation must be approved by the Town Council.
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**FINDINGS**

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

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**STAFF RECOMMENDATION**

Staff is recommending:

- 1) Approval of the requested waivers.
- 2) Approval of the Wastewater Allocation request.
- 3) Approval of the Master Plan with the conditions listed below.

**CONDITIONS:**

1. Following Board approvals, three copies of the Master Plan / Preliminary Subdivision Plat meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. The development of the property is limited to the parameters established on the Master Plan and the Master Plan Document (regulating plan) as approved by the Town Council. Modifications to the approved Master Plan / Preliminary Subdivision Plan or Master Plan Document shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
3. The Master Plan / Preliminary Subdivision Plan is considered a preliminary plat. Individual phases are subject to final plat review with the exception that Condo/Apartment/Townhome areas that will not be further subdivided, and Commercial phases, shall be reviewed as a Major Site Plan.
4. The developer shall reserve the portion of the site shown as a “potential school site” for 18 months from the date of the approval. If developed as a school, the development of the school site will be reviewed as a Major Site Plan.
5. Neighborhood parks and recreational amenities, including the clubhouse site, shall be reviewed as Minor Site Plans prior to construction.
6. The clubhouse and trail system around the pond shall be permitted and under construction prior to the issuance of a Certificate of Occupancy for the 251<sup>st</sup> residential unit.
7. A combination of dedication and fee-in-lieu may be utilized to meet recreation and open space requirements. To meet requirements, additional recreation area must be dedicated or a recreation fee-in-lieu shall be required at the established rate to supplement the dedicated land (land considered Resource Conservation Areas does not count toward meeting recreation and open space requirements).
8. Annexation of any land not currently within Town Limits shall be required prior to Final Plat approval for the first phase of the development.
9. Development fees shall be paid prior to Final Plat approval for each phase. For phases requiring Site Plan review, fees shall be paid prior to issuance of building permits.
10. All traffic improvements required by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase (as shown on the overall phasing plan with the Master Plan Document/ Regulating Plan) that generates the need for the improvement. The necessary right-of-way for Covered Bridge Road (internal to the project), North O’Neil Street, and City Road shall be dedicated as a part of the first phase (as indicated in the Traffic Study Prepared by Davenport) of the development. The necessary right-of-way for Brookhill Drive and Covered Bridge Road (north of its intersection with North O’Neil Street) shall be dedicated as a part of the second phase (as indicated in the Traffic Study Prepared by Davenport) of the development.
11. All roof mounted and ground mechanical equipment not associated with single family detached residential development must be completely screened from view.
12. Five foot wide sidewalks or ten foot wide multi-use paths shall be installed along at least one side of all roadways within the development as identified in the Master Plan. Where sidewalks are on only one side of the road, the developer shall provide a minimum ten-foot wide paved greenway/multi-use trails

within the development on an equivalent basis based on cost. An Engineer's estimate which documents the cost allocations (in linear footage) between the deleted five foot concrete sidewalk and the proposed 10 foot asphalt multi-use path is required. Any cost shortage between the required five foot sidewalk and 10 foot multi-use path shall be paid as a fee-in-lieu.

13. All sidewalks and greenways shall be bonded or constructed prior to plat recordation for the associated phase, with the exception that the sidewalk in front of residential units may be installed prior to the issuance of a Certificate of Occupancy of the unit.
14. Internal greenways shall be constructed or bonded prior to the first Certificate of Occupancy for the associated phase.
15. All greenways shall meet Town of Clayton standards with a minimum paved width of 10 feet.
16. The acreage of recreation and open space, and active recreation areas identified in the Master Plan shall be considered minimum requirements and may not be reduced without approval by the Town Council. The recreation areas shall be constructed concurrent with the construction of the associated phase and shall be installed or bonded prior to issuance of a certificate of occupancy for that phase.
17. Where a greenway is placed in the same location as a required buffer, that buffer width shall be expanded by a minimum of 15 feet to accommodate the trail and required plantings.
18. A 10' greenway shall be constructed along one side of Covered Bridge Road and North O'Neil Street for the entire project frontage concurrent with necessary roadway improvements. A greenway shall also be constructed along the project frontage adjacent to City Road concurrent with or prior to the construction of a phase which abuts City Road, and shall be installed or bonded prior to issuance of a Certificate of Occupancy for that phase.
19. All required vegetated buffers and plantings, including street trees, shall be installed concurrently with construction of the associated phase of the development and shall be completely installed or bonded prior to issuance of a certificate of occupancy for that phase.
20. A mix of housing types shall be required at the minimum percentages set by the Master Plan and shall be selected from the list of housing type options presented in the Master Plan Document (regulating plan). In no case shall the overall project density exceed 4 units per acre.
21. A mix of housing elevations (variations in architectural features), styles, and colors along each block is required to ensure visual interest and variety. Housing elevations shall be submitted along with each final plat review and shall be reviewed to ensure consistency with the architectural standards presented in the Master Plan and requirement this condition of approval.
22. Final location and configuration of Cluster Mailbox Units (CBUs) shall be determined in the final plat/site plan review (as applicable) for each phase. CBU's are required to have vehicular access/parking, as well as sidewalk /pedestrian access and must be approved by the Planning Department and the United States Postal Service.
23. No more than 75 certificates of occupancy may be issued within the subdivision until the required secondary access has been constructed or bonded for construction.

24. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction.
25. Street tree species shall be approved by the Town Engineer and Town Planning Director as part of individual phase final plat / major site plan review.
26. A Master Sign Plan shall be required prior to installation or approval of any signage. All signs shall require review and approval pursuant to §155.713.
27. Final design of individual elements identified within the Regulating Plan (such as typical lighting, recreation, or architectural elevations) may be modified during individual phase review without need to modify the Regulating Plan, but shall be approved by staff and shall respect (or exceed) the intent and vision of the original approval/design shown in the Regulating Plan, including but not limited to quality, style, and materials. Modifications that are determined by the Planning Director not to meet or exceed the original intent or do not classify as “minor” modifications per the Unified Development Code shall require major review and approval.
28. The review and approval of project water, sewer, storm drainage and street construction drawings must be submitted to and approved by the Public Works Department.
29. Resource Conservation Areas as defined in Article 5 of the Unified Development Code shall remain undisturbed pursuant to standards of Article 5, and shall be shown on all plats as being permanently set aside pursuant to the UDC requirements.
30. Prior to site grading and construction activities, tree protection fencing shall be installed around all resource conservation areas. Once the tree protection fence is installed, it must be inspected by the Planning Department prior to construction activity.
31. A homeowners’ association (HOA) document shall be reviewed by staff and recorded prior to final plat of the first residential phase. The HOA document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.

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**Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.**

**Attachments:**

1. Subdivision Findings of Fact
2. Zoning, Aerial, and Future Land Use Map
3. Application
4. Neighborhood Meeting Materials
5. Master Plan / Preliminary Subdivision Plan
6. Traffic Impact Analysis (TIA) executive summary (provided by applicant)
7. NCDOT TIA Analysis Recommendations
8. NCDOT TIA Analysis Recommendations followup letter
9. Wastewater Allocation request

## FINDINGS OF FACT

*Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:*

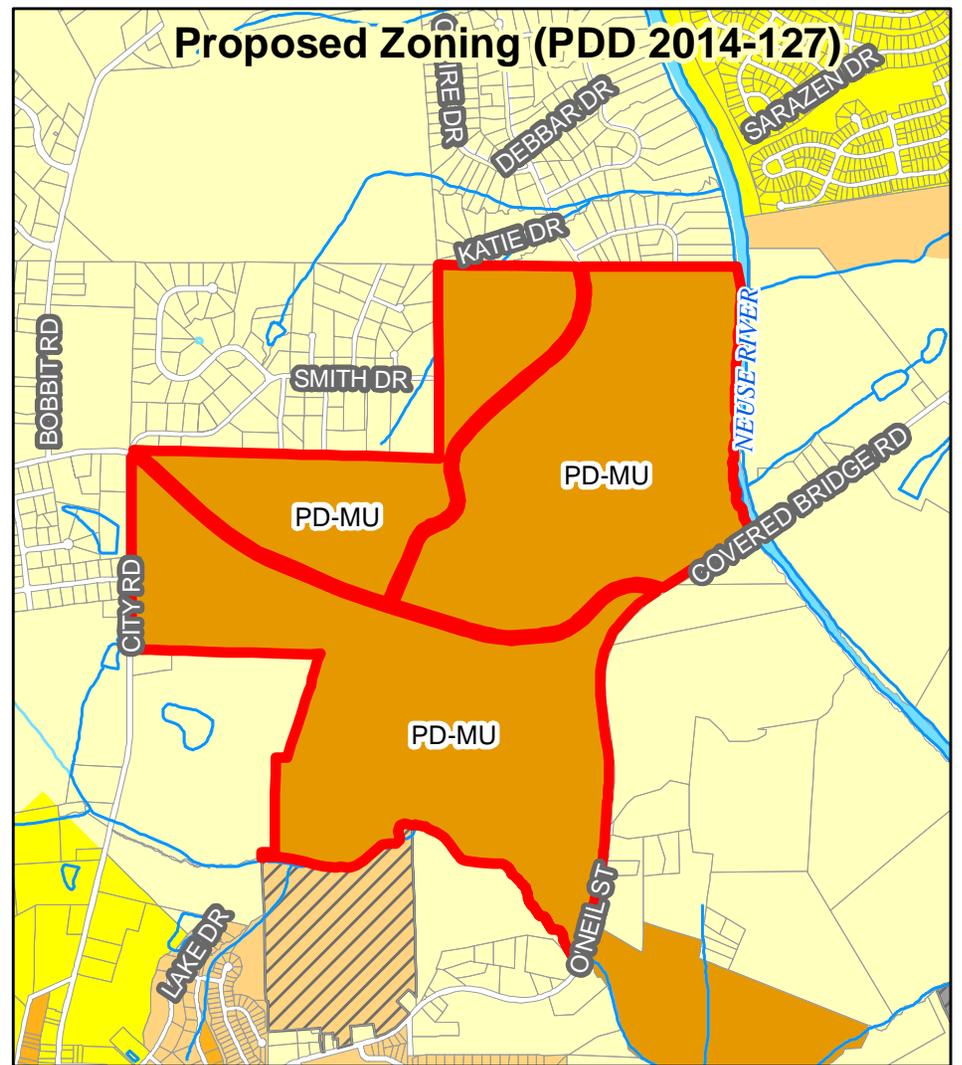
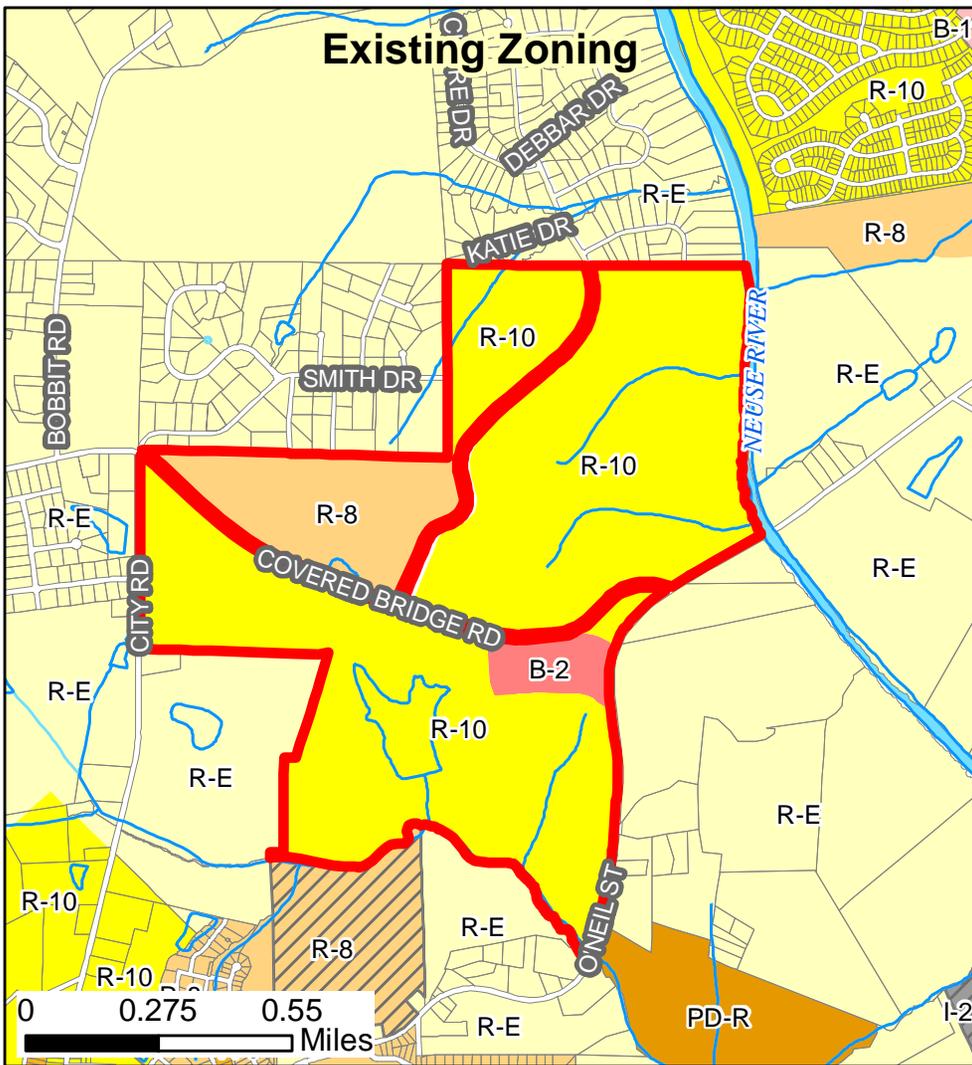
- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.  
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.  
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.  
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.  
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard  
Print Name

[Signature]  
Signature of Applicant

10-2-14  
Date



## SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development  
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST  
 Size: 631 acres  
 Parcel ID Number: 166900-38-4997  
 Tag #: 05H02009  
 File Number: PDD 2014-127 and PSD 2014-128

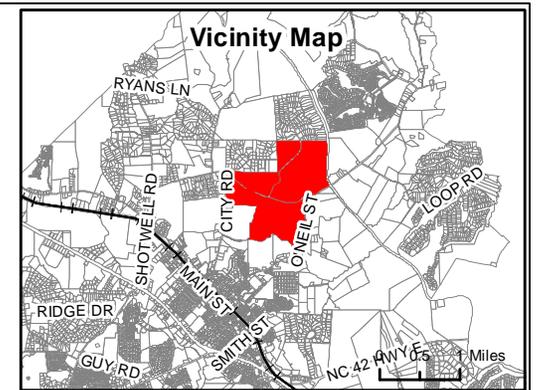
Produced by: TOC Planning

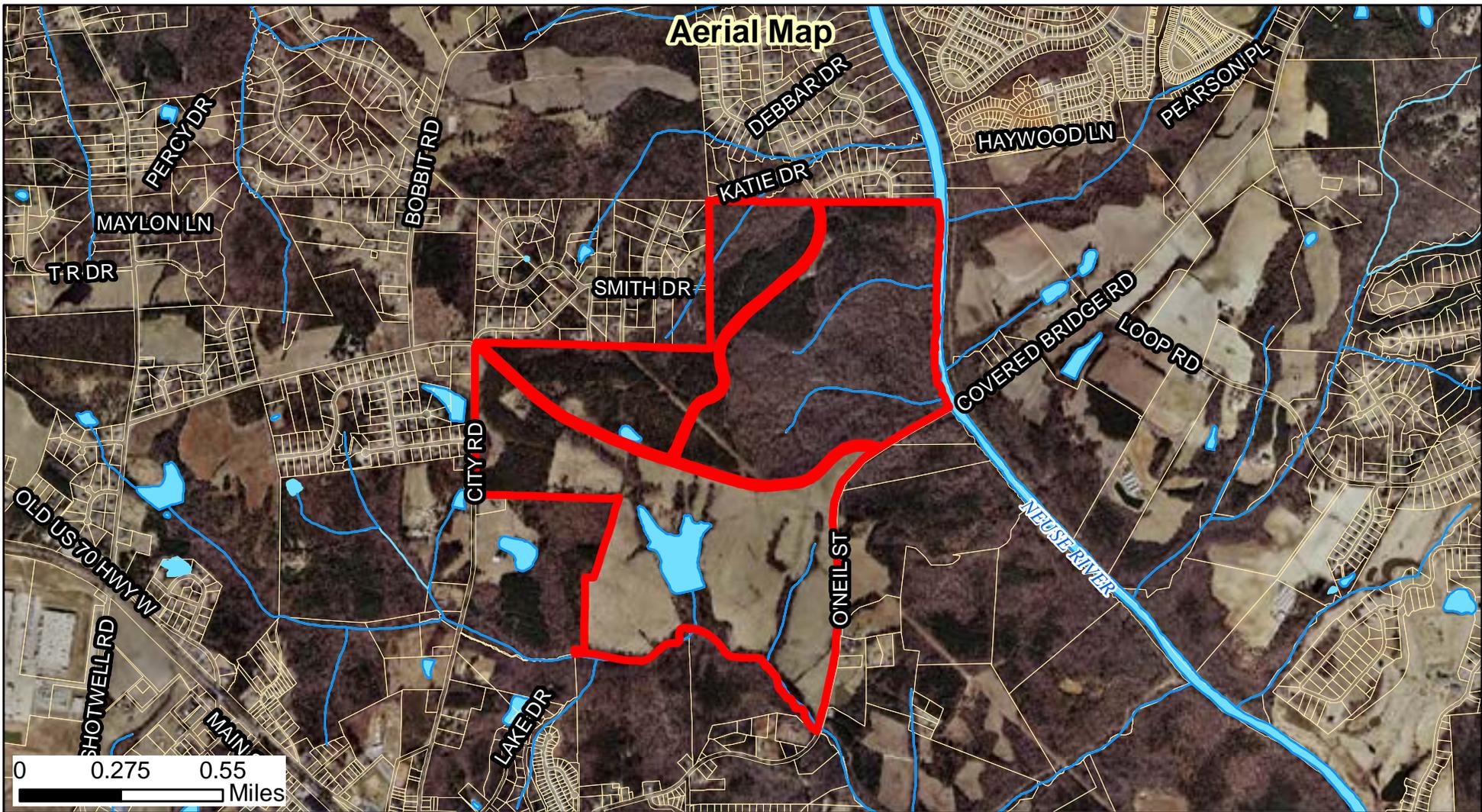
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.  
 11/12/14



### Legend

	SteepleChase_Site	<b>ZONING</b>		B-2
	Water Features			B-3
				I-1
				I-2
				O-1
				PD-MU
				Special Use District
				B-1





## SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development  
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST  
 Size: 631 acres  
 Parcel ID Number: 166900-38-4997  
 Tag #: 05H02009  
 File Number: PDD 2014-127 and PSD 2014-128

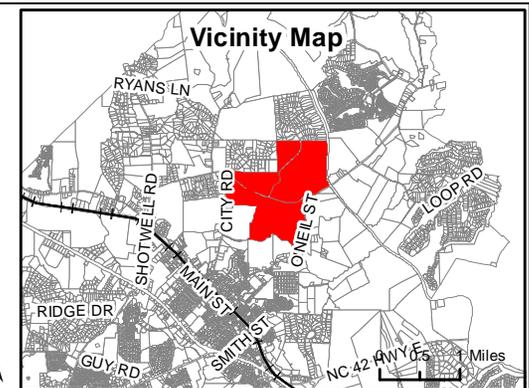
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.  
 11/12/14

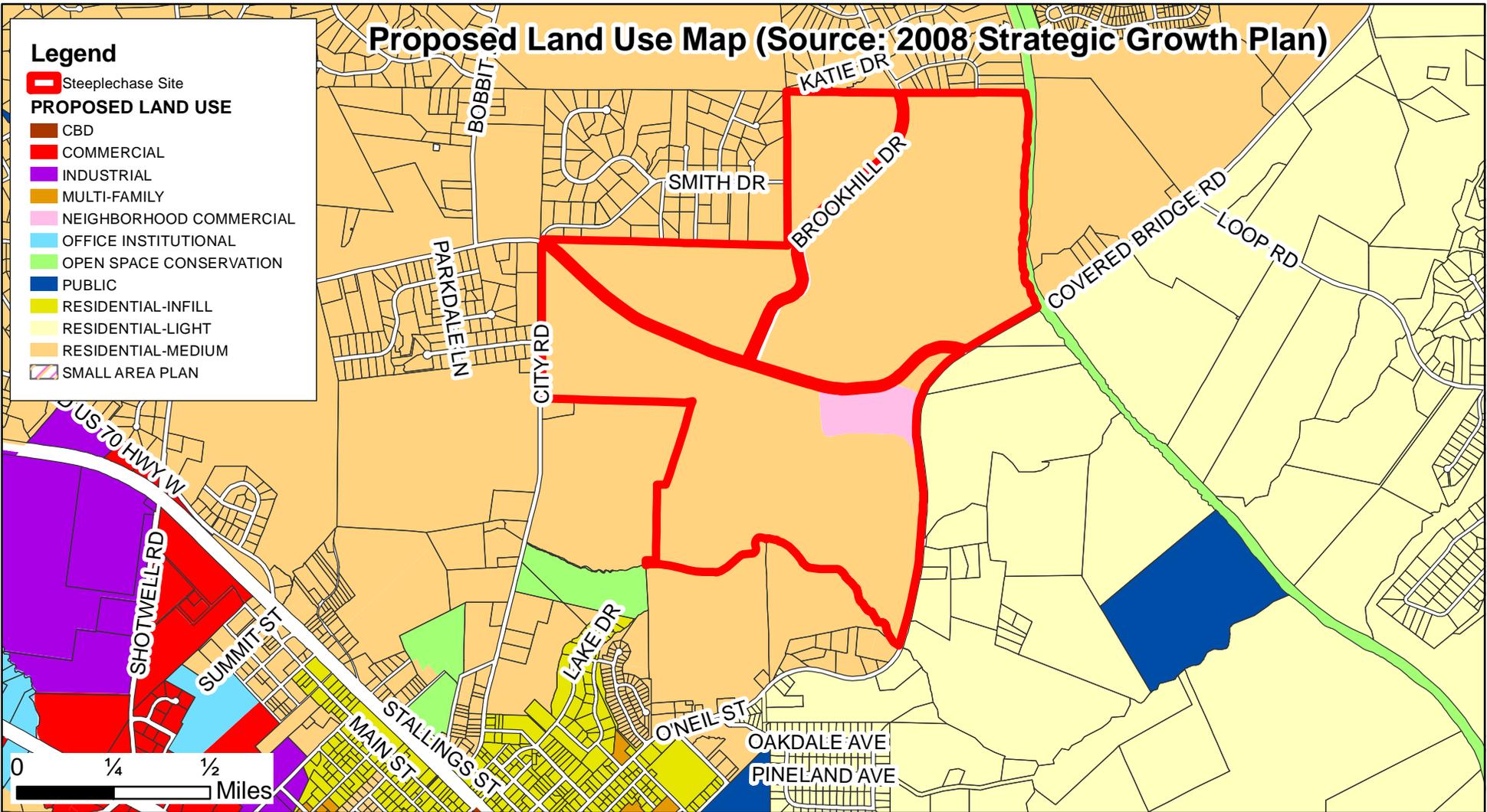


### Legend

- SteepleChase\_Site
- Water Features



# Proposed Land Use Map (Source: 2008 Strategic Growth Plan)



## Proposed Land Use Map (Source: 2008 Strategic Growth Plan) Steeplechase Planned Development Rezoning to PD-MU

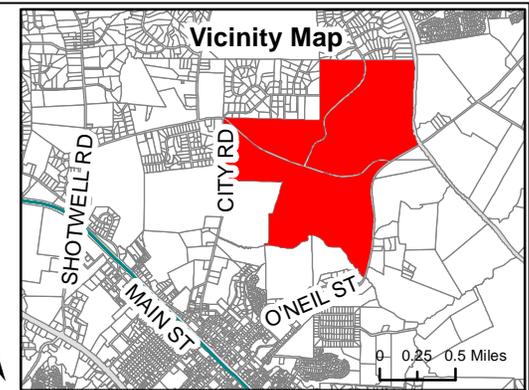
Applicant: Wake Development  
 Property Owners: Earps  
 Parcel ID Numbers:  
 File Number: PDD 2014-127

Produced by: TOC Planning  
 01/26/2015

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



Document Path: O:\PLANNING\SUBDIVISIONS\MAJOR SUBDIVISIONS\2014\PSD 2014-128 SteepleChase Planned Development - master plan, preliminary plat\Maps\Staff Presentation Map - PSD2014-128 - FLUM.mxd





Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot  
 Subdivision Master Plan: \$700.00 + \$5.00 per acre  
 Modifications to approved plans:  
*Major Modification:* \$400.00 + \$5.00 per lot modified  
*Minor Modification:* \$200.00 + \$5.00 per lot modified



See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.  
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.  
 See §155.706(N) for information on minor and major modifications.  
 See UDC Article 6 for Subdivision Standards.

### SITE INFORMATION

New Major Subdivision  
*Conventional:* \_\_\_\_\_ *Open Space:* \_\_\_\_\_  
 New Subdivision Master Plan  
 Modification to Approved Preliminary Plat  
*Major:* \_\_\_\_\_ *Minor:* \_\_\_\_\_

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed)

Tag #: 05H02009 NC PIN: 066900-38-4997

Location: 1162 Covered Bridge Road, Clayton, NC 27520

Number of Lots (existing): 1 (Proposed) 2500 Min Lot Size: Single family 4500 SF

Zoning District: R-5, R-10 with WPOD and Neighborhood business Electric Provider: Town of Clayton

Wastewater:  Septic  Sewer (check one) Water:  Well  Public/Private Water (check one)

Recreation/Open Space Requirement:  Fee in lieu  Land Dedication – Acreage: \_\_\_\_\_

### FOR OFFICE USE ONLY

Date Received: 10/6/14 Amount Paid: \_\_\_\_\_ File Number: 2014-128

Fee not submitted w/ app.  
CEB

## PROPERTY OWNER INFORMATION

**Name:** Nancy Crews Earp & Mary Earp Worley  
**Mailing Address:** 7230 NC 42 East, Selma, NC 27576  
**Phone Number:** 919-965-5793 & 919-915-1515 **Fax:** \_\_\_\_\_  
**Email Address:** nancyearp@bellsouth.net & winkworley@gmail.com

## APPLICANT INFORMATION

**Applicant:** Galaxy NC, LLC c/o Wakefield Development  
**Mailing Address:** 3100 Smoketree Court, Suite 210, Raleigh NC 27604  
**Phone Number:** (919) 556-4310 **Fax:** (919) 556-0690  
**Contact Person:** Kem Ard  
**Email Address:** kem@wakedev.com

## REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

10/6/14 EB

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/30/14</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Completed Application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Review Fee	<input type="checkbox"/>			<input checked="" type="checkbox"/>	
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

At Final Plats

12. A signed and sealed Traffic Impact Analysis (if required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Neighborhood Meeting Notice Letter <i>See sample letter and meeting requirement, included in this packet. NOT REQUIRED FOR MINOR MODIFICATIONS.</i>	<input type="checkbox"/>	<input type="checkbox"/>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.
14. Neighborhood Meeting summary form <i>Included in this packet – NOT submitted with application. NOT REQUIRED FOR MINOR MODIFICATIONS</i>		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.

**EXPLANATION OF PROJECT**

*Please provide detailed information concerning all requests. Attach additional sheets if necessary.*  
 The request is to master plan 631.06 acres at 1162 Covered Bridge Road. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units. The club and amenity areas will be focused around the existing R. E. Earp pond and will form the core of the development. Development will begin south of covered bridge road and will move north of covered bridge in the future. A neighborhood commercial development will be located at the intersection of Covered Bridge Road and O'Neil Street.

**APPLICANT AFFIDAVIT**

*I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.*

Kem Ard  
 Print Name

[Signature]  
 Signature of Applicant

10-2-14  
 Date

## FINDINGS OF FACT

*Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:*

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.  
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
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Project Name: Steeplechase Subdivision

Kem Ard  
Print Name

[Signature]  
Signature of Applicant

10-2-14  
Date

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	O'BRIEN, ANGELLA J O'BRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

## MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

*The applicant is responsible for completing this checklist. Please sign and submit with the completed application.  
Note: Master Subdivision Plans will require fewer details than preliminary subdivision plats. Please speak with Planning staff to confirm plan requirements.*

To be completed by the applicant:			Staff:
	Yes	N/A	
<b>GENERAL (ALL SHEETS):</b>			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = <del>100</del> <sup>400</sup> feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each: Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	/		
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>PRELIMINARY PLAN SHEET:</b>			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input type="checkbox"/>	<input type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<ul style="list-style-type: none"> <li>- Electric Provider</li> <li>- Water Provider (or indicate if well)</li> <li>- Sewer Provider (or indicate if septic)</li> <li>- Impervious (existing and proposed, square feet and %)</li> </ul>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
24. Proposed streets are labeled, named and dimensioned. Street names must be approved by Town of Clayton. Correct street cross section detail provided. Label street type based on definitions in §155.602(D).  If streets are private:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> <li>- All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat.</li> <li>- Streets are labeled "Private Streets – No Town Maintenance."</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
25. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
26. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.) - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
29. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:			
31. "The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and associated racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Show how streets are projected to property lines to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input type="checkbox"/>	
36. Provide a plant list summary table which includes: - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
37. If common landscaped areas area provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
38. Location, species, and caliper of any existing trees that will remain on site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
40. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>EXISTING CONDITIONS SHEET:</b>			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
44. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
46. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
53. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Any other information considered by either the applicant or the Town to be pertinent to the review. PD - HP DOCUMENT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Signed by Applicant:  Date: 10-06-'14  
for Ken Thompson, PLA



**Town of Clayton  
Planning Department**

111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

**OWNER'S CONSENT FORM**

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STAY PURCHASE Address or PIN #: 066900-38-4997

**AGENT/APPLICANT INFORMATION:**

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)  
Raleigh NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT  
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

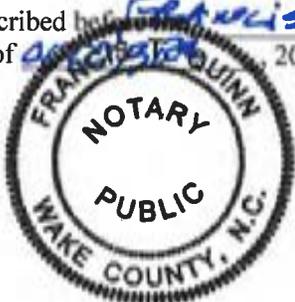
**OWNER AUTHORIZATION:**

Mary Earp Worley (Name type, print clearly) 7020 NC 42 East (Address)  
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of April, 2014.

SEAL



Francis T. Quinn  
Notary Public

My Commission Expires: MAY 5, 2016



**Town of Clayton**  
**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## OWNER'S CONSENT FORM

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**Project Name:** STEEPLECHASE      **Address or PIN #:** 066900-38-4997

**AGENT/APPLICANT INFORMATION:**

Kem Ard  
 (Name - type, print clearly)

3100 SMOKE TREE CT  
 (Address)  
Raleigh NC 27604  
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

REZONING - PLAN DEVELOPMENT  
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

**OWNER AUTHORIZATION:**

Nancy C Karp  
 (Name - type, print clearly)

7230 NC 42 E  
 (Address)

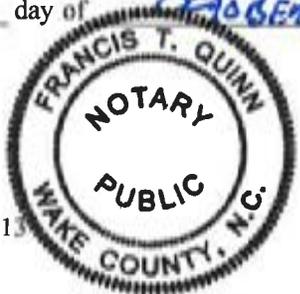
Nancy C Karp  
 (Owner's Signature)

Selma, NC 27576  
 (City, State, Zip)

**STATE OF** NORTH CAROLINA  
**COUNTY OF** WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of SEPTEMBER, 2014.

SEAL



Francis T. Quinn  
 Notary Public

My Commission Expires: MAY 5, 2016

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER      10/27/14

	NAME	ADDRESS
1	Ma The Mackey	1233 Mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos	1577 Business Town Rd, Robbins, NC 27325
3	Daniel Smith	509 Starling St, Clayton, NC 27520
4	Joy Hill	2013 Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debbor Dr, Clayton 27520
6	Brian Markley	604 Charleston Dr, Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 City Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr, Clayton NC 27520
13	Jim Mann	142 Claire Dr, Clayton, NC 27520
14	Cliff Morgan	146 Claire Dr, Clayton, NC 27520
15	Kathy Leibel	672 Christoph Dr, Clayton, NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALPACIS	2201 Down Ct, Clayton NC 27520
18	Robbie Pope	2008 Smith Dr, Clayton, NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Dr 27520

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER      10/27/14

	NAME	ADDRESS
1	Scott Winston	150 Claire Dr. Clayton NC 27510
2	Jack & Pat Bachelor	120 Christophe S. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Whitaker	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	<del>Chynell</del>	101 Michael Way
7	Jane Trudall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MENTCH	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton Old Mill Stream
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapp	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr Clayton 27520

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

**Applicant:** STEEPLECHASE

**Location/Date:** CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton,
2	John Clarke	1415 Brook Hill Drive
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NC  
27520

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

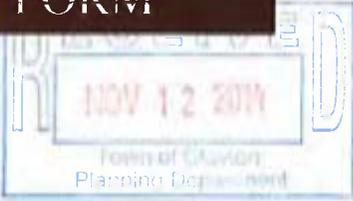
# ADJACENT PROPERTY OWNERS LIST

**Project Name:** Steeplechase Subdivision

*The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.*

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

# NEIGHBORHOOD MEETING SUMMARY FORM



**FILL OUT THE FOLLOWING:**

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: [Handwritten Signature]

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

**Meeting Summary/Minutes:** provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27<sup>th</sup>

Location: The Poole Room at the Clayton Center @ 111 E 2<sup>nd</sup> Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID  
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



# STEEPLECHASE Planned Development / Master Plan Document



Prepared for Town of Clayton  
February 23, 2015

# Contents

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### Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

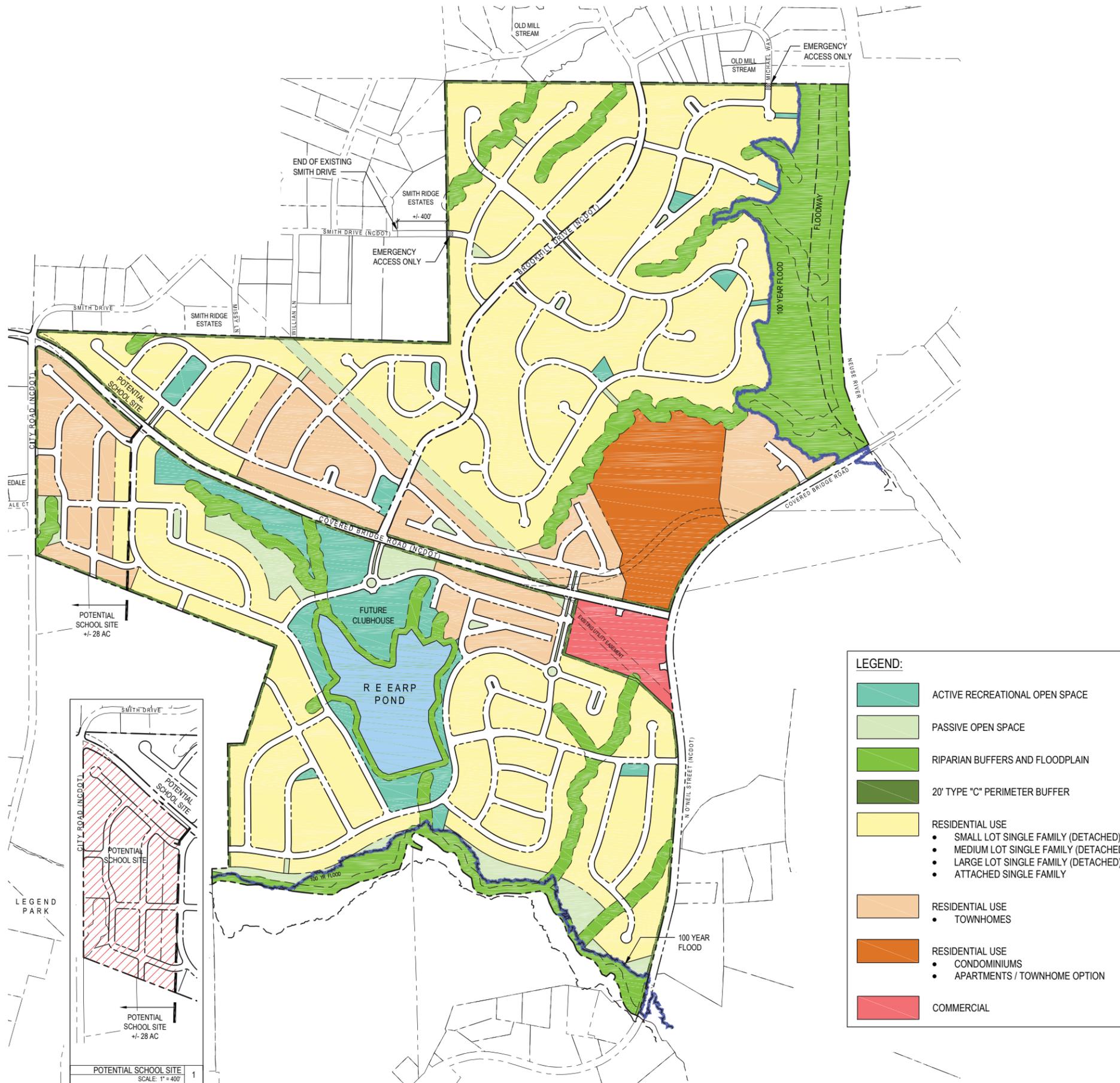
The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

#### LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

USE	ACRES	% LAND AREA
RCA's (Riparian Buffers, Flood Plain, Pond)	+/- 111.19	+/- 17.62%
Recreation Open Space	+/- 65.08	+/- 10.31%
Residential uses	+/- 444.88	+/- 70.50%
Neighborhood retail	+/- 9.91	+/- 1.57%
<b>Total</b>	<b>631.06</b>	<b>100%</b>

<u>SINGLE FAMILY RESIDENTIAL MINIMUM %</u>	<u>LOT WIDTH</u>	<u>MINIMUM SF</u>	<u>% MINIMUM OF UNITS</u>
Small Lot Single Family	40' and 50'	4500	10%
Medium Lot Single Family	50' and 60'	5000	10%
Large Lot Single Family	60' and greater	6000	10%
Townhome	16'	1000	10%
Condo	N/A	N/A	0%
Apartments	N/A	N/A	0%
Commercial	50	6000	N/A



## Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

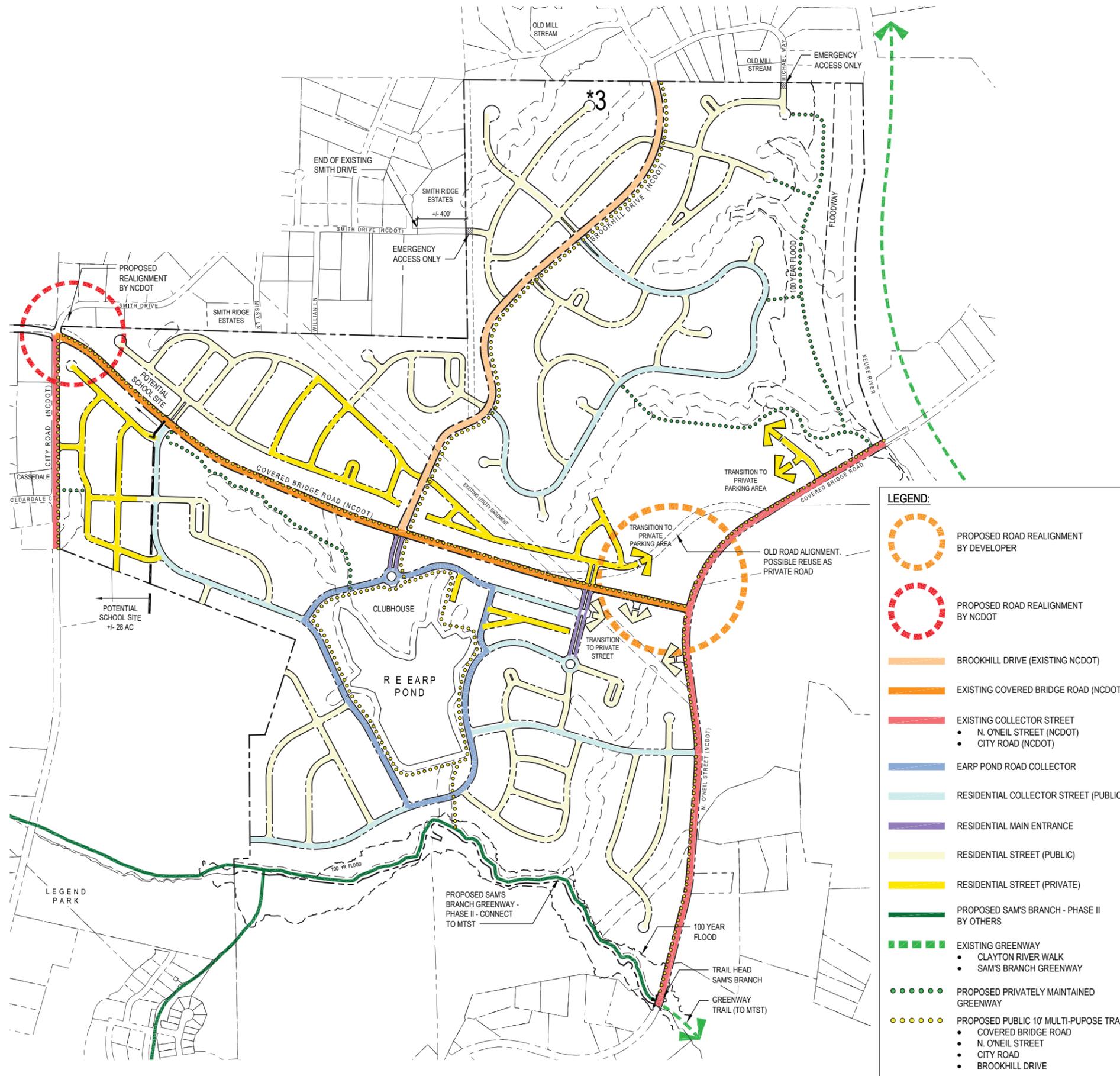
### STREETS

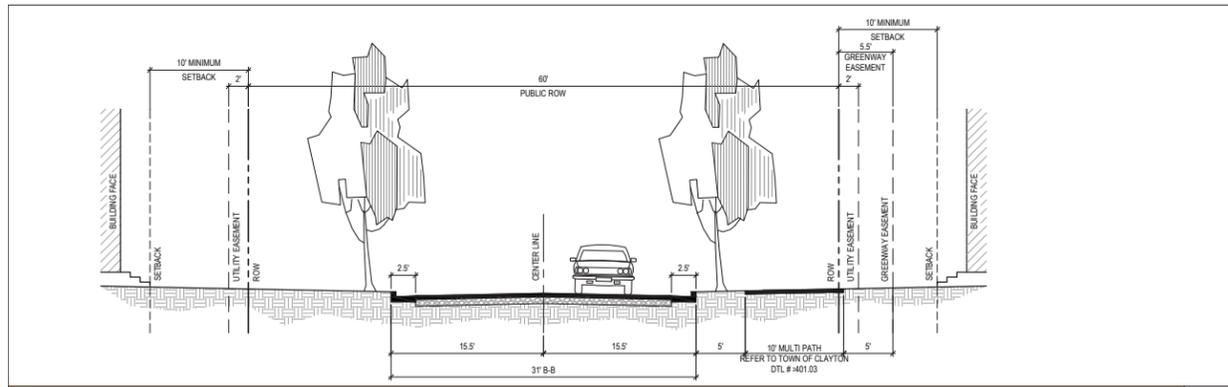
The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets provides options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 3). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

### SIDEWALKS AND STREET YARDS

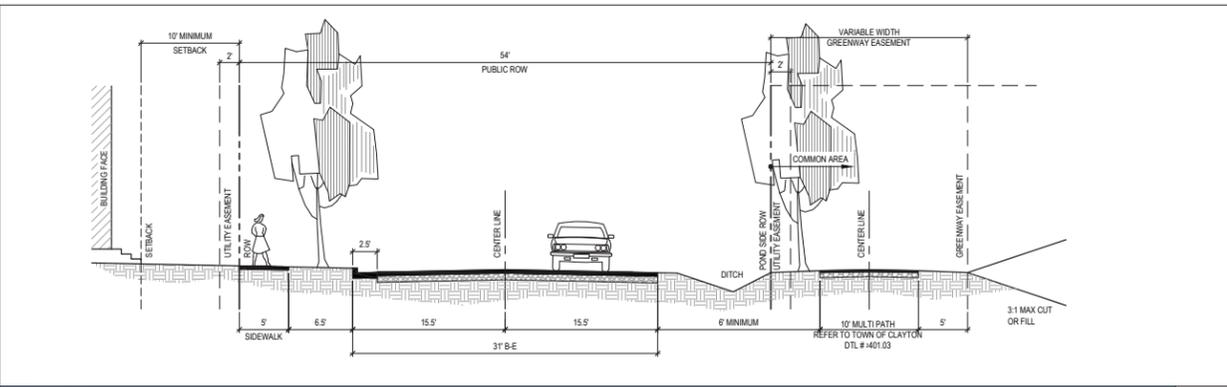
Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.

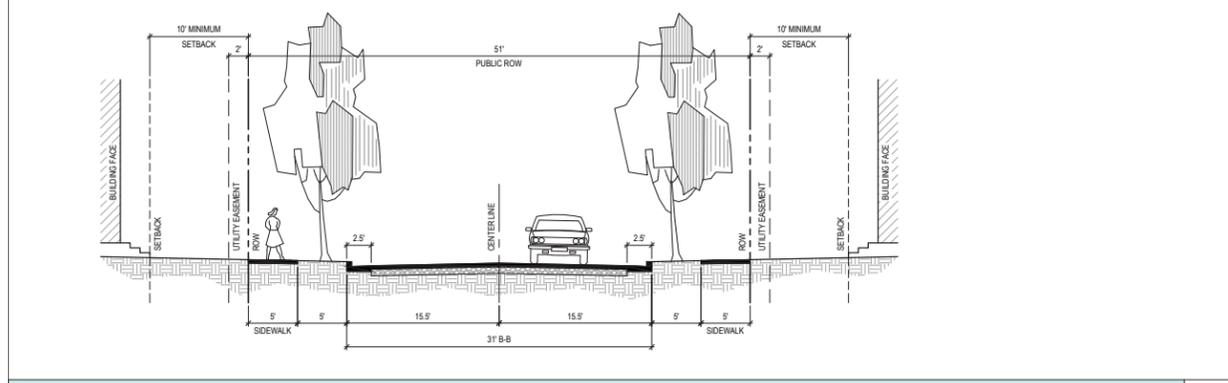




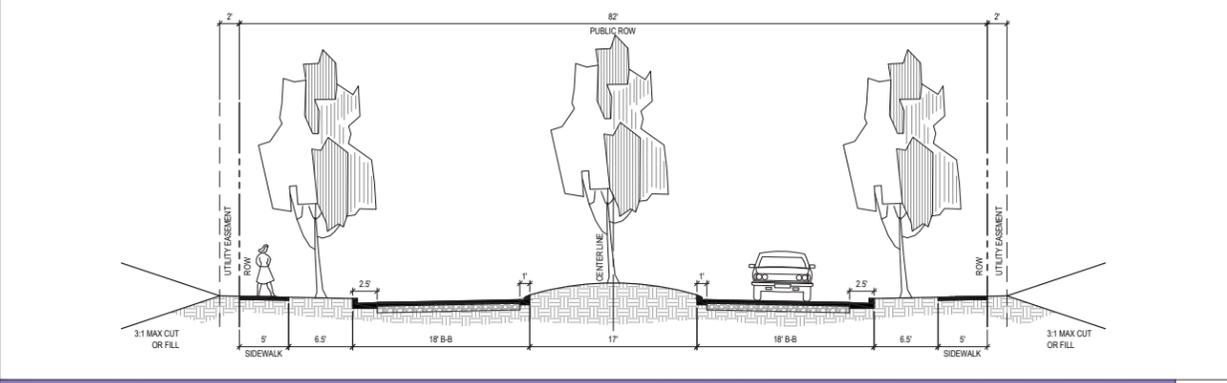
**BROOKHILL DRIVE (NCDOT)**  
SCALE: NTS 1



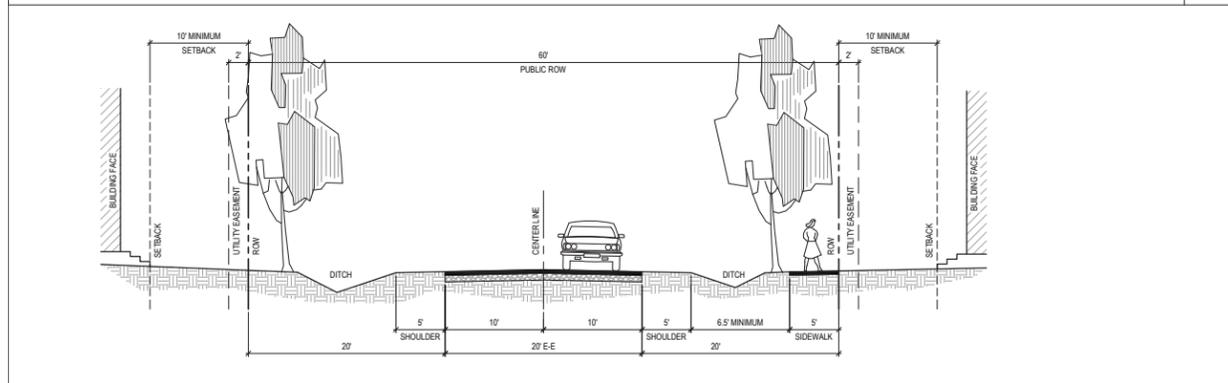
**EARP POND ROAD COLLECTOR**  
SCALE: NTS 2



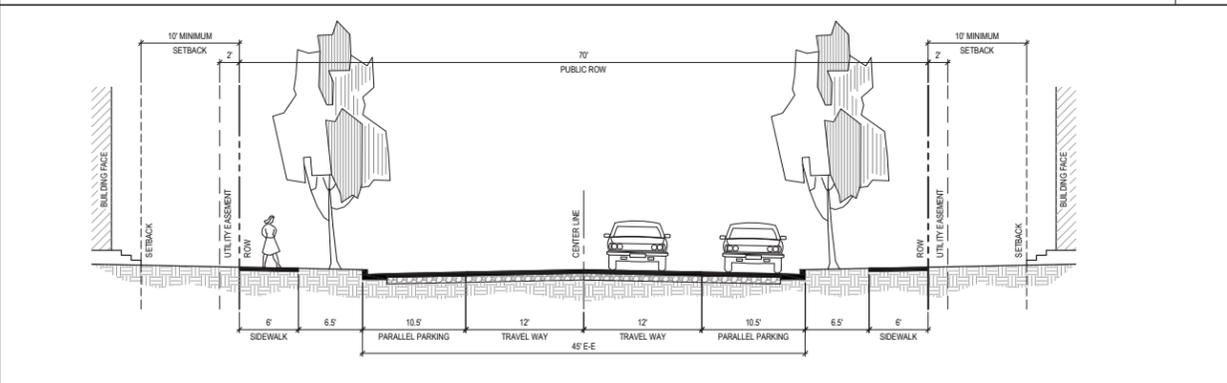
**RESIDENTIAL COLLECTOR STREET**  
SCALE: NTS 3



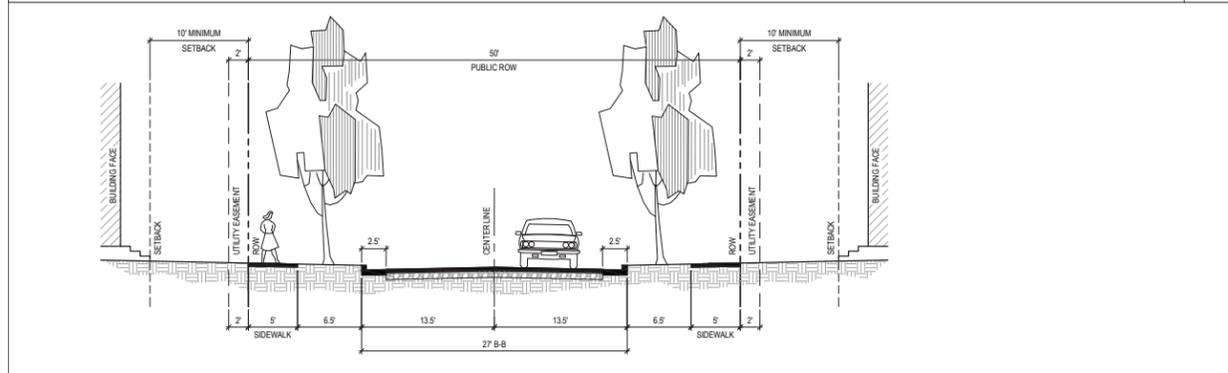
**RESIDENTIAL MAIN ENTRANCE ALTERNATE "C"**  
SCALE: NTS 4



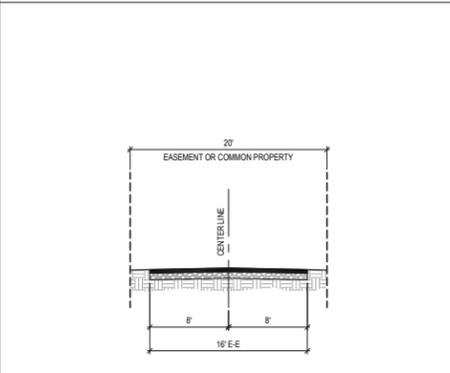
**RESIDENTIAL STREET OPTION "I" - LOW DENSITY OPTION**  
SCALE: NTS 5



**RESIDENTIAL STREET OPTION "II"**  
SCALE: NTS 6



**RESIDENTIAL STREET OPTION "III"**  
SCALE: NTS 7

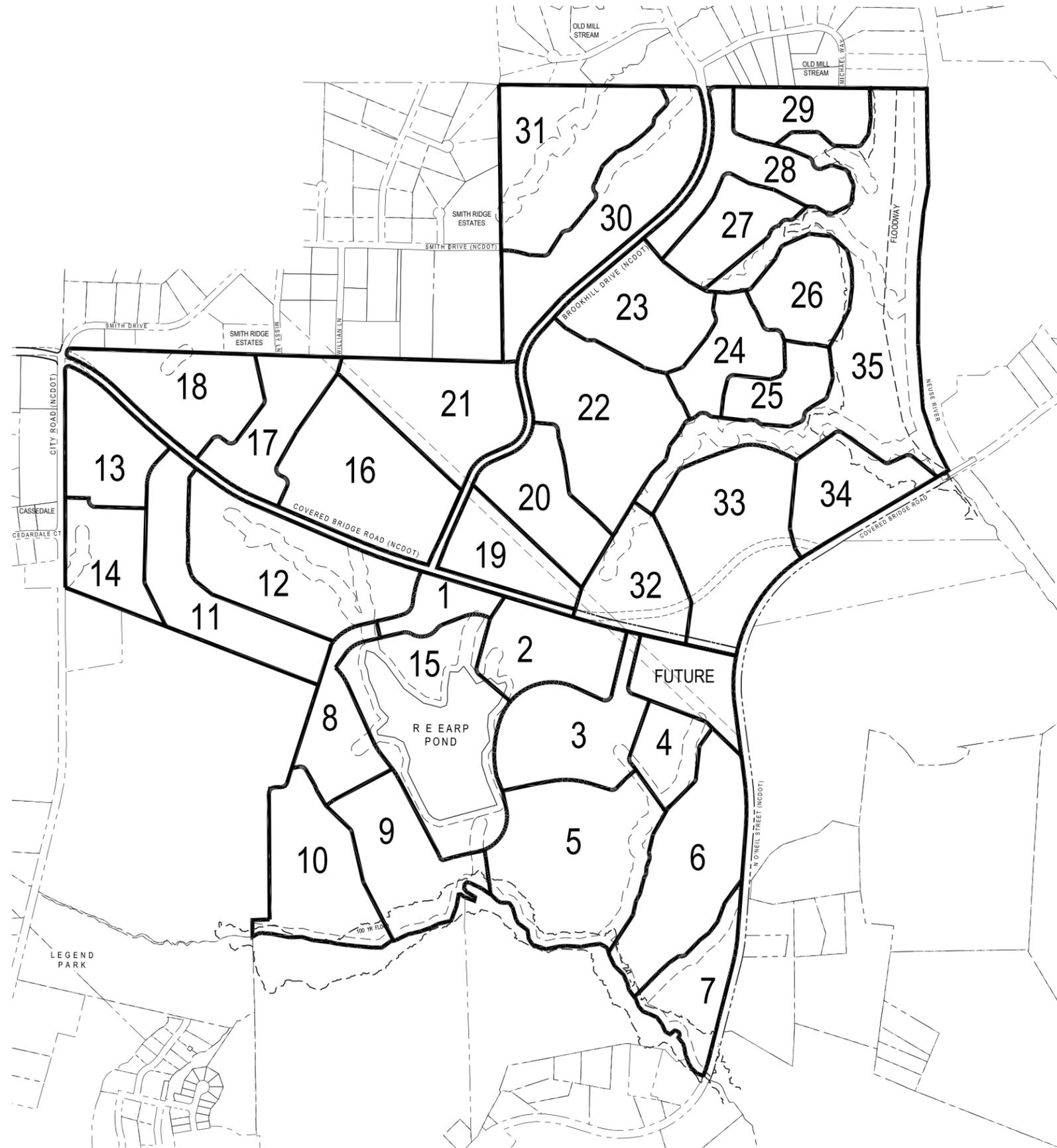


**ALLEY**  
SCALE: NTS 8

- NOTES:**
1. IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON STANDARD VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
  2. THE ULTIMATE SECTION FOR ALL NCDOT ROADS ON THE PERIMETER OF THE PROJECT WILL BE DETERMINED BASED ON TIA, NCDOT, AND TOWN OF CLAYTON RECOMMENDATIONS.
  3. DEVELOPER TO PROVIDE 10' MULTIPURPOSE TRAIL IN LIEU OF SIDEWALKS ON CITY ROAD AND N. ONEIL STREET

- STREET TREES NOTES:**
1. STREET TREES MUST BE PLACED A MAXIMUM OF 40 FEET ON CENTER OR 50 FEET APART.
  2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

**NOTES**  
SCALE: NTS 9

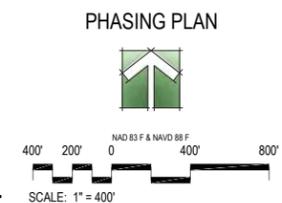


NOTES:  
 THE CLUBHOUSE PERMIT SHALL BE  
 REQUIRED PRIOR TO THE 251ST  
 BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.68
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
<b>TOTAL</b>	<b>+/- 637.13</b>



Know what's below.  
 Call before you dig.



## Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

### OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCA's). RCA's are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCA's is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

#### REQUIRED RECREATION & OPEN SPACE

519.87 AC x 12.5% = 64.98 AC

#### REQUIRED ACTIVE RECREATION SPACE

64.98 ac x 25% = 16.245 AC

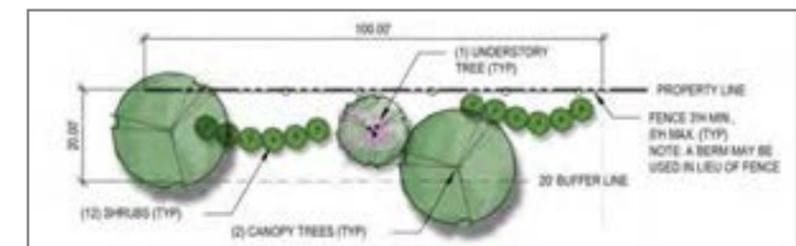
REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
<b>Total Required Conservation Areas</b>	<b>+/- 111.19</b>	<b>+/- 21.39%</b>

#### OPEN SPACE PROVIDED

Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
<b>Total Open Space Provided</b>	<b>+/- 65.08</b>	<b>+/- 10.31%</b>

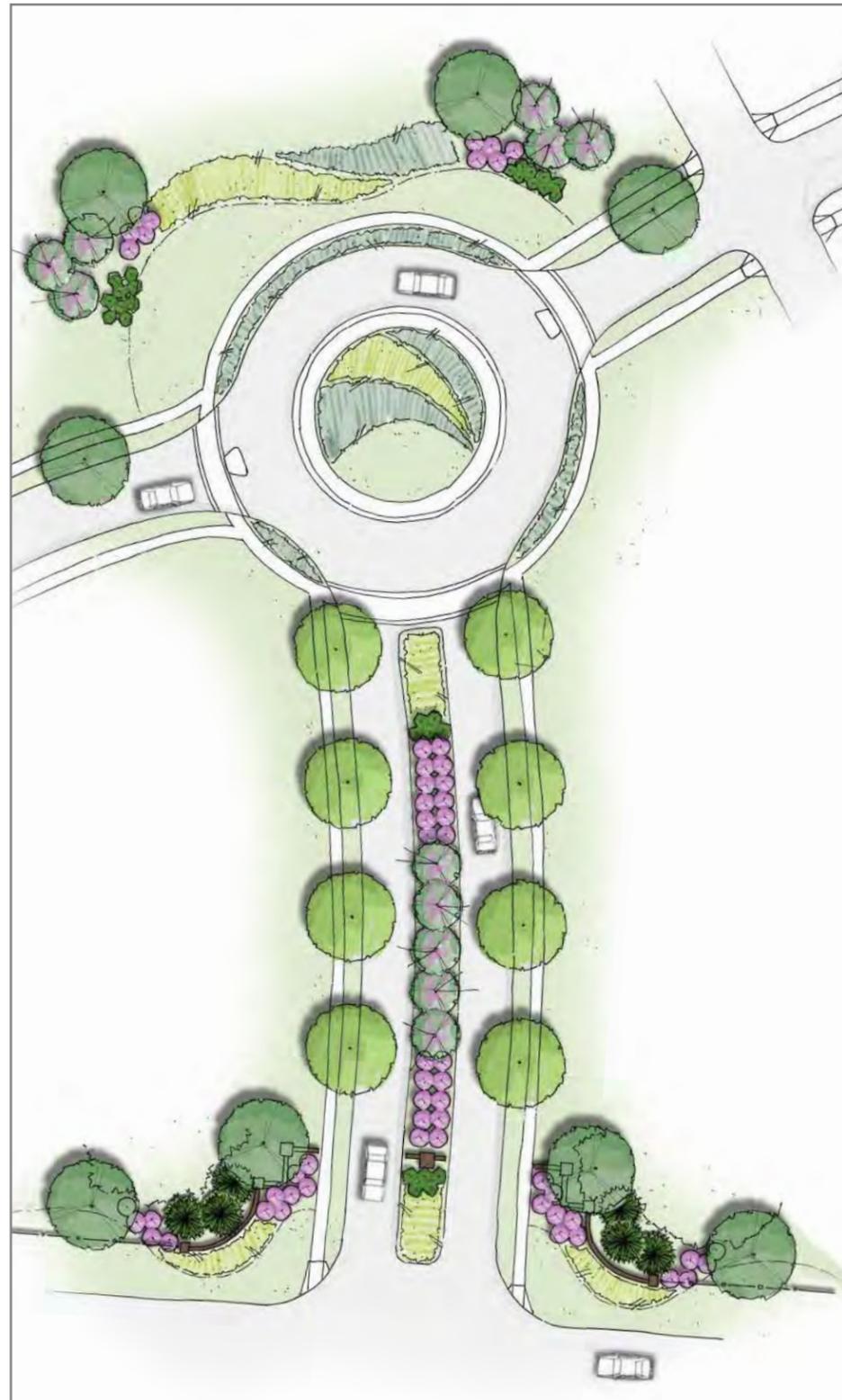
#### LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public	+/- 12,700 LF (127,000 SF / 2.91 AC)
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)



PERIMETER LANDSCAPE BUFFER: CLASS C (typical)





**ENTRY FEATURE /  
ROUNDAABOUT (TYPICAL)**

**DESIGN ELEMENTS**

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
  - (+/- 16) Trees
  - (+/- 75) Shrubs

**Recreation and Open Space**

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

**ROUND-ABOUTS**

Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

**GREENWAY TRAIL AND SCENIC OVERLOOK**

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



**GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)**

**DESIGN ELEMENTS**

1. Trail
2. Seating



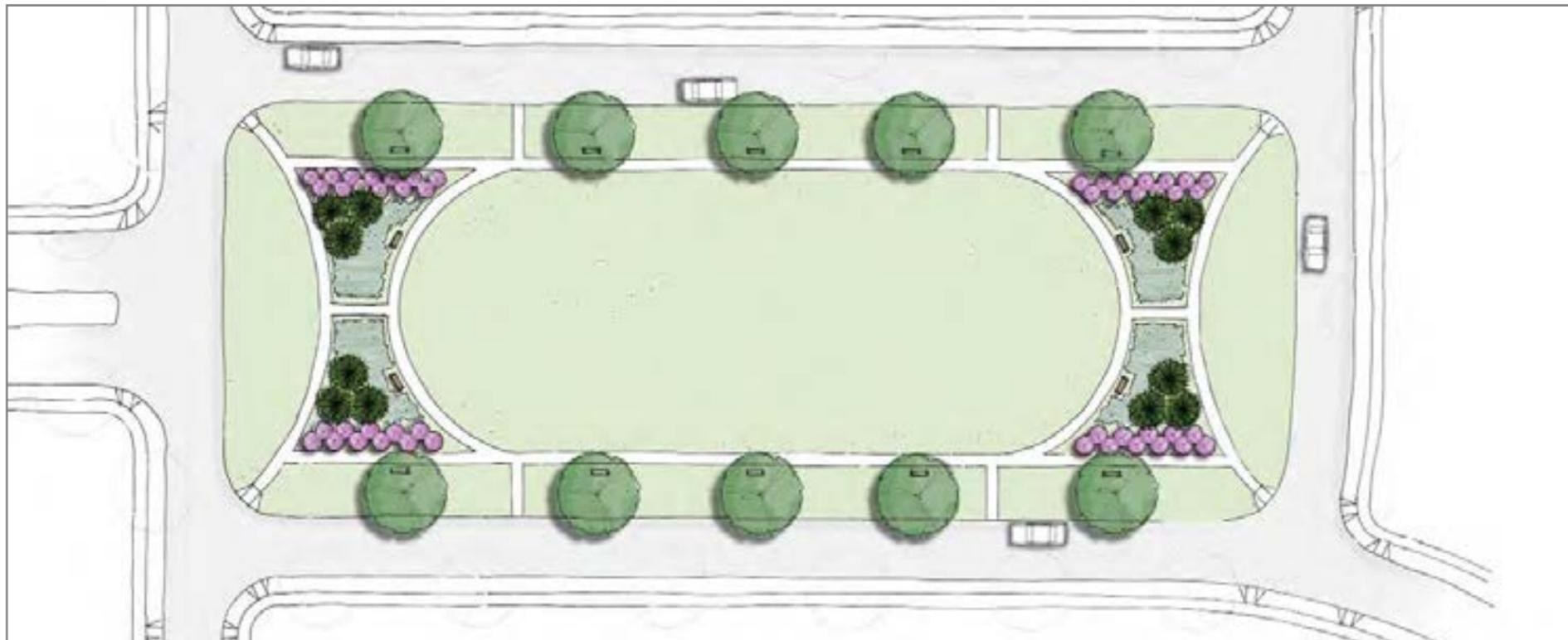
**POCKET PARKS**

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

**"TOT LOT" (TYPICAL)**

**DESIGN ELEMENTS**

- 1. Seating
- 2. Play Structure
- 3. Landscaping



**POCKET PARK (TYPICAL)**

**DESIGN ELEMENTS**

- 1. Seating
- 2. Sidewalk
- 3. Landscaping

## Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum fo 4,500 square feet. Single family homes should be clustered together throughout the community.

### LOT STANDARDS

1. Lot standards shall be as follows:
  - a. The minimum lot size shall be 4,500 square feet and no maximum is established.
  - b. The minimum lot width shall be 40' and no maximum is established.
  - c. The minimum lot depth shall be 100' and no maximum is established.
  - d. The maximum lot coverage shall be 70%
  - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	10'
Side Interior Setback	4'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	35'
Accessory	5'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

### PERMITTED USES AND DIMENSIONAL STANDARDS

1. Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and maybe alley loaded. They may also have accessory apartments and/or living spaces above.
2. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
3. Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
4. Fences may be located on the property line (0' setback).

5. Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

### ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. Front porches should be no less than 5' in depth and may be at grade.
3. All single family detached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Single Family - Street Access



Lot Type: Single Family - Alley Access



## Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

### LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
  - a. The minimum lot size shall be 1,000 square feet and no maximum is established.
  - b. The minimum lot width shall be 16' and no maximum is established.
  - c. The minimum lot depth shall not be established.
  - d. The maximum lot coverage shall be 70%
  - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:
 

Front Setback - Minimum	5'
Side Interior Lot Setback	0'
Side Street Setback - Minimum	5'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	45'
Accessory	5'
3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

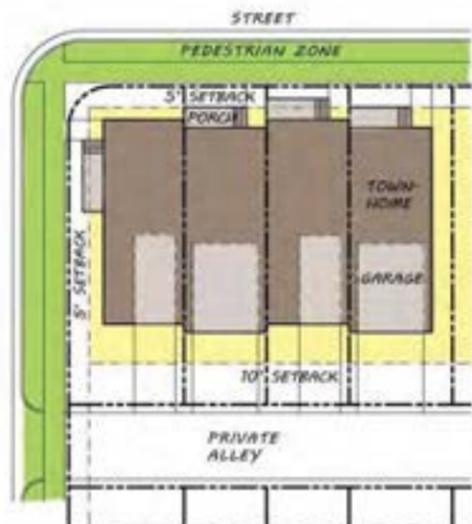
4. The buildable zone is the area defined and bounded by the setbacks on all property lines.
5. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
6. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

### PERMITTED USES AND DIMENSIONAL STANDARDS

1. Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and maybe be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.
2. Party walls shall be fire rated in accordance with international building code.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

### ARCHITECTURAL AND CONTEXTUAL STANDARDS

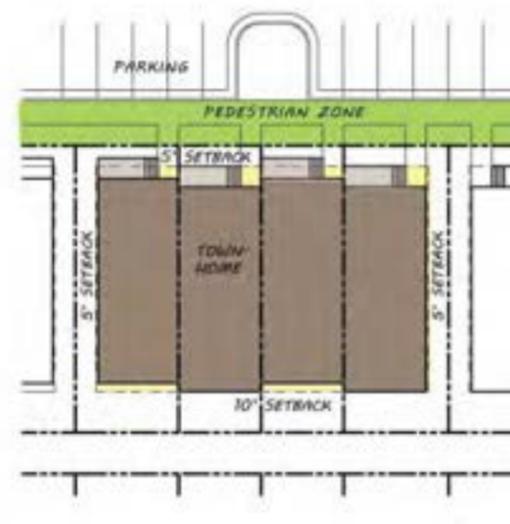
1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee..
2. All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



## Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

### LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. There is no minimum lot size established.
- b. There is no minimum lot width established.
- c. There is no minimum lot depth established.
- d. The maximum lot coverage shall be 80%
- e. The maximum lot impervious area shall be 80%

2. Setbacks shall be as follows:

Front Setback - Minimum	0'
Side Interior Lot Setback	5' (20' min. between buildings)
Side Street Setback - Minimum	0'
Rear Setback - Minimum	5'
Height - Maximum	55'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Minimum building to building separation is 20'
5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.
6. The buildable zone is the area defined and bounded by the setbacks on all property lines.
7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips
8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

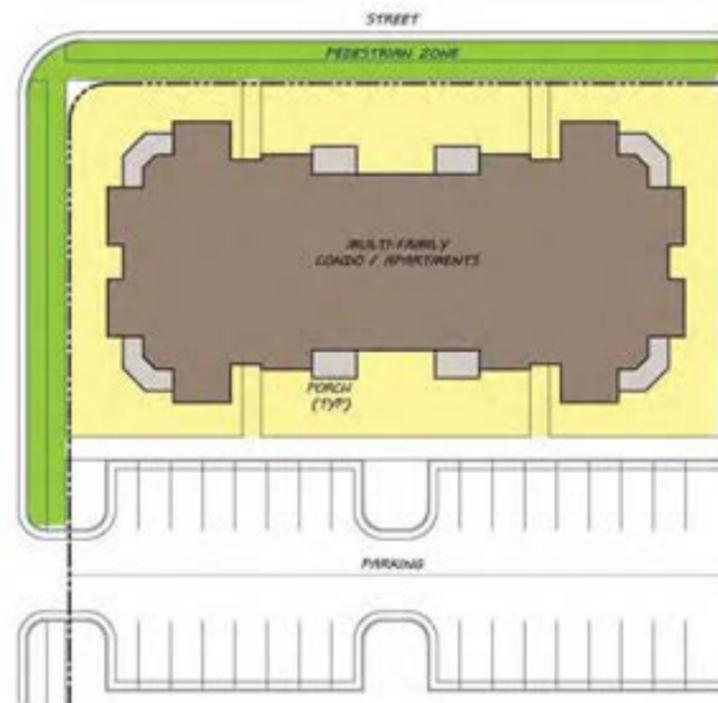
### PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.
2. Party walls shall be fire rated in accordance with international building code.
3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

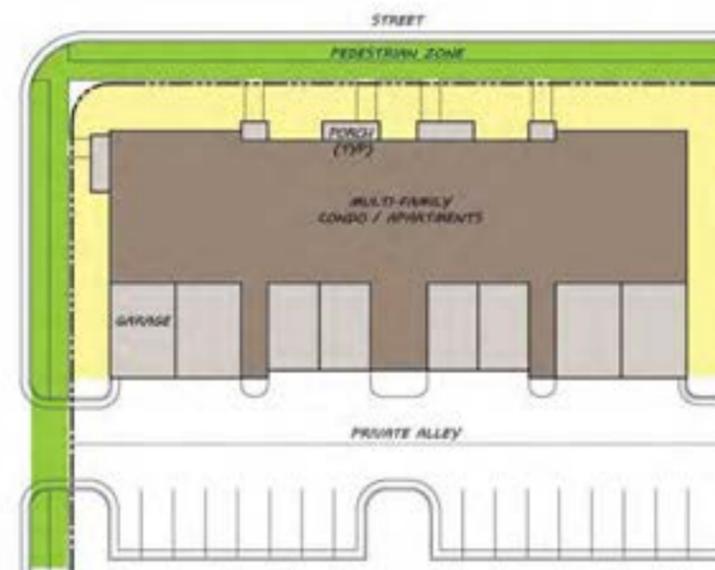
4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in .

### ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. Balconies or porches are shall be encouraged.
3. All multi- family units will require review by the Architectural Review Committee (see page 12).



**Lot Type: Multi-Family - Surface Parking**



**Lot Type: Multi-Family - Alley Access**



## Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenway connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

### LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
  - a. There is no minimum lot size established.
  - b. There is no minimum lot width established.
  - c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

Front Setback - Minimum	15'
Side Interior Lot Setback	5' (10' min. between buildings)
Side Street Setback - Minimum	10'
Rear Setback - Minimum	5'
Height - Maximum	45'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Building entrances should be developed as pedestrian plazas for gatherings.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line but may also include an area along the edge of a public space. The pedestrian zone will include minimum 5' sidewalks and planting strips along building fronts.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.
8. Parking and service areas should be located towards the sides or rear of buildings. Where site conditions or other limiting circumstances result in a building fronting a upon a parking area, a pedestrian zone shall be provided from the back of curb to the outer edge of the sidewalk in a similar manner to that provided along a street.
9. Multi-purpose trails, outdoor seating and other spaces, i.e. docks, viewing areas, etc. maybe provided along the waterfront.

### PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.
5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

### ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. All single community buildings will require review by the Architectural Review Committee (see page 12).



## Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

### LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
  - a. The minimum lot size shall be 6,000 square feet
  - b. The minimum lot width shall be 50'
  - c. The minimum lot depth shall not be established.
  - d. The maximum lot coverage shall be 75%
  - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	20'
Side Interior Lot Setback	10'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	20'
Zero Lot Line Side Setback	0'
Height - Maximum	80'

### PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

### ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).





## Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

### BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.
- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)
- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.
- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.
- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.
- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

## Phasing

### OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251<sup>st</sup> residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

### AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

### POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

### DEVELOPMENT NAME CHANGE

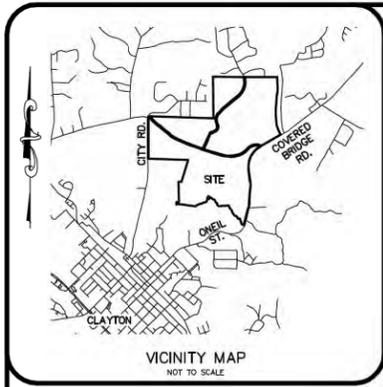
The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

# Appendix

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<b>COVER</b>	<b>SHEET 0</b>
<b>EXISTING CONDITIONS</b>	<b>SHEETS 1-3</b>
<b>MASTER PLAN</b>	<b>SHEETS 4, 4A, 4B, 4C</b>
<b>PHASING PLAN</b>	<b>SHEET 5</b>
<b>OPEN SPACE PLAN</b>	<b>SHEET 6</b>
<b>VEHICULAR AND PEDESTRIAN PLAN</b>	<b>SHEET 7</b>
<b>STREET WAIVER REQUESTS</b>	<b>SHEET 8</b>





VICINITY MAP  
NOT TO SCALE

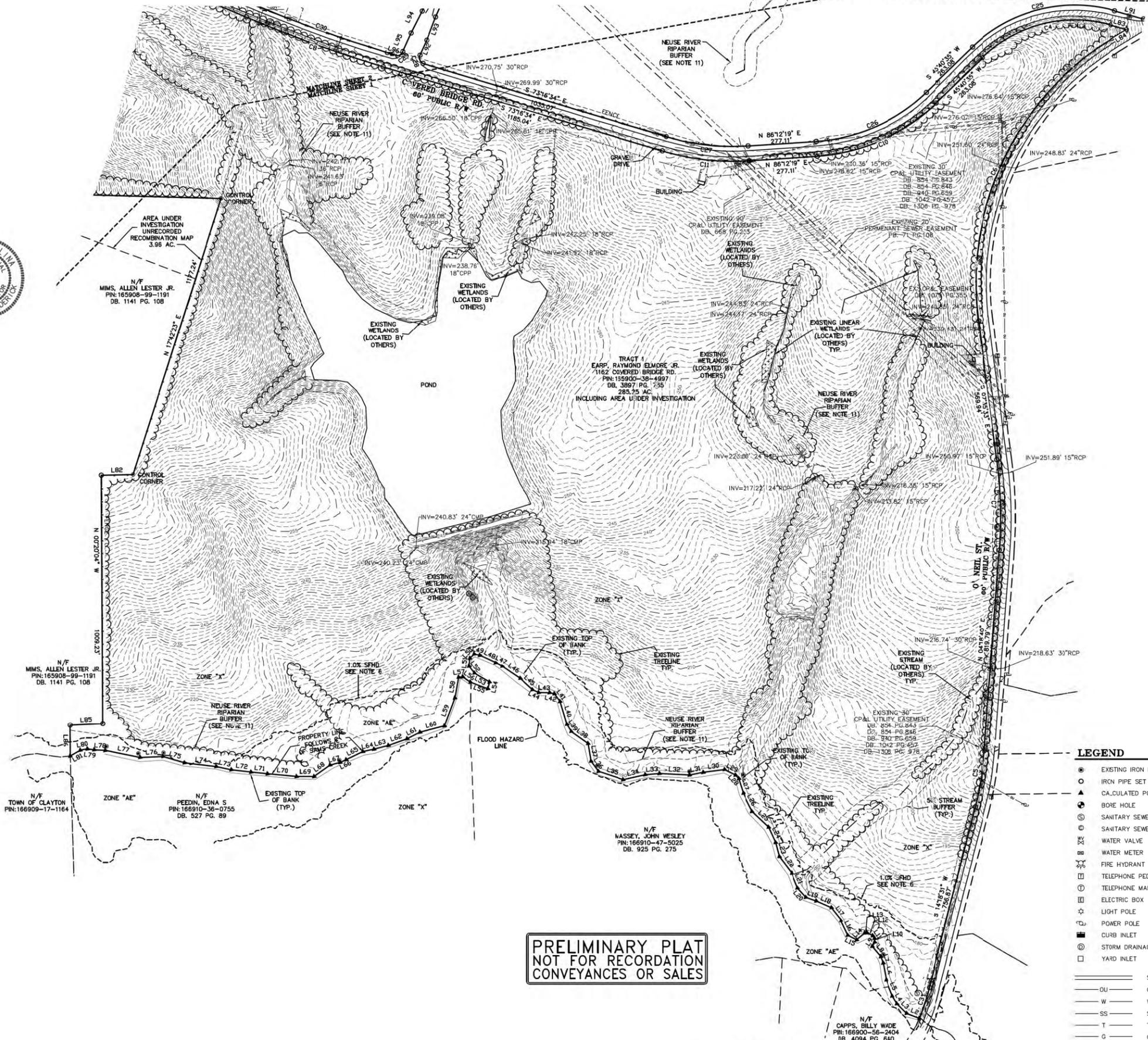
I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS

DAY OF \_\_\_\_\_ A.D. 2014.

RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (1)(1)(c). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

RONALD T. FREDERICK PLS L-4720



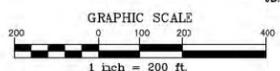
**GENERAL NOTES**

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY FEMA FIRM COMMUNITY PANEL #372016900J & 372017600J DATED DECEMBER 2, 2005
- REFERENCES: PG. 8 PG. 73 & DB. 3897 PG. 735 OF THE JOHNSTON COUNTY REGISTRY. PIN: 165900-48-9997
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER RIPARIAN BUFFERS MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL)

PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES

**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER W/HOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- OU— STORM DRAIN PIPE
- W— OVERHEAD UTILITY LINES
- W— WATER LINE
- SS— SANITARY SEWER LINE
- T— TELEPHONE LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- X— UNDERGROUND TELEPHONE
- X— FENCE LINE



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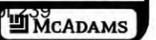
REVISIONS:

NO.	DATE	DESCRIPTION

SURVEY FOR:  
WAKEFIELD DEVELOPMENT CO.  
3100 SMOKETREE COURT,  
SUITE 210  
RALEIGH, NORTH CAROLINA  
27604

**STEEPLECHASE  
(EARP PROPERTY)**  
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA  
TOPOGRAPHIC SURVEY

PROJECT NO. WDL14000  
FILENAME: WDL14000-C1  
SURVEYED BY: RTF  
DRAWN BY: JBT  
SCALE: 1"=200'  
DATE: 10-29-2014  
SHEET NO. 1-3



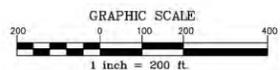
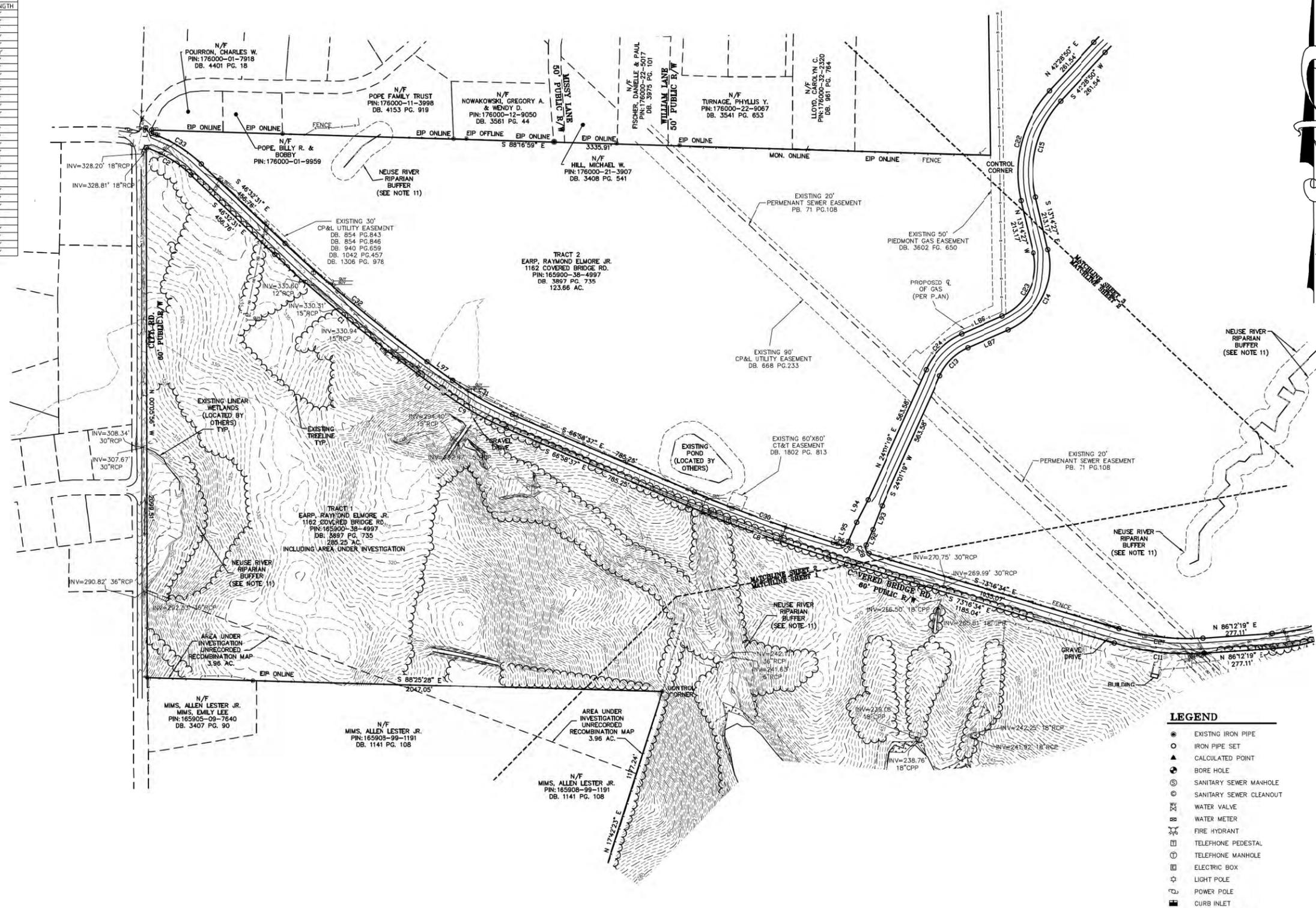
X:\Projects\WDL\_14000\Survey\Topographic\WDL14000-C1.dwg, 12/23/2014, 11:52:18 AM, Taylor, asy

**GENERAL NOTES**

1. SEE LINE AND CURVE TABLES THIS SHEET
2. SEE SHEET 1 FOR GENERAL NOTES

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5850.00'	743.38'	S 50°10'56" E	742.89'
C2	490.00'	208.52'	N 58°43'58" W	206.95'
C3	1060.00'	130.94'	N 17°50'51" E	130.86'
C4	536.30'	563.06'	S 75°45'12" W	537.55'
C5	1320.00'	229.78'	N 09°17'53" E	229.49'
C6	1165.00'	1341.49'	S 25°13'43" V	1268.60'
C7	1770.00'	367.74'	N 01°38'27" W	367.08'
C8	5430.00'	593.47'	S 70°08'42" E	593.18'
C9	1250.00'	286.98'	S 60°23'59" E	286.35'
C10	766.00'	541.84'	N 05°36'27" E	530.61'
C11	1005.00'	359.91'	S 03°32'07" E	357.99'
C12	220.00'	160.96'	S 44°58'32" V	157.39'
C13	280.00'	386.96'	N 26°20'59" E	356.89'
C14	420.00'	408.46'	S 14°37'12" W	392.55'
C15	1170.00'	150.20'	S 46°09'30" W	150.10'
C16	1230.00'	318.44'	N 42°24'53" E	317.25'
C17	880.00'	828.39'	N 08°01'31" E	798.14'
C18	820.00'	793.21'	N 07°16'53" E	762.65'
C19	1170.00'	303.10'	N 42°24'53" E	302.25'
C20	1830.00'	157.91'	S 46°09'30" W	157.80'
C21	480.00'	466.81'	S 14°37'12" W	448.63'
C22	220.00'	304.03'	N 26°20'59" E	280.41'
C23	280.00'	204.85'	S 44°58'32" V	200.31'
C24	596.30'	626.05'	S 75°45'12" W	597.69'
C25	706.00'	499.40'	N 05°36'27" E	489.05'
C26	945.00'	338.42'	S 03°32'07" E	336.62'
C27	250.00'	37.96'	S 19°28'31" E	34.41'
C28	250.00'	27.51'	N 50°46'53" E	26.14'
C29	5370.00'	586.92'	S 70°08'42" E	586.62'
C30	1190.00'	273.21'	S 60°23'59" E	272.61'
C31	5790.00'	735.76'	S 50°10'56" E	735.26'
C32	530.00'	234.05'	N 58°43'58" W	232.29'

LINE	BEARING	DISTANCE
L1	N 53°49'21" W	125.41'
L2	S 68°22'48" E	54.82'
L3	S 45°00'04" E	55.30'
L4	S 31°01'56" E	35.81'
L5	S 21°35'11" E	71.21'
L6	S 10°46'33" E	69.38'
L7	S 20°18'57" E	27.57'
L8	S 39°28'49" E	54.26'
L9	S 30°18'17" W	19.74'
L10	S 03°25'08" E	15.80'
L11	S 32°52'53" E	12.50'
L12	S 63°36'45" E	25.28'
L13	N 88°22'42" E	9.46'
L14	N 48°48'30" E	42.88'
L15	S 62°17'19" E	40.34'
L16	S 25°28'08" E	68.84'
L17	S 37°32'55" E	64.95'
L18	S 65°49'20" E	66.77'
L19	S 70°20'45" E	44.26'
L20	S 41°43'41" E	50.71'
L21	S 22°10'52" E	65.37'
L22	S 36°58'10" E	84.09'
L23	S 14°58'39" E	59.02'
L24	S 24°21'23" E	68.05'
L25	S 46°14'39" E	92.25'
L26	S 28°18'23" E	63.28'
L27	S 17°41'06" E	61.58'
L28	S 43°38'40" E	20.09'
L29	S 62°50'21" E	49.48'
L30	S 82°17'59" E	86.87'
L31	N 70°17'07" E	87.40'
L32	S 87°03'50" E	122.72'
L33	N 85°03'51" E	57.26'
L34	N 77°00'51" E	90.83'
L35	S 71°47'00" E	108.59'
L36	S 35°43'08" E	85.30'
L37	S 09°25'19" E	72.95'
L38	S 54°19'50" E	84.79'
L39	S 31°07'13" E	34.06'
L40	S 16°40'18" E	98.00'
L41	S 36°01'29" E	38.80'
L42	S 77°32'10" E	19.64'
L43	S 89°22'39" E	44.35'
L44	S 65°23'15" E	27.92'
L45	S 47°04'21" E	68.54'
L46	S 55°50'59" E	87.81'
L47	S 62°48'31" E	29.70'
L48	S 65°02'29" E	71.02'
L49	S 77°48'47" E	24.70'
L50	N 45°06'00" E	24.51'
L51	N 08°23'27" E	31.73'
L52	N 38°27'00" W	35.79'
L53	N 59°28'45" W	71.72'
L54	N 13°37'28" E	28.25'
L55	S 69°33'57" E	76.68'
L56	S 54°46'22" E	37.78'
L57	N 83°46'40" E	16.73'
L58	N 10°10'06" E	85.68'
L59	N 20°09'29" E	122.53'
L60	N 75°31'08" E	103.55'
L61	N 62°57'11" E	58.40'
L62	N 70°05'52" E	80.21'
L63	N 75°47'12" E	61.28'
L64	N 77°51'09" E	46.17'
L65	N 63°46'59" E	75.51'
L66	N 64°46'25" E	28.12'
L67	N 76°28'40" E	43.61'
L68	N 53°48'52" E	79.19'
L69	S 89°58'29" E	72.73'
L70	S 84°41'21" E	117.79'
L71	S 84°03'12" E	68.10'
L72	S 83°05'53" E	80.01'
L73	S 77°52'22" E	62.52'
L74	S 83°23'33" E	130.27'
L75	S 73°28'38" E	90.61'
L76	N 87°44'54" E	93.77'
L77	S 78°45'25" E	144.94'
L78	S 86°29'45" E	44.76'
L79	S 83°27'49" E	27.87'
L80	N 78°58'30" E	29.29'
L81	N 59°40'56" E	47.26'
L82	N 88°47'08" E	129.50'
L83	S 74°10'10" E	66.56'
L84	S 58°23'00" W	68.68'
L85	N 87°30'58" E	132.30'
L86	N 00°29'04" W	126.80'
L87	S 65°56'25" W	175.32'
L88	N 65°56'25" E	175.32'
L89	S 27°17'20" E	193.81'
L90	S 26°51'53" E	18.08'
L91	S 74°10'10" E	121.21'
L92	S 24°01'19" W	67.23'
L93	S 21°09'34" W	100.12'
L94	N 26°53'04" E	100.12'
L95	N 24°01'19" E	82.37'
L96	S 73°18'34" E	43.63'
L97	N 53°49'21" W	125.41'
L98	S 05°44'14" W	14.80'



**PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES**

**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
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- LIGHT POLE
- POWER POLE
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- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE

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2905 Meridian Parkway  
Durham, North Carolina 27713  
License No. C-0285  
(800) 755-5646 • McAdamsCo.com



REVISIONS:


SURVEY FOR:  
WAKEFIELD DEVELOPMENT CO.  
3100 SMOKEFREE COURT,  
SUITE 210  
RALEIGH, NORTH CAROLINA  
27604

**STEEPLECHASE  
(EARP PROPERTY)**  
TOPOGRAPHIC SURVEY

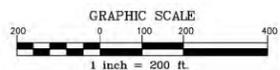
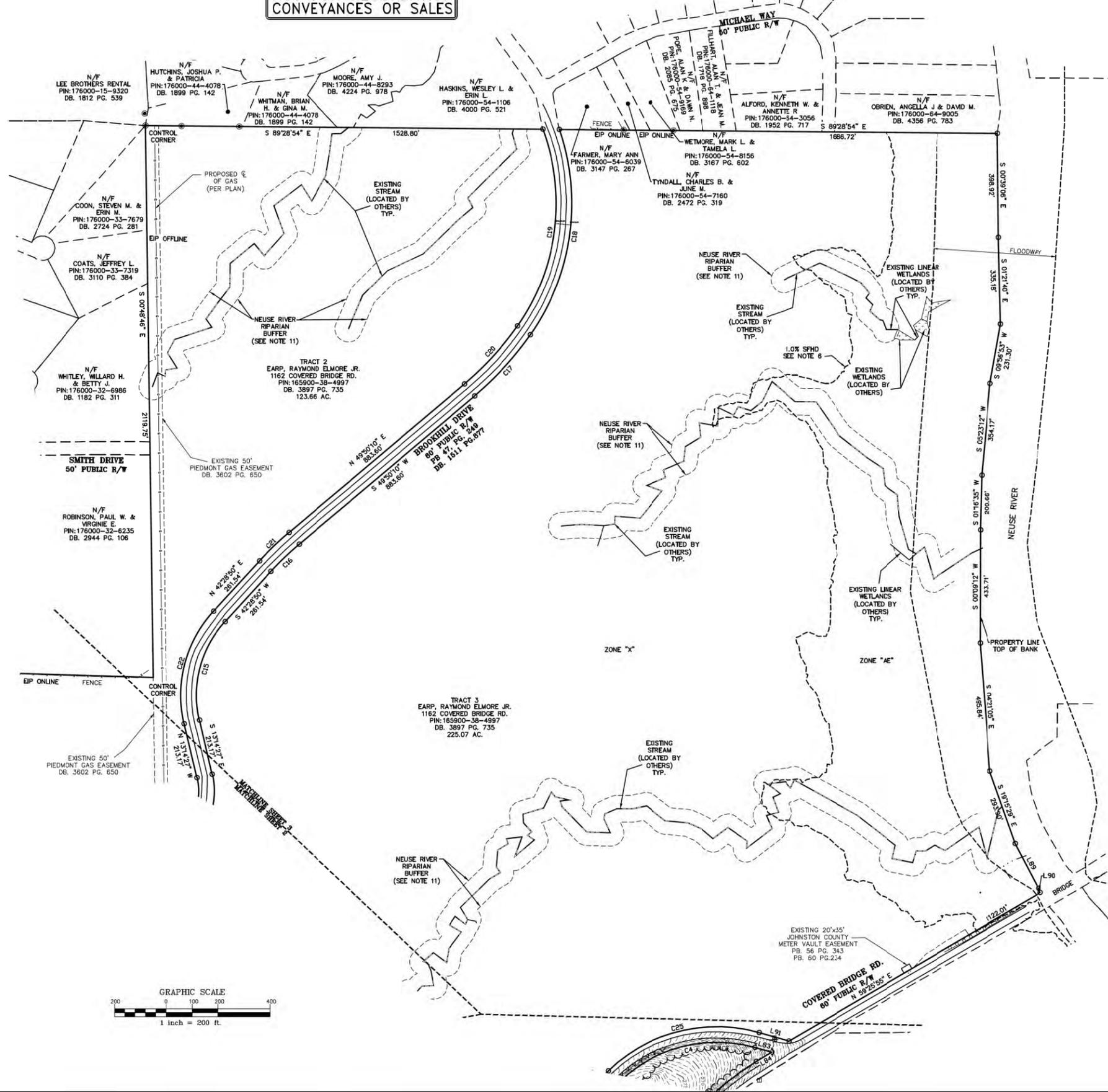
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SURVEYED BY: RTF  
DRAWN BY: JBT  
SCALE: 1"=200'  
DATE: 10-29-2014  
SHEET NO. 2-3

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**GENERAL NOTES**

- SEE SHEET 2 FOR LINE AND CURVE TABLES.
- SEE SHEET 1 FOR GENERAL NOTES.

**PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES**



**LEGEND**

- EXISTING IRON PIPE
  - IRON PIPE SET
  - ▲ CALCULATED POINT
  - ⊙ BORE HOLE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - ⊙ WATER VALVE
  - ⊙ WATER METER
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ TELEPHONE MANHOLE
  - ⊙ ELECTRIC BOX
  - ⊙ LIGHT POLE
  - ⊙ POWER POLE
  - ⊙ CURB INLET
  - ⊙ STORM DRAINAGE MANHOLE
  - ⊙ YARD INLET
- 
- SS — STORM DRAIN PIPE
  - OU — OVERHEAD UTILITY LINES
  - W — WATER LINE
  - SS — SANITARY SEWER LINE
  - T — TELEPHONE LINE
  - G — GAS LINE
  - UE — UNDERGROUND ELECTRIC
  - UT — UNDERGROUND TELEPHONE
  - X — FENCE LINE

NC GRID NAD 83(2011)

THE JOHN R. MCADAMS  
COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
License No.: C-02893  
(800) 755-5646 • McAdamsCo.com



REVISIONS:

NO.	DATE	DESCRIPTION

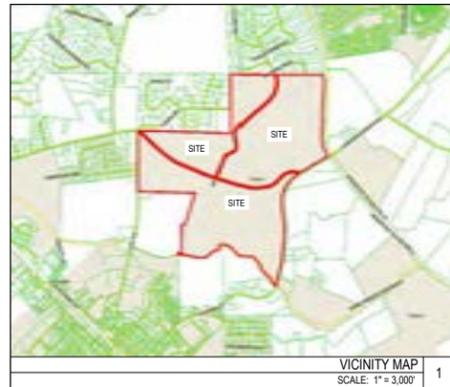
SURVEY FOR:  
WAKEFIELD DEVELOPMENT CO.  
3100 SMOKETREE COURT,  
SUITE 210  
RALEIGH, NORTH CAROLINA  
27604

**STEEPLECHASE  
(EARP PROPERTY)**  
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA  
TOPOGRAPHIC SURVEY

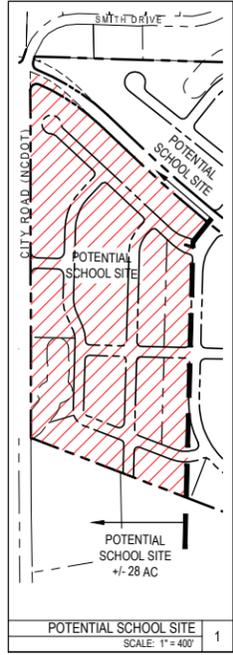
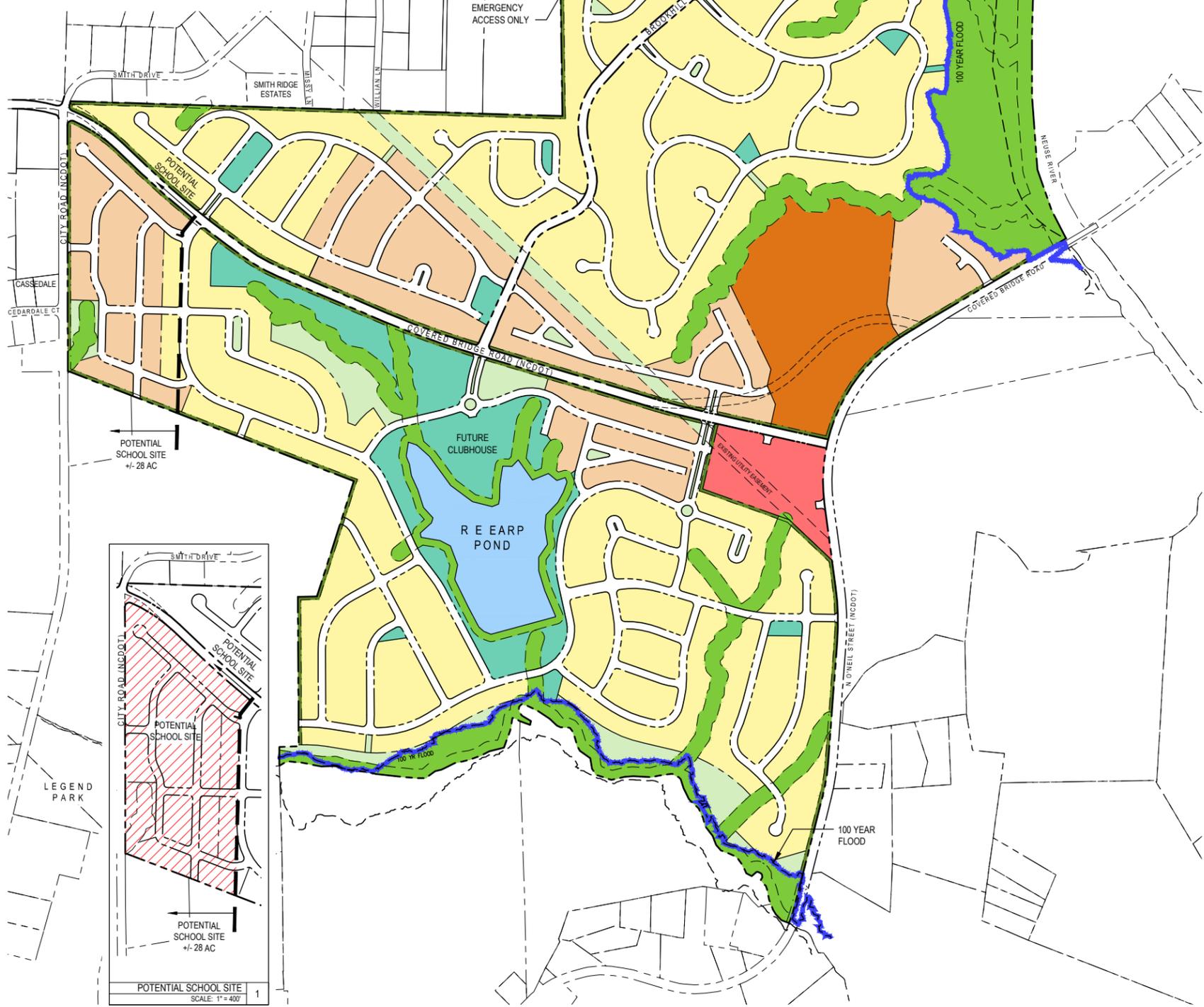
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FILENAME	WDL14000-C1
SURVEYED BY	RTF
DRAWN BY	JBT
SCALE	1"=200'
DATE	10-29-2014
SHEET NO.	3-3



X:\Projects\WDL-14000\Survey\Topographic\WDL14000-C1.dwg, 12/23/2014 11:52:24 AM, Taylor, Jay



VICINITY MAP  
SCALE: 1" = 3,000'



POTENTIAL SCHOOL SITE  
SCALE: 1" = 400'

**SITE DATA:**

SITE ADDRESS:	1162 COVERED BRIDGE ROAD, CLAYTON, JOHNSTON COUNTY, NC 27520
TOWN LIMIT OR ETJ:	WITHIN TOWN OF CLAYTON, TOWN LIMIT
ACREAGE:	27,488,974 SF/631.06 AC (ASSESSED); 27,488,102 SF/631.04 AC (CALC. AREA)
NC PIN NUMBER:	066900-38-4997
PARCEL ID/TAG:	05H02009
TAX UNIQUE ID:	3869846
OWNERS:	NANCY CREWS EARP & MARY EARP WORLEY
OWNERS' ADDRESS:	7230 NC 42 EAST, SELMA, NC 27576
DEED BOOK:	BOOK 03897, PAGE 0735
ZONING(S):	R-8, R-10, NB (B-2)
OVERLAY DISTRICT:	WATERSHED PROTECTION OVERLAY DISTRICT
WATERSHED PROTECTION OVERLAY:	YES (SOUTHEAST PORTION OF THE SITE ONLY)
RESOURCE CONSERVATION AREA:	0 AC
ANNEXATION NUMBER:	N/A
FEMA:	FIRM PANEL - 3720176000J; EFFECTIVE DATE - 12/02/2005
EXISTING USE:	VACANT
EXISTING DENSITY:	0 DU / AC
PROPOSED MAXIMUM D.U.:	2,200
PROPOSED COMMERCIAL MAXIMUM SF:	75,000 SF
PROPOSED DENSITY:	3.49 DU / AC
PROPOSED USE:	RESIDENTIAL AND COMMERCIAL
ELECTRIC PROVIDER:	TOWN OF CLAYTON
WATER PROVIDER:	TOWN OF CLAYTON
SEWER PROVIDER:	TOWN OF CLAYTON
EXISTING IMPERVIOUS AREA:	0 SF / 0 AC / 0 %
PROPOSED IMPERVIOUS AREA:	19,242,281 SF / 441.74 AC / 70%
OVERALL MAXIMUM IMPERVIOUS AREA:	70%



**NOTES:**

1. THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

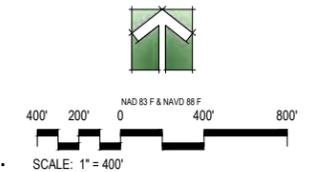
**STREET TREES NOTES:**

1. STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET & MINIMUM OF 40 FEET APART.
2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

**LEGEND:**

	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE OPEN SPACE
	RIPARIAN BUFFERS AND FLOODPLAIN
	20' TYPE "C" PERIMETER BUFFER
	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• SMALL LOT SINGLE FAMILY (DETACHED)</li> <li>• MEDIUM LOT SINGLE FAMILY (DETACHED)</li> <li>• LARGE LOT SINGLE FAMILY (DETACHED)</li> <li>• ATTACHED SINGLE FAMILY</li> </ul>
	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• TOWNHOMES</li> </ul>
	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• CONDOMINIUMS</li> <li>• APARTMENTS / TOWNHOME OPTION</li> </ul>
	COMMERCIAL

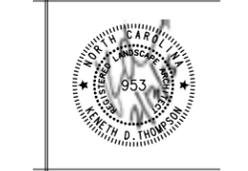
**MASTER PLAN**



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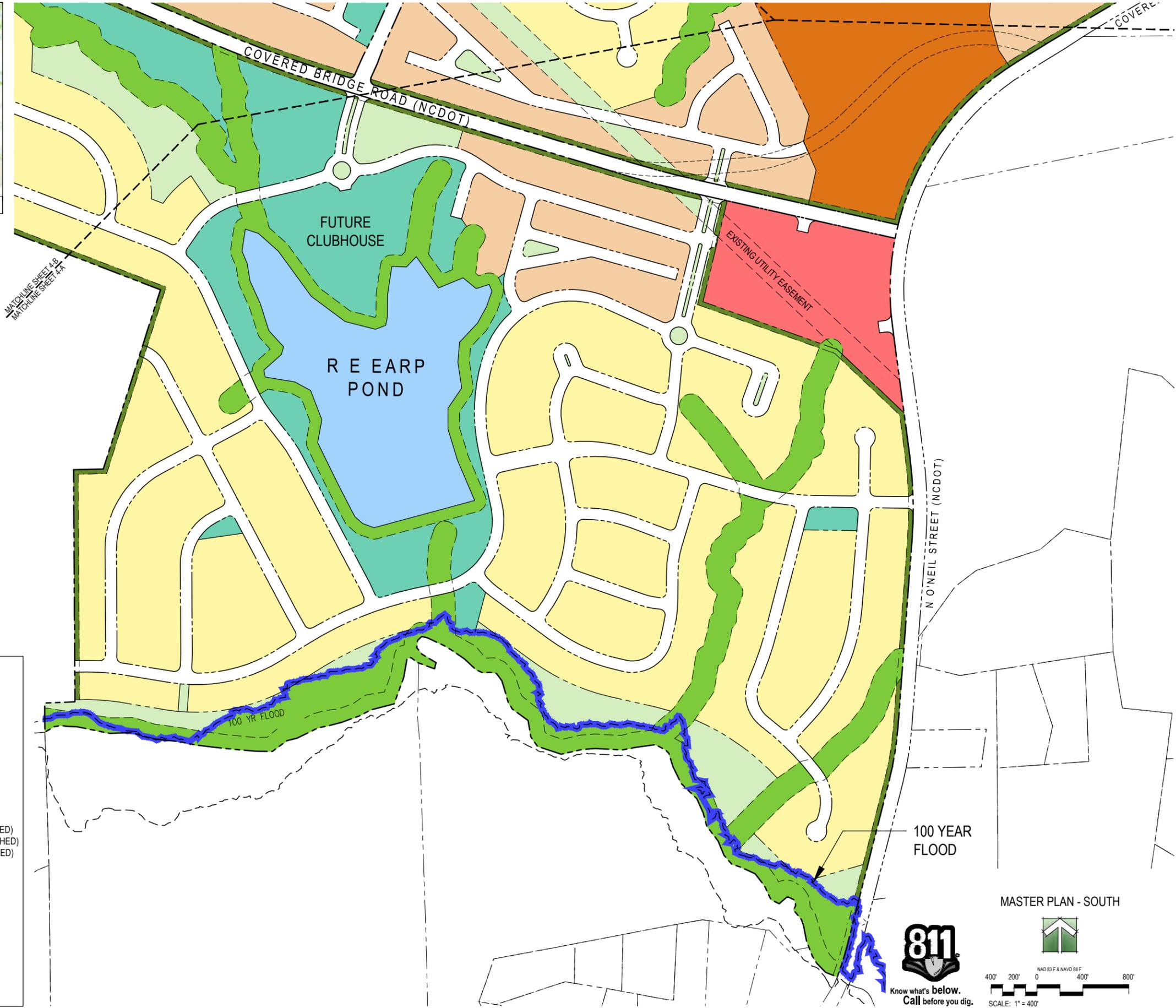
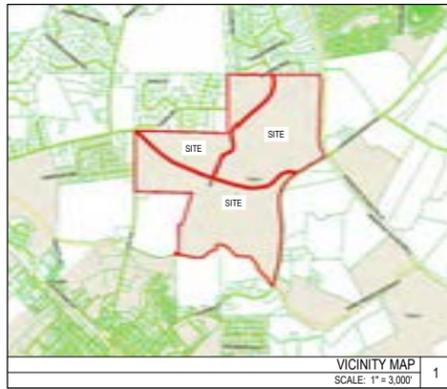
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PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC  
c/o Wakefield Development Company  
**Steeplechase Subdivision**  
1162 Covered Bridge Road  
Clayton, Johnston County, North Carolina 27520



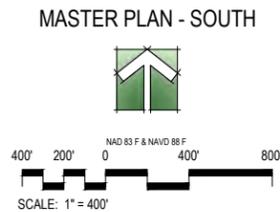
Preliminary Plat  
Review  
(Major Subdivision)  
Not for Construction

PROJECT:	DATE
WDC-14080	10.01.2014
ISSUE: Prelim. Plat (Mjr Sub)	10.01.2014
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4th Review Comments	01.14.2015
5th Review Comments	01.20.2015
6th Review Comments	02.13.2015
7th Review Comments	02.23.2015
DRAWN BY:	KT, SB
CHECKED BY:	KT
CONTENT:	MASTER PLAN



**LEGEND:**

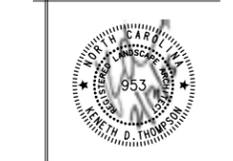
	ACTIVE RECREATIONAL OPEN SPACE
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	20' TYPE "C" PERIMETER BUFFER
	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• SMALL LOT SINGLE FAMILY (DETACHED)</li> <li>• MEDIUM LOT SINGLE FAMILY (DETACHED)</li> <li>• LARGE LOT SINGLE FAMILY (DETACHED)</li> <li>• ATTACHED SINGLE FAMILY</li> </ul>
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	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• CONDOMINIUMS</li> <li>• APARTMENTS / TOWNHOME OPTION</li> </ul>
	COMMERCIAL



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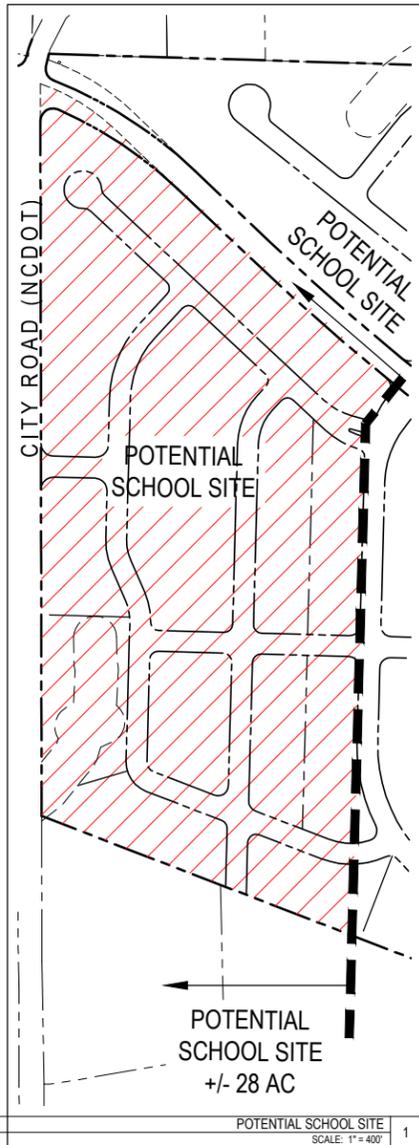
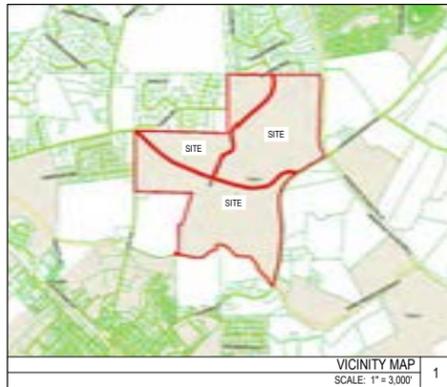
Galaxy NC, LLC  
c/o Wakefield Development Company  
**Steeplechase Subdivision**  
1162 Covered Bridge Road  
Clayton, Johnston County, North Carolina 27520



Preliminary Plat  
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5th Review Comments	01.20.2015
6th Review Comments	02.13.2015
7th Review Comments	02.23.2015
DRAWN BY:	KT, SB
CHECKED BY:	KT
CONTENT:	MASTER PLAN - SOUTH

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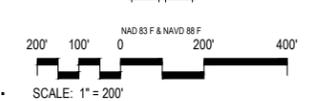


**LEGEND:**

	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE OPEN SPACE
	RIPARIAN BUFFERS AND FLOODPLAIN
	20' TYPE "C" PERIMETER BUFFER
	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• SMALL LOT SINGLE FAMILY (DETACHED)</li> <li>• MEDIUM LOT SINGLE FAMILY (DETACHED)</li> <li>• LARGE LOT SINGLE FAMILY (DETACHED)</li> <li>• ATTACHED SINGLE FAMILY</li> </ul>
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	RESIDENTIAL USE <ul style="list-style-type: none"> <li>• CONDOMINIUMS</li> <li>• APARTMENTS / TOWNHOME OPTION</li> </ul>
	COMMERCIAL



MASTER PLAN - NORTHWEST



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 1162 Covered Bridge Road  
 Clayton, Johnston County, North Carolina 27520

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**Preliminary Plat Review**  
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 Not for Construction

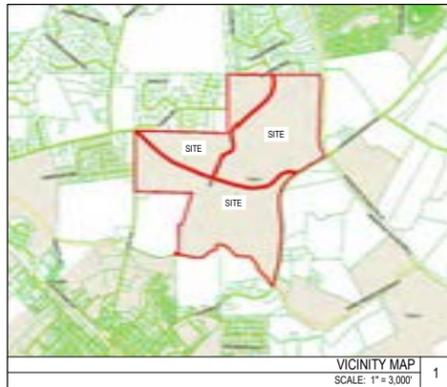
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5th Review Comments		DATE:	01.20.2015
6th Review Comments		DATE:	02.13.2015
7th Review Comments		DATE:	02.23.2015

DRAWN BY: KT, SB  
 CHECKED BY: KT  
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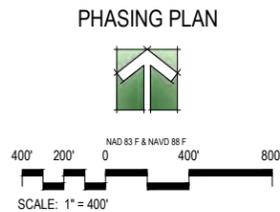
VICINITY MAP  
SCALE: 1" = 3,000'



**NOTES:**  
THE CLUBHOUSE PERMIT SHALL BE REQUIRED PRIOR TO THE 251ST BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.68
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
<b>TOTAL</b>	<b>+/- 637.13</b>

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PHASING PLAN

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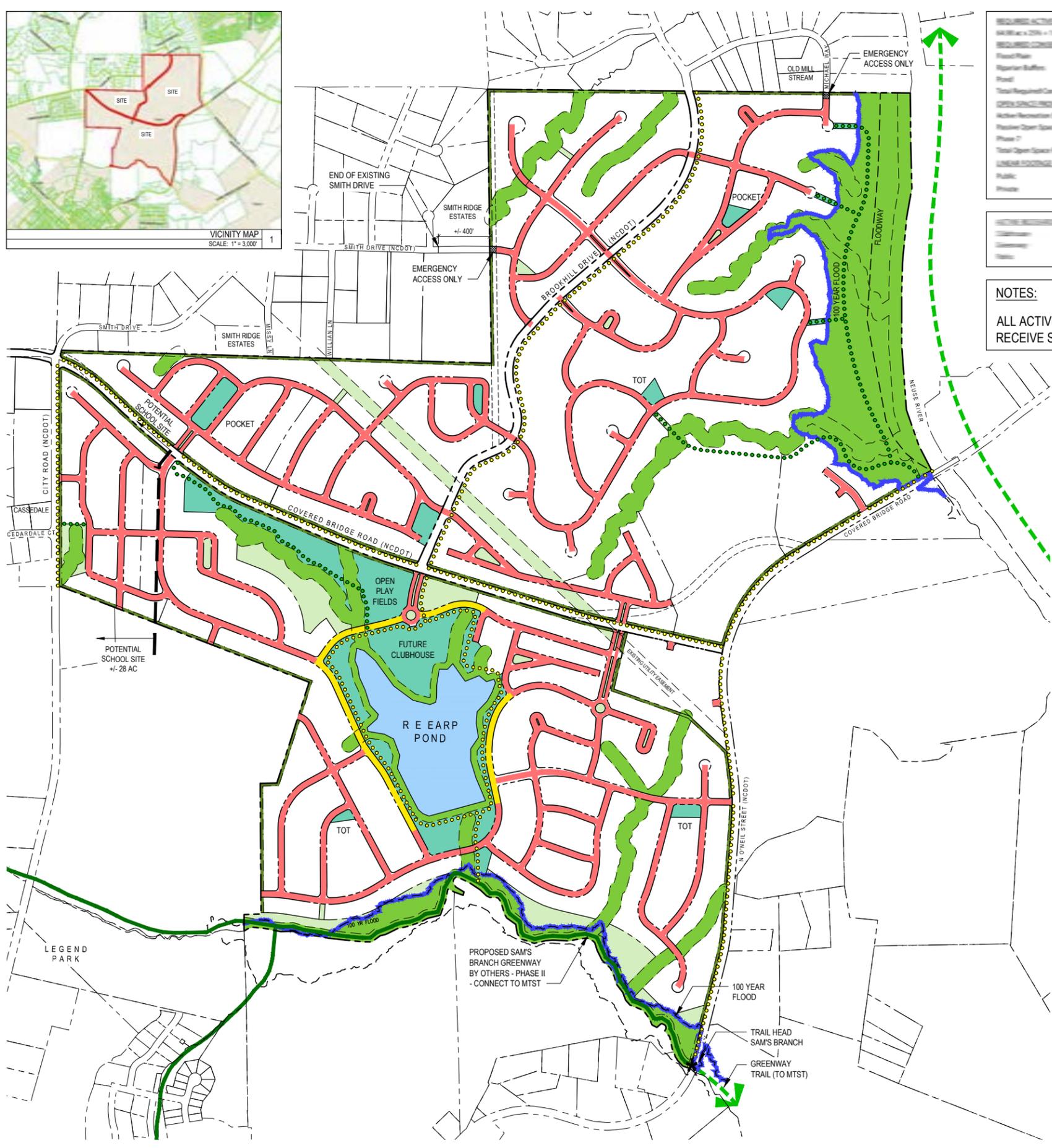
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Preliminary Plat  
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	5th Review Comments	01.20.2015	
	6th Review Comments	02.13.2015	
	7th Review Comments	02.23.2015	
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	PHASING PLAN		

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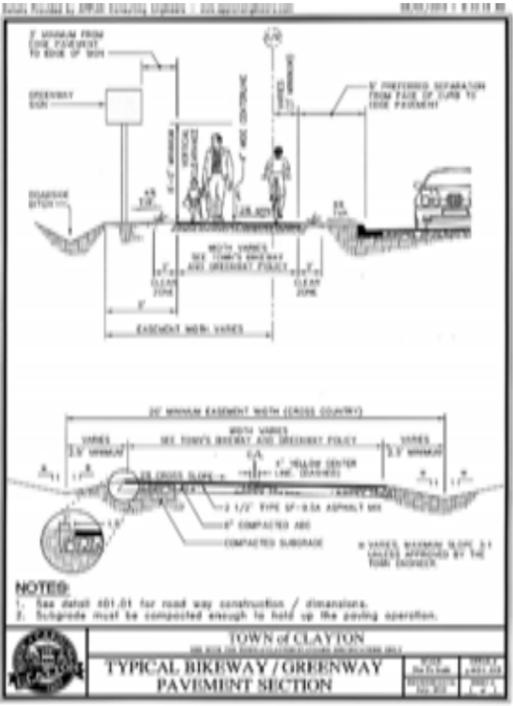
RECREATION & OPEN SPACE	
Area	14.000
Percentage	1.12%
TOTAL RECREATION & OPEN SPACE	
Area	14.000
Percentage	1.12%

TOTAL RECREATION & OPEN SPACE	
Area	14.000
Percentage	1.12%

**NOTES:**  
ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.

**LEGEND:**

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAM'S BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
  - CLAYTON RIVER WALK
  - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
  - COVERED BRIDGE ROAD
  - N. O'NEIL STREET
  - CITY ROAD
  - BROOKHILL DRIVE
- DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY



**RECREATION & OPEN SPACE PLAN**

811 Know what's below. Call before you dig.

Scale: 1" = 400'

Scale bar: 0, 200, 400, 800 feet

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**Preliminary Plat Review**  
(Major Subdivision)  
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PROJECT:	DATE:
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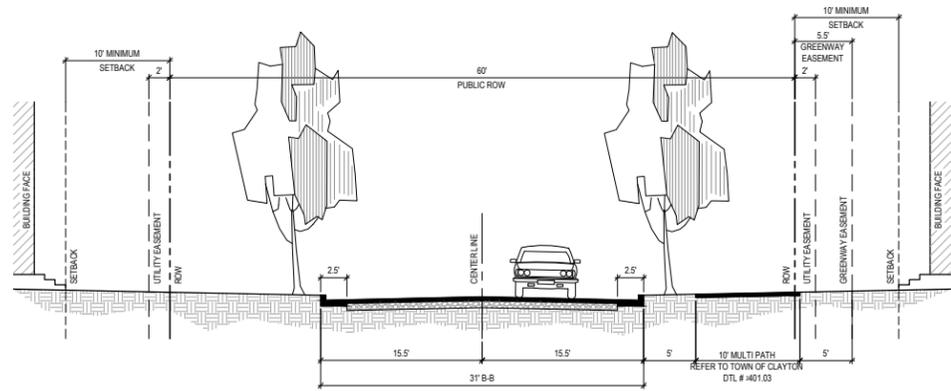
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4th Review Comments	01.14.2015
5th Review Comments	01.20.2015
6th Review Comments	02.13.2015
7th Review Comments	02.23.2015

DRAWN BY: KT, SB  
CHECKED BY: KT  
CONTENT: RECREATION & OPEN SPACE PLAN

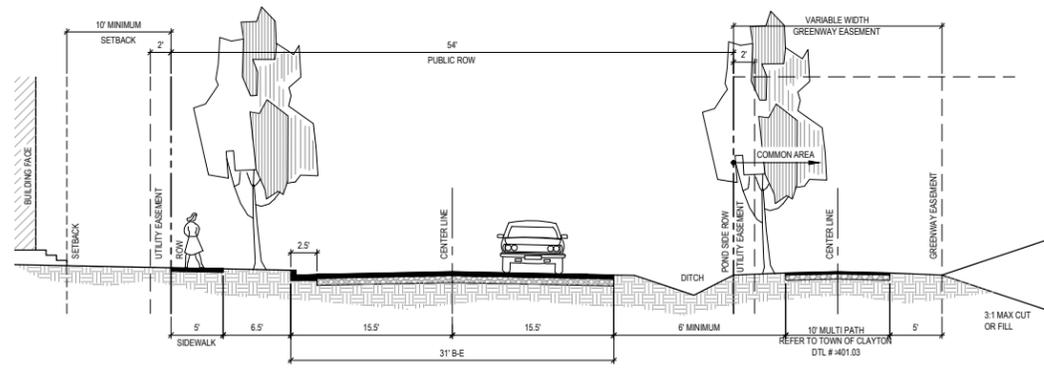
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Page 178 of 239

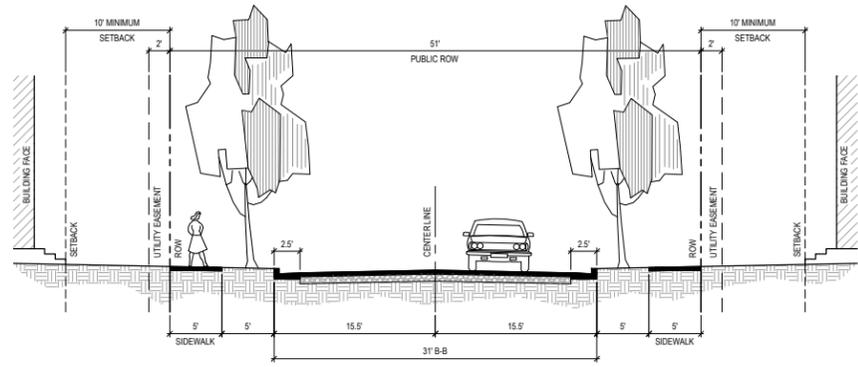




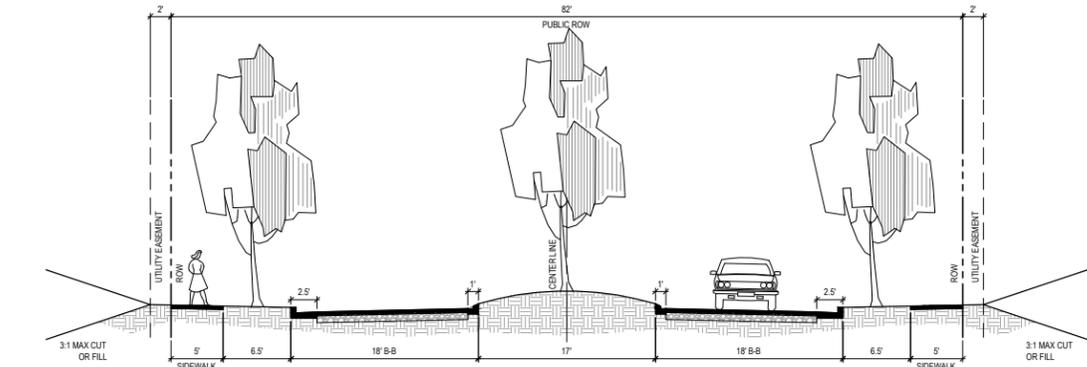
**BROOKHILL DRIVE (NCDOT)**  
SCALE: NTS 1



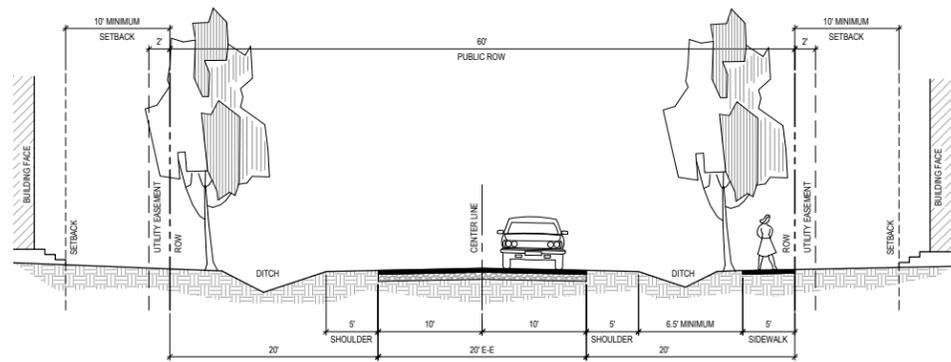
**EARP POND ROAD COLLECTOR**  
SCALE: NTS 2



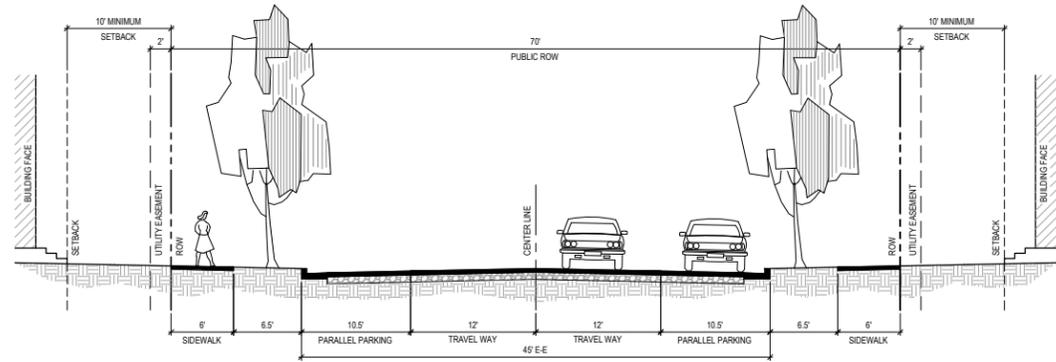
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SCALE: NTS 3



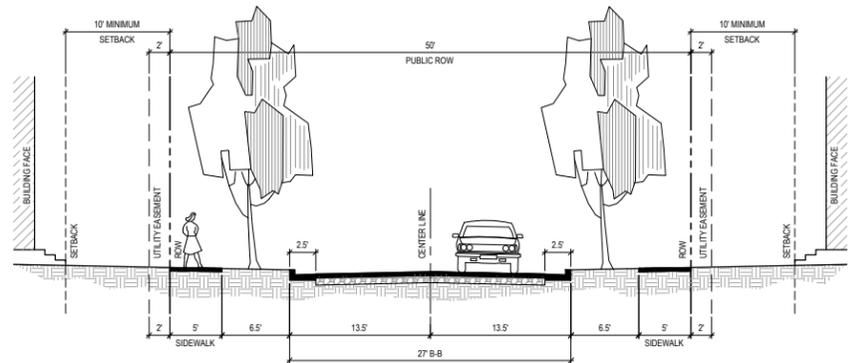
**RESIDENTIAL MAIN ENTRANCE ALTERNATE "C"**  
SCALE: NTS 4



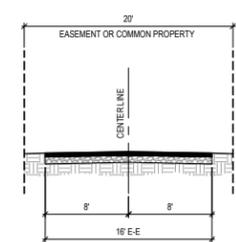
**RESIDENTIAL STREET OPTION "I" - LOW DENSITY OPTION**  
SCALE: NTS 5



**RESIDENTIAL STREET OPTION "II"**  
SCALE: NTS 6



**RESIDENTIAL STREET OPTION "III"**  
SCALE: NTS 7



**ALLEY**  
SCALE: NTS 8

**NOTES:**

- IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON STANDARD VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
- THE ULTIMATE SECTION FOR ALL NCDOT ROADS ON THE PERIMETER OF THE PROJECT WILL BE DETERMINED BASED ON TIA, NCDOT, AND TOWN OF CLAYTON RECOMMENDATIONS.
- DEVELOPER TO PROVIDE 10' MULTIPURPOSE TRAIL IN LIEU OF SIDEWALKS ON CITY ROAD AND N. ONEIL STREET

**STREET TREES NOTES:**

- STREET TREES MUST BE PLACED A MAXIMUM OF 40 FEET ON CENTER OR 50 FEET APART.
- ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

**NOTES**  
SCALE: NTS 9



Preliminary Plat  
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6th Review Comments	02.13.2015
7th Review Comments	02.23.2015
DRAWN BY:	KT, SB
CHECKED BY:	KT
CONTENT:	STREET WAIVER REQUESTS





# Transportation Impact Analysis

## Steeplechase Mixed-Use Development Clayton, NC

Prepared for Galaxy NC, LLC/ CO/  
Wakefield Development Co.  
November 6, 2014

Analysis by: Dionne C. Brown, P.E.

Drafting/Graphics by: Dionne C. Brown, P.E.

Reviewed by: Mary Morgan, P.E.

Sealed by: Dionne C. Brown, P.E.



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**Steeplechase Mixed-Use Development – Transportation Impact Analysis  
Clayton, NC  
Prepared for Galaxy NC, LLC/ CO/ Wakefield Development Co.  
November 6, 2014**

**Executive Summary**

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The site is proposed to have access points on Covered Bridge Road, O'Neil Street and Brookhill Drive. The site plan is shown in Figure 1. This study analyzes two phases for the property's development. Phase 1 is located south of Covered Bridge Road and Phase 2 is located north of Covered Bridge Road and includes the proposed retail uses at the southwest corner of Covered Bridge Road and O'Neil Street.

**Phase 1** development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

**Full Build** development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

**It should be noted that the land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.**

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic. The following intersections were included in the study:

1. Covered Bridge Road at City Road/ Smith Drive
2. Covered Bridge Road at Site Access 1
3. Covered Bridge Road at Brookhill Drive/ Site Access 2
4. Covered Bridge Road at Site Access 3
5. Covered Bridge Road at O'Neil Street
6. O'Neil Street at Site Access 4
7. Covered Bridge Road at Site Access 5
8. Covered Bridge Road at Site Access 6
9. Brookhill Drive at Site Access 7
10. Brookhill Drive at Site Access 8
11. Brookhill Drive at Site Access 9
12. Brookhill Drive at Site Access 10
13. Brookhill Drive at Site Access 11
14. Covered Bridge Road at Shotwell Road

According to the site plan there are an additional five (5) access points along state maintained roads, one (1) on Covered Bridge Road and four (4) on Brookhill Drive. These roads are designed into a network of residential streets that have other outlets to the main corridor. Since the majority of this development is residential and is the primary generator of traffic, it was assumed that the percentage of traffic would be low at these access points. Therefore, the study intersections were narrowed down to the major access points on the state maintained roads.

The study intersections were analyzed during AM (7-9) and PM (4-6) peaks for the following conditions:

- 2014 Existing Conditions
- 2017 Future No Build Conditions
- 2017 Phase 1 Build-Out Conditions
- 2017 Phase 1 Build-Out with Improvements (as necessary)
- 2019 Future No Build Conditions
- 2019 Full Build-Out Conditions
- 2019 Full Build-Out with Improvements (as necessary)

NCDOT was contacted to obtain background information and to ascertain the elements to be covered in this Transportation Impact Analysis (TIA). Information regarding the property was provided by Wakefield Development Co.

## **Phase 1 - Discussion of Results**

The following section discusses 2017 Phase 1 level of service for each intersection.

### **Covered Bridge Road at City Road/ Smith Drive**

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM and PM peak. No improvements are recommended.

### **Covered Bridge Road at Site Access 1**

In Phase 1 Build conditions, this intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

### **Covered Bridge Road at Brookhill Drive/ Site Access 2**

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM peak and LOS D in the PM peak. No improvements are recommended.

### **Covered Bridge Road at Site Access 3**

This intersection is expected to operate at LOS C in the AM and PM peaks during Phase 1 future build conditions. Based on projected volumes, an eastbound right turn lane and westbound left turn lane will be warranted on Covered Bridge Road. In order to facilitate turning movements in and out of this site access, the following improvements are recommended:

- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Provide westbound left turn lane with 100 feet of storage and appropriate taper
- Provide northbound right turn lane with 100 feet of storage and appropriate taper

With these improvements, this intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak.

### **Covered Bridge Road at O'Neil Street**

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. This LOS F condition is due to a lack of sufficient gaps for left-turning vehicles from the stop-controlled approach, which is the result of conflicting traffic volumes on O'Neil Street. With the addition of Phase 1 site traffic, LOS D is expected in the AM peak and LOS F in the PM peak.

This intersection is anticipated to operate at a deficient level of service regardless of the proposed development. In order to improve the operation of this intersection, the following improvements are recommended:

- Provide northbound left turn lane with 100 feet of storage and appropriate taper
- Provide southbound right turn lane with 100 feet of storage and appropriate taper
- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Realignment as depicted in the site plan

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak, reducing the AM delay by 9.7 seconds and the PM delay by 125.6 seconds. The LOS F condition is anticipated to be limited to the peak hour and the SimTraffic model results indicate that there are no queuing issues.

#### **O'Neil Street at Site Access 4**

In Phase 1 Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

#### **Covered Bridge Road at Shotwell Road**

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS E in the AM peak and LOS F in the PM peak. With the addition of Phase 1 site traffic, LOS F is expected in the AM and PM peaks.

As further discussed in the report, the existing traffic volumes at this intersection indicate that a signal is currently warranted. Therefore, in order to improve the operation and safety of this intersection, the following improvements are recommended:

- Signalize the intersection
- Provide northbound right turn lane with 200 feet of storage and appropriate taper
- Provide southbound left turn lane with 200 feet of storage and appropriate taper
- Restripe westbound lane to provide right turn lane with 100 feet of storage

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS B in the PM peak.

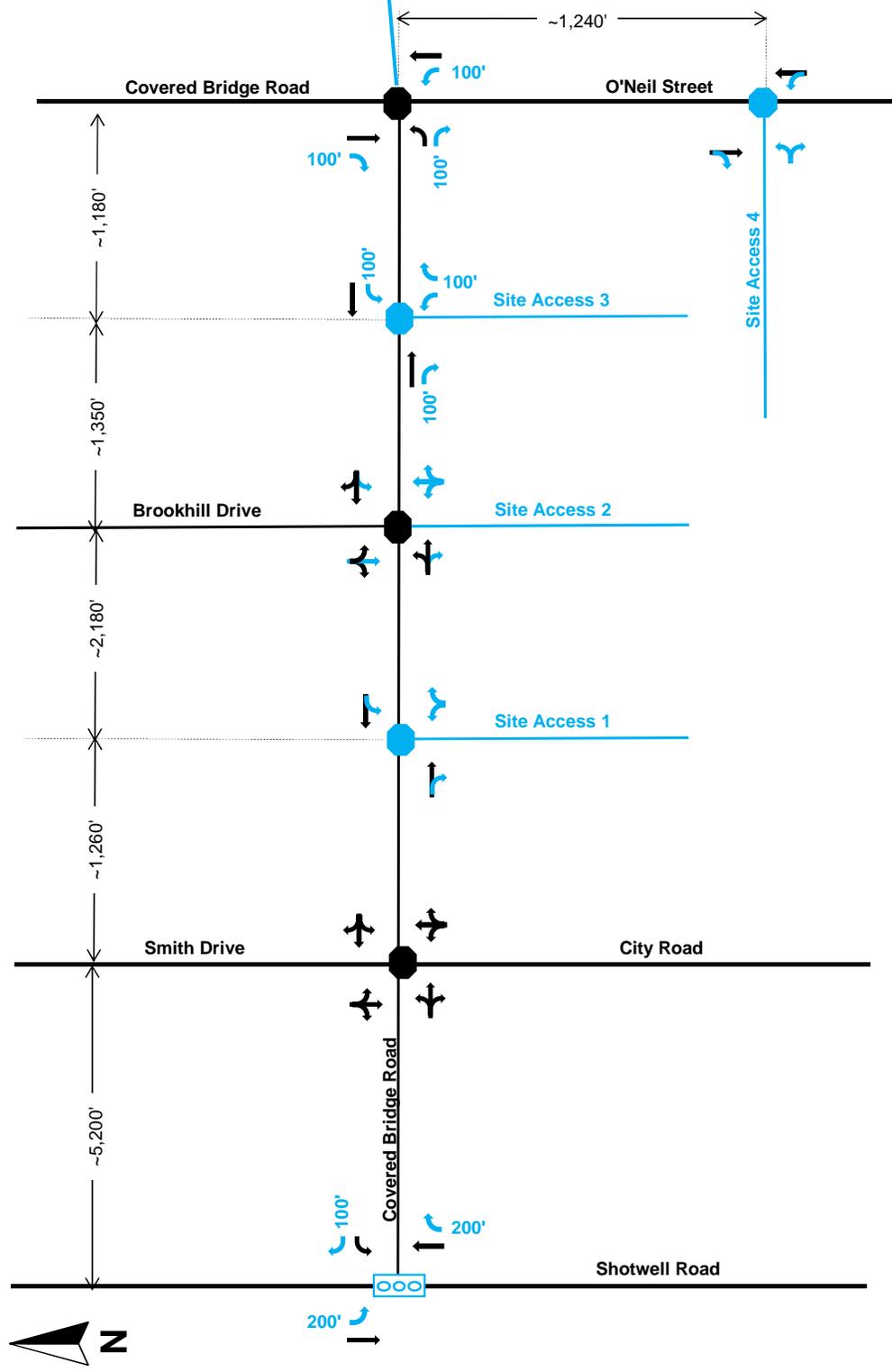
Improvements are illustrated in Figure 9 for Phase 1.

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
BLACK	= EXISTING
GREY	= UNANALYZED
BLUE	= PROPOSED

**FIGURE 9**  
**PHASE 1 BUILD**  
**RECOMMENDED**  
**IMPROVEMENTS**

STEEPLECHASE MIXED-USE DEVELOPMENT

PROJECT NUMBER 14-425



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## Phase 1 Level of Service Summary

Table A presents the summary of the level of service analysis for all study intersections.

<b>Table A - Level of Service Summary – Phase 1 Build Conditions</b>				
AM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (12.8) SB Approach	C (18.8) SB Approach	
Covered Bridge Road at Site Access 1			C (17.4) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.3) SB Approach	C (21.8) NB Approach	
Covered Bridge Road at Site Access 3			C (15.7) NB Approach	B (13.9) NB Approach
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (18.0) EB Approach	D (27.1) EB Approach	C (17.4) EB Approach
O'Neil Street at Site Access 4			B (12.6) EB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	E (40.5) WB Approach	F (266.0) WB Approach	C (23.5) Signalized
PM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.1) NB Approach	C (18.4) SB Approach	
Covered Bridge Road at Site Access 1			C (21.3) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.3) SB Approach	D (31.6) NB Approach	
Covered Bridge Road at Site Access 3			C (20.2) NB Approach	C (16.9) NB Approach
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (104.1) EB Approach	F (254.7) EB Approach	F (129.1) EB Approach
O'Neil Street at Site Access 4			B (14.5) EB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (50.9) WB Approach	F (426.5) WB Approach	B (16.4) Signalized
LOS (delay in seconds)				
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay				

## **Full Build Discussion of Results**

The following section discusses 2019 Full Build level of service for each intersection.

### **Covered Bridge Road at City Road/ Smith Drive**

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peak. This LOS F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. Therefore, no improvements are recommended.

### **Covered Bridge Road at Site Access 1**

In Full Build conditions, this intersection is expected to operate at LOS E in the AM peak and LOS F in the PM. The LOS E/F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. In addition, site traffic will have the opportunity to utilize other site access points, including signals, which will serve as a relief valve should the delay be excessive. Therefore, no improvements are recommended.

### **Covered Bridge Road at Brookhill Drive/ Site Access 2**

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peaks. In order to improve the operation of this intersection, it is recommended to:

- Signalize the intersection
- Provide an eastbound left turn lane of 400 feet of storage with appropriate taper
- Provide a westbound left turn lane of 150 feet of storage with appropriate taper
- Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper
- Provide a southbound full storage for left turn and through-right turn lanes

With these improvements, it is expected to operate at LOS D in the AM and PM peaks.

### **Covered Bridge Road at Site Access 3**

With the recommended improvement in place from Phase 1, this intersection is expected to operate at LOS C in the AM peak and LOS D in the PM peak. No additional improvements are recommended.

### **Covered Bridge Road at O'Neil Street**

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. With the addition of Full Build site traffic, LOS E is expected in the AM peak and LOS F in the PM peak with the improvements in place from Phase 1. It is recommended to signalize this intersection in order to accommodate future traffic volumes.

With this improvement, this intersection is expected to operate at LOS B in the AM and PM peaks.

### **O'Neil Street at Site Access 4**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

### **Covered Bridge Road at Site Access 5**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

### **Covered Bridge Road at Site Access 6**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS D in the AM peak and LOS E in the PM peak. A LOS E is typical for minor streets at unsignalized intersections, but delays are expected to be minimal. Therefore, no improvements are recommended.

### **Brookhill Drive at Site Access 7**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

### **Brookhill Drive at Site Access 8**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS A in the PM peak. No improvements are recommended.

### **Brookhill Drive at Site Access 9**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

### **Brookhill Drive at Site Access 10**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

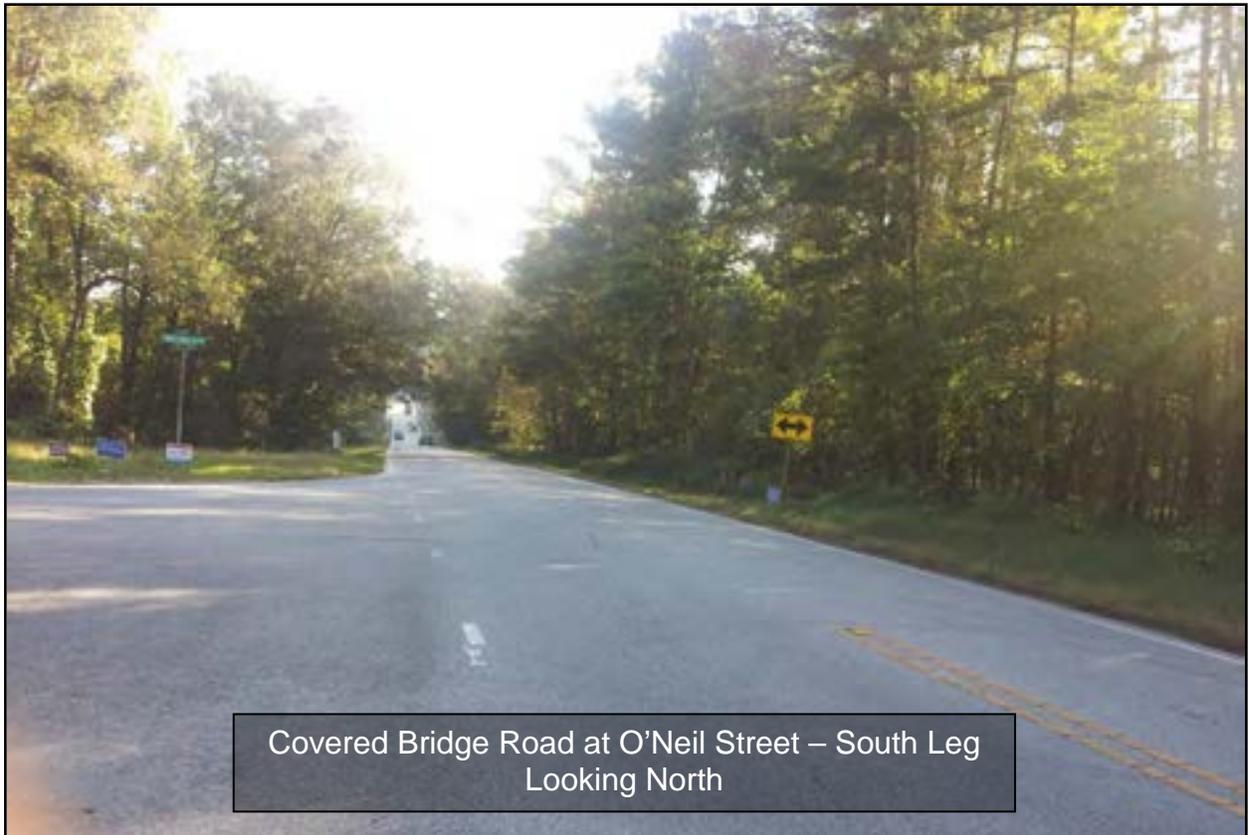
### **Brookhill Drive at Site Access 11**

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

### **Covered Bridge Road at Shotwell Road**

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS F in the AM and PM peaks. With the recommended improvements in place from Phase 1, this intersection is expected to operate at LOS D in the AM peak and LOS C in the PM peak.

Improvements are illustrated in Figure 14 for Full Build.



Covered Bridge Road at O'Neil Street – South Leg  
Looking North

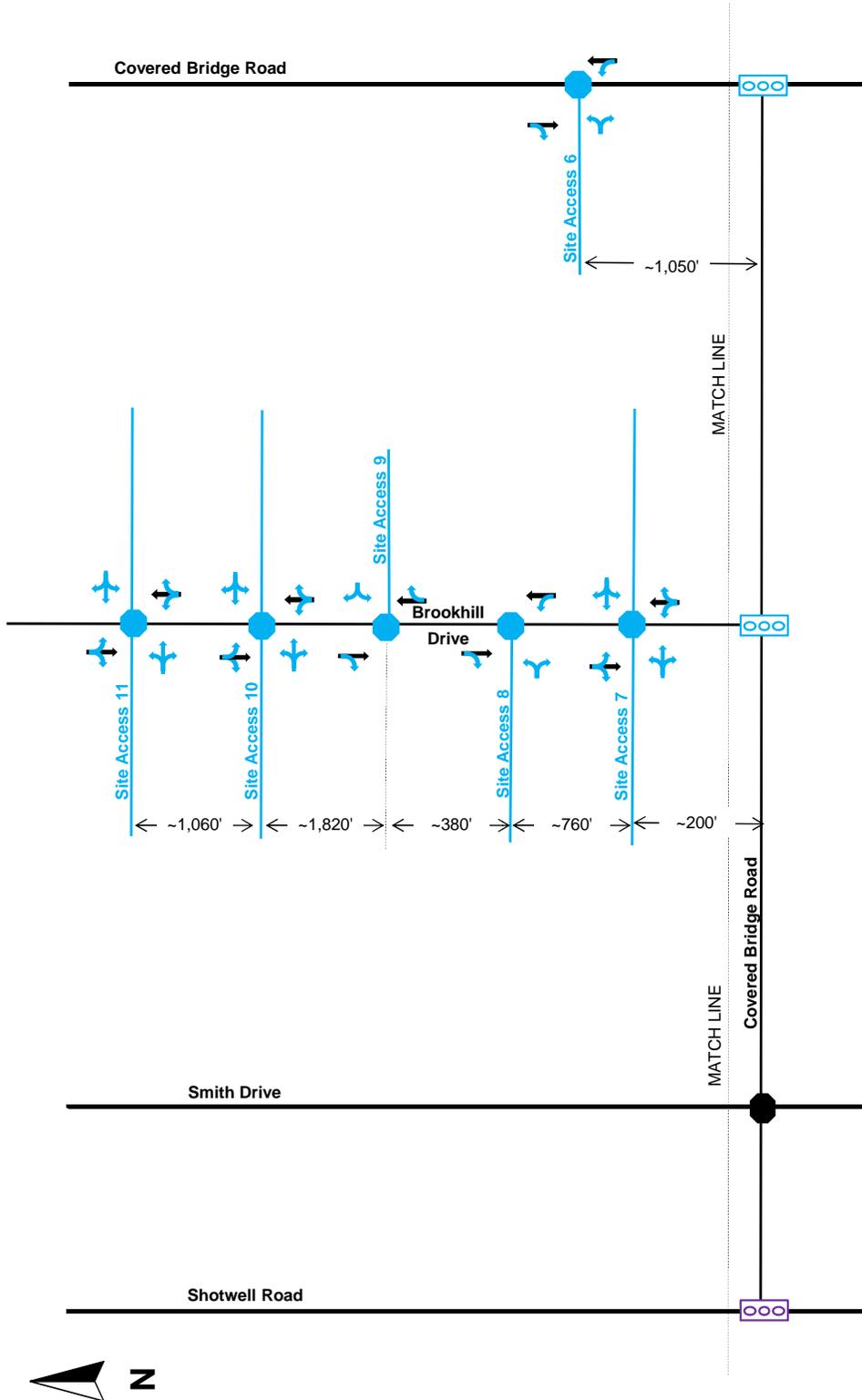


LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	PURPLE = PHASE 1
	BLUE = PROPOSED

FIGURE 14  
FULL BUILD  
RECOMMENDED  
IMPROVEMENTS

STEEPLECHASE MIXED-USE  
DEVELOPMENT

PROJECT NUMBER 14-425



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### Full Build Level of Service Summary

Table B presents the summary of the level of service analysis for all study intersections.

<b>Table B - Level of Service Summary – Full Build Conditions</b>				
AM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (13.1) SB Approach	F (50.8) SB Approach	
Covered Bridge Road at Site Access 1			E (42.5) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.5) SB Approach	F (Err) NB Approach	D (44.5) Signalized
Covered Bridge Road at Site Access 3			C (17.5) NB Approach	
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (19.0) EB Approach	E (37.9) EB Approach	B (12.9) Signalized
O'Neil Street at Site Access 4			B (13.1) EB Approach	
Covered Bridge Road at Site Access 5			B (14.7) SB Approach	
Covered Bridge Road at Site Access 6			D (31.1) EB Approach	
Brookhill Drive at Site Access 7			C (15.7) WB Approach	
Brookhill Drive at Site Access 8			B (10.5) EB Approach	
Brookhill Drive at Site Access 9			B (11.2) WB Approach	
Brookhill Drive at Site Access 10			B (11.6) WB Approach	
Brookhill Drive at Site Access 11			B (10.3) WB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	F (50.5) WB Approach	D (44.5) Signalized	

LOS (delay in seconds)  
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

**Table B - Level of Service Summary – Full Build Conditions cont.**

PM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.4) NB Approach	F (61.5) SB Approach	
Covered Bridge Road at Site Access 1			F (66.7) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.6) SB Approach	F (Err) NB Approach	D (41.1) Signalized
Covered Bridge Road at Site Access 3			D (33.8) NB Approach	
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (139.1) EB Approach	F (406.3) EB Approach	B (18.5) Signalized
O'Neil Street at Site Access 4			C (15.1) EB Approach	
Covered Bridge Road at Site Access 5			C (17.8) SB Approach	
Covered Bridge Road at Site Access 6			E (48.5) EB Approach	
Brookhill Drive at Site Access 7			C (17.4) WB Approach	
Brookhill Drive at Site Access 8			A (9.3) EB Approach	
Brookhill Drive at Site Access 9			B (11.7) WB Approach	
Brookhill Drive at Site Access 10			B (12.5) WB Approach	
Brookhill Drive at Site Access 11			B (10.9) WB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (64.7) WB Approach	C (21.7) Signalized	

LOS (delay in seconds)

Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

## Summary and Conclusion

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic.

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

This study analyzes two phases for the property's development:

**Phase 1** development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

**Full Build** development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

Table C on the following page summarizes the recommended improvements for each Phase. Improvements are illustrated in Figure 9 and Figure 14 for Phase 1 and Full Build, respectively.

In conclusion, this study has reviewed the impacts of both background traffic and this development traffic, and has determined that with the recommended improvements in place, there will be adequate capacity to accommodate future traffic. The final design of these improvements will need to be coordinated during the site plan approval process.

Please note that all accesses to the site are required to be constructed to NCDOT standards where applicable.

**Table C - Recommended Improvement Summary**

Intersection	Phase 1	Full Build
Covered Bridge Road at Brookhill Drive/ Site Access 2	No improvements	<ul style="list-style-type: none"> <li>• Signalize intersection</li> <li>• Provide eastbound left turn lane of 400 feet of storage with appropriate taper</li> <li>• Provide westbound left turn lane of 150 feet of storage with appropriate taper</li> <li>• Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper</li> <li>• Provide a southbound full storage for left turn and through-right turn lanes</li> </ul>
Covered Bridge Road at Site Access 3	<ul style="list-style-type: none"> <li>• Provide eastbound right turn lane of 100 feet of storage with appropriate taper</li> <li>• Provide westbound left turn lane of 100 feet of storage with appropriate taper</li> <li>• Provide separate northbound right turn lane of 100 feet of storage with appropriate taper</li> </ul>	No additional improvements
Covered Bridge Road at O'Neil Street	<ul style="list-style-type: none"> <li>• Provide northbound left turn lane of 100 feet of storage with appropriate taper</li> <li>• Provide southbound right turn lane of 100 feet of storage with appropriate taper</li> <li>• Provide eastbound right turn lane of 100 feet of storage with appropriate taper</li> <li>• Realignment as depicted in site plan</li> </ul>	<ul style="list-style-type: none"> <li>• Signalize intersection</li> </ul>
Covered Bridge Road at Shotwell Road	<ul style="list-style-type: none"> <li>• Signalize intersection</li> <li>• Provide northbound left turn lane of 200 feet of storage with appropriate taper</li> <li>• Provide southbound right turn lane of 200 feet of storage with appropriate taper</li> <li>• Restripe westbound lane to provide right lane with 100 feet of storage and appropriate taper</li> </ul>	No additional improvements

**\*All other intersections require no improvements**



STATE OF NORTH CAROLINA  
**DEPARTMENT OF TRANSPORTATION**



TRANSPORTATION MOBILITY AND SAFETY DIVISION  
 TRAFFIC MANAGEMENT UNIT  
 CONGESTION MANAGEMENT SECTION

January 20, 2015

**Traffic Impact Analysis Review Report**  
**Steeplechase Development**

**TIA Project:** SC-2014-064  
**Division:** 4  
**County:** Johnston  
**Description:** Steeplechase Development on SR 1700 (Covered Bridge Rd) at SR 1708 (O'Neal St) in Clayton



**BenJetta L. Johnson, P. E.**  
 Congestion Management Regional Engineer  
**Solomon Mengesha**  
 Congestion Management Project Design Engineer

## Steeplechase Development

SC-2014-064	Johnston County	01/20/2015
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Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data presented in the sealed Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	11/19/2014	Date of Site Plan Prepared by Galaxy NC, LLC	10/01/2014
Date of Complete Information for Project Received by CMS	12/02/2014		
Date of Preliminary Review Letter Accepting TIA for Review	12/04/2014	Date of Sealed TIA Prepared by Davenport Engineering	11/18/2014

### Proposed Development

According to the TIA, the proposed Steeplechase Mixed-Use Development is to be located on SR 1700 (Covered Bridge Rd) in Johnston County. The TIA states the development is to be constructed in two phases.

Phase 1 is to be constructed by 2017 and is to consist of the following:

Land Use	Land Use Code	Size
Single Family Detached Housing	210	498 Dwelling Unit
Townhomes/Condos	230	320 Dwelling Unit

Phase 2 is to be constructed by 2019 and is to consist of the following: (Total Build-out)

Land Use	Land Use Code	Size
Apartments	220	344 Dwelling Unit
Single Family Detached Housing	210	1,118 Dwelling Unit
Townhomes/Condos	230	643 Dwelling Unit
Shopping Center	820	25,000 Square Feet

#### Trip Generation – Phase 1 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9<sup>th</sup> Ed.*

	IN	OUT	TOTAL
<b>AM Peak Hour</b>	112	377	489
<b>PM Peak Hour</b>	386	216	602
<b>Daily Trips</b>			<b>6,369</b>

#### Trip Generation – Phase 2 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9<sup>th</sup> Ed.*

	IN	OUT	TOTAL
<b>AM Peak Hour</b>	313	947	1,260
<b>PM Peak Hour</b>	1,016	628	1,644
<b>Daily Trips</b>			<b>17,892</b>

Requested Access Points		
Driveway	Public Roadway	Access Type
1	SR 1700 (Covered Bridge Rd)	All-Movement
2	SR 1700 (Covered Bridge Rd)	All-Movement
3	SR 1700 (Covered Bridge Rd)	All-Movement
4	O'Neil Street	All-Movement
5	SR 1700 (Covered Bridge Rd)	All-Movement
6	SR 1700 Covered Bridge Rd)	All-Movement
7	Brookhill Drive	All-Movement (Denied)
8	Brookhill Drive	All-Movement
9	Brookhill Drive	All-Movement
10	Brookhill Drive	All-Movement
12	Brookhill Drive	All-Movement

**TIP Projects in Study Area**  
 None In Area

**Strategic Highway Corridors**  
 None In Area

**TIA Comments**  
 The following items vary from our recommended practices:

- Cycle lengths used for one or more intersections were below the minimums recommended without further clarification or justification. Determination of the number of signal phases should follow NCDOT Signals and Geometrics procedures.
- For future analyses, the PEF should include a small amount of traffic where movement volumes are listed as zero. Otherwise Synchro will consider that movement a non-permissible movement.

**General Reference**  
 For reference to various documents applicable to this review please reference the following link: <http://www.ncdot.org/doh/preconstruct/traffic/teppi/Topics/C-37/C-37.html>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section at (919) 773-2800.

**Recommendations**

**LEGEND**

① Improvement by Developer. Congestion Management concurs with recommendation.  
 ② Improvement by Developer. Additional or modified recommendations.

### Phase 1 Scenario

#### SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
  - 100' Right-Turn Lane ①
- **NB O'Neil Street**
  - 100' Left-Turn Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
  - 100' Right-Turn Lane ①

#### SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
  - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
  - Three-Lane Cross-Section: One Ingress, Two Egresses ①
  - Egress: Left-Turn Lane, Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru/Right Lane to Shared Left/Thru/Right Lane ①
- **NB Site Driveway #2**
  - Three-Lane Cross-Section: One Ingress, Two Egresses ②
  - Egress: Left-Turn Lane, Thru/Right-Turn Lane ②
  - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

#### SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Left/Thru Lane ①
- **NB Site Driveway #1**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

New Signal

- **WB SR 1700 (Covered Bridge Rd)**
  - 200' Right-Turn Lane ②

- **NB SR 1553 (Shotwell Rd)**
  - 200' Right-Turn Lane ①
- **SB SR 1553 (Shotwell Rd)**
  - 200' Left-Turn Lane ①

#### O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
  - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB O'Neil Street**
  - 50' Right-Turn Lane ②
- **EB Site Driveway #4**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### Phase 2 (Full Build-Out) Scenario

#### SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

##### New Signal

- **EB SR 1700 (Covered Bridge Rd)**
  - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
  - 100' Right-Turn Lane ①
- **NB O'Neil Street**
  - 100' Left-Turn Lane ①
  - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1700 (Covered Bridge Rd)**
  - 100' Right-Turn Lane ①

#### SR 1700 (Covered Bridge Rd) and Site Driveway #5 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #5**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
  - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
  - Three-Lane Cross-Section: One Ingress, Two Egresses ①
  - Egress: Left-Turn Lane, Right-Turn Lane ①
  - 100' Internal Protected Stem ②

**SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection**

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
  - Dual 250' (Each) Left-Turn Lane ②
  - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - 150' Left-Turn Lane ①
- **NB Site Driveway #2**
  - Three-Lane Cross-Section: One Ingress, Two Egresses ①
  - Egress: Left-Turn Lane, Thru/Right-Turn Lane ①
  - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
  - 100' Left-Turn Lane ②
  - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
  - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

**SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection**

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the NB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **NB Site Driveway #1A**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right-Turn Lane ①
  - 100' Internal Protected Stem ②
- **SB Site Driveway #1B**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

**SR 1700 (Covered Bridge Rd) and SR 1709 (City Rd)/Smith Dr Intersection**

- **WB SR 1700 (Covered Bridge Rd)**
  - 50' Left-Turn Lane ②

**SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection**

- **WB SR 1700 (Covered Bridge Rd)**
  - 200' Right-Turn Lane ②
  - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
- **NB SR 1553 (Shotwell Rd)**
  - 200' Right-Turn Lane ①
  - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1553 (Shotwell Rd)**
  - 200' Left-Turn Lane ①

#### O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
  - 50' Right-Turn Lane ②
- **SB O'Neil Street**
  - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #4**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### SR 1700 (Covered Bridge Rd) and Site Driveway #6 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **NB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
  - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #6**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### Brookhill Drive and Site Driveway #7 Intersection

Deny Driveway/Access

- Due to the close proximity to Brookhill Drive and SR 1700 (Covered Bridge Rd) signalized intersection, we recommend denying this Site Driveway ②

#### Brookhill Drive and Site Driveway #8 Intersection

- **NB Brookhill Drive**
  - 50' Left-Turn Lane ②
- **SB Brookhill Drive**
  - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #8**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

#### Brookhill Drive and Site Driveway #9 Intersection

- **NB Brookhill Drive**
  - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
  - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB Site Driveway #9**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Right-Turn Lane ①
  - 100' Internal Protected Stem ②

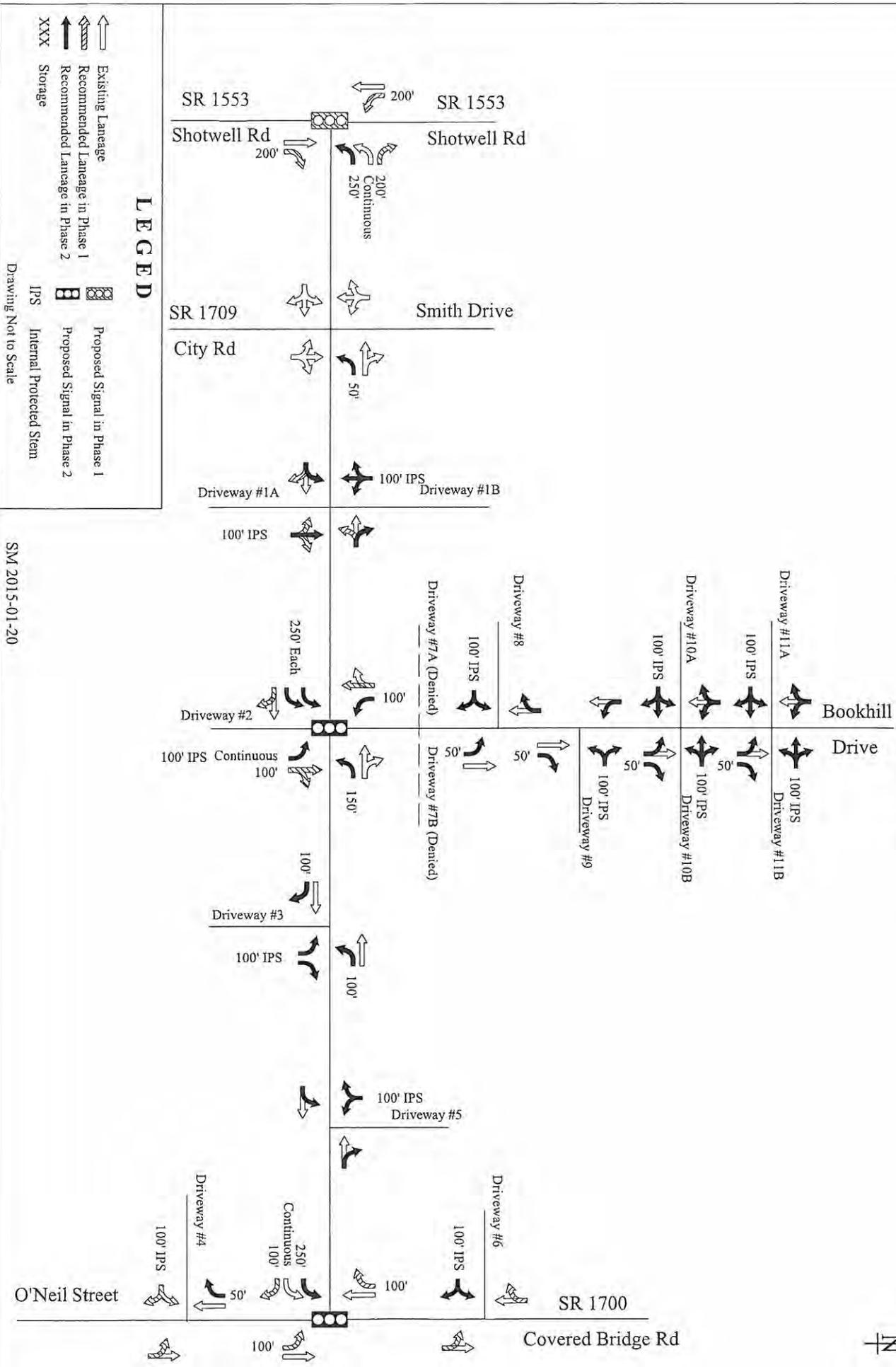
#### Brookhill Drive and Site Driveway #10 Intersection

- **NB Brookhill Drive**
  - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
  - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #10A**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right Lane ①
  - 100' Internal Protected Stem ②
- **WB Site Driveway #10B**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right Lane ①
  - 100' Internal Protected Stem ②

#### Brookhill Drive and Site Driveway #11 Intersection

- **NB Brookhill Drive**
  - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
  - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #11A**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right Lane ①
  - 100' Internal Protected Stem ②
- **EB Site Driveway #11B**
  - Two-Lane Cross-Section: One Ingress, One Egress ①
  - Egress: Left/Thru/Right Lane ①
  - 100' Internal Protected Stem ②

# Steeplechase Mixed Use Development SC-2014-064



## LEGEND

- Existing Laneage
  - Recommended Laneage in Phase 1
  - Recommended Laneage in Phase 2
  - Proposed Signal in Phase 1
  - Proposed Signal in Phase 2
  - IPS
  - Internal Protected Stem
  - Storage
- Drawing Not to Scale

SM 2015-01-20



STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY  
GOVERNOR

ANTHONY J. TATA  
SECRETARY

January 29, 2015

**DELIVERY VIA EMAIL**

David L. DeYoung, AICP  
Planning Director - Town of Clayton  
PO Box 879  
Clayton, NC 27528

COUNTY: Johnston

SUBJECT: **Preliminary TIA Review of Steeplechase Mixed Use Development Proposed on SR 1700 Covered Bridge Road, SR 1708 O'Neil Street, SR 1709 City Road and SR 2620 Brookhill Drive**

Dear Mr. DeYoung:

This office has reviewed the Traffic Impact Analysis (TIA) for the subject mixed use development and offers the following comments. Please be advised that these comments are in addition to any requirements that included in the Traffic Impact Analysis Review Report performed by the Congestion Management Section of the Transportation Mobility and Safety Division of NCDOT. This review should not be mistaken for a final review and acceptance of the TIA, nor approval of the driveway permit, design/construction plans, or final plat.

- The Department agrees with the Town that the TIA needs to be updated to reflect the following:
  - Correct number of dwelling units and/or commercial square footage
  - Roundabout design as requested by the Town at Brookhill Drive/Site Driveway #2
  - Desired cross section as required by Town needs to be considered as it affects all recommend improvements and could impact ingress/egress at all intersections and driveways
  - Desired access at designated commercial site
  - Desired access at designated school site
  - Provide overall site plan with that shows the limits of Phase 1 and Phase 2
  - Show access on City Road as required by the Town if a school is not built
  - Analyze the following intersections as a roundabout:
    - Covered Bridge and City Road / Smith Drive
    - Covered Bridge Road and O'Neil Street
    - Provide 2 different scenarios. The first will provide analysis showing operations if NCDOT allows full access at Driveways #1 & #3/5. Secondly, provide analysis showing operations with a left-over movement with right in right out (no left egress at Driveways #1 & #3/ 5)
- The rural parkway cross section required by the Town for Covered Bridge Road (SR 1700) shall be designed to current North Carolina Department of Transportation Roadway Standards. The typical section shall require a minimum 110 feet dedicated right-of-way, 23 foot monolithic

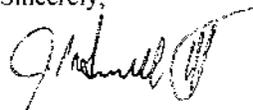
District Engineer's Office  
2671 US 70 West, Goldsboro, NC 27530  
Telephone: (919) 739-5300

landscaped island, two 12 foot travel lanes (one each direction), two foot paved shoulders, two 19 foot earth shoulders and appropriate ditches and or slopes. The wide shoulders are to accommodate any future widening that may occur. The Department will defer to the Town for any additional right-of-way required for the purpose of multi-use paths, sidewalks, or landscape buffers as multi-use paths are desired to be placed outside the ROW as possible. Left and right turn lanes will be required on Covered Bridge Road (SR 1700) for turning movements allowed after final review of the TIA

- The Department agrees with the Town that all additional access shown on Covered Bridge Road shall be eliminated other than Site Access #1, #2, and #3 (5). Any outparcels along Covered Bridge road shall be served internally

Please be advised that additional comments for each intersection as well as off site improvements are forthcoming upon receipt and review of the revised TIA as required by the Town and the comments above. Feel free to contact me if you have any additional questions or concerns.

Sincerely,



Jiles P. Harrell, PE  
District Engineer

JPH

cc: Tim Little, PE - Division Engineer  
Andy Brown, PE - Division Traffic Engineer  
Driveway Permit File  
Subdivision File



November 10, 2014

Mr. Steve Biggs  
Town Manager  
Town of Clayton  
111 East Second Street  
Clayton, North Carolina 27528

**Re: Brookhill Master Plan  
MP/PSD-2014-128  
Request for Sewer Allocation  
WDL-14010**

On behalf of Wakefield Development Company & Galaxy NCLLC, McAdams Company has computed the preliminary sanitary sewer average daily flows for the proposed subdivision referenced above and have enclosed our calculations in the attachment to this letter. In our calculations, we provided a breakdown of potential flows anticipated to be generated on an annual basis with the total project flow listed on the last page. In addition, our calculations used the approved flow rate per unit for the Town of Clayton, as allowed by NCDENR, instead of a per bedroom calculation. Wakefield Development Company & Galaxy NCLLC is requesting sanitary sewer allocation on the basis of the provided information from the Town for the proposed Master Plan.

Consideration of this request is greatly appreciated. Upon your review, if you should have any questions or require additional information, please do not hesitate to contact me at (919) 361-5000.

Sincerely,

THE JOHN R. McADAMS COMPANY, INC.

Jonathan G. Moore, PE  
Director, Residential

JM/rf

Attachment



The John R. McAdams  
Company, Inc.

Raleigh / Durham, NC  
2905 Meridian Parkway  
Durham, North Carolina 27713  
(919) 361-5000

Charlotte, NC  
11301 Carmel Commons Blvd.  
Suite 111  
Charlotte North Carolina 28226  
(704) 527-0800

McAdamsCo.com

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Record Lots date
				gpd	gpm	cfs	
<b>Phase 1</b>							July-15
Amenity / Clubhouse	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	
<b>Phase 2</b>							July-15
Townhome	72	2.5	250 gal/day-unit	18,000	13	0.028	
<b>Phase 3</b>							July-15
Single Family (65-70)	32	4	250 gal/day-unit	8,000	6	0.012	
Single Family (50-55/60-65)	75	3.5	250 gal/day-unit	18,750	13	0.029	
<b>Phase 4</b>							July-15
Single Family (65-70)	20	4	250 gal/day-unit	5,000	3	0.008	
<b>Subtotal</b>	<b>199</b>			<b>50,855</b>			
<b>Phase 5</b>							July-16
Single Family (65-70)	48	4	250 gal/day-unit	12,000	8	0.019	
Single Family (50-55/60-65)	68	3.5	250 gal/day-unit	17,000	12	0.026	
<b>Phase 6</b>							July-16
Single Family (65-70)	45	4	250 gal/day-unit	11,250	8	0.017	
<b>Phase 7</b>							July-16
Single Family (65-70)	15	4	250 gal/day-unit	3,750	3	0.006	
<b>Phase 8</b>							July-16
Single Family (65-70)	26	4	250 gal/day-unit	6,500	5	0.010	
Single Family (50-55/60-65)	8	3.5	250 gal/day-unit	2,000	1	0.003	
<b>Phase 9</b>							July-16
Single Family (65-70)	24	4	250 gal/day-unit	6,000	4	0.009	
Single Family (50-55/60-65)	32	3.5	250 gal/day-unit	8,000	6	0.012	
<b>Phase 10</b>							July-16
Single Family (65-70)	42	4	250 gal/day-unit	10,500	7	0.016	
Single Family (50-55/60-65)	15	3.5	250 gal/day-unit	3,750	3	0.006	
<b>Subtotal</b>	<b>323</b>			<b>80,750</b>			
<b>Phase 11</b>							July-17
Single Family (50-55/60-65)	65	3.5	250 gal/day-unit	16,250	11	0.025	
<b>Phase 12</b>							July-17
Single Family (50-55/60-65)	45	3.5	250 gal/day-unit	11,250	8	0.017	
<b>Phase 13</b>							July-17
Townhome	145	2.5	250 gal/day-unit	36,250	25	0.056	
<b>Phase 14</b>							July-17
Townhome	108	2.5	250 gal/day-unit	27,000	19	0.042	
<b>Subtotal</b>	<b>363</b>			<b>90,750</b>			
<b>Commercial</b>							
Commercial / Retail	25,000	sf	0.13 gal/day-sf	3,250	2	0.005	July-18
<b>Total Units Phases 1-14</b>	<b>885</b>		<b>Total WW Flow Phases 1-14</b>	<b>225,605</b>	<b>157</b>	<b>0.349</b>	

Estimate of average daily flow of wastewater for Brookhill North (Phases 15-33):

McAdams  
10-Nov-14

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Recorded Lots
				gpd	gpm	cfs	
<b>Phase 15</b>							July-18
Single Family (50-55/60-65)	95	3.5	250 gal/day-unit	23,750	16	0.037	
<b>Phase 16</b>							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
<b>Phase 17</b>							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
<b>Phase 18</b>							July-18
Townhome	80	2.5	250 gal/day-unit	20,000	14	0.031	
<b>Subtotal</b>	<b>365</b>			<b>91,250</b>			
<b>Phase 19</b>							July-19
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
<b>Phase 20</b>							July-19
Single Family (50-55/60-65)	90	3.5	250 gal/day-unit	22,500	16	0.035	
<b>Phase 21</b>							July-19
Single Family (65-70/70-75)	80	4	250 gal/day-unit	20,000	14	0.031	
<b>Phase 22</b>							July-19
Single Family (65-70/70-75)	10	4	250 gal/day-unit	2,500	2	0.004	
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
<b>Phase 23</b>							July-19
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
<b>Phase 24</b>							July-19
Single Family (50-55/60-65)	30	3.5	250 gal/day-unit	7,500	5	0.012	
<b>Subtotal</b>	<b>320</b>			<b>80,000</b>			
<b>Phase 25</b>							July-20
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
<b>Phase 26</b>							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
<b>Phase 27</b>							July-20
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
<b>Phase 28</b>							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
<b>Phase 29</b>							July-20
Single Family (65-70/70-75)	50	4	250 gal/day-unit	12,500	9	0.019	
<b>Phase 30</b>							July-20
Single Family (65-70/70-75)	60	4	250 gal/day-unit	15,000	10	0.023	
<b>Phase 31</b>							July-20
Townhome	75	2.5	250 gal/day-unit	18,750	13	0.029	
<b>Subtotal</b>	<b>310</b>			<b>77,500</b>			
<b>Phase 32</b>							July-21
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	
<b>Subtotal</b>	<b>380</b>			<b>91,200</b>			
<b>Phase 33</b>							July-22
Townhome	90	2.5	250 gal/day-unit	22,500	16	0.035	
<b>Total Units Phases 15-33</b>	<b>1,465</b>		<b>Total WW Flow Phases 15-33</b>	<b>362,450</b>	<b>252</b>	<b>0.561</b>	
<b>Total Units</b>	<b>2,350</b>		<b>Total Flow</b>	<b>588,055</b>			

TOWN OF CLAYTON  
MOTION GRANTING SUBDIVISION APPROVALS  
SHORT FORM

Motion:

Based on the substantial and competent evidence and testimony presented to the Town Council on this matter, the Council finds and concludes that Subdivision Application **PSD 2014-128, Steeplechase Planned Development**, (subject to the conditions recommended by the Planning Board and Planning Staff and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representatives):

- (1) That the subdivision meets all required specifications of the Town Unified Development Ordinance;
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area;
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare; and
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

Duly adopted by the Clayton Town Council this 2nd day of March, 2015.

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 6a**

**Meeting Date: March 2, 2015**

**TITLE: Special Event - 2014-129 – 2015 - Millstock Art and Music Festival**

**DESCRIPTION: The Millstock Art and Music Festival will be held on June 6, 2015. Layout has been amended**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u><b>Date:</b></u>	<u><b>Action:</b></u>	<u><b>Info. Provided:</b></u>
<b>2-16-15</b>	<b>Place on March 2, 2015 Consent Agenda</b>	<b>Special Event Report</b>
<b>3-2-15</b>	<b>Approval of Event</b>	<b>Amended Festival Layout will be provided at Council Meeting</b>



**Town of Clayton**  
**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

**SPECIAL EVENT ACTION ITEM REPORT**

**Planning Staff Contact: Bruce Naegelen: 919-280-1278**

**EVENT INFORMATION:**

**Event Name:** Millstock Art & Music Festival      **File Number:** 2014-29  
**Event Description:** 15<sup>th</sup> Annual Millstock Festival features artist, music, children’s activates, foot Trucks, vendors.  
**Event Date(s):** June 6, 2015      **Event Time(s):** 10:00 am to 5:00 pm  
**Event Location:** Horne Square  
**Event Coordinator:** John McFadden      **Contact Number:** 919-865-7295  
**Contact Email:** [Jewelerjohn@hotmail.com](mailto:Jewelerjohn@hotmail.com)  
**Attendees (Per Day):** 1500-2000      Set-up: 7:00 am      Cleanup: 6:00 pm

**TOWN SERVICES REQUESTED:**

Departme nt / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	Trash Rollout Carts (12) regular / (12) Recycle	Deliver to Horne Square: 6/5/15 & Pick up 6/8/15.	Steve Blasko	359-1287
Public Works	Road & Parking lot barricades/cones - Horne Square parking lot - Smith & Main Street - Second & S Lombard - Barbour & Main  Closure times are: Horne Square – Midnight to 6:00 pm (PD) Road Closure – 7:00 am – 6:00 pm	Deliver to appropriate areas for Police Department & volunteers to put in place	Steve Blasko	359-1287
Town Council	Authorize Closure on June 6, 2015: <i>Horne Square parking lot: Midnight to 6:00 pm</i> <i>Smith &amp; Main Street: 7:00 am to 6:00 pm</i> <i>Second &amp; S Lombard: 7:00 am to 6:00 pm</i> <i>N. Lombard from NCR R-O-W to Main 7:00 am to 6:00 pm</i>			
Electric Dept	Use of power block at rear of Horne Square for bands setting up on N Lombard Street	6/6/15	Dale Medlin	359-1292
NCDOT	Closure of Main Street from Smith Street to Barbour Street on June 6, 2015 from 7:00 am to 6:00 pm			

**STAFF USE:**

SEC Approval	<input checked="" type="checkbox"/> Approved	Date: 1/29/15	<input type="checkbox"/> No Council Action needed
	<input type="checkbox"/> Denied		
Council Action	Presentation	Date: 2/16/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Consent Agenda	Date:	Date:
Pending Actions	<input checked="" type="checkbox"/> DOT Road Closure Approval		<input type="checkbox"/> Issue Permit Date:
	<input checked="" type="checkbox"/> ABC Permit Submittal		
	<input type="checkbox"/> Other		

(SEC – Special Event Committee)

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 6b Meeting Date: March 2, 2015**

**TITLE: Old Business – Clayton Center Office Renovations**

**DESCRIPTION: Report on Clayton Center Building Remodel Project.**

**RELATED GOAL:**

**ITEM SUMMARY:**

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
3-2-15	Approval	CA, 1 <sup>st</sup> Floor, 2 <sup>nd</sup> Floor Layouts & Budget Proposal

		120 St. Mary's Street Raleigh, NC 27605 919.833.0495 LysaghtAssociates.com Firm No. C-0621		Updated	2/20/2015
<b>Clayton Center Office Renovations - 110 E. 2nd St., Clayton, NC 27520</b>				CURRENT	
				<b>TOTAL:</b>	<b>\$175,387</b>
<b>BUDGET ESTIMATE SUMMARY</b>					
<b>Based on Ignite Architecture 2/15/14 Schematic Drawings - Revision 3 - Option B</b>					
PROJECT : CLAYTON CENTER OFFICE RENOVATIONS					
LOCATION : CLAYTON, NC					
ARCHITECT: JOHN REESE - IGNITE ARCHITECTURE					
OWNER : TOWN OF CLAYTON					
BUILDING TYPE : Existing office upfit					
=====					
<b>CODE</b>	<b>DESCRIPTION</b>	<b>QTY</b>	<b>UNIT</b>	<b>UN. PRICE</b>	<b>TOTAL</b>
=====					
100	<b>GENERAL CONDITIONS</b>				
100.1	Permit Fees - Assumed by owner	1	LS	0.00	\$0
100.2	Site Supervision	12	WKS	1,750.00	\$21,000
100.3	Project Management	6	WKS	1,200.00	\$7,200
100.4	Dumpster - Delivery/pick up and 5 dumps @ \$310	1	LS	1,550.00	\$1,550
100.5	Laborer and Material Handling - clean up, deliveries, assist superintendent	10	WKS	850.00	\$8,500
100.6	Temporary Toilet	3	MOS	75.00	\$225
100.7	Storage trailer in parking lot	3	MOS	210.00	\$630
100.8	Construction Management for Town of Clayton (assumes a GC is hired) 3.5%	1	LS	6,250.00	\$6,250
	<b>FIRST FLOOR</b>				
200	Demolition				
200.1	Temporary Protection - dust barrier walls (framing/plastic) - (2M@10@30+345Mat. = 945 as check)	95	LF	11.25	\$1,069
200.2	Temporary Protection - Floors and adjacent surfaces - plastic, paper, daily labor)	1	LS	575.00	\$575
200.3	Demolish and remove walls - (3men@3 days @8hrs@\$30 + \$250 tools + \$310 dump fee)	1	LS	2,720.00	\$2,720
200.4	Daily clean up in corridors/exterior near dumpster. 1 man @2hrs @ 10 days @\$30	1	LS	600.00	\$600
200.5	Remove OH Door and Millwork (2m@5hr@\$30 + 100 tools)	1	LS	400.00	\$400

CODE	DESCRIPTION	QTY	UNIT	UN. PRICE	TOTAL
<b>FIRST FLOOR WORK ITEMS FROM SHEET A201</b>					
1	Seal Existing Exterior Doors closed with weather-stripping,caulk (2m@8hrs#=@30/hr. + 230 Materi	1	LS	710.00	\$710
2	Install interior single pane storm sash at doors/sidelights (90SF@\$30/SF + 200 Patching)	1	LS	2,900.00	\$2,900
3	Relocate existing clear glass soffit in Accounts Station above soffit plain	42	SF	35.00	\$1,470
4	GWB Soffit at Accounts Station - 120 sf @ \$8/sf + \$375 to tie in acoustical ceiling	1	LS	1,335.00	\$1,335
4.1	Recessed Lighting in soffit - Assume 6 cans @ \$125 + relocate wiring \$200	1	LS	950.00	\$950
5	Recessed Monitor w/ Video feed at Customer waiting area - Allowance	1	ALL	2,000.00	\$2,000
6	New frame and drywall false columns on each side of new glass at customer waiting (220sf@\$5)	1	LS	1,100.00	\$1,100
7	Frameless glass and door system at customer waiting (12lf @ 10lf )	120	SF	52.00	\$6,240
8	New Soffit at corridor in front of customer waiting (120sf @ \$5+ 450 corridor ceiling patch)	1	LS	1,050.00	\$1,050
8.1	Recessed Lighting in soffit - Assume 4 cans @ \$125 + relocate wiring \$200	1	LS	700.00	\$700
9	Dismantle corridor millwork and re-assemble to 2nd floor meeting room. (2m@8hr@35 + 250 repair	1	LS	810.00	\$810
10	New millwork countertop at cashier. - Assume laminate and knee wall under - no cabinets	1	LS	685.00	\$685
11	Millwork Countertop at Work Area - Assume laminate with brackets - no cabinets (48sf@25)	1	LS	1,200.00	\$1,200
12	Millwork Top at Conference 104A - with 3' pass through - No cabinets.	1	LS	2,150.00	\$2,150
13	Relocate existing 2nd floor cabinets/countertop from 2nd floor to Meeting (2m@\$8h@35 + 750)	1	LS	1,310.00	\$1,310
15	New walls - metal studs or wood. Sound batts/5/8" drywall - stop at ceiling	1,510	SF	5.00	\$7,550
15.1	Acoustical Ceiling Repair Allowance -	1	ALL	2,000.00	\$2,000
*16	New doors/frames/hardware	4	EA	825.00	3,300
*16a	Re-use existing doors	3	EA	250.00	750
17	New Carpet	205	SY	22.00	4,510
18	New Paint	1	LS	3,500.00	3,500
19	Electrical Allow. - New/Reloc. outlets, new switch loc. etc. (7 days@2m@8hr@45 + 1,200 mat.)	1	ALL	6,240.00	6,240
20	HVAC - New T-Stat locations and revise duct runs/supply/return for new offices	1	ALL	5,000.00	5,000
21	Fire Alarm - Possible Relocation of detectors, pull stations, testing	1	ALL	2,000.00	2,000
<b>SECOND FLOOR</b>					
200	Demolition				\$0
200.1	Temporary Prot. - dust barrier walls @ rec. (framing/plastic) - (2M@8@30+225Mat. = 705 as check	62	LF	11.25	\$698
200.2	Temporary Protection - Floors and adjacent surfaces - plastic, paper, daily labor)	1	LS	500.00	\$500
200.3	Demolish and remove walls - (3men@2.5 days @8hrs@\$30 + \$200 tools + \$310 dump fee) - 90lf	1	LS	2,310.00	\$2,310
200.4	Clean up in corridors/exterior to dumpster. 1 man @2hrs @ 8 days @\$30	1	LS	480.00	\$480

CODE	DESCRIPTION	QTY	UNIT	UN. PRICE	TOTAL
200.5	Remove existing doors and frames at inspector room, Open offices at fan rooms	3	EA	285.00	\$855
	SECOND FLOOR WORK ITEMS FROM SHEET A201				
1	New Glass interior window similar to existing at conference/Dev. Serv (includes trim at windows)	80	SF	58.00	4,640
2	Patch at new cased openings from reception into offices at glass windows	2	EA	475.00	950
3	Millwork Transaction Top at Reception - laminate and half base cabinets	1	LS	1,500.00	1,500
4	Glass with hollow metal frames and sidelights at conference and Dev. Serv. -	112	SF	35.00	3,920
5	New frame and drywall false columns on each side of new glass at reception (220sf@\$5)	1	LS	1,100.00	1,100
6	Single Pane laminated glass + Door Frame (Stained wood)	120	sf	58.00	6,960
7	New Overhead Soffit at corridor at Reception (120sf @ \$5+ 450 corridor ceiling patch)	1	LS	1,050.00	\$1,050
7.1	Recessed Lighting in soffit - Assume 4 cans @ \$125 + relocate wiring \$200	1	LS	700.00	\$700
8	Patch walls at previous door openings at inspections/fan room #6 (2m@2d@8hrs@30)	1	LS	960.00	\$960
9	New walls - metal studs or wood. Sound batts/5/8" drywall - stop at ceiling	780	SF	5.00	\$3,900
10	New doors - Hollow metal frames, solid wood birch and hardware	2	EA	825.00	\$1,650
10a	Re-use existing doors	2	EA	200.00	\$400
11	New framed glass sidelights at doors at conference and town engineer	2	EA	750.00	\$1,500
12	New Carpet at Inspections/Proj. Manager, Reception/Conference/Dev. Services	230	SY	22.00	\$5,060
13	Paint - Same areas as listed in 12.	1	LS	3,750.00	\$3,750
14	Allowance for Ceiling Repairs/relocation	1	LS	2,000.00	\$2,000
15	Electrical Allow. - New/Reloc. outlets, new switch loc. etc. (5 days@2m@8hr@45 + 1,100 mat.)	1	ALL	4,700.00	4,700
16	HVAC - New T-Stat locations and revise duct runs/supply/return for new offices	1	ALL	4,500.00	4,500
17	Fire Alarm Allowance - possible relocation of detectors, pull stations, testing	1	ALL	2,000.00	\$2,000
	SUB TOTAL				166,261
17000	ALTERNATES ACCEPTED - SEE ALTERNATES SHEET				-7,500
	SUBTOTAL				<b>158,761</b>
18000	OVERHEAD AND PROFIT - 10%				16,626
	<b>TOTAL</b>				<b>\$175,387</b>

CODE	DESCRIPTION	QTY	UNIT	UN. PRICE	TOTAL
	ESTIMATED SAVINGS IF L&A DOES THE CM WITH NO GC - Subs contract with Clayton (Add 3.5% (\$6,250)CM Fee plus \$2,000 for GC license - 10% GC OH&P(\$18,000) in estimate)				-3500.00
	<b>TOTAL WITH CM SAVINGS</b>				<b>\$171,887</b>
	<b>PHASED PROJECT COST</b>				
	The work is assumed to be completed consecutively in one mobilization. If the work is done in 2 phases, below are additional costs. Assume Phase 1 = First floor work plus the finance department. Phase 2 = Second floor work.				
	ADDITIONAL GENERAL CONDITIONS (No simultaneous work would be possible).	4.00	WKS	3,378	\$13,512
	PRECONSTRUCTION WORK - Buy-out, bidding, contracts twice	1.00	LS	3,900	\$3,900
	ECONOMIES OF SCALE - \$200k job vs. \$100k job	1.00	LS	2,500	\$2,500
	MOBILIZATION - 1 more pick up/delivery on dumpster, trailer, etc.	1.00	ls	2,150	\$2,150
					=====
	<b>TOTAL ADDITIONAL COST OF PROJECT IF COMPLETED IN 2 PHASES</b>				<b>\$22,062</b>
A-1	ALTERNATE 1 - SECOND FLOOR REV. 3 - FAN ROOM /CORRIDOR				
1	Demolish existing walls (2 men at 8 hrs. @ \$30/hr. + \$150 tools)	1	LS	630.00	\$630
2	Add new drywall partitions at corridor	210	SF	5.00	\$1,050
2.1	threshold/trim hardwood floor and rework carpet transition in small office section	1	LS	510.00	\$510
2.2	Demo existing corridor drywall soffit and lighting	1	LS	950.00	\$950
2.3	Install new acoustical ceiling in new office area	80	SF	6.50	\$520
2.2	Relocate Fire Alarm pull stations, exit signs	1	LS	425.00	\$425
2.3	Remove and re-install corridor trim and char rail	1	LS	840.00	\$840
2.4	New Carpet patch in Open Offices	1	LS	650.00	\$650
3	Reverse existing door opening	1	LS	950.00	\$950
4	New Electrical - lighting in offices/switches, outlets	1	ALL	1,250.00	\$1,250
5	Revise HVAC	1	ALL	1,400.00	\$1,400
6	Seamless patch/match to existing surrounds (paint/drywall patch, etc. )	1	LS	1,410.00	\$1,410
					=====
	SUBTOTAL ALTERNATE 1				\$10,585.00
	OH&P AND CM FEE (13.5%)				\$1,428.98
					=====
	<b>TOTAL ALTERNATE 1</b>				<b>\$12,013.98</b>

CODE	DESCRIPTION	QTY	UNIT	UN. PRICE	TOTAL
	FINANCE DEPARTMENT RENOVATION - A203				
1	Protect Existing chalkboard and wood trim on fan room wall - plastic/wood	1	LS	210.00	\$210
2	Demolish existing wall and remove doors at storage(2m@10hrs@30/hr. + \$125 tools)	1	LS	725.00	\$725
3	Add GWB soffit in back of room	150.00	SF	5.00	\$750
3.1	Lighting at GWB soffit (4 cans @ \$125 + \$150 Wiring)	1.00	LS	650.00	\$650
4	Add Walls - (metal stud or wood 1 layer each side with sound batts	380.00	SF	5.00	\$1,900
5	Add solid birch door with hardware and frame	1.00	LS	850.00	\$850
6	Add Framed sidelight at door	1.00	LS	750.00	\$750
7	New Carpet	133	SY	22.00	\$2,926
8	Paint	1	LS	1,100.00	\$1,100
10	Electrical allowance for new switches/ outlets	1	LS	1,175.00	\$1,175
*11	HVAC Allowance for vents/duct in new room	1	LS	800.00	\$800
12	Allowance for ceiling repair	1	LS	950.00	\$950
13	Wood trim allowance	1	LS	750.00	750
					=====
	SUBTOTAL FINANCE DEPARTMENT RENOVATION				\$13,536
	OH&P AND CM FEE 13.5%				\$1,827
					=====
	<b>TOTAL FINANCE DEPARTMENT RENOVATION</b>				<b>\$15,363</b>

**Clayton Center Office Renovations - 110 E. 2nd St., Clayton, NC 27520**

**ESTIMATE ASSUMPTIONS**

ITEM	DESCRIPTION
1	Only items included in red on the plans are included in the estimate
2	New doors are assumed to be solid birch with hollow metal frames. Sidelites are in HM frames
3	Cooridors are assumed wood flooring, all other areas are assumed carpet
4	Relocated Millwork will not be altered, other than attachments
5	New walls are assumed to be metal stud or wood with one layer of 5/8" each side and sound batts, No fire walls
6	An allowance of \$2,000 is included for the recessed monitor (which includes wiring)
7	New carpet at \$22/sy is included. No new wood flooring is included.
8	Estimate does not include any relocation or supply of moveable partitions/walls, or furniture
9	CM fee of 3.5% is based on a GC doing the work. If L&A manages subs and acquires building permit, estimated fee would be 7% plus \$2,000 for acquiring Permit instead of GC fee. Clayton would pay subs directly.
10	Assumes consecutive work on each phase and regular working hours.
11	No phone, cable, security, or other low voltage wiring is included.
12	Assumes an area will be assigned for a dumpster and storage trailer
13	There are allowances for HVAC, electrical and Fire Alarm as those drawings are not available yet.
14	No Fire Sprinkler is included.
15	No signage or fire extinguishers are included.



120 St. Mary's Street  
 Raleigh, NC 27605  
 919.833.0495  
 LysaghtAssociates.com  
 Firm No. C-0621

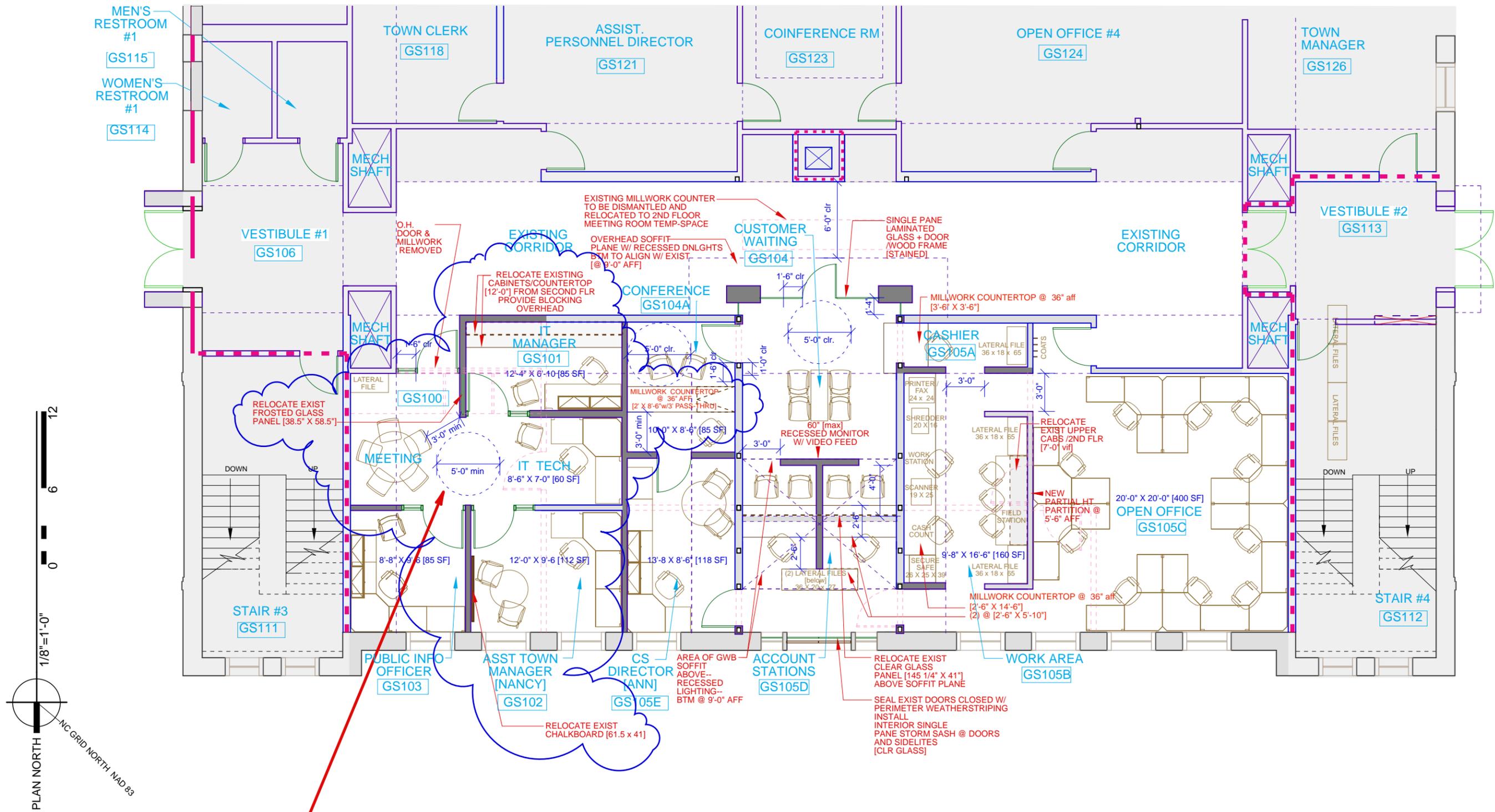
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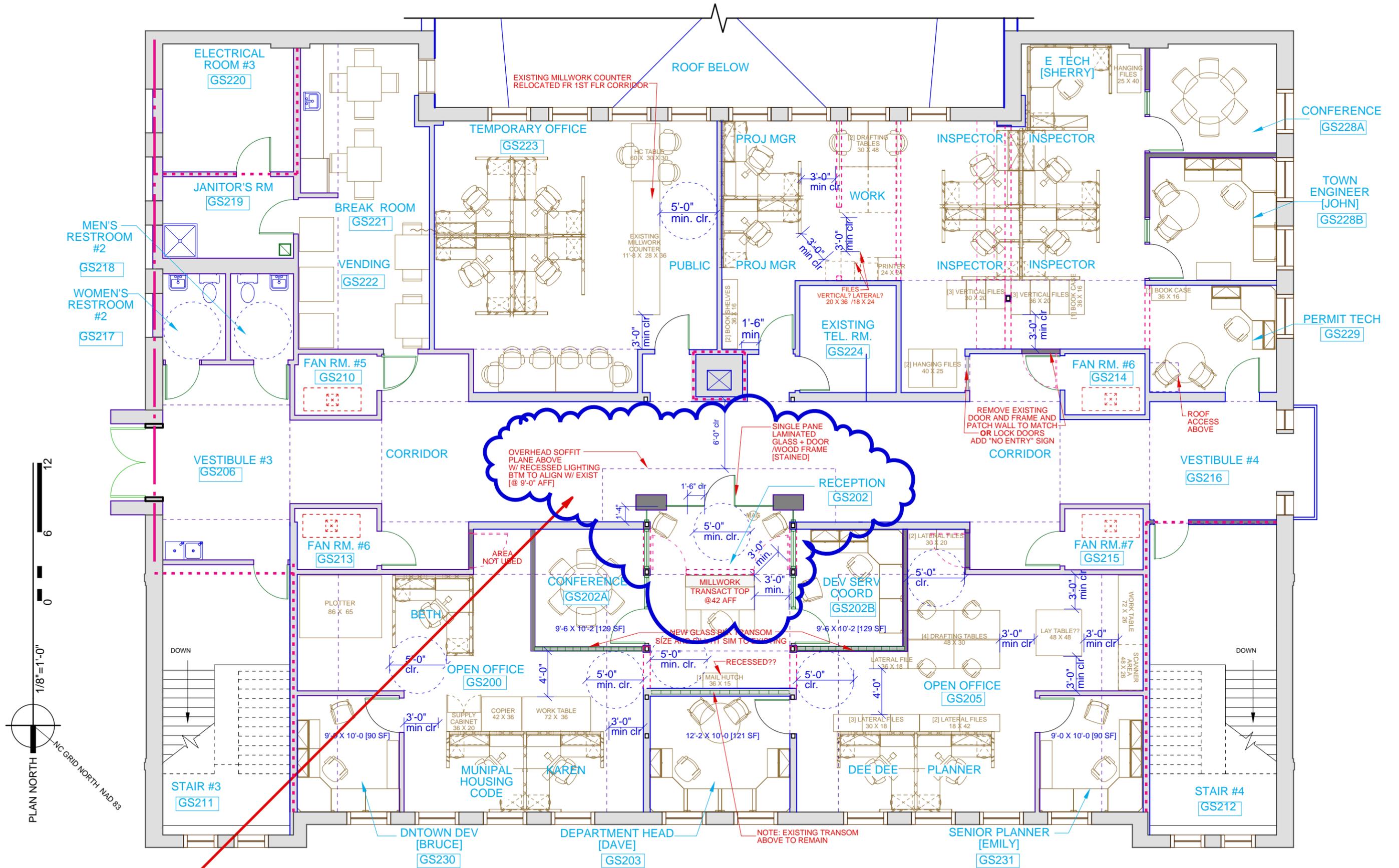
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**Clayton Center Office Renovations - 110 E. 2nd St., Clayton, NC 27520**

**VALUE ENGINEERING OPTIONS**

ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	TOTAL	ACCEPTED Y/N
1	Delete 60" monitor (or remove from scope) at Customer waiting area	1	LS	-2000	-2000	Y (-2000)
2	No new carpet. Use a patch allowance of \$2,500 instead	1	LS	-7070	-7070	N
3	No frameless glass system on first and second floor lobbies. Use walls and standard doors/glass (This is a downsizing. Still glass, but possibly frames)	1	LS	-7500	-7500	Y (-2500)
4	Eliminate glass window replicas at conference/dev. Services on second floor - use stnd windows	1	LS	-3000	-3000	Y (-3000)
5	No storm sashes at first floor closed door	1	LS	-2500	-2500	N
6	No new carpet at finance room - Use patch allowance of \$500	1	LS	-2400	-2400	N
TOTAL VALUE ENGINEERING ITEMS					(\$24,470)	
TOTAL ACCEPTED VALUE ENGINEERING ITEMS						(\$7,500.00)





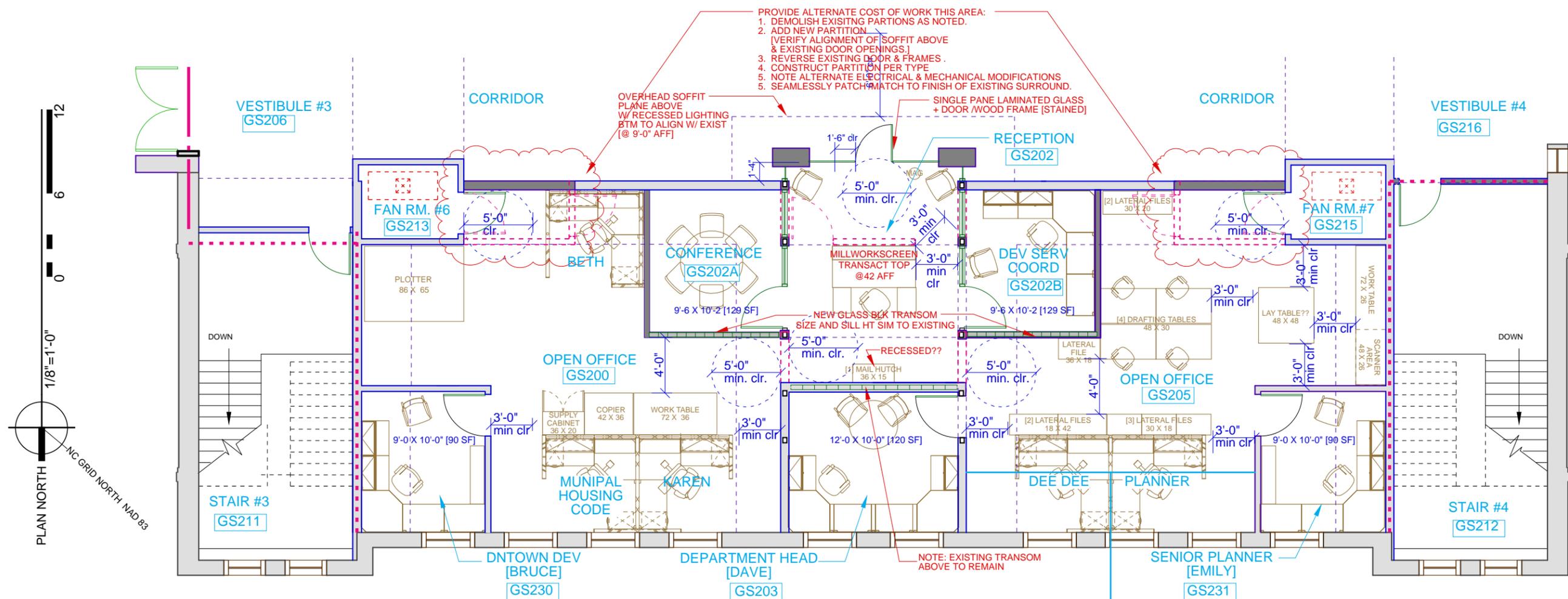
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 A 201 | 12.15.14 | SCHEMATIC PLNG /INSPECS /ENGR DEPTS  
 GS /PARTIAL SECOND FLOOR PLAN  
 REV 3

project  
**CLAYTON CENTER OFFICE RENOVATIONS**  
 215 E. SECOND STREET, CLAYTON, NC 27520

seals  
 team  
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**IGNITE Architecture PLLC**  
 po box 12733 | raleigh, nc 27605-2733 | 919.749.8658 | jreese@ignitearchitecture.com

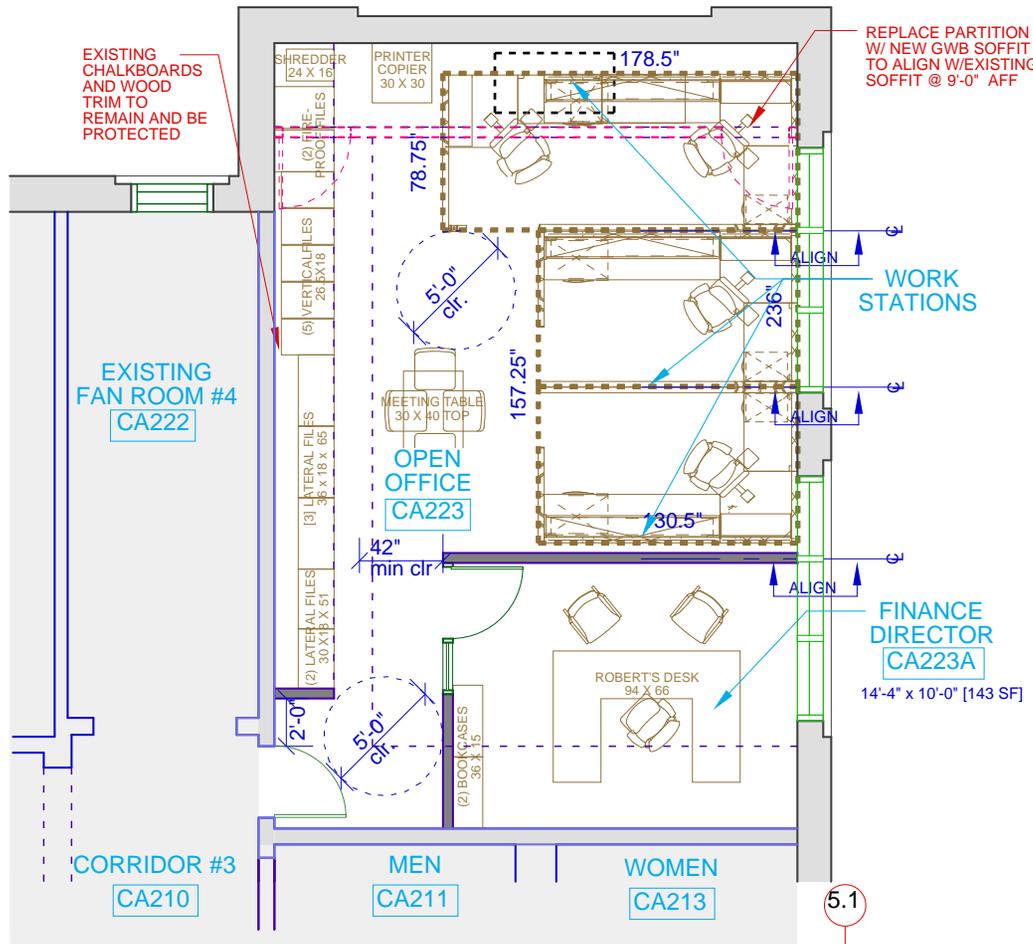
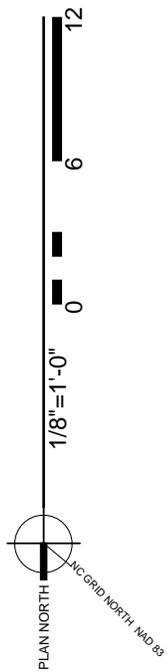


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 A 201-A | 12.15.14 | SCHEMATIC  
 GS /PARTIAL SECOND FLOOR PLAN  
 PLANNING DEPARTMENT ALTERNATE 1  
 REV 3

project  
**CLAYTON CENTER OFFICE RENOVATIONS**  
 115 E. SECOND STREET, CLAYTON, NC 27520

seals | team  
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**IGNITE Architecture PLLC**  
 po box 12733 | raleigh, nc 27605-2733 | 919.749.8658 | jreese@ignitearchitecture.com



**NANCY QUESTIONS:**

1. AS SHOWN, IT "GRAPHICALLY" APPEARS WORKSTATION PARTITIONS COULD ALIGN TO THE EXISTING WINDOW FRAME BAYS. [I ASSUME THAT'S WISHFUL THINKING?]
2. IF SO, CAN THE OUTSIDE UNITS "EXPAND" TO FIT TIGHT TO THE WALLS???

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 7a**

**Meeting Date: March 2, 2015**

**TITLE: New Business – Legislative Agenda**

**DESCRIPTION:**

- **Support NC League of Municipalities, “Municipal Advocacy Goals”**
- **Seek Restoration or Replacement of North Carolina Historic Preservation Economic Development Tax Credit.**

**RELATED GOAL:**

**ITEM SUMMARY:**

**Date:**

**Action:**

**Info. Provided:**

**3-2-15**

**Discussion**

**N/A**

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 7b**

**Meeting Date: March 2, 2015**

**TITLE: New Business – Appointment of Deputy Town Clerk**

**DESCRIPTION:** Resolution will transfer duties of the Deputy Town Clerk to the Administrative Support Specialist in the Office of the Town Clerk. This resolution will rescind previous resolution which appointed the Deputy Town Manager to serve as the Deputy Town Clerk.

**RELATED GOAL:**

**ITEM SUMMARY:**

**Date:**

**Action:**

**Info. Provided:**

**3-2-15**

**Place on 3/16/15 Consent**

**Resolution**

**TOWN OF CLAYTON  
RESOLUTION  
APPOINTMENT OF DEPUTY TOWN CLERK**

**WHEREAS**, NC GS 160A-172, permits the council to appoint a deputy clerk; and

**WHEREAS**, NC GS 160A-172, permits the council to specify the duties of the deputy clerk; and

**WHEREAS**, the Clayton Town Council rescinds Resolution #2009-009 adopted March 2, 2009, in which the Deputy Town Manager served as the Deputy Town Clerk; and

**NOW THEREFORE BE IT RESOLVED** by the Town Council of the Town of Clayton that the Town Clerk Administrative Support Specialist is hereby deputized to serve in the capacity of Town Clerk in the absence of the Town Clerk for the purpose of applying the town seal to official town documents. Be it further resolved that custodianship of the town seal, however, shall remain solely with the Town Clerk.

Duly adopted this 16th day of March 2015, while in regular session.

---

Jody L. McLeod  
Mayor

ATTEST:

---

Kimberly A. Moffett, CMC  
Town Clerk

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

**Agenda Item: 7c**

**Meeting Date: March 2, 2015**

**TITLE: New Business – Dumpster Service Court Design**

**DESCRIPTION: Recommendations for Downtown Dumpster/Service Court Design & Locations**

**RELATED GOAL:**

**ITEM SUMMARY:**

**Date:**

**Action:**

**Info. Provided:**

**3-2-15**

**Receive Report**

**Memo**



*Vision 2025: Destination Where People, Businesses & the Arts Thrive  
A North Carolina Main Street Community*

TO: Dave DeYoung, Planning Director & Steve Biggs, Town Manager  
FROM: CDDA Design Committee  
DATE: 2/23/15  
SUBJECT: Recommendation for Downtown Dumpster/Service Court Design & Locations

**Background:**

While the businesses thrive in Downtown Clayton, the success of business has created the need for additional solid waste provision. The provision of solid waste including the selection of the provider is a decision that is left up to the individual business owner. The result is in many cases, groupings of unenclosed and haphazardly placed dumpsters. With multiple providers and varying sized dumpsters, the appearance of these areas is unsightly while the servicing and collection is piecemeal and inefficient.

In 2013, staff began to look at ways to alleviate the issues. A visual survey was conducted to prioritize the top ten areas in need of screening, relocation, consolidation or a combination thereof. A questionnaire was distributed to business owners to gain an understanding of how solid waste and trash disposal was being handled. A map was developed to show approximate dumpster locations. In mid-2014 Town Planning Director David DeYoung asked the Design Committee to continue with specific goals: 1) Identify locations of interest; 2) Develop service court design concepts & materials; 3) Achieve property owner input and buy-in; 4) Make recommendations to the Planning Director. During the summer, the Design Committee members reviewed a number of design models, discussed and reviewed materials. During this same period of time the committee determined the Town should consider a system of single provider handling for trash pickup and/or creation of a commercial Sanitation District.

**Consideration**

The Design Committee, including new members, met on February 12, 2015 and reviewed several designs, materials, and two initial locations for improvement. A concern the committee had throughout this process is that one design might work for one location, but would need to be modified for another based on topography, visibility and even business growth. A new committee member has devised a solution.

The proposed solution is to start with a base of materials and design. By simply providing proper corner posts, a modular design that can be either permanent or temporary in construction while allowing the option for future upgrades with more permanent materials is possible. This solution is phased as follows:

Phase 1 Base Design: Metal will be used as the primary material. All metal should be finished as the same color to provide the base concept. Simple, elegant and meeting the basic function of the court.

Phase 2 Upgrade: Upgraded corners. Build the enclosure with more substantial corners (brick, stone, stucco) to provide a big visual impact with minimal effort and expense.

Phase 3 Final Upgrade: Material change-out. Choose where more substantial materials can be used based on locations that are more visible and may need additional aesthetic treatment. This may include options for brick or provide a blank canvas for public art opportunities.

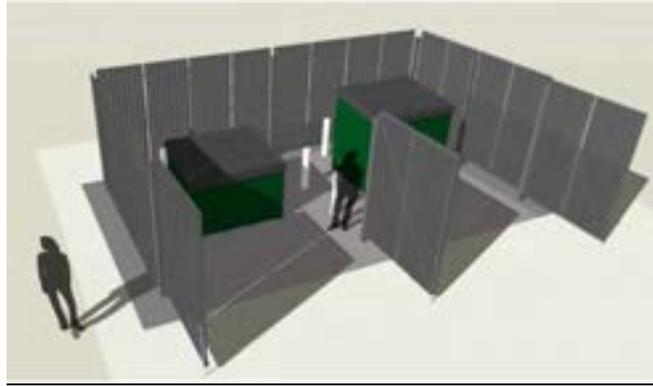
**DDA Design Committee Recommendation**

Phase 1 Base Design Concept

The committee recommends the following as a basic design:

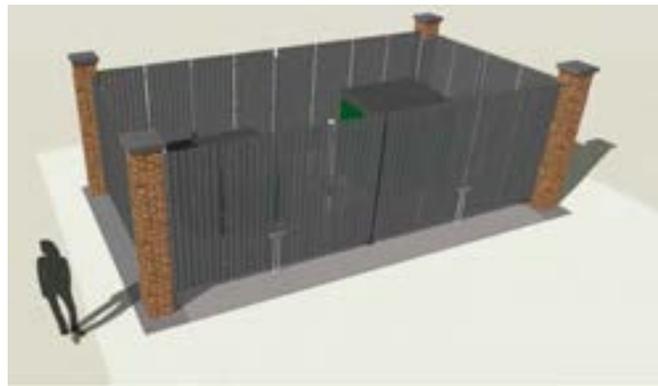
- Dark grey, powder-coated metal sides and door(s) with metal frames on concrete pad.

- Dark grey powder-coated metal corner posts (square in cross-section), with similar (but smaller diameter) beams spanning between posts.
- Dark or light grey corrugated or meshed metal panels acting as the visual shielding. Ability to see silhouettes behind is good for safety.
- 8' minimum and 10' maximum height for walls.
- 8" gaps along bottom and at intervals along walls for safety.
- A limited use of brick. A solid enclosure, open inside, with interior bollards on the back end for dumpster guidance & wall protection (See attached sample designs).
- Concrete slab could be pre-formed or poured in place.



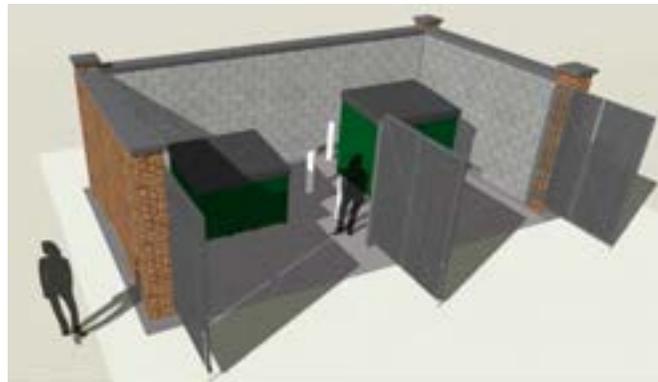
#### Phase 2 Upgrade

- Upgrades would incorporate the use of brick (or stucco) on the corners.



#### Phase 3: Final Upgrade

- Solid wall materials could be brick or if public art is incorporated a stucco (block with coating).



The following attributes are also recommended:

- Include the “downtown arch” that is on the way finding signage and “Downtown Clayton” sign.
- Incorporate use of art & landscaping when appropriate.

## DDA Design Committee – Recommended Locations

The committee recommends the following locations for the first constructed service courts:

- 236 E Main Street/Main Street Commons (See attached site plan)
  - Location has had issues for several years with multiple businesses using multiple dumpsters and containers with multiple vendors on private property. All dumpsters are in close proximity to the rear door of Main Street Jewelers which is impacted directly by trash and other debris that is often left outside the dumpsters.
  - In a prior discussion between the property owner and the Planning Director there was agreement that all dumpsters could be moved to a location adjacent to the building about 50-75 feet to the north of existing dumpster location.
  - This location could likely be implemented in a fairly quick time frame.



- 106 N Lombard/Alley (See attached site plan)
  - The property owner has entered into an agreement with NC Railroad allowing tenant parking and a dumpster court, adjacent to the building that is within the Railroad R-O-W. The dumpster court is in conjunction with the Town of Clayton. The agreement will be finalized within 60-90 days.
  - Most of the business/dumpster users are on board with the location already.
  - The appearance of downtown will be enhanced by relocating the dumpsters currently at the end of N Lombard Street to the new enclosure.
  - High visibility site.



- 400 Block E Second Street (Flipside/Jones Café) (See attached site plan)
  - Create a dumpster / roll-out cart court on the property line to incorporate access from Jones' Café and the Flipside/Barbour Building tenants.



**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

Agenda Item: 8c

Meeting Date: March 2, 2015

TITLE: Staff - Town Clerk

DESCRIPTION: Calendar of Events

ITEM SUMMARY:

**Date:**

**Requested Action:**

**Info. Provided:**

3-2-15

None

Calendar of Events

### March 2015

- Council Meeting – Monday, March 2, 2015 @ 6:30 PM
- Spring Forward: 2015 Daylight Saving Time begins – Sunday, March 8, 2015, at 2:00 AM
- Council Meeting – Monday, March 16, 2015 @ 6:30 PM
- TOWN HALL DAY – Wednesday, March 18, 2015 – Raleigh All Day
- TOWN HALL DAY Dinner – Wednesday, March 18, 2015 @ 6:00 PM – Clayton Center
- The Clayton Center Palladian Series: Yesterday and Today “Interactive Beatles Experience” – Friday, March 20, 2015 @ 8:00 PM

### April 2015

- Good Friday Holiday – Friday, April 3, 2015
- Council Meeting – Monday, April 6, 2015 @ 6:30 PM
- The Clayton Center Palladian Series: The Fabulous Equinox – Jeremy Davis & Orchestra– Saturday, April 11, 2015 @ 8:00 PM
- Council Meeting – Monday, April 20, 2015 @ 6:30 PM

### May 2015

- Council Meeting – Monday, May 4, 2015 @ 6:30 PM
- Budget Work Session – Wednesday, May 13, 2015
- Budget Work Session – Thursday, May 14, 2015
- Council Meeting – Monday, May 18, 2015 @ 6:30 PM
- Memorial Day Holiday – Monday, May 25, 2015

### June 2015

- Council Meeting – Monday, June 1, 2015 @ 6:30 PM
- Council Meeting – Monday, June 15, 2015 @ 6:30 PM

### July 2015

- Independence Day Holiday – Friday, July 3, 2015
- Council Meeting – Monday, July 20, 2015 @ 6:00 PM

### August 2015

- Council Meeting – Monday, August 3, 2015 @ 6:30 PM
- Council Meeting – Monday – August 17, 2015 @ 6:30 PM

### September 2015

- Labor Day Holiday – Monday – September 7, 2015
- Council Meeting – **TUESDAY** – September 8, 2015 @ 6:30 PM
- Council Meeting – Monday – September 21, 2015 @ 6:30 PM

### October 2015

- Council Meeting - Monday – October 5, 2015 @ 6:30 PM
- NCLM Annual Conference – October 11-13, 2015; Winston Salem, NC
- Council Meeting – Monday- October 19, 2015 @ 6:30 PM

### November 2015

- **Fall Back: 2015 Daylight Saving Time ends – Sunday, November 1, 2015, at 2:00 AM**
- **Council Meeting – Monday – November 2, 2015 @ 6:30 PM**
- **Veteran’s Day Holiday – Wednesday, November 11, 2015**
- **Council Meeting – Monday – November 16, 2015 @ 6:30 PM**
- **Thanksgiving Day Holiday – Thursday, November 26, 2015 & Friday, November 27, 2015**

### December 2015

- **Council Meeting – Monday – December 7, 2015 @ 6:30 PM**
- **Council Meeting – Monday – December 21, 2015 @ 6:30 PM**
- **Christmas Holiday – Wednesday, December 23, 2015; Thursday, December 24, 2015; & Friday, December 25, 2015**

**TOWN OF CLAYTON  
TOWN COUNCIL  
AGENDA COVER SHEET**

Agenda Item: 8d

Meeting Date: March 2, 2015

TITLE: Staff - Planning Director

DESCRIPTION: Status of Comp. Plan Update

ITEM SUMMARY:

**Date:**

**Requested Action:**

**Info. Provided:**

3-2-15

None

N/A