

Jody L. McLeod
MAYOR

Bruce Thompson
TOWN ATTORNEY

Steve Biggs
TOWN MANAGER



Bob Satterfield
R.S. "Butch" Lawter, Jr.
Art Holder
Jason Thompson
COUNCIL MEMBERS

Michael Grannis
MAYOR PRO TEM

TOWN COUNCIL MEETING

MAY 4, 2015

AGENDA

MAYOR AND TOWN COUNCIL

**MAYOR JODY L. MCLEOD
MAYOR PRO TEM MICHAEL GRANNIS
COUNCILMAN BOB SATTERFIELD**

**COUNCILMAN ART HOLDER
COUNCILMAN R.S. "BUTCH" LAWTER, JR.
COUNCILMAN JASON THOMPSON**

TOWN STAFF

**STEVE BIGGS, TOWN MANAGER
KIMBERLY A. MOFFETT, TOWN CLERK
BRUCE THOMPSON II, TOWN ATTORNEY**

AGENDA
THE REGULAR MEETING OF THE CLAYTON TOWN COUNCIL

MONDAY, MAY 4, 2015
6:30 PM

THE CLAYTON CENTER
COUNCIL CHAMBERS

1. **CALL TO ORDER**
Pledge of Allegiance – Boy Scout Troop 726
Invocation – Mayor Jody L. McLeod

2. **ADJUSTMENT OF THE AGENDA**

3. **CONSENT AGENDA**
(Items on the consent agenda are considered routine in nature or have been thoroughly discussed at previous meetings. Any member of the Council may request to have an item removed from the consent agenda for further discussion.)
 - a. **Draft Minutes –April 6, 2015 & April 20,2015**
 - b. **Draft Minutes – April 6, 2015 Closed Session**
 - c. **Preeclampsia Proclamation**
 - d. **2015 Peace Officers Day & Police Week Proclamation**
 - e. **Ordinance Amending Code of Ordinances – SBI/DCI Criminal Record Checks**
 - f. **Special Event – 2015 Harvest Festival**
 - g. **Special Event – 2015 Clayton Shindig**
 - h. **Warranty and Dedication Acceptance;**
 - **The Cleveland Draft House of Clayton**

Potential Action: Motion for Approval of Consent Agenda as Presented

4. **INTRODUCTIONS AND SPECIAL PRESENTATIONS**
 - a. **Presentation of Preeclampsia Proclamation to Molly Herring**

5. **PUBLIC HEARINGS**
 - a. **Public Hearing - PDD 2014-127 – Steeplechase Planned Development – Rezoning to PD-MU**

Potential Action: Tabled until May 18, 2015

- b. **Public Hearing - PSD 2014-128 - Steeplechase Planned Development – Preliminary Plat/Master Plan**

Potential Action: Tabled until May 18, 2015

- c. **Public Hearing - 15-08-02-RZ - Riverwood Athletic Club – Ravens Ridge 8C – Proposed Rezoning from R-E to R-8**

Potential Action: Approval/Disapproval of 15-08-02-RZ

- d. Public Hearing - 15-08-01-SUB - Riverwood Athletic Club – Ravens Ridge 8C – Major Subdivision/Preliminary Plat

Potential Action: Approval/Disapproval of 15-08-01-SUB

- e. Public Hearing - 14-126-01-RZ - Proctor's Place East Parking Lot – 510 W. Main Street between 444 W. Main Street and 510 W. Main Street – Proposed Rezoning from R-6 to B-2

Potential Action: Approval/Disapproval of 14-126-01-RZ

- f. Public Hearing - 15-05-01-RZ - Horne Memorial Church – three parcels located on Church Street between Horne and Page –Proposed Rezoning from R-6 to O-I

Potential Action: Approval/Disapproval of 15-05-01-RZ

6. **OLD BUSINESS**

- a. FY 2014-2015 Audit Contract

Potential Action: Approve Execution of Contract

- b. Bid Tabulation and Resolution Awarding Sam's Creek Phase II Construction Project

Potential Action: Approval of Resolution Awarding Bid

7. **NEW BUSINESS**

- a. Budget Amendment

Potential Action: Place on May 4, 2015 Consent Agenda

8. **STAFF REPORTS**

- a. Town Manager
 - Downtown Parking
- b. Town Attorney
- c. Town Clerk
- d. Other Staff

9. **OTHER BUSINESS**

- a. Informal Discussion & Public Comment
- b. Council Comments

10. **ADJOURNMENT**

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3a

Meeting Date: May 4, 2015

TITLE: Draft Minutes

DESCRIPTION: Draft minutes from the April 6, 2015 and April 20, 2015 Town Council meetings.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

5-4-15

Consent

Draft Minutes

**Minutes
Clayton Town Council Meeting
April 6, 2015
6:30 PM**

Present: Mayor McLeod, Mayor Pro Tem Grannis, Council Member Satterfield, Council Member Lawter, Council Member Art Holder and Council Member Jason Thompson

Staff: Steve Biggs, Town Manager; Nancy Medlin, Deputy Town Manager; Robert McKie, Finance Director; David DeYoung, Planning Director; Stacy Beard, Public Information Officer; Bruce Naegelen, Downtown Development Coordinator; Christie Starnes, Library Director; Tommy Ross Information Technology Specialist; Dale Medlin, Electrical Department Supervisor; Katherine Ross, Town Attorney and Kimberly Moffett, Town Clerk.

1. CALL TO ORDER

Mayor McLeod called the meeting to order at 6:36 p.m. He led the Pledge of Allegiance as well as offering the Invocation.

2. ADJUSTMENT OF THE AGENDA

Mr. Biggs requested a Closed Session under NCGS §143-318.11 (a)(3) to consult with the Town Attorney regarding possible litigation.

3. CONSENT AGENDA

- a. Draft minutes – March 2, 2015
- b. Fresh Air Fund Proclamation
- c. Surplus Property Resolution
- d. Municipal Records Retention & Disposition Schedule Resolution
- e. Special Event – Clayton Road Race
- f. Special Event – Santa Baby Road Race
- g. Special Event – Zaxby’s Movie Night(s)
- h. Warranty and Dedication Acceptances
 - Spring Branch Medical Park Phase 2, Smith Packet AL Facility
 - Chandlers Ridge (Old Lyndale) Subdivision, Phase 2

Action: Motion for Approval of Consent Agenda as Presented

Motion: Council Member Satterfield

Second: Council Member Lawter

Vote: Unanimous

4. INTRODUCTIONS AND SPECIAL PRESENTATIONS

- a. Introduction of new employees

Mr. Medlin introduced Conner Franks, who is the new Electric Line Technician. Mr. Franks comes to the Town of Clayton with a strong military

background including three deployments and receipt of twelve medals and ribbons. Mr. Franks stated he was happy to be part of the team.

Mr. Simpson introduced Sonya Davis, who is the new Customer Service Representative. Ms. Davis comes to the town with 20 years of municipal government experiences. Ms. Davis is a North Carolina native and stated she is excited to be part of the Town of Clayton team.

b. Certificate of Excellence in Financial Reporting

Mayor McLeod presented a certificate to Robert McKie in appreciation for having received the highest award in Financial Reporting. Mr. McKie stated he was very honored and appreciative of receipt of this award.

c. Introduction of Miss Clayton 2015

Mr. Keith Branch introduced Miss Clayton 2015, Kensley Leonard. Ms. Leonard is a 2013 NC State graduate. She stated her platform is cyber bullying and prevention. She offered her time and commitment to the Town. Mr. Branch further reported that there were approximately 500 people who were involved or attended the Miss Clayton Pageant. Some of these folks stayed in town and patronized our local hotels, restaurants and shopping. Additionally, the entire court of queens and committee recently met and had lunch at a local downtown restaurant.

Mayor McLeod extended an invitation to Kensley to perform/sing at the 2015 Christmas Tree Lighting Event, which is held the first Thursday in December. Ms. Leonard stated she would be honored.

5. PUBLIC HEARINGS

a. Public Hearing – PDD 2014-127 – Steeplechase Planned Development – Rezoning to PD-MU

Mr. DeYoung stated we are currently awaiting a response from the North Carolina Department of Transportation with regard to traffic study.

Mayor Pro Tem Grannis stated he had received a letter from Mr. Mims who asked to have the letter entered into the official record.

Town Attorney Ross stated the letter is hearsay and therefore cannot be considered as evidence in quasi-judicial hearing.

Action: Public Hearing tabled until April 20, 2015 Town Council Meeting

b. Public Hearing - PSD 2014-128 - Steeplechase Planned Development – Preliminary Plat/Master Plan

Mr. DeYoung stated we are currently awaiting a response from the North Carolina Department of Transportation with regard to traffic study.

Action: Public Hearing tabled until April 20, 2015 Town Council Meeting.

6. OLD BUSINESS

a. Library Card Fees – Updated

Ms. Medlin provided an update regarding Library User Fees. Ms. Medlin previously reported on this item at the March 16, 2015 Town Council meeting. At that time Council asked for a revised fee schedule with regard to inclusion of a family fee.

The suggested annual family fee would be \$50 and this would be for two or more members of the same family. Approval of this fee is part of the Long Range Plan and would also be part of the comprehensive fees and charges, with an effective date of June 1, 2015. This effective date would allow time to begin the issuance of new library cards.

Additionally Ms. Medlin reported that discussions were taking place with the Friends of the Library to work out donations and library card policy.

Mayor McLeod stated he was excited about this proposal and feels that those people who choose to live within city limits and pay taxes should receive benefit for those taxes.

Action: Place on April 20, 2015 Consent Agenda

b. Hocutt-Ellington Memorial Library Long Range Plan

Ms. Starnes provided an in-depth Power Point presentation that focused on the Long Range Plan and Policies. Subjects covered and discussed included:

- Long Range Strategic Plan
- Mission & Vision Statement
- Circulation Policy
- Collection management policy
- Disruptive Behavior Policy
- Unattended child & Disruptive Child Policy
- Meeting Room Use Policy
- Child Safety Guideline Brochure

Action: Place on April 20, 2105 Consent Agenda

7. NEW BUSINESS

a. Clean Sweep Proclamation

Ms. Beard provided background information regarding the request for this proclamation on behalf of Clayton resident, Judith Hoffman, who was unable to attend this evening. Ms. Hoffman is a member of the Neighbors and Newcomers and has spearheaded an annual roadside trash clean-up for several years that coincides with Earth Day. Additionally our Code Enforcement Officer is looking forward to helping out in this effort and hopes to expand future clean-up efforts to a year round basis.

Action: Place on April 20, 2015 Consent Agenda

b. Nomination to Fill Vacancy on Public Arts Advisory Board

Ms. Medlin stated the Public Arts Advisory Board had received an application from Mr. Clark Hipolito for an existing vacancy on the board. Mr. Hipolito brings 25 + years' experience in the art field as well as having worked at MTV for several years. He is extremely qualified to serve on this board and everyone is excited about the possibility of Mr. Hipolito appointment.

Action: Approval of Appointment to Public Arts Advisory Board

Motion: Council Member Holder

Second: Mayor Pro Tem Grannis

Vote: Unanimous

8. STAFF REPORTS

a. Town Manager

Mr. Biggs advised of an adjustment to the Town Council Retreat so that Council Members could attend the funeral of former Council Member Cameron Mercer. The retreat will be held all day on Thursday, April 9th at the Clayton Center. The format will be more of a strategic planning session.

b. Town Attorney

c. Town Clerk

d. Other Staff

9. OTHER BUSINESS

a. Informal Discussion & Public Comment

Mr. James Lipscomb of Home Towne Realty requested permission to test sign blades at Riverwood. These "new home" signs would be located directly under the street name sign and would include arrows to direct folks to the location of new homes within a subdivision. He is requesting a 90 day trial period within the Raven Ridge portion of Riverwood.

Council Member Thompson wanted to ensure this signage would in no way block the street names. This was to insure no problems/ issues occur with possible responding emergency service personnel.

Council Member Satterfield stated he felt this was a good idea and hoped it might cut down on some of the clutter of other signage.

Mayor Pro Tem Grannis confirmed the cost would be bore by the realtor and/or developer. Mr. Lipscomb confirmed that to be the case.

Mr. DeYoung stated the Planning Department was in support of this trial period and felt it might help to cut down on temporary signage.

It was the consensus of the Council to allow for a 90 day trial period as stated above. A follow up report will be provided to the Town Council following the conclusion of the trial period.

Action: Place on Consent for April 20, 2015

b. Council Comments

Council Member Holder brought up the issues of commercial trucks and overnight parking at Horne Square. There was discussion about some type of signage being posted. Council Member Satterfield stated very often there are 20+ parking spots filled at Horne Square before businesses even open in the morning. It is felt these parking spots should be for patrons of the businesses. It was not intended for all day and/or all night parking.

Mr. Lipscomb stated he is currently awaiting an agreement with the NC Railroad for approval regarding these commercial vans parking behind the warehouse at this location. Council Member Satterfield questioned whether vans could parking behind HTR versus parking in the public parking lot at Horne Square. Mr. Lipscomb stated some of the vans in question were broken into over the weekend and security preparations are being taken care of. Mayor McLeod suggested to Mr. Lipscomb that this issue move quickly and further stated he had concerns about this issue being revisited. It was agreed the town would not immediately proceed with posting signage regarding overnight parking.

10. CLOSED SESSION

Action: Move that board go into closed session under NCGS §143-318.11(a)(3) to consult with Town Attorney regarding possible litigation.

Motion: Council Member Thompson

Second: Council Member Holder

Vote: Unanimous

Town Council entered into closed session at 7:31 p.m.

Town Council returned from closed session at 7:48 p.m.

10. ADJOURNMENT

Action: Adjournment

Motion: Council Member Satterfield

Second: Mayor Pro Tem Grannis

Vote: Unanimous

With there being nothing further, the meeting was adjourned at 7:49 p.m.

Duly adopted this 4th day of May, 2015 while in regular session.

**Jody McLeod
Mayor**

ATTEST:

Kimberly A. Moffett, CMC, NCCMC

**Minutes
Clayton Town Council
Work Session
April 20, 2015**

Present: Mayor Jody McLeod, Mayor Pro Tem Michael Grannis, Council Member Art Holder, and Council Member Jason Thompson

Absent: Council Member Butch Lawter

Staff Present: Steve Biggs, Town Manager; Nancy Medlin, Deputy Town Manager; David DeYoung, Planning Director; Stacy Beard, Public Information Officer; Tim Simpson, Public Works Director; Bruce Naegelen, Downtown Development Coordinator; R.W. Bridges, Chief of Police; Dale Medlin, Electric Systems Director; Tommy Roy, PC Technician; Katherine Ross, Town Attorney; Kimberly Moffett, Town Clerk and Christy Anastasi, Deputy Town Clerk

1. CALL TO ORDER

Mayor McLeod called meeting to order at 6:34 p.m. and led the Pledge of Allegiance as well as offering the Invocation.

2. ADJUSTMENT OF THE AGENDA

No adjustments to the agenda

3. CONSENT AGENDA

- a. Draft Minutes – March 16, 2015
- b. Clean Sweep Proclamation
- c. Appointment to Public Arts Advisory Board
- d. Street Blade Real Estate – 90 Day Trial at Riverwood Athletic Club

Action: Approve Consent Agenda as presented.

Motion: Council Member Holder
Second: Council Member Thompson
Vote: Unanimous

Following approval of Consent Agenda, Mayor McLeod presented a proclamation to Ms. Judy Hoffman on behalf of The Newcomers & Neighbors Club and The Environmental Club. Ms. Hoffman thanked the council for their support and recognition.

4. INTRODUCTIONS AND SPECIAL PRESENTATIONS

- a. Request for Preeclampsia Awareness Month Proclamation

Ms. Molly Herring serves a coordinator for “The Promise Walk for Preeclampsia”. The Promise Walk is scheduled to be held in Clayton on May 16, 2015. Preeclampsia is a dangerous and possible life threatening and can occur

during pregnancy. Ms. Herring asked the council to recognize the month of May 2015 as Preeclampsia Awareness Month.

Action: Place on May 4, 2015 Consent Agenda

b. 2015 Peace Officers Day Proclamation

Chief Bridges would like the Council to recognize May 15, 2015 as Police Memorial Day as well as May 10-16, 2015 as Police Week. He expressed that Clayton has lost three officers in the line of duty.

Action: Place on May 4, 2015 Consent Agenda

c. Public Arts Advisory Board Upcoming Projects/Budget Request

Mr. Jason Hardy who serves as Chair of the Public Arts Advisory Board stated plans are to continue the success of the Downtown Sculpture Trail, and expand its reach beyond downtown, identify opportunities for permanent public art in Clayton, introduce and successfully oversee the "Before I Die" project. This project will include a public chalkboard that will encourage citizens to write things they want to do before they die. In order to accomplish these goals the Public Arts Advisory Board is requesting \$21,000. These funds will be offset by some degree by both financial and in-kind donations.

Mayor Pro Tem Grannis stated he would like to thank the Public Art Advisory Board for everything they have done over the past five years.

Action: Place on the May 4, 2015 Consent Agenda

5. PUBLIC HEARINGS

a. Public Hearing – PDD 2014-127 – Steeplechase Planned Development – Rezoning to PD-MU

Mr. DeYoung stated that staff is still waiting on a DOT report.

Action: Tabled - Placed on the May 4, 2015 Agenda

b. Public Hearing – PSD 2014-128 – Steeplechase Planned Development – Preliminary Plat/Master Plan

Mr. DeYoung stated that staff is still waiting on a DOT report.

Ms. Mims, a Clayton citizen, addressed the council and requested a letter be submitted into the official record.

Action: Tabled - Placed on the May 4, 2015 Agenda

6. ITEMS SCHEDULED FOR THE REGULAR MEETING AGENDA

a. Sewer Bid Process for Sam's Branch Phase 2

Mr. Simpson stated this phase will go from Sam's Branch and go just beyond City Road. Opening bids will begin April 22, 2015 and will be located at the Operations Center. The estimate of the project is \$1.6 million dollars.

b. Rezoning - 15-05-02-RZ – Riverwood Athletic Club – Raven's Ridge 8C

Mr. DeYoung stated the applicant DC Adams Engineering Inc. The property is 8.2 acres adjacent to the original Raven's Ridge Phase 8C (formerly known as the House Tract), east of and adjacent to the Neuse River, south of and adjacent to the existing Riverwood Athletic Club, and north of Covered Bridge Rd. The property is currently zoned Residential-Estate (R-E) and its existing use is vacant/agricultural. The applicant is requesting approval to rezone the property to Residential-8 (R-8). The property has recently been, or is currently in process of, annexation into the Town of Clayton. The rezoning is contingent upon an annexation of this property into the Town of Clayton. It represents the continued expansion of the Riverwood Athletic Club (RWAC) subdivision, and will be part of the Raven's Ridge subdivision, Phase 8C. This property is compatible with surrounding land uses, as it will be the continued expansion of RWAC. Adding 13 units the property is accessed through the RWAC subdivision. Project is consistent with the Strategic Growth Plan. Staff is recommending approval of the rezoning.

Action: Set for Public Hearing on May 4, 2015

c. Major Subdivision/Preliminary Plat - 15-08-01-SUB - Riverwood Athletic Club - Raven's Ridge 8C

Mr. DeYoung stated the applicant is DC Adams Engineering Inc. This property is 12.57 acres adjacent to the original Raven's Ridge Phase 8C (formerly known as the House Tract), east of and adjacent to the Neuse River, south of and adjacent to the existing Riverwood Athletic Club, and north of Covered Bridge Rd. The property is currently zoned Residential-Estate (R-E) and its existing use is vacant/agricultural. The applicant is requesting preliminary subdivision plat approval for the major subdivision of Raven's Ridge Phase 8C in the Riverwood Athletic Club (RWAC) Planned Development to allow 33 single family detached residential units, within Town Limits. The request includes a modification to the overall RWAC boundaries to include an additional 8.2 acres (pending annexation) for a total of 33 single family detached residential units. No signage is requested as part of this request. Project is consistent with the Strategic Growth Plan. Required neighborhood meeting was held on March 12, 2015 with no problems. Staff is recommending approval.

Action: Set for Public Hearing on May 4, 2015

d. Rezoning – 14-126-01 – Proctor’s Place

Mr. DeYoung stated the applicant is Calvary Chapel. This is a 0.75+/- acre property. Located at 510 W. Main Street between an apartment building at 444 W. Main Street and a commercial building at 210 W. Main Street. It is currently zoned Residential-10(R-10) and existing use is single family residential and railroad tracks. The applicant is requesting approval to rezone .75+/- acres. The subject property is currently zoned Single Family Residential (R-6). The site is currently vacant. The applicant has indicated that if approved, the site would be developed as a parking lot for uses at the associated Proctor’s Place office complex. This rezoning is consistent with Objective, while not consistent with the proposed land use map. The growth of the downtown and existing uses and revised zoning surrounding this property make B-2 an appropriate designation. Staff is recommending approval of the rezoning. A required neighborhood meeting was held on February 16, 2015 with no problems.

Action: Set for Public Hearing on May 4, 2015

e. Rezoning I - 15-05-01 – Horne Memorial Church

Mr. DeYoung stated this property is 0.714 acres and is currently zoned Residential-6 (R-6). Proposed zoning Office-Institutional (O-I). Current use is church, church daycare, and church offices. This rezoning is consistent with the Strategic Growth Plan. Staff is recommending approval of the rezoning of these three parcels. A required neighborhood meeting was held on January 21, 2015 with no problems with the rezoning.

Action: Set for Public Hearing on May 4, 2015

7. ITEMS CONTINGENT FOR THE REGULAR MEETING

a. Warranty and Dedication Request

- Cleveland Draft House of Clayton

Action: Place on the May 4, 2015 Consent Agenda

b. Ordinance Amending Code of Ordinance

This ordinance will amend the Towns Code of Ordinance to allow Clayton Police Department access to SBI/DCI Criminal Record when conducting a background check for issue of an ABC permit.

Action: Place on the May 4, 2015 Consent Agenda

c. Special Event – 2015-06 – Harvest Festival

Mr. Naegelen stated the Harvest Festival will be September 16-20, 2015. This event will be held on Main Street, Horne Square & Town square. This annual event will include rides, food vendors, and vender booths selling various items, concerts and talent shows. Request closure of Horne Square parking lot, Town Square Parking Lot, and public streets as requested. Special Events Committee recommends approval.

Action: Place on the May 4, 2015 Consent Agenda

d. Special Event – 2015-07 – Clayton Shindig

Mr. Naegelen stated the Clayton Shindig will be held October 10, 2015. This music festival is sponsored by Clayton Mid-Day Rotary and all proceeds for all local charities. This event will be located 110 W. Main Street. A total of 24 roll-out trash carts will be provided. Request to close Town Square parking lot; Fayetteville Street from Main & Second; Second Street from Fayetteville Street to O'Neil. Special Events Committee recommends approval.

Action: Place on the May 4, 2015 Consent Agenda

e. Other

Town Manager Steve Biggs and Town Clerk Kimberly Moffett suggested that additional item be added to the work session agenda. This will be for administrative items and will not include any public discussion or presentation.

Action: Approval of above addition

8. ITEMS FOR DISCUSSION

a. Archer Lodge Animal Control Service Request

Mr. Biggs has received a request from the Town of Archers Lodge in reference to Animal Control Services. Archers Lodge is requesting use of Clayton's Animal Control Officer.

Discussion regarding this request took place.

Mayor Pro Tem Grannis confirmed that we have only one Animal Control Officer at this time. Mr. Biggs stated that was correct. There were questions regarding our ability to handle additional responsibility. Chief Bridges stated he felt confident it would not be an issue.

Council Member Satterfield stated he would support a short term plan versus a long range plan. All council members were in agreement. Mr. Biggs stated a one year contract could be drafted and reviewed at the end of the contract. Mr. Biggs stated a contract will be drafted and will bring back to council for approval.

9. OLD BUSINESS

a. Hocutt Ellington Memorial Library Long Range Plan

Ms. Medlin stated an error was discovered in the circulation policy. The policy failed to state that all Johnston County Education Employees are to have free access to the library.

Council Member Satterfield has a concern with ALL Johnston county Education employees but is in agreement to Clayton School Education Employees receive free access to the library.

Mr. Biggs explained the reasoning behind the process was inclusion of several Clayton schools not in town limits. All council members are in agreement.

Ms. Medlin stated new fees would be effective June 1, 2015.

Action: Suspend rules of work sessions in order to take action/vote

**Motion: Council Member Holder
Second: Council Member Thompson
Vote: Unanimous**

Action: Approval of Long Range Plan

**Motion: Council Member Thompson
Second: Council Member Holder
Vote: Unanimous**

b. Library Card User Fees

Ms. Medlin stated this Ordinance would be update the Towns Fees and Charges, effective June 1, 2015

Action: Approval of Ordinance

**Motion: Mayor Pro Tem Grannis
Second: Council Member Holder
Vote: Unanimous**

10. STAFF REPORTS

- a. Town Manager**
- b. Town Attorney**
- c. Town Clerk**

- Calendar of Events
- d. Other Staff

11. **OTHER BUSINESS**
- a. Informal Discussion & Public Comment
 - b. Council Comments

Mark Wilson who is an Archers Lodge Council Member thanked the Council and staff for their willingness to assist with the request for animal control services.

Ms. Bertha Crabtree stated she was not happy with the new fees for the library. She stated that many folks outside of town limits have been very supportive of the library.

Council Member Satterfield stated there would be a meeting of the Friends of the Library on Tuesday, April 21, 2015

12. **ADJOURNMENT**

Action: Adjournment at 7:41 p.m.

Motion: Council Member Thompson
Second: Mayor Pro Tem Grannis
Vote: Unanimous

With there being nothing further, the meeting was adjourned.

Duly adopted this 4th day of May, 201t while in regular session.

Jody McLeod
Mayor

ATTEST:

Kimberly A. Moffett, CMC, NCCMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3b

Meeting Date: May 4, 2015

TITLE: Draft Minutes – Closed Session

DESCRIPTION: Draft minutes from the April 6, 2015 Town Council Closed Session are submitted for approval.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

5-4-15

Consent

**Draft Minutes
(Hand delivered to
Council Members)**

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3c

Meeting Date: May 4, 2015

TITLE: Preeclampsia Proclamation

DESCRIPTION: Molly Herring, who serves as the coordinator the “The Promise Walk for Preeclampsia”, will be present to accept a Proclamation recognizing May 2015 as Preeclampsia Awareness Month. Proclamation will be presented following approval of Consent Agenda.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Presentation/Request For Proclamation	Proclamation
5-4-15	Consent Agenda	Proclamation



**TOWN OF CLAYTON
PROCLAIMING MAY 2015 AS
PREECAMPLSIA AWARENESS MONTH**

WHEREAS, Preeclampsia, including HELLP syndrome and eclampsia, is a dangerous condition of pregnancy that can, in its severest form, lead to maternal and/or infant mortality or premature birth with significant health risks for the mother and baby; and

WHEREAS, as many as 320,000 cases of preeclampsia are diagnosed in America every year with approximately 25% resulting in severe, life-threatening consequences to a pregnant woman and her baby; and

WHEREAS, 24,000 births are affected by preeclampsia each year in the state of North Carolina; and

WHEREAS, public education as to the signs and symptoms of preeclampsia, HELLP syndrome and eclampsia can help women recognize the condition and seek appropriate medical care. Prenatal education should include recognition of those signs and symptoms (spikes in maternal blood pressure, sudden swelling of face and hands, severe upper abdominal pain, blurred vision, persistent headaches, breathlessness); and

WHEREAS, many citizens of Clayton have joined with the Preeclampsia Foundation to raise public awareness in order to minimize maternal and infant illness and death due to preeclampsia; and

WHEREAS, a Promise Walk will be held on Saturday, May 16, 2015 at the East Clayton Community Park.

NOW, THEREFORE, the Honorable Mayor and Clayton Town Council wish to recognize May 2015 as

PREECLAMPSIA AWARENESS MONTH

Duly proclaimed by the Clayton Town Council this 4th day of May 2015, while in regular session.

Jody McLeod
Mayor

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3d

Meeting Date: May 4, 2015

TITLE: Police Memorial Day/Police Week Proclamation

DESCRIPTION: Proclamation recognizing May 15, 2015 as Police Memorial Day and recognizing May 10 – 16, 2015 as Police Week.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Presentation/Request For Proclamation	Proclamation
5-4-15	Consent Agenda	Proclamation

ROCLAMATION

TOWN OF CLAYTON
2015 PEACE OFFICERS MEMORIAL DAY & POLICE WEEK

WHEREAS, as a Nation, we rely on law enforcement officers to keep our neighborhoods safe, enforce our laws, and respond in times of crisis; and

WHEREAS, The Town of Clayton Police Officers maintain peace and order across our Town, and we look to them as models of courage and integrity; and

WHEREAS, during Police Officers Week, we take this opportunity to honor their extraordinary service and sacrifice, and we remember the fallen heroes whose selfless acts have left behind safer streets and a stronger community; and

WHEREAS, Officers face the threat of violence and danger every day, they routinely put their lives on the line to defend ours, and the price of that bravery cannot be measured. The steadfast dedication of our law enforcement officers warrants more than praise; and

WHEREAS, by a joint resolution approved October 1, 1962, and by Public Law 103-322, the President of the United States has been authorized and requested to designate May 15 of each year as "Peace Officers Memorial Day" and the week in which it falls as "Police Week"; and

NOW THEREFORE, we call upon all citizens to reflect on the way in which our lives have been touched by the Officers who stand guard over our community; and

IN WITNESS WHEREOF, The Clayton Town Council does hereby proclaim May 15, 2015, as Peace Officers Memorial Day and May 10 through May 16, 2015, as Police Week.

Duly adopted this 4th day of May, 2015 while in regular session.

Jody McLeod
Mayor

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3e

Meeting Date: May 4, 2015

TITLE: Ordinance amending Chapter 112 Section 17 of the Town of Clayton Code of Ordinances.

DESCRIPTION: This ordinance will amend the Town Code of Ordinances by authorizing the Clayton Police Department to seek access to SBI/DCI criminal record information for use in making recommendations with regard to suitability of person(s) seeking an ABC permit within the Town of Clayton

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Place on May 4, 2015 Consent Agenda	Ordinance
5-4-15	Consent Agenda	Ordinance

AN ORDINANCE AMENDING CHAPTER 112 SECTION 17 OF THE CODE OF ORDINANCES OF THE TOWN OF CLAYTON, NORTH CAROLINA.

AUTHORIZING THE CLAYTON POLICE DEPARTMENT TO SEEK STATE ACCESS TO SBI/DCI CRIMINAL RECORD INFORMATION FOR USE IN MAKING RECOMMENDATIONS ON THE SUITABILITY OF A PERSON OR OF A LOCATION FOR AN ABC PERMIT.

WHEREAS, North Carolina General Statute § 18B-904(f) provides that the governing body of a town may designate an official of the town, either by name or position, to make recommendations to the State ABC Commission on behalf of the town concerning the suitability of a person or of a location for issuance of an ABC permit when the proposed location is within the Town; and

WHEREAS, The Chief of Police, or any Police Captain designated by the Chief of Police, is designated as the official authorized to make recommendations on behalf of the governing body concerning the suitability of a person or of a location for an ABC permit within the Town of Clayton jurisdiction pursuant to North Carolina General Statute § 18B-904(f); and

WHEREAS, in order to make said recommendations, the Clayton Police Department, desires State access to the SBI/CCI Criminal History Record information to obtain criminal history information on all persons applying for ABC permits for proposed locations within the Town of Clayton; and

WHEREAS, the Clayton Police Department will obtain said criminal history on each applicant based upon identification regarding the applicant contained in the notice of permit application received from the State ABC Commission; and

WHEREAS, if said criminal history information reveals that an applicant has been convicted or any felony, a misdemeanor involving drugs or alcohol, or any offense in violation of Article 26 of Chapter 14 of the North Carolina Statutes, the Clayton Police Department will file a written objection to the issuance of the permit; and

WHEREAS, the State ABC Commission is the government agency responsible for the issuance of all ABC permits;

NOW, THEREFORE, BE IT ORDAINED by the Town Council for the Town of Clayton, North Carolina, that Chapter 112 of the Code of Ordinance, Clayton, North Carolina, shall be amended as follows:

Section 17 – Section is added as follows:

Section 17: Police authority regarding criminal history information for applicants for ABC Permits.

The Clayton Police Department shall be authorized to seek state access to SBI/DCI Criminal History Record Information to obtain criminal history information on all persons applying for ABC permits for proposed locations within the Town of Clayton.

All ordinances in conflict herewith are hereby repealed.

Should any provision of this ordinance be declared invalid or unconstitutional by any court of any competent jurisdiction, such deliberation shall not affect the validity of this ordinance as a whole or any part thereof which is not specifically declared to be invalid or unconstitutional.

This ordinance shall take effect immediately following date of adoption.

Duly adopted this 4th day of May, 2015.

Jody L. McLeod
Mayor

ATTEST:

Kimberly A. Moffett, CMC, NCCMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3f

Meeting Date: May 4, 2015

TITLE: Special Event – 2015-06 – Harvest Festival

DESCRIPTION: Approval of 2015 Harvest Festival to be held September 16 – 20, 2015.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Place on May 4, 2015 Consent Agenda	Special Event Report
5-4-15	Consent Agenda	Special Event Report



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Harvest Festival **File Number:** 2015-06
Event Description: Rides, food vendors, vendor booths selling various items, concerts, talent shows and contest
Event Date(s): 9/16-20/2015 **Event Time(s):** Various
Event Location: Main Street, Horne Square & Town Square
Event Coordinator: Polly Mudd **Contact Number:** 919-255-2662
Contact Email: polly@claytonchamber.com
Attendees (Per Day): 20,000

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Electric Dept	Activation of all power sources (Town Square, Horne Square, Main St & Library, Main Street @ Community Garden)	9/14/15	Dale Medlin	359-1292
Public Works	Roll-Out Trash & Recycled carts Road closure blockades & cones per IAP	Deliver: 9/16/15 & Pick-up: 9/21/15	Steve Blasko	359-1287
Police Department	Road-blocking and detour planning per IAP		Ken Lunger	550-0826
Police Department	Install barricades & cones for road blocking per IAP	Deliver: 9/18 at 5:00 am Pick-up: 9/20 at 5:00 pm	Ken Lunger	550-0826
Parks & Recreation	3 sets of bleachers (if available) at Town Square & lime machine to mark vendor spaces	Deliver: 9/16/15 & Pick-up: 9/21/15	Larry Bailey	359-9372
Town Council	Authorize closure of Horne Square parking lot, Town Square Parking Lot, and public streets as requested (attached)	9/13/15 to 9/20/15		

STAFF USE:

Cmte Approval	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Date: 3/26/15	<input type="checkbox"/> No Council Action needed
Council Action	Presentation Date: 4/20/15 Consent Agenda Date: 5/4/15		<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
Pending Actions	<input checked="" type="checkbox"/> DOT Road Closure Approval <input checked="" type="checkbox"/> ABC Permit Submittal <input type="checkbox"/> Other		<input type="checkbox"/> Issue Permit Date:

**Road & Parking Lot Closure Request
Clayton Harvest & Music Festival
2015-6**

Council Request:

- ◆ September 13-21, 2015 (Monday – Monday)
 - Closure of **Horne Square & parking lot** *all day and night*
- ◆ September 16, 2015 (Wednesday)
 - Closure of **Town Square Parking Lot** *4:00 pm – 11:00 pm*
- ◆ September 18-19, 2015 (Friday-Saturday)
 - Closure of **Town Square Parking Lot** *from 4:00 pm on 9/18 to 11:59 pm on 9/19*
- ◆ September 18-20, 2015 (Friday-Saturday)
 - Closure of **Fayetteville Street from Main to Second** *from 5:00 am on 9/18 to 11:59 pm on 9/19*
- ◆ September 19, 2015 (Saturday)
 - Closure of **Main Street from O'Neil St to Second St** *5:00 am – 6:00 pm*
 - Closure of **Lombard Street from Main to Second Street** *5:00 am – 6:00 pm*
 - Closure of **N. Lombard Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **S. Church Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **N. Church Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **N. Fayetteville Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **Barbour Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **Smith Street** from Main to Second Street *5:00 am – 6:00 pm*
 - Closure of **Main Street from O'Neil Street to S. Fayetteville Street** *5:00 am – 11:00 pm (New)*

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3g

Meeting Date: May 4, 2015

TITLE: Special Event – 2015-07 – Clayton Shindig

DESCRIPTION: Approval of 2015 Clayton Shindig scheduled for October 10, 2015

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Place on May 4, 2015 Consent Agenda	Special Event Report
5-4-15	Consent Agenda	Special Event Report



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: The Clayton Shindig **File Number:** 2015-07
Event Description: Music festival sponsored by Clayton Mid-Day Rotary proceeds to local charities
 Set up: start 10/9 (Friday) at 10:00 am end 10/10 (Saturday) at 11:30 pm
Event Date(s): 10/10/2015 **Event Time(s):** (Saturday) at 11:30 pm
Event Location: 110 W. Main Street
Event Coordinator: Dave Brown **Contact Number:** 919 812-6969
Contact Email: dave@earthplow.org
Attendees (Per Day): 2000

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	24 roll-out trash carts; 19 roll-out recycled carts <i>Organizer is negotiating with a potential vendor to handle trash and will communicate needs to TOC 45 days prior to event</i>	Deliver to Town Square: 10/9 and pick up 10/11	Steve Blasko	359-1287
Public Works	Barricades to close: Town Square parking lot; Fayetteville Street from Main & Second; Second Street from Fayetteville to O'Neil	Deliver: 10/9/15 by 10 am Pick-Up on 10/11/15	Steve Blasko	359-1287
Electric Dept.	Assure power sources at Town Square (O'Neil St & Fayetteville St) are in working order	10/9/15	Dale Medlin	359-1292
Town Council	Authorize Closure of Town Square parking lot & Fayetteville Street between Main & Second from 10:00 am 10/9/15 (Friday) to 11:30 pm on 10/10/15 (Saturday); Second Street between Fayetteville & O'Neil from 6:00 am to 11:30 pm; and The Clayton Center Parking Lot on 10/10/15 from 6:00 am to 11:30 pm			

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Date: 3/26/15	<input type="checkbox"/> No Council Action needed
Council Action	Presentation Consent Agenda	Date: 4/20/15 Date: 5/4/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval <input checked="" type="checkbox"/> ABC Permit Submittal <input type="checkbox"/> Other		<input type="checkbox"/> Issue Permit Date:

**Road & Parking Lot Closure Request
Clayton Shindig
2015-7**

Council Request:

- ◆ Fayetteville St. from Main Street to Second St. - 10/09/15 (*Friday*) 3:00 pm to 11:30 pm 10/10/15 (*Saturday*)
- ◆ Second St. from O'Neil to Fayetteville Streets 10/10/15 (*Saturday*) 6:00 am to 11:30 pm
- ◆ Town Square Parking Lot 10/09/15 (*Friday*) 3:00 pm to 11:30 pm 10/10/15 (*Saturday*)
- ◆ Horne St. Parking lot at The Clayton Center 10/10/15 (*Saturday*) 6:00 am to 11:30 pm

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3h

Meeting Date: May 4, 2015

TITLE: Warranty and Dedication Acceptances - Cleveland Draft House of Clayton

DESCRIPTION: Acceptance public water and sewer utilities along with all related utility easements. Following acceptances, utilities will be subject to a one-year warranty period. Upon expiration of warranty, final inspection will be done and all deficient items corrected by developer prior to final acceptance.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Place on May 4, 2015 Consent Agenda	Inspectors Memos
5-4-15	Consent Agenda	Inspectors Memo

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE
(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk 

From: Chris Rowland, Utility Inspector

Copy: Steven Sanderson, Sanderson Engineering
David DeYoung, Planning Director

Date: March 13, 2015

Subject: Cleveland Draft House of Clayton

Please place a warranty acceptance request for the subject public water and sewer utilities along with all related utility easements on the next available agenda. Record drawings have been reviewed and accepted. Following acceptance, the utilities will be subject to a one-year warranty period. Upon expiration of said warranty, a final inspection will be done and all deficient items corrected by the developer prior to final acceptance.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5a Meeting Date: May 4 2015

TITLE: Public Hearing - PDD 2014-127 – Steeple Chase Planned Development – Rezoning to PD-MU

DESCRIPTION: Steeple Chase Planned Development – Rezoning to PD-MU. This is a 631 acre project and is generally located east of City Road, west of North O’Neil Street, and between Sam’s Branch and the Neuse River. The applicant is requesting approval to rezone the subject property to Planned Development –Mixed Use.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing TABLED – 3/16/15	Updated Staff Report Supporting Documents
3-16-15	Public Hearing TABLED – 4/6/15	Staff Report Supporting Documents
4-6-15	Public Hearing TABLED - 4/20/15	Staff Report Supporting Documents Traffic Impact Study
4-20-15	Public Hearing TABLED– 5/4/2015	Staff Report Supporting Documents Traffic Impact Study
5-4-15	Public Hearing To be tabled	Staff Report Supporting Documents Traffic Impact Study



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PDD 2014-127 (Rezoning to Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PSD 2014-128 (Master Plan)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O’Neil Street, and between Sam’s Branch and the Neuse River.

REQUEST: The applicant is requesting approval to rezone the subject property to Planned Development – Mixed Use.

SITE DATA:

Acreage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

ADJACENT ZONING AND LAND USES:

North:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
South:	Zoning:	Residential Estate (R-E), Residential 8 (R-8 SUD)
	Existing Use:	Vacant / Single Family Residential /Agriculture
East:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential / Agriculture
West:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting the subject property be rezoned to Planned Development – Mixed Use (PD-MU). Concurrent with the request to rezone property to a Planned Development District, a Master Plan has been submitted. That application is under concurrent review under case #PSD 2014-128. Both the rezoning and the master plan must be approved for the PD-MU District to be approved. Details of the Master Plan are provided in a separate staff report.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Compatibility with Surrounding Land Uses

Although the overall proposed density is 4 dwelling units per acre, the master plan has been designed to provide lower densities adjacent to existing subdivisions. These lower densities are compatible to the densities in the adjacent subdivisions and provide a transition from the higher density/intensities. The commercial parcel is currently limited in the master plan regulating documents to neighborhood commercial (B-2 uses) and a maximum of 75,000 square feet of floor area.

Landscaping and Buffering

Planned Developments require a Class C perimeter buffer is provided along the boundary of the property.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions.

CONSIDERATIONS

- The applicant is requesting approval of a rezoning of the subject parcel to Planned Development – Mixed Use.
- This approval is subject to approval of PSD 2014-128 (Master Plan).
- The final decision is made by the Town Council with recommendation from the Planning Board.
- The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.

STAFF RECOMMENDATION

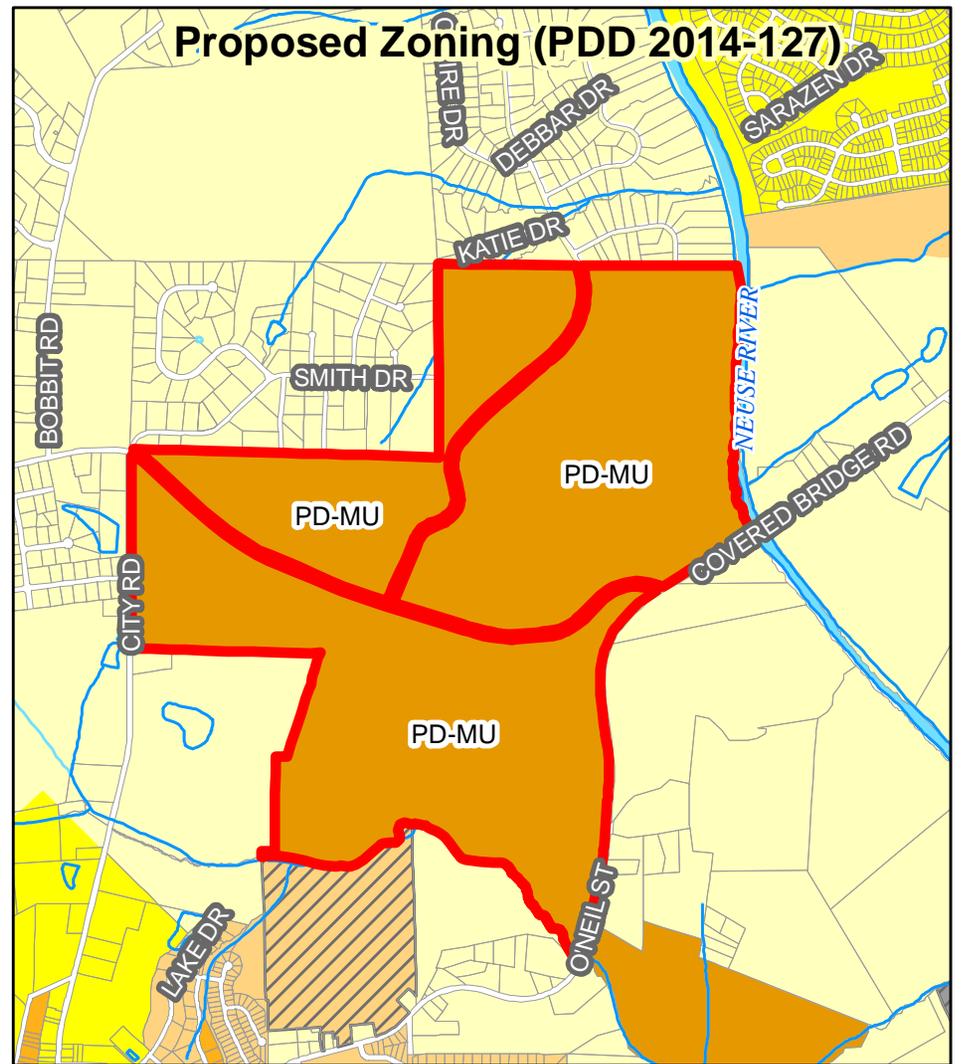
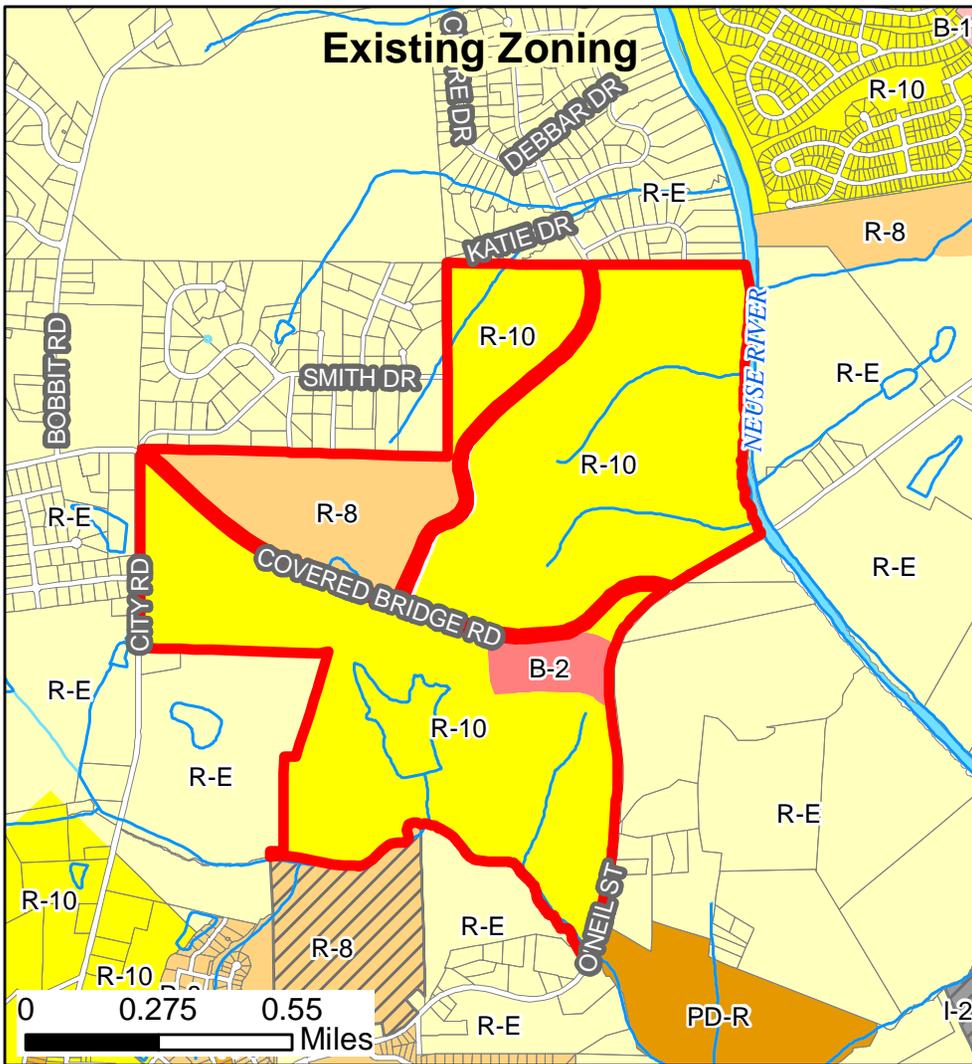
Staff is recommending:

- 1) Approval of the rezoning.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Existing and Proposed Zoning Map
2. Aerial Map
3. Application
4. Neighborhood Meeting Materials



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

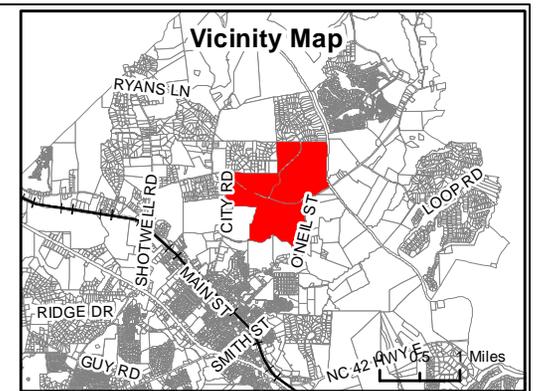
Produced by: TOC Planning

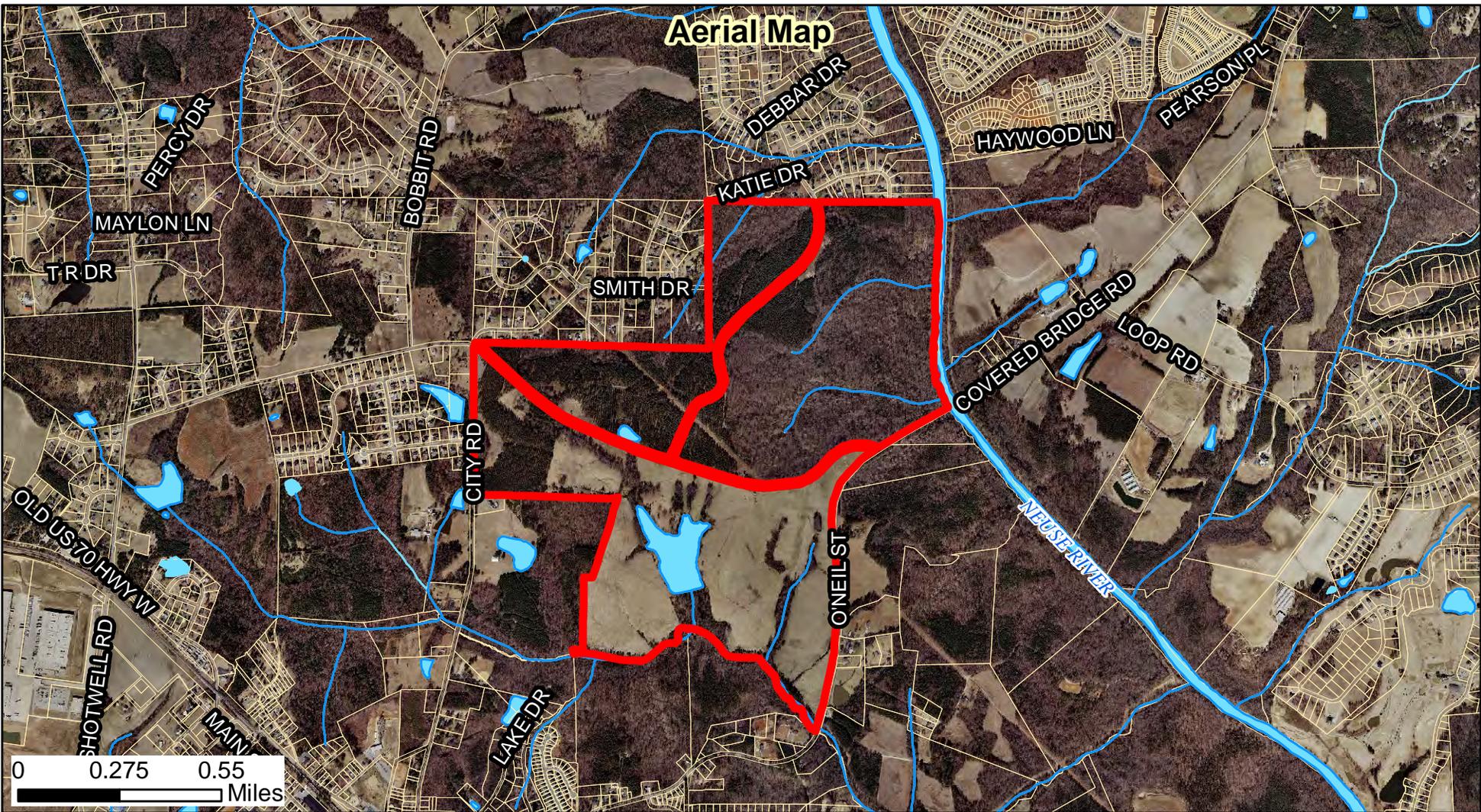
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				Special Use District





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

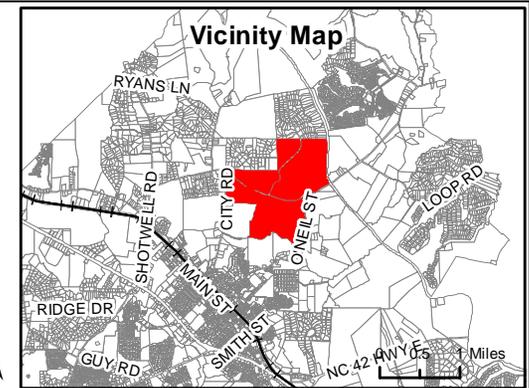
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

- SteepleChase_Site
- Water Features





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 Planning Department
 111 E. Second Street, Clayton, NC 27520
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 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.

If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.

SITE INFORMATION:

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed AC)
 Parcel ID Number: 05H02009 Tax ID: 0869846
 Deed Book: 03897 Deed Page(s): 0735
 Address: 1162 Covered Bridge Road, Clayton, NC 27520
 Location: South of Smith Ridge Estates and Ole Mill Stream Subdivisions, and North of Sams Branch
Greenway between Covered Bridge Road and City Road
 Existing Use: Vacant Proposed Use: Residential/Commercial
 Existing Zoning District: R-10, R-8, and Neighborhood Business (B-2)
 Requested Zoning District: PD MU
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): Watershed Protection Overlay District

FOR OFFICE USE ONLY

File Number: 2014-127 Date Received: 10/6/14 Amount Paid: \$4,155⁰⁰

OWNER INFORMATION:

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:**
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION:

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

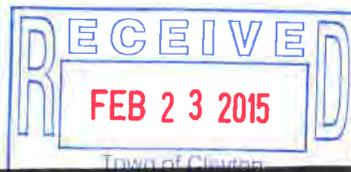
The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- A signed and sealed boundary survey (**not more than a year old unless otherwise approved by the Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

JUSTIFICATION STATEMENT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

The request is to rezone 631.06 acres at 1162 Covered Bridge Road from R-8, R-10 and neighborhood business (B-2) to PD MU. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units.



UPDATED FINDINGS OF FACT

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

The Town of Claytons Strategic Growth plan adopted in 2008 designates a majority of the property as residential medium and small portion as neighborhood commercial. The residential medium designation allows up to 8 dwelling units to the acre. The proposed use is for 3.96 dwelling units to the acre which is compliant with the Strategic Growth Plan.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The permitted uses and the proposed uses are generally the same. The subject property is primarily gently rolling land with the R. E. Earp pond located on the southern tract. The USDA soils study identifies this land as suitable for residential development.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed designation allows for a mixture of residential uses with some neighborhood commercial at the intersection of O'Neil and Covered bridge Roads. These uses proposed for this property are designated in Town of Clayton's Strategic Growth Plan and complies with the balance of uses identified in the plan.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

The volume of wastewater to be generated is calculated to be 554,555 gallons per day at build-out for 2,200 units in 35 phases. Town engineering has indicated that downstream gravity outfall, pumping and treatment facilities are adequate for this volume. Public water supply needed to serve those units is expected to be 610,010 gallons and is available to the site. The site will meet all local, state and federal stormwater management criteria for both quantity and quality control on the property. Local road corridors have been analyzed and a Traffic Impact Analysis has been prepared and is now being updated per comments from NCDOT and Town officials. Final road improvement recommendations are pending. The proposed land plan will set aside both passive and active open space areas to serve the project. In addition a public greenway will pass through the site. A 28-acre school site is being reserved for a public school. The County Public School system has not indicated any concerns for student capacity issues due to the proposed project.

5. It has been determined that the legal purposes for which zoning exists are not violated.

The existing zoning is not in error and is compliant with the Town of Clayton Strategic Growth Plan. The rezoning to PD MU will still allow the current uses but will allow for the orderly and unified development of the site.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

The proposed development has access to public water and sewer adjacent to the site. The stormwater will be treated on site and will address volume and quality issues prior to discharge. A Traffic Impact Analysis is in the process of being completed and should indicate that with the proposed road improvements adjacent to the site that there will be no adverse traffic impacts as well.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

No one adjacent property owner will benefit at the detriment of the general public. The proposed uses are already permitted in the current zoning, the rezoning will allow for an orderly and unified development of the site. The orderly and unified development of the site should benefit the adjacent property owners overall.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE, CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT, CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY, CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)
RALEIGH NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

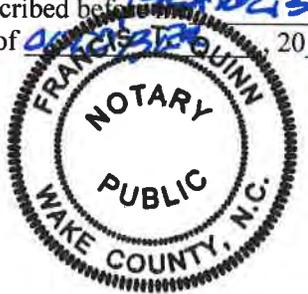
OWNER AUTHORIZATION:

Mary Earp Worley (Name - type, print clearly) 7020 NC 42 East (Address)
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard 3100 SMOKE TREE CT
 (Name - type, print clearly) (Address)
RALEIGH NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp 7230 NC 42 E
 (Name - type, print clearly) (Address)
Nancy C Karp Selma, NC 27576
 (Owner's Signature) (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL Francis T. Quinn
 Notary Public
 My Commission Expires: MAY 5, 2016



NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Jay Hill 2013	Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Moore Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton, NC 27520
2	John Clarke	1415 Brook Hill Drive
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NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

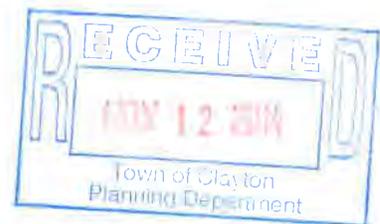
General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



TOWN OF CLAYTON
ZONING AMENDMENT
CONSISTENCY AND REASONABLENESS STATEMENT

PDD2014-127
Steeplechase rezoning to PD-MU

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- The Proposed Land Use Map (Figure 6.4)
- Objective 1.2 – increase residential presence in downtown.
- Objective 2.1 – balance development/investment: old & new.
- Objective 2.5 – more housing opportunities: beyond starter homes.
- Objective 5.1 – expand greenway program.

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically:

- **Staff recommends that the Planning Board approve the rezoning.**
- **The Planning Board recommends an approval of the rezoning at their February 23, 2015 meeting.**
- **The Planning Board recommended approval of the Steeplechase Planned Development Master Plan (PSD2014-128, which functions as the Preliminary Subdivision Plan at their February 23, 2015 meeting.**

the above referenced zoning amendment is reasonable and in the public interest.

COUNCIL MOTION SHEET
ZONING ORDINANCE AMENDMENT
(Rezoning or Text Amendment)

After considering the recommendations of the Planning Board and Planning Director, I move to [**approve OR deny**] [**PDD 2014-127**]

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet [with the following modifications: STATE MODIFICATIONS, IF ANY].

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
AND ZONING MAP
OF THE TOWN OF CLAYTON, NORTH CAROLINA**

PDD 2014-127 “Steeplechase Planned Development” Rezoning to PD-MU

WHEREAS a petition has been filed with the Town Council of the Town of Clayton requesting an amendment to the Zoning Ordinance and Zoning Map of the Town of Clayton to include in the Planned Development – PD-MU zone the property described below, said property formerly being zoned Residential (R-8), Residential-10 (R-10) and Neighborhood Business (B-2); and

WHEREAS said property is owned by Nancy Crews Earp and Mary Earp Worley; and

WHEREAS the Planning Board of the Town of Clayton has reviewed the proposed change(s) and made a recommendation thereupon; and

WHEREAS notice of a public hearing to consider the proposed change was published in accordance with law in the Clayton News Star, a local newspaper, as required by Section 155.702(D) of the Clayton Unified Development Code and by Section 160A-364 of the North Carolina General Statutes; and

WHEREAS a notice of the proposed zoning classification action was mailed to the owner(s) of the parcel(s) of land involved, as shown on the County Tax Listings, and to the owners of all parcels of land abutting that (those) parcel(s) of land and within 100 feet of the subject parcel(s) of land, as shown on the County Tax Listings, by depositing a copy of the same in the United States Mail, first class postage paid, as required by Section 155.702(D) of the Zoning Ordinance of the Town of Clayton and by Section 160A-384 of the General Statutes; and

WHEREAS the said public hearing was actually conducted at 6:30 p.m. on April 6, 2015, wherein a reasonable opportunity was given to all those in attendance to speak either in favor or against the said change or to make relevant comments;

THEREFORE, after duly considering the matter, THE TOWN COUNCIL OF THE TOWN OF CLAYTON DOES HEREBY ORDAIN:

SECTION 1. That the Unified Development Code of the Town of Clayton is hereby amended to include in the Planned Development – PD MU zone the following described property:

General Description:

South of Smith Ridge Estates and Ole Mill Stream Subdivision, North of Sam's Branch Greenway, between Covered Bridge Road and O'Neil Street on the east, and City Road on the west, with Covered Bridge Road, and Brookhill Drive running partly through the parcel.

Specific Description:

Parcel No. 05H02009 Tax ID #0869846

SECTION 2. That the official Town of Clayton Zoning Map is hereby amended to include in the Planned Development – PD-MU zone the above-described property and will be so marked.

SECTION 3. That if any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. That this ordinance shall become effective immediately upon its adoption.

DULY ADOPTED this 4th day of May, 2015.

Jody L. McLeod
Mayor

ATTEST:

Kimberly A. Moffett, CMC
Town Clerk

PDD 2014-127

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5b

Meeting Date: May 4, 2015

TITLE: Public Hearing - PSD 2014-128

DESCRIPTION: Steeplechase Planned Development – Preliminary Plat/Master Plan. The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing TABLED – 3/16/15	Updated Staff Report Supporting Documents
3-16-15	Public Hearing TABLED – 4/6/15	Staff Report Supporting Documents
4-6-15	Public Hearing TABLED – 4/20/15	Staff Report Supporting Documents Traffic Impact Study
4-20-15	Public Hearing TABLED – 5-4-15	Staff Report Supporting Documents Traffic Impact Study
5-4-15	Public Hearing To be Tabled	Staff Report Supporting Documents Traffic Impact Study



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PSD 2014-128 (Preliminary Plat / Master Plan for Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PDD 2014-127 (Rezoning to PD-MU)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

SITE DATA:

Acreeage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Existing Impervious: None – site is undeveloped
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

DEVELOPMENT DATA:

All information below is as proposed by the applicant. Planned developments are unique in that they do not carry pre-established development standards. All bulk, area, and dimensional standards are set by the approval process and are binding once approved by Town Council. (See §155.202(L)). PLEASE NOTE THAT ALL MODIFIED DEVELOPMENT STANDARDS ARE SPECIFICALLY LISTED IN THE MASTER PLAN DOCUMENT. STANDARDS WHICH ARE NOT SPECIFICALLY CALLED OUT MUST MEET THE MINIMUM REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

Proposed Uses:	Residential/Non-residential – mix of housing types (single family, townhomes, condominiums and apartments), recreational amenities, and commercial uses.
Proposed Buildings:	Multiple buildings and phases include mixed residential, commercial and recreational (club house) buildings.
Proposed Residential Density:	Maximum 4 units per acre for residential portion of property (calculation does not include commercial site)
Proposed Commercial Intensity:	9.91 acres / 80% per lot building coverage / 75,000 SF max.
Proposed Maximum Building Height:	<p>Detached Homes – Single Family: 35 feet max.</p> <p>Attached Homes – Townhome & Single Family: 45 feet max.</p> <p>Multi-Family – Condos & Apartments: 55 feet max.</p> <p>Amenity and Club: 45 feet max.</p> <p>Commercial Area: 80 feet max.</p> <p><i>Staff note: For reference, the maximum height in all existing general residential zoning districts is 35 feet. Maximum height in existing general commercial zoning districts is 60 feet (in B-3 and O-1). Maximum height for apartments/condos/townhomes is set by the Planned Development process.</i></p> <p><i>Staff supports the request for 80 feet in height for the Commercial area because it would allow for mixed use development with office and residential uses in upper stories.</i></p>
Proposed Impervious Surface:	<p>Overall Development: 70%</p> <p><i>The Master Plan is divided into a series of phases. Some phases may exceed maximum impervious with the understanding that the overall project may not exceed the maximum impervious surface percentage. As each phase is approved for development, it will be reviewed for consistency with the maximums set in the Master Plan, ensuring the overall development does not exceed the 70% maximum.</i></p>
Required Parking:	Parking will be required as established by the Unified Development Ordinance and will be reviewed as each phase is approved for development.
Access:	Primary access is identified along Covered Bridge Road (3 aligned entrances/intersections) and North O’Neil Street (two entrances).

	Additional internal connections exist along Brook Hill Drive as well as interconnectivity to existing stub streets in Smith Ridge estates and Old Mill Stream subdivisions. Additional access points may occur on City Road if the School District utilizes the portion of the site set aside for school use. Several major roadway improvements will be necessary as a part of this development. Details of roadway and intersection improvements will be determined as part of the review of the Traffic Impact Analysis. The Traffic Impact Analysis review by NCDOT is included as an attachment to this staff report.
Water/Sewer Provider:	Town of Clayton
Electric Provider:	Town of Clayton
Proposed minimum Recreation and Open Space:	Overall: 64.98 Acres Active Recreation: 16.245 acres <i>See discussion on Recreation and Open Space, below. Recreation and Open Space and Active Recreation acreages are minimums and cannot be reduced except by Town Council approval via a major modification to the Master Plan.</i>
Proposed Dimensional Standards:	Minimum Dimensional Standards (setbacks, building coverage, and height) are set based on use in the Master Plan. The Master Plan includes a provision that all setbacks may be modified by up to 20% with approval by the Planning Director.

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

South: Zoning: Residential Estate (R-E), Residential 8 (R-8 SUD)
Existing Use: Vacant / Single Family Residential /Agriculture

East: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential / Agriculture

West: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for the Master Plan for the Steeplechase Planned Development. This 631 acre project is under concurrent request to be rezoned to Planned Development

Mixed Use (PD-MU) under case # PDD 2014-127. Both the rezoning and the master plan must be approved for the PD-MU District to be approved.

The Master Plan is also acting as the Preliminary Subdivision Plat, as is permitted by the UDC. All dimensional standards are set within the Master Plan, along with basic street and development patterns, and regulating sheets are included to guide the form of development components. This means that as each phase of the development moves towards construction, the specific details within each phase (exact placement of lot lines, for example) will be reviewed and approved by staff as a final plat. Individual site components are required to be consistent with the design and standards presented in the regulating and master plan.

- *Note: The exceptions to the above include the commercial parcel, condo/apartment/townhome sections and recreation areas. The condo/apartment/townhome sections will either be kept under single ownership as rentals or subdivided into lots which encompass the unit only leaving the remainder of the land in common ownership. Consequently the condo/apartment/townhome sections may be processed as a Major Site Plan with approval by the Planning Board. Development of the recreation areas will be processed as Minor Site Plans (staff-level review). The commercial parcel will go back to Planning Board for major site plan review/approval.*

Other modifications to this approved Master Plan deemed "Major" will return to the Town Council for review and approval.

The applicant is requesting a maximum of 2200 residential units, to be comprised of a mix of single family and multi-family units. The units are clustered in a range of densities. The commercial parcel is limited to 75,000 square feet of commercial uses. The project includes both active and passive recreation and open space, and identifies resource conservation areas as permanently preserved (as is required).

The Master Plan also identifies a potential school site. The applicant is in discussions with Johnston County Public Schools, and the site will be reserved for 18 months from the date of approval to acquire the site in accordance with §155.605(A) of the UDC.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): "The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses."

Per §155.203(L), Planned Developments are subject to the following requirements:

- The development proposed in the master plan is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
- Each planned development shall provide a comprehensive set of design guidelines that demonstrate the project will be appropriate within the context of the surrounding properties and the larger community. All bulk, area and dimensional standards shall be established by the Town Council at the time of approval.

- No resource conservation area (see § 155.500) shall be counted towards lot area. This shall not preclude the platting of lots in such areas, provided that adequate lot area outside the resource conservation area is provided.
- No resource conservation area shall be counted towards the recreation and open space requirements.
- The planned development master plan shall meet or exceed the recreation and open space requirements of an open space residential subdivision.
- A phasing plan is required.

Master Plan Approval Criteria (§155.705(K)):

1. Compliance with all applicable requirements of the UDC;
2. Consistency with the Clayton General Design Guidelines;
3. Conformance of the proposal with the stated purpose of the requested planned development district;
4. Compatibility of the proposed development with the adjacent community;
5. The quality of design intended for each component of the project and the ability of the overall development plan to ensure a unified, cohesive environment at full build-out;
6. Compatible relationships between each component of the overall project;
7. Self-sufficiency of each phase of the overall project;
8. Documentation that the proposed infrastructure improvements accommodate the additional impacts caused by the development, or documentation to assure that the development, as proposed, will not overtax the existing public infrastructure systems;
9. The fiscal impact of the proposal and the proposed financing of required improvements;
10. The success of the proposal in providing adequate pedestrian and bicycle links within the development and with the adjacent community; and
11. The effectiveness with which the proposal protects and preserves the ecologically sensitive areas within the development.

Preliminary Plat Findings of Fact

Since the Master Plan is also acting as a Preliminary Subdivision Plat, the applicant is required to address the Findings of Fact outlined in §155.706 of the UDC. These have been included as an attachment to this report.

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC). Individual lot development specifications including landscaping, building placement, access, driveway placement, etc. are required to be set as a part of the planned development, meet all other applicable Town standards, and be consistent with the provisions of the approved Master Plan.

Compatibility with Surrounding Land Uses

The overall proposed density is 4 dwelling units per acre. Under the current zoning, which includes R-10, R-8, and B-2 zoning districts, the subject property could currently be developed using Conventional Subdivision standards with approximately 2,520 single family lots and 426,888 square feet of commercial uses. These numbers go up substantially if Open Space subdivision standards are utilized. The conventional development standard allocations were determined as follows:

Ex. Zoning	Acreage	Max. Density/Acre	Max. Intensity/Building Coverage	Dwelling Units	Square Footage
R-10	536.6	4	N/A	2,146	N/A
R-8	74.86	5	N/A	374	N/A
B-2	19.6	N/A	50%	N/A	426,888
TOTALS	631.06			2,520	426,888

Because the property is being processed as a Planned Development, units may be clustered to achieve higher densities in some areas while keeping lower densities in other areas to achieve a balance in residential types and lot sizes. Portions of the site will develop with higher residential density than others (i.e. the townhome and apartment options). Those higher densities are located closer to major intersections, while the portions of the site designed for single family detached (lower densities) are designed in the areas adjacent to existing subdivisions, providing a transition from the higher density/intensities.

The proposed density on the subject property is very similar to the zoning of adjacent property to the south (Residential-10, which allows minimum 10,000 square foot lots, or 4 units per acre; and R-8 which allows 8,000 square foot lots, or approximately 5 units per acre). Properties to the east are primarily undeveloped, agriculture, or very large lot single family residential (residential unit located on very large properties). Ole Mill Stream and Smith Ridge Estates directly to the north are established neighborhoods developed at densities of approximately 1 unit per acre.

While those adjacent neighborhoods do have lower densities, Riverwood, to the north, was developed at a similar density to the proposed rezoning.

The commercial parcel proposed at the intersection of Covered Bridge Road and O’Neil Street has reduced in size from approximately 19.6 acres to 13.51 acres. The development plan is limiting the development of the commercial site to a maximum of 75,000 square feet of floor area.

Given the property’s adjacency to Clayton’s “core,” staff is supportive of the development of the entire property as a Planned Development and the proposed density of 4 units per acre so long as adequate measures are taken to ensure traffic safety and desirable neighborhood design that makes this development a benefit to the Town and a desirable place to live.

Landscaping and Buffering

A 20 foot Class C perimeter buffer is provided along the boundary of the property, including along Covered Bridge Road where it bisects the north and south portions of the property. Where able, existing trees and vegetation will be preserved to meet the standards of the Class C buffer. Where a Class C buffer is planted, it will be a minimum of 20 feet in width. All landscaping is required to meet the standards for height and caliper as established in the UDC. Street tree species are required to receive approval from the Planning Director as they will be located in the public right-of-way.

Street trees must be canopy trees and spaced a maximum of 40 feet apart. Street trees will be placed in a widened planting strip located between the sidewalk and street.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions. Required and provided recreation and open space is listed below:

Overall Recreation and Open Space

Planned Developments are required to meet the minimum standards for Recreation and Open Space as set for Open Space Subdivisions in the UDC. Overall Recreation and Open Space requirements include preserved land, passive open space, and active recreation areas. Recreation and Open Space may NOT include resource conservation areas (RCAs) such as riparian buffers, wetlands, ponds, and areas of 25% slope that exceed 5,000 sf in area (the exception to this rule is that the area of a paved greenway may be counted to recreation and open space if located in a RCA).

Required: Either 12.5% of net site area **OR** 1,245 sf per unit, whichever is greater.

2,200 units x 1,245sf = 2,739,000 sf or 63 acres

Net Site Area is 631.06 acres – 111.19 acres in resource conservation areas = 519.87 acres
519.87 ac * .125 = 65 acres

As shown above, as currently proposed, the 12.5% calculation results in the greater number, requiring 65 acres of recreation and open space.

Proposed: 65.08 acres outside of the RCA's.

Improved Recreation Areas

A certain amount of the required Recreation and Open Space must be developed as active recreation amenities for the development.

Required: At least 25% of the required recreation and open space shall be improved.
25% of 65.08 acres is 16.27 acres.

Provided: 29.22 acres

The acreage of proposed recreation and open space will be established as the minimum for the development and will be binding on the development of the property. The established minimums for both overall Recreation and Open Space as well as Active Recreation and Open Space cannot be reduced except by Town Council.

Dedication of Recreation and Open Space to the Town

Per §155.203(I)(2)(a), "all residential development shall be required to either dedicate a portion of the land, or make a payment-in-lieu of dedication at a rate set forth in the town's Comprehensive List of Fees and Charges per lot or dwelling unit." A mix of dedication and fee-in-lieu may be utilized.

At this time, the Town and the developer are discussing the possible donation of Phase 7 (11.13 acres) for use as a public trailhead and park.

Greenways and Sidewalks

The Master Plan proposes a series of interconnected greenways and sidewalks to provide multi-modal access throughout the development.

- Sam's Branch Greenway: The existing Sam's Branch Greenway currently ends just to the east of the southeastern corner of the property, which planned extensions running along the southern boundary of the property along Sam's Branch creek and further west.

The Town is currently in the design phase for the extension of the existing Sam's Branch Greenway west to the entrance to Legend Park (known as "Sam's Branch Phase II"), an extension which traverses the south boundary proposed development. Sam's Branch Phase II greenway also provides potential important connections to downtown Clayton via future connections from Legend Park to the downtown street networks. This phase of the greenway also provides access to Legend Park, which includes a softball field and mountain bike trails.

Future extensions of the greenway just west of Legend Park will provide multi-modal access along City Road to the Municipal and Civitan Parks, as well as to the amenities of Downtown Clayton.

The Sam's Branch Greenway already connects to the Mountains to Sea Trail (aka "Neuse River Greenway"), an almost 30 mile uninterrupted greenway which connects into Raleigh's greenway network, with future extensions planned. This section of the greenway in Clayton is also part of the designated East Coast Greenway network along the eastern coast of the United States.

- Proposed Greenway/Sidewalk exchange
Typically, sidewalks are required on both sides of all streets of new development (including along existing roadways). Staff supports the applicant's proposal to waive the requirement for sidewalks on both sides of the road (reducing it to sidewalks on one side of the road) for identified portions of the development's roadway network so long as a minimum 10 foot wide paved multi-use path / greenway is provided elsewhere in the development at an equal exchange based on construction costs. Staff supports this because while some accessibility is lost with the reduction in sidewalks, this accessibility is made up by the presence of a multi-use path which provides access to other portions of the development, and acts as a part of the Sam's Branch Greenway Trail. Benefits to the applicant include the ability to use the calculated square footage of the paved pathway toward their improved/active recreation requirements and a reduced roadway cross-section width.

Environmental

As required in the UDC, resource conservation areas (including riparian buffers, ponds/waterways, 100-year flood zones, and steep slopes) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted (see Article 5 of the UDC). Additionally, the development will be required to meet any state requirements for protection not addressed by the UDC. Riparian buffers that meet the definition of the UDC in Article 5 shall include a 50 foot undisturbed buffer, measured from the top of bank.

According to the Master Plan, there are 111.19 acres of RCAs on the site, all of which shall remain undisturbed unless proper permits and approvals for disturbance are received from the State or Town, as applicable.

Signs

A Master Sign Plan is required for all signage associated with the development. A typical entrance sign design is shown in the Master Plan. Entrance signs shall be required to meet or exceed the approved sign style set in the Master Plan.

Access/Streets

The primary development access point is located off of Covered Bridge Road, will provide access to the future clubhouse area on the southern portion of the site, and shall align with the existing Brook Hill Drive. All external access shall be approved by either NCDOT or the Town as applicable.

The applicant has provided a detailed Vehicular and Pedestrian Circulation Plan which is part of the Master Plan. The actual alignment of the internal road network as shown on the Plan is for visual reference only and is not binding; road alignment may vary as individual phases are approved so long as basic design components such as shorter block lengths and interconnectivity are maintained. However, external connection points and identified improvements to existing roads and intersections are binding and cannot be modified without major modification approval by the Town Council.

Traffic Impact Analysis

A Traffic Impact Analysis (TIA) has been completed by the applicant and reviewed by NCDOT and the Town. The comments provided by NCDOT have been provided as an attachment to this staff report. The applicant will have the opportunity to revise the TIA and address the traffic comments. Ultimately, the traffic improvements deemed necessary by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase that generates the need for the improvement.

Required Access Points

Per the UDC, no more than 75 certificates of occupancy may be issued within the subdivision until a required secondary access has been constructed or bonded for construction. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction. Access points to existing "stub-out" streets in existing subdivisions (Ole Mill Stream, Smith Ridge Estates) will be required to be constructed as part of the associated phase of development.

Alternative Cross-Section

An alternative cross-sections are proposed as part of this development. As discussed in the Recreation and Open Space component of this report, the cross-sections reflect the proposal to allow sidewalk on just one side of the street in identified roadways within the development.

Several cross-sections propose a planting strip between the sidewalk and the road edge, thus placing the street trees in the public right-of-way. Staff supports the planting strip because of improved aesthetics and enhanced pedestrian safety when the sidewalk is further from the road and buffered by trees.

Cross-sections on NCDOT roadways (City Road, Covered Bridge Road, and North O'Neil Street) will be ultimately approved by NCDOT. Staff will require a minimum 10 foot paved greenway along these roadways as shown on the Master Plan.

Multi-Modal Access

The location of the proposed greenways allow for the extension of Sam's Branch Greenway to Downtown to Legend Park and Municipal Park.

Please see the “Alternative Cross-Section” discussion in the “Access/Streets” section of this report, as well as the “Greenways and Sidewalks” discussion within the “Recreation and Open Space” section of this report for more information on multi-modal access.

Architecture/Design

Mix of Housing Types

While a range of housing types are included in the Master Plan, the exact mix and location of housing types is not intended to be finalized by this Master Plan. To ensure some mix of housing, a minimum of 10% of low, medium, and high density housing development is set by the Master Plan. Beyond this minimum, so long as a mix of housing types is included and the maximum number of units is not exceeded (mix to be chosen from the pre-established housing types in the Master Plan), the number of each type of housing may vary depending on market conditions, etc.

Design

Types of houses to be included in the development are noted on the regulating plan. A graphic architectural elevation of the building type is also included. The elevations are not intended as a set standard, but the final housing product will be required to be consistent with or exceed the style, quality, and materials shown in the graphics. It is required that architectural elevations of the housing types vary from home to home to ensure visual interest.

Setbacks and other Dimensional Standards

Dimensional standards (setbacks, building/house coverage, impervious limits) are set by the Master Plan and approved by the Town Council.

A Note on Townhomes

The UDC sets certain standards for townhome design if a garage is present. If the townhomes have garages, they will be required to meet Town of Clayton standards as addressed in Section 155.301(J) which sets standards such as garage width in relation to the home width. Driveway placement on each lot will also be required to meet the requirements of the UDC. Any requirements that pertain to townhome design will be addressed either through the final plat or site plan review process, as applicable.

Commercial

The commercial component will include architectural and contextual standards as indicated in the Master Plan and Regulating Plan. The development will have an Architectural Review Committee who will review the commercial architecture. Town Staff and Planning Board will also review the architecture and site layout as a part of a Major Site Plan approval.

Waivers/Deviations/Variations from Code Requirements

Per §155.706 of the UDC, the Town Council is authorized to waive certain requirements of §§ 155.600 through 155.607 if it is clear that adequate provisions for the type and intensity of the proposed use has been or will be provided, and there are special circumstances, such as unique characteristics of the lot and area, or strict interpretation of the requirements render the subdivision of the property not feasible or desirable. The UDC states that waivers should meet the following criteria:

1. The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located;

2. The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not generally applicable to other property;
3. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of this chapter are enforced; and
4. The purpose of the waiver is not based primarily upon financial consideration.

The following waivers have been requested by the applicant:

1. Waiver from the Town-approved cross-sections. Revised street Cross-Sections have been requested, as shown in the Master Plan.
 2. Waiver from §155.602(H), which requires sidewalks on both sides of all streets. Allow construction of 10 foot paved multi-use path / greenway on a linear foot-for-foot basis, in place of a fee-in-lieu.
 3. Waiver from §155.602(G) which states that “No residential street cul-de-sac serving lots less than 20,000 square feet in size shall exceed 700 feet in length.” The request is to allow a cul-de-sacs with a length greater than 700 feet to serve lots less than 20,000 square feet in size with approval from the Town of Clayton Fire Marshal.
-

CONSIDERATIONS

- The applicant is requesting approval of a Master Plan for the Steeplechase Planned Development. The Master Plan also acts as the preliminary subdivision plat and so the approval process is quasi-judicial.
 - This approval is subject to approval of PDD 2014-127 (Rezoning to PD-MU).
 - The final decision is made by the Town Council with recommendation from the Planning Board.
 - The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.
 - The applicant is requesting a wastewater allocation of 554,555 gallons per day phased in over time. The Wastewater Allocation must be approved by the Town Council.
-

FINDINGS

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION

Staff is recommending:

- 1) Approval of the requested waivers.
- 2) Approval of the Wastewater Allocation request.
- 3) Approval of the Master Plan with the conditions listed below.

CONDITIONS:

1. Following Board approvals, three copies of the Master Plan / Preliminary Subdivision Plat meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. The development of the property is limited to the parameters established on the Master Plan and the Master Plan Document (regulating plan) as approved by the Town Council. Modifications to the approved Master Plan / Preliminary Subdivision Plan or Master Plan Document shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
3. The Master Plan / Preliminary Subdivision Plan is considered a preliminary plat. Individual phases are subject to final plat review with the exception that Condo/Apartment/Townhome areas that will not be further subdivided, and Commercial phases, shall be reviewed as a Major Site Plan.
4. The developer shall reserve the portion of the site shown as a “potential school site” for 18 months from the date of the approval. If developed as a school, the development of the school site will be reviewed as a Major Site Plan.
5. Neighborhood parks and recreational amenities, including the clubhouse site, shall be reviewed as Minor Site Plans prior to construction.
6. The clubhouse and trail system around the pond shall be permitted and under construction prior to the issuance of a Certificate of Occupancy for the 251st residential unit.
7. A combination of dedication and fee-in-lieu may be utilized to meet recreation and open space requirements. To meet requirements, additional recreation area must be dedicated or a recreation fee-in-lieu shall be required at the established rate to supplement the dedicated land (land considered Resource Conservation Areas does not count toward meeting recreation and open space requirements).
8. Annexation of any land not currently within Town Limits shall be required prior to Final Plat approval for the first phase of the development.
9. Development fees shall be paid prior to Final Plat approval for each phase. For phases requiring Site Plan review, fees shall be paid prior to issuance of building permits.
10. All traffic improvements required by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase (as shown on the overall phasing plan with the Master Plan Document/ Regulating Plan) that generates the need for the improvement. The necessary right-of-way for Covered Bridge Road (internal to the project), North O’Neil Street, and City Road shall be dedicated as a part of the first phase (as indicated in the Traffic Study Prepared by Davenport) of the development. The necessary right-of-way for Brookhill Drive and Covered Bridge Road (north of its intersection with North O’Neil Street) shall be dedicated as a part of the second phase (as indicated in the Traffic Study Prepared by Davenport) of the development.
11. All roof mounted and ground mechanical equipment not associated with single family detached residential development must be completely screened from view.
12. Five foot wide sidewalks or ten foot wide multi-use paths shall be installed along at least one side of all roadways within the development as identified in the Master Plan. Where sidewalks are on only one side of the road, the developer shall provide a minimum ten-foot wide paved greenway/multi-use trails

within the development on an equivalent basis based on cost. An Engineer's estimate which documents the cost allocations (in linear footage) between the deleted five foot concrete sidewalk and the proposed 10 foot asphalt multi-use path is required. Any cost shortage between the required five foot sidewalk and 10 foot multi-use path shall be paid as a fee-in-lieu.

13. All sidewalks and greenways shall be bonded or constructed prior to plat recordation for the associated phase, with the exception that the sidewalk in front of residential units may be installed prior to the issuance of a Certificate of Occupancy of the unit.
14. Internal greenways shall be constructed or bonded prior to the first Certificate of Occupancy for the associated phase.
15. All greenways shall meet Town of Clayton standards with a minimum paved width of 10 feet.
16. The acreage of recreation and open space, and active recreation areas identified in the Master Plan shall be considered minimum requirements and may not be reduced without approval by the Town Council. The recreation areas shall be constructed concurrent with the construction of the associated phase and shall be installed or bonded prior to issuance of a certificate of occupancy for that phase.
17. Where a greenway is placed in the same location as a required buffer, that buffer width shall be expanded by a minimum of 15 feet to accommodate the trail and required plantings.
18. A 10' greenway shall be constructed along one side of Covered Bridge Road and North O'Neil Street for the entire project frontage concurrent with necessary roadway improvements. A greenway shall also be constructed along the project frontage adjacent to City Road concurrent with or prior to the construction of a phase which abuts City Road, and shall be installed or bonded prior to issuance of a Certificate of Occupancy for that phase.
19. All required vegetated buffers and plantings, including street trees, shall be installed concurrently with construction of the associated phase of the development and shall be completely installed or bonded prior to issuance of a certificate of occupancy for that phase.
20. A mix of housing types shall be required at the minimum percentages set by the Master Plan and shall be selected from the list of housing type options presented in the Master Plan Document (regulating plan). In no case shall the overall project density exceed 4 units per acre.
21. A mix of housing elevations (variations in architectural features), styles, and colors along each block is required to ensure visual interest and variety. Housing elevations shall be submitted along with each final plat review and shall be reviewed to ensure consistency with the architectural standards presented in the Master Plan and requirement this condition of approval.
22. Final location and configuration of Cluster Mailbox Units (CBUs) shall be determined in the final plat/site plan review (as applicable) for each phase. CBU's are required to have vehicular access/parking, as well as sidewalk /pedestrian access and must be approved by the Planning Department and the United States Postal Service.
23. No more than 75 certificates of occupancy may be issued within the subdivision until the required secondary access has been constructed or bonded for construction.

24. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction.
25. Street tree species shall be approved by the Town Engineer and Town Planning Director as part of individual phase final plat / major site plan review.
26. A Master Sign Plan shall be required prior to installation or approval of any signage. All signs shall require review and approval pursuant to §155.713.
27. Final design of individual elements identified within the Regulating Plan (such as typical lighting, recreation, or architectural elevations) may be modified during individual phase review without need to modify the Regulating Plan, but shall be approved by staff and shall respect (or exceed) the intent and vision of the original approval/design shown in the Regulating Plan, including but not limited to quality, style, and materials. Modifications that are determined by the Planning Director not to meet or exceed the original intent or do not classify as “minor” modifications per the Unified Development Code shall require major review and approval.
28. The review and approval of project water, sewer, storm drainage and street construction drawings must be submitted to and approved by the Public Works Department.
29. Resource Conservation Areas as defined in Article 5 of the Unified Development Code shall remain undisturbed pursuant to standards of Article 5, and shall be shown on all plats as being permanently set aside pursuant to the UDC requirements.
30. Prior to site grading and construction activities, tree protection fencing shall be installed around all resource conservation areas. Once the tree protection fence is installed, it must be inspected by the Planning Department prior to construction activity.
31. A homeowners’ association (HOA) document shall be reviewed by staff and recorded prior to final plat of the first residential phase. The HOA document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Subdivision Findings of Fact
2. Zoning, Aerial, and Future Land Use Map
3. Application
4. Neighborhood Meeting Materials
5. Master Plan / Preliminary Subdivision Plan
6. Traffic Impact Analysis (TIA) executive summary (provided by applicant)
7. NCDOT TIA Analysis Recommendations
8. NCDOT TIA Analysis Recommendations followup letter
9. Wastewater Allocation request

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

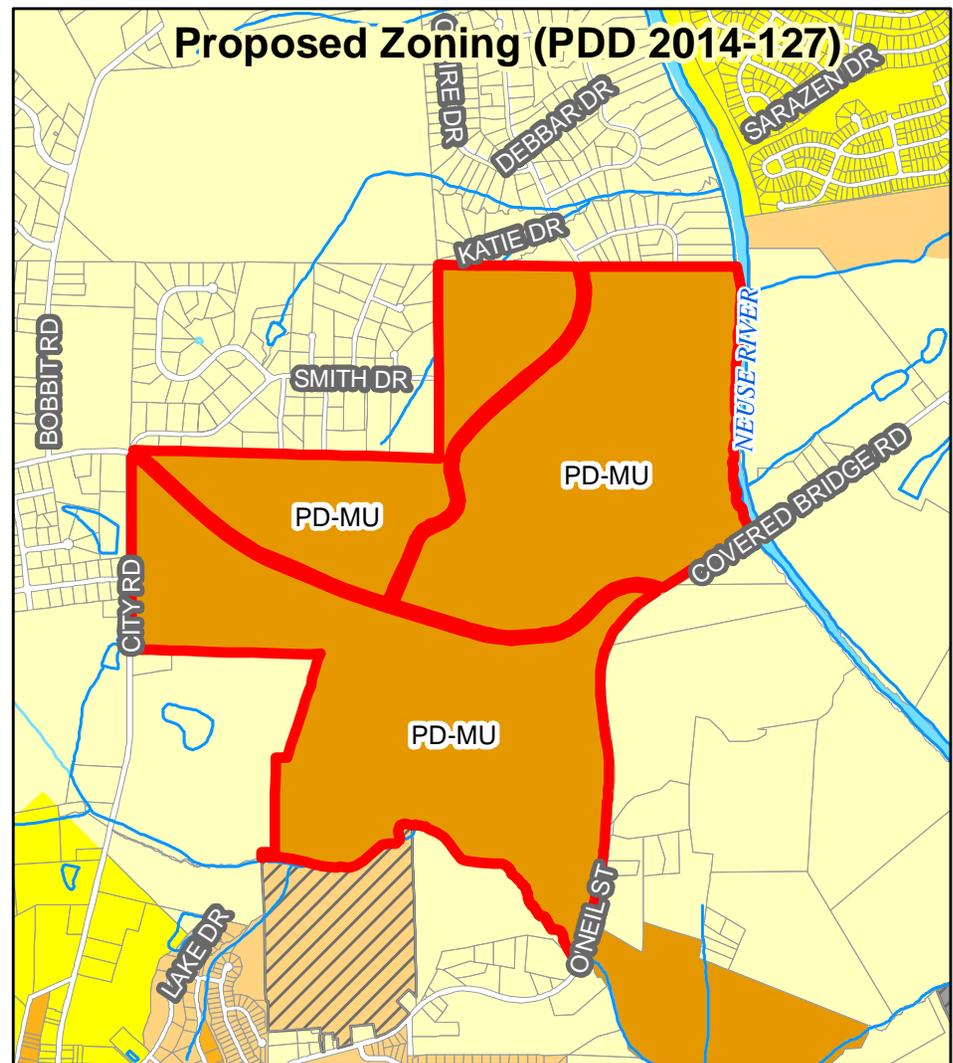
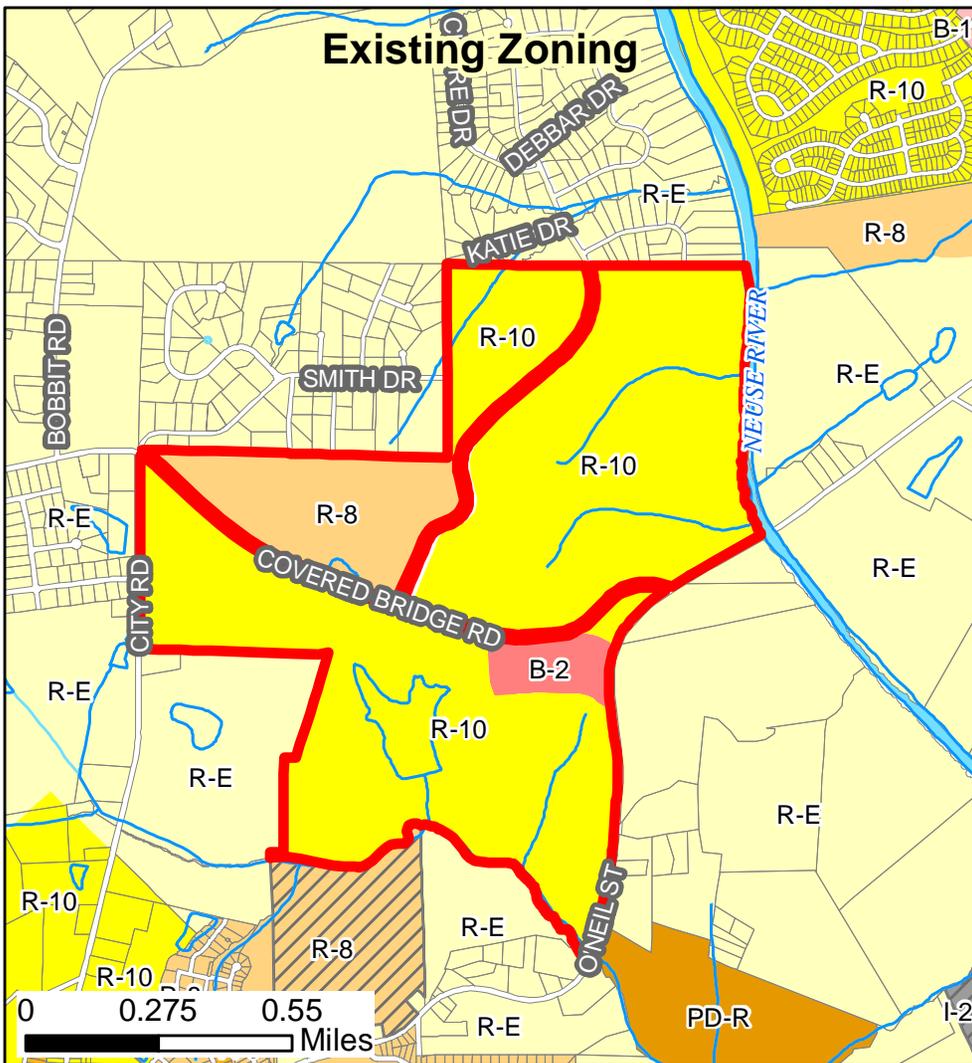
- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

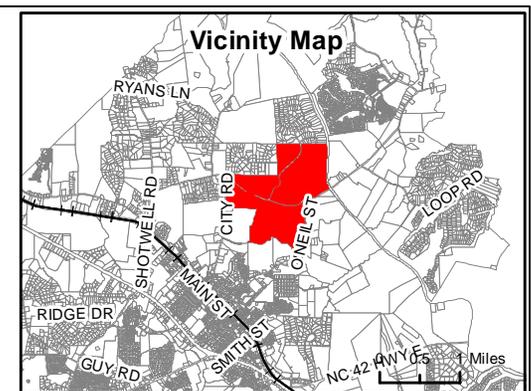
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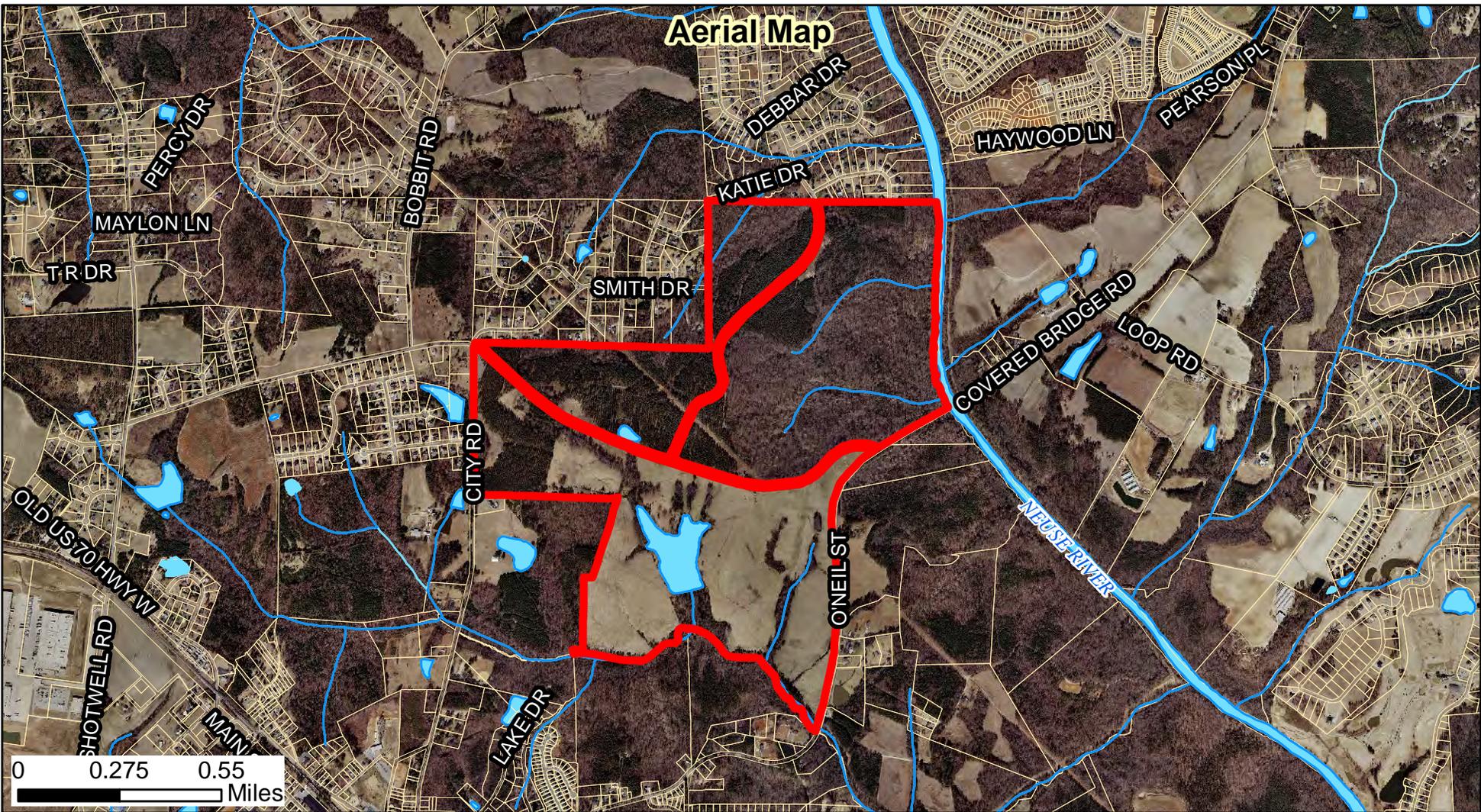
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 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			B-3
				I-1
				I-2
				O-1
				PD-MU
				Special Use District
				B-1





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
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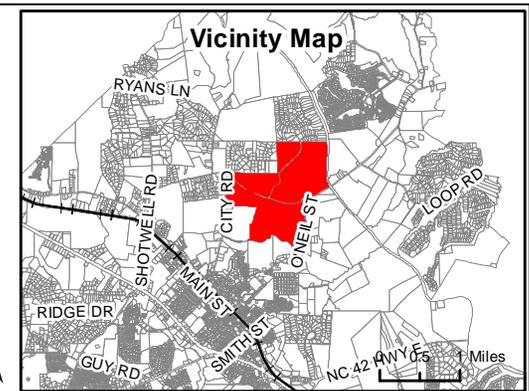
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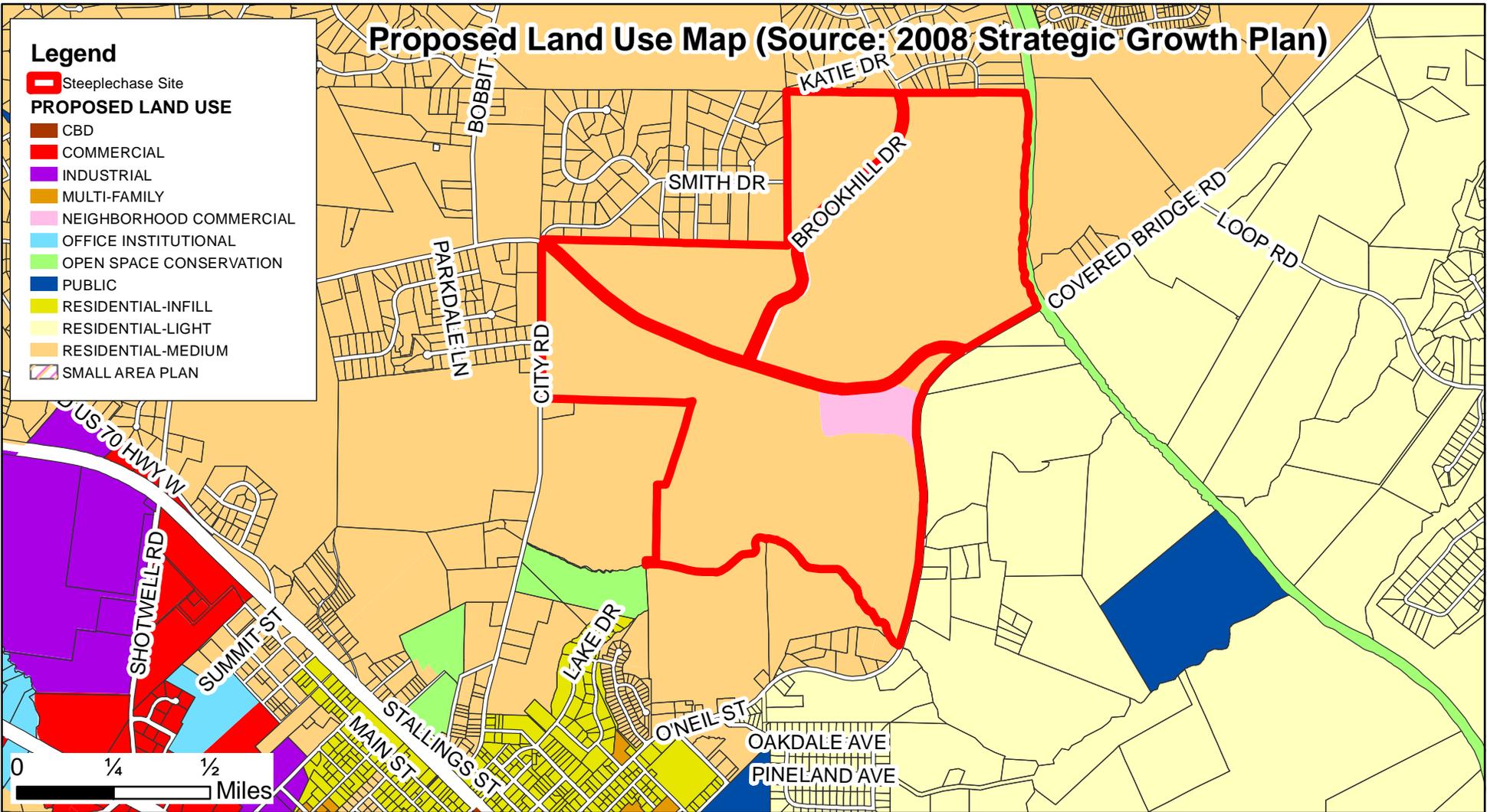


Legend

- SteepleChase_Site
- Water Features



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)



Proposed Land Use Map (Source: 2008 Strategic Growth Plan) Steeplechase Planned Development Rezoning to PD-MU

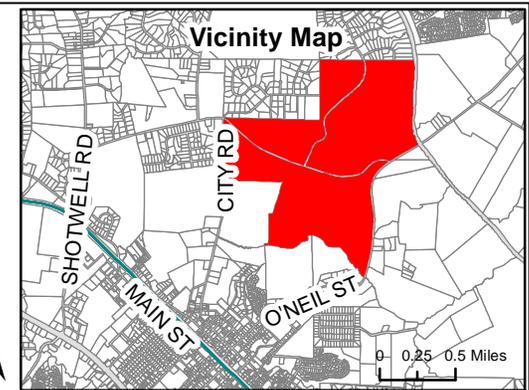
Applicant: Wake Development
 Property Owners: Earps
 Parcel ID Numbers:
 File Number: PDD 2014-127

Produced by: TOC Planning
 01/26/2015

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



Document Path: O:\PLANNING\SUBDIVISIONS\MAJOR SUBDIVISIONS\2014\PSD 2014-128 SteepleChase Planned Development - master plan, preliminary plat\Maps\Staff Presentation Map - PSD2014-128 - FLUM.mxd





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
 Subdivision Master Plan: \$700.00 + \$5.00 per acre
 Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified



See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: _____ *Open Space:* _____ Modification to Approved Preliminary Plat
Major: _____ *Minor:* _____
 New Subdivision Master Plan

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed)

Tag #: 05H02009 NC PIN: 066900-38-4997

Location: 1162 Covered Bridge Road, Clayton, NC 27520

Number of Lots (existing): 1 (Proposed) 2500 Min Lot Size: Single family 4500 SF

Zoning District: R-8, R-10 with WPOD and Neighborhood business Electric Provider: Town of Clayton

Wastewater: Septic Well
 Sewer (check one) Water: Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: 10/6/14 Amount Paid: _____ File Number: 2014-128

Fee not submitted w/ app.
 CEB

PROPERTY OWNER INFORMATION

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:** _____
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh NC 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

10/6/14 EB

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/30/14</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Completed Application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Review Fee	<input type="checkbox"/>			<input checked="" type="checkbox"/>	
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

At Final Plats

12. A signed and sealed Traffic Impact Analysis (if required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Neighborhood Meeting Notice Letter <i>See sample letter and meeting requirement, included in this packet. NOT REQUIRED FOR MINOR MODIFICATIONS.</i>	<input type="checkbox"/>	<input type="checkbox"/>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.
14. Neighborhood Meeting summary form <i>Included in this packet – NOT submitted with application. NOT REQUIRED FOR MINOR MODIFICATIONS</i>		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
 The request is to master plan 631.06 acres at 1162 Covered Bridge Road. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units. The club and amenity areas will be focused around the existing R. E. Earp pond and will form the core of the development. Development will begin south of covered bridge road and will move north of covered bridge in the future. A neighborhood commercial development will be located at the intersection of Covered Bridge Road and O'Neil Street.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
 Print Name

[Signature]
 Signature of Applicant

10-2-14
 Date

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.
 Note: Master Subdivision Plans will require fewer details than preliminary subdivision plats. Please speak with Planning staff to confirm plan requirements.

To be completed by the applicant:			Staff:
	Yes	N/A	
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 ⁴⁰⁰ feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each : Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	<input checked="" type="checkbox"/>		
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<ul style="list-style-type: none"> - Electric Provider - Water Provider (or indicate if well) - Sewer Provider (or indicate if septic) - Impervious (existing and proposed, square feet and %) 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
24. Proposed streets are labeled, named and dimensioned. Street names must be approved by Town of Clayton. Correct street cross section detail provided. Label street type based on definitions in §155.602(D). If streets are private: <ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." 	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
25. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
26. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.) - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
29. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:			
31. "The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and associated racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Show how streets are projected to property lines to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input type="checkbox"/>	
36. Provide a plant list summary table which includes: - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
37. If common landscaped areas area provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
38. Location, species, and caliper of any existing trees that will remain on site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
40. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
44. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
46. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
53. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Any other information considered by either the applicant or the Town to be pertinent to the review. PD - HP DOCUMENT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Signed by Applicant:  Date: 10-06-'14
for Ken Thompson, PLA



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)
Raleigh NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley (Name - type, print clearly) 7020 NC 42 East (Address)
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard
 (Name - type, print clearly)

3100 SMOKE TREE CT
 (Address)
Raleigh NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp
 (Name - type, print clearly)

7230 NC 42 E
 (Address)

Nancy C Karp
 (Owner's Signature)

Selma, NC 27576
 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

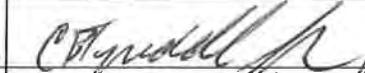
Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Jay Hill 2013	Missig Lane Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC ²⁷⁵²⁰
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC ²⁷⁵²⁰
5	Mavis House	2873 Covered Bridge Rd. Clayton ²⁷⁵²⁷
6		101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton ^{Ole Mill Stream}
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton,
2	John Clarke	1415 Brook Hill Drive
3		
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NC
27520

NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



STEEPLECHASE
Planned Development / Master Plan Document

WAKEFIELD
DEVELOPMENT COMPANY



Prepared for Town of Clayton
February 23, 2015

SPANGLER
ENVIRONMENTAL, INC.



J DAVIS

Contents

Neighborhood Form - Land Use Summary	1
Public Realm - Vehicular and Pedestrian Plan	2
Street Sections	3
Phasing Plan	4
Recreation and Open Space	5
Recreation and Open Space	6
Detached Homes - Single Family	7
Attached Homes - Townhomes & Single Family	8
Multi-Family - Condo / Apartments	9
Amenity and Club	10
Commercial Area	11
Utilities and Stormwater Management	12
Architectural Review Committee	13
Phasing	13

Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

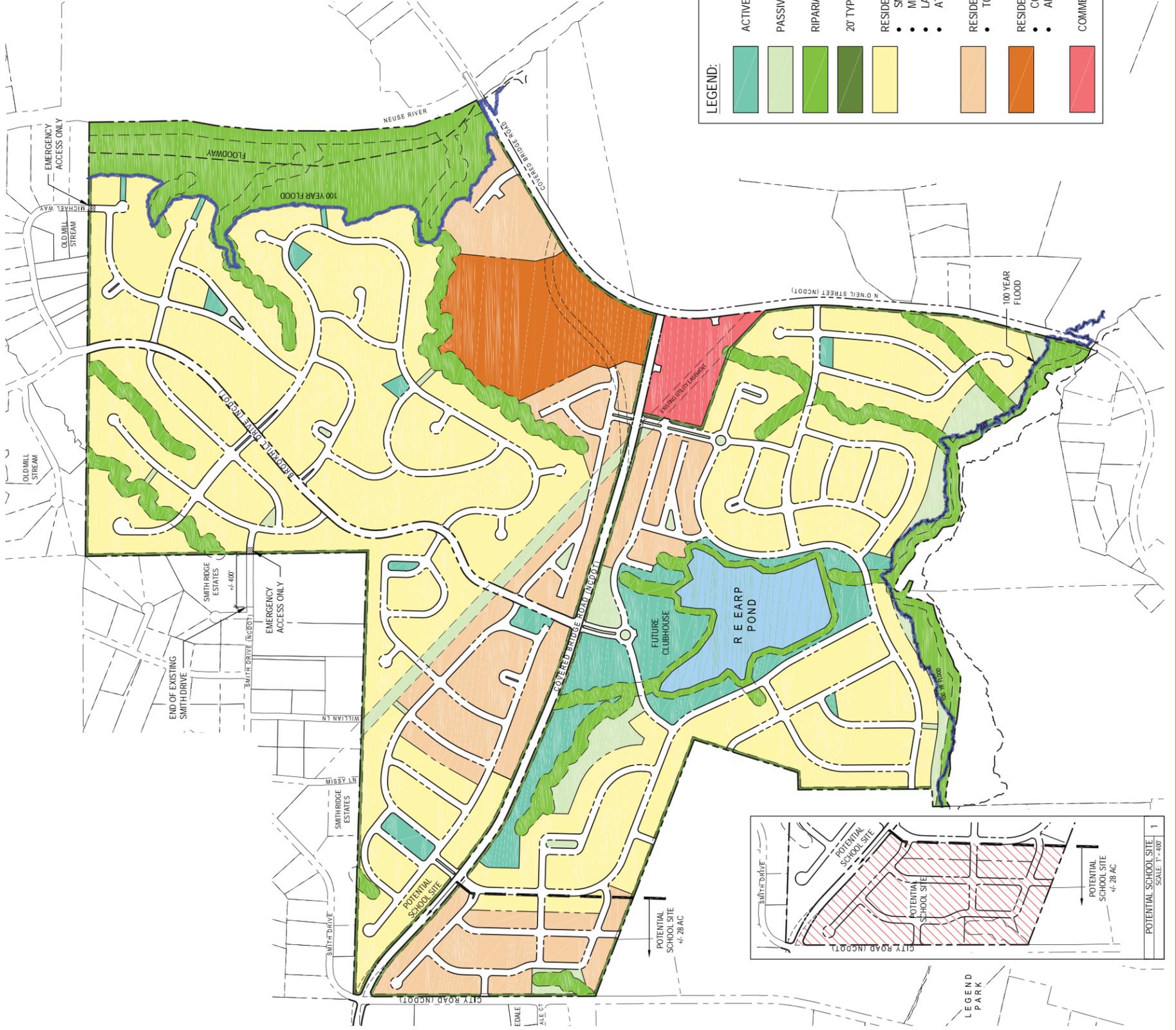
The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

USE	ACRES	% LAND AREA
RCA's (Riparian Buffers, Flood Plain, Pond)	+/- 111.19	+/- 17.62%
Recreation Open Space	+/- 65.08	+/- 10.31%
Residential uses	+/- 444.88	+/- 70.50%
Neighborhood retail	+/- 9.91	+/- 1.57%
Total	631.06	100%

SINGLE FAMILY RESIDENTIAL MINIMUM %	LOT WIDTH	MINIMUM SF	% MINIMUM OF UNITS
Small Lot Single Family	40' and 50'	4500	10%
Medium Lot Single Family	50' and 60'	5000	10%
Large Lot Single Family	60' and greater	6000	10%
Townhome	16'	1000	10%
Condo	N/A	N/A	0%
Apartments	N/A	N/A	0%
Commercial	50	6000	N/A



Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

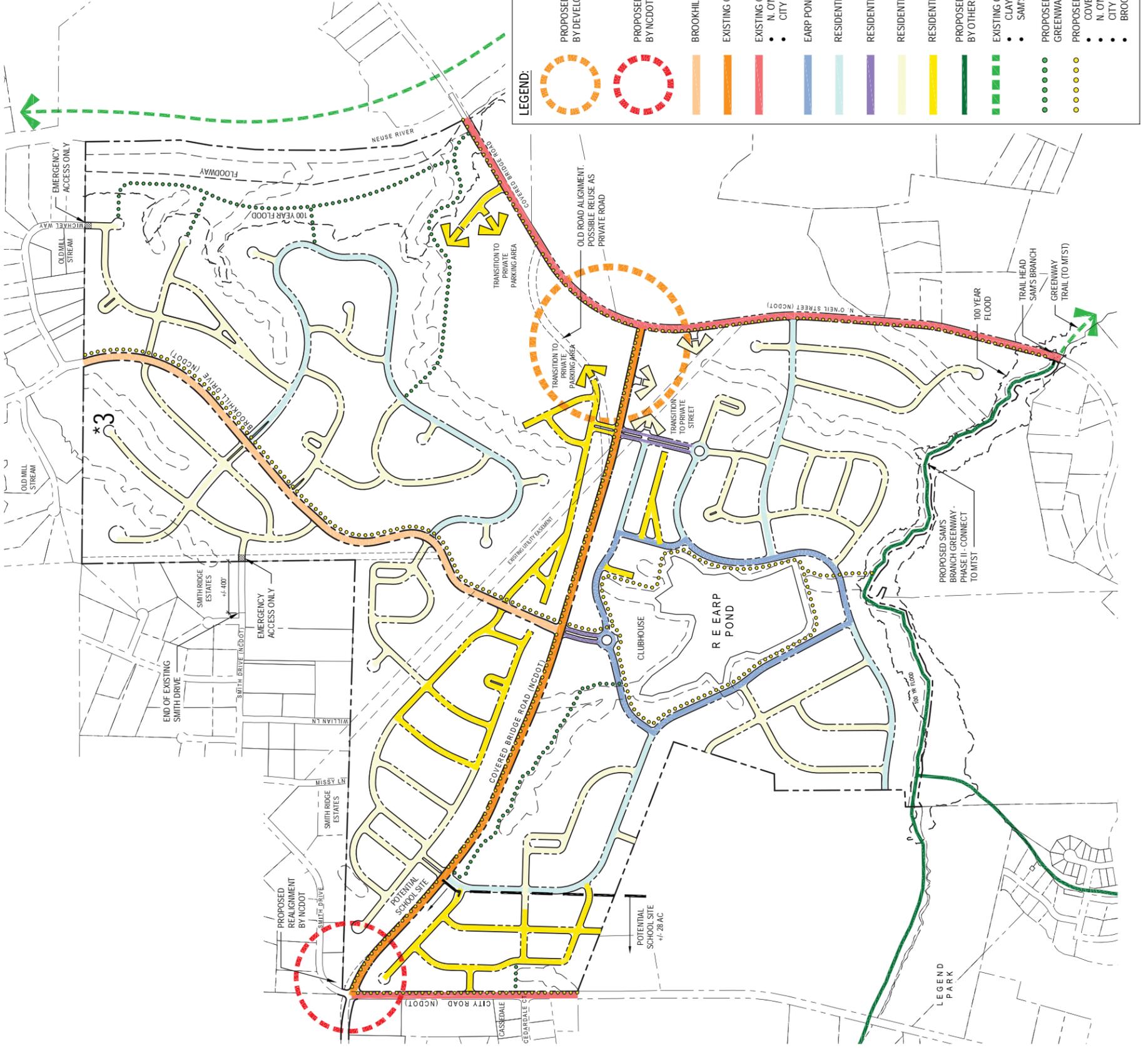
STREETS

The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets providing options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 3). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

SIDEWALKS AND STREET YARDS

Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.

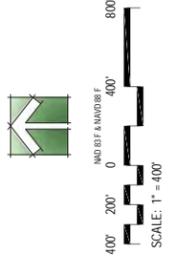


NOTES:
 THE CLUBHOUSE PERMIT SHALL BE
 REQUIRED PRIOR TO THE 251ST
 BUILDING PERMIT.



PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.88
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
TOTAL	+/- 637.13

PHASING PLAN



Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCAs). RCAs are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCAs is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

REQUIRED RECREATION & OPEN SPACE

519.87 AC x 12.5% = 64.98 AC

REQUIRED ACTIVE RECREATION SPACE

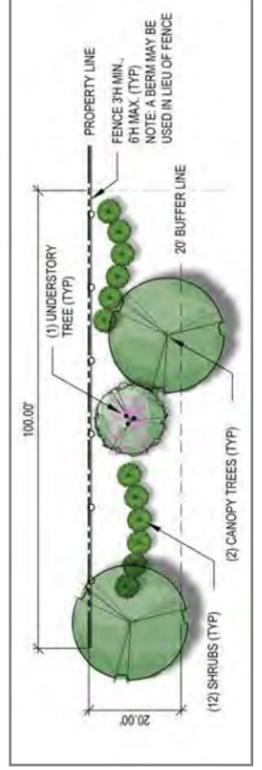
64.98 ac x 25% = 16.245 AC

REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%
OPEN SPACE PROVIDED		
Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%

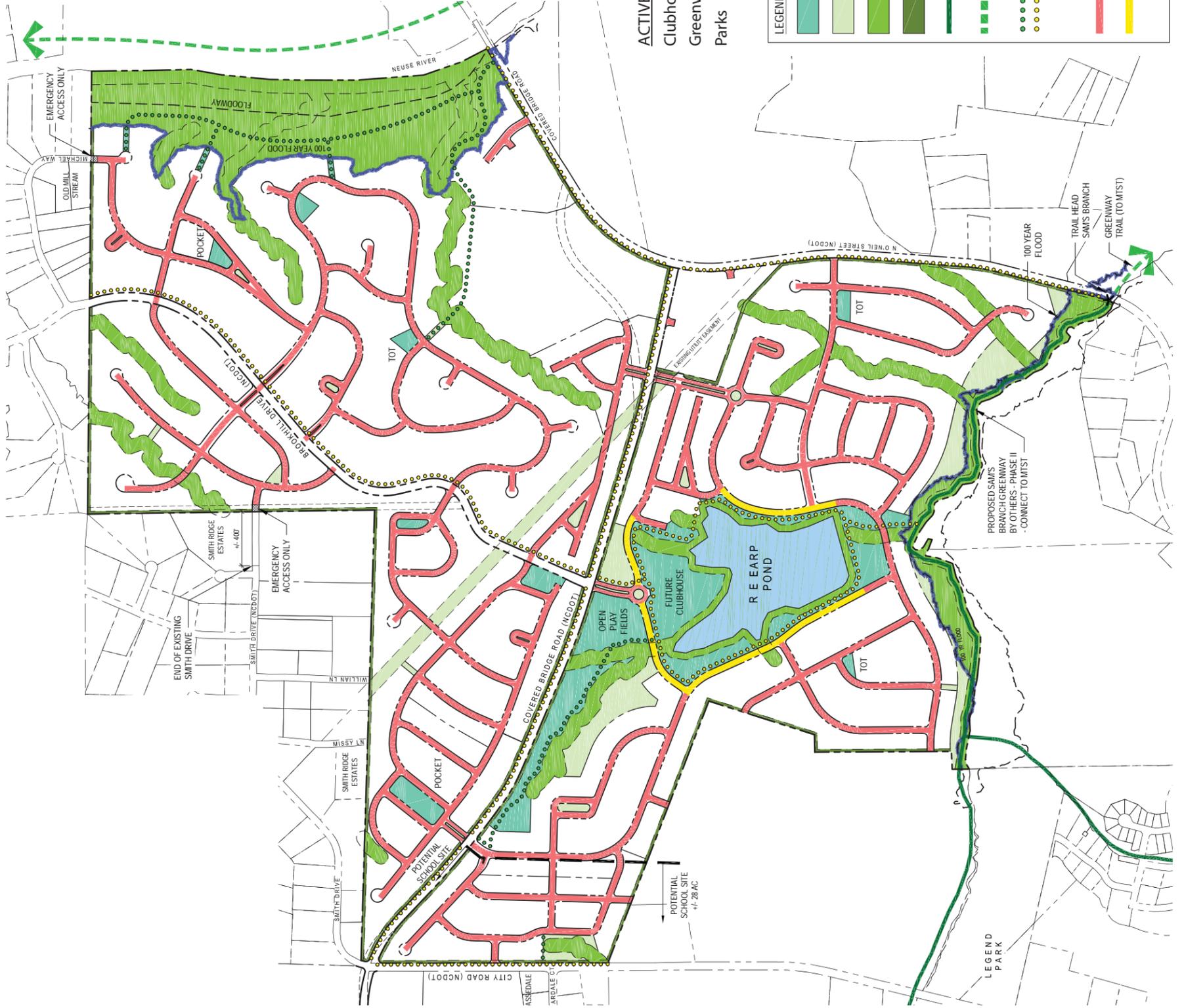
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public +/- 12,700 LF (127,000 SF / 2.91 AC)

Private +/- 13,400 LF (134,000 SF / 3.07 AC)

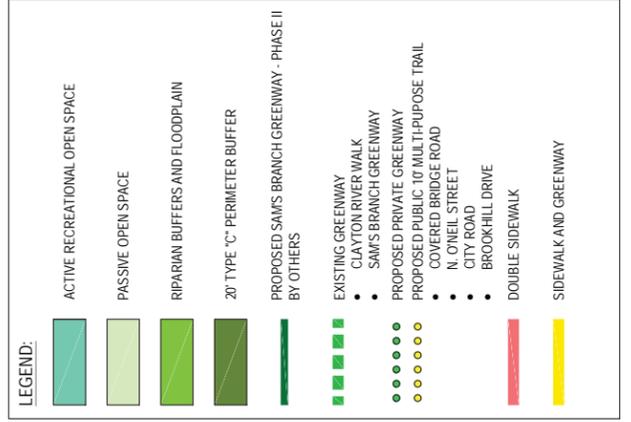


PERIMETER LANDSCAPE BUFFER: CLASS C (typical)



ACTIVE RECREATION SPACE BREAKDOWN

Clubhouse	7.02 AC
Greenway	3.07 AC
Parks	19.13 AC



Recreation and Open Space

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

ROUND-ABOUTS

Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

GREENWAY TRAIL AND SCENIC OVERLOOK

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

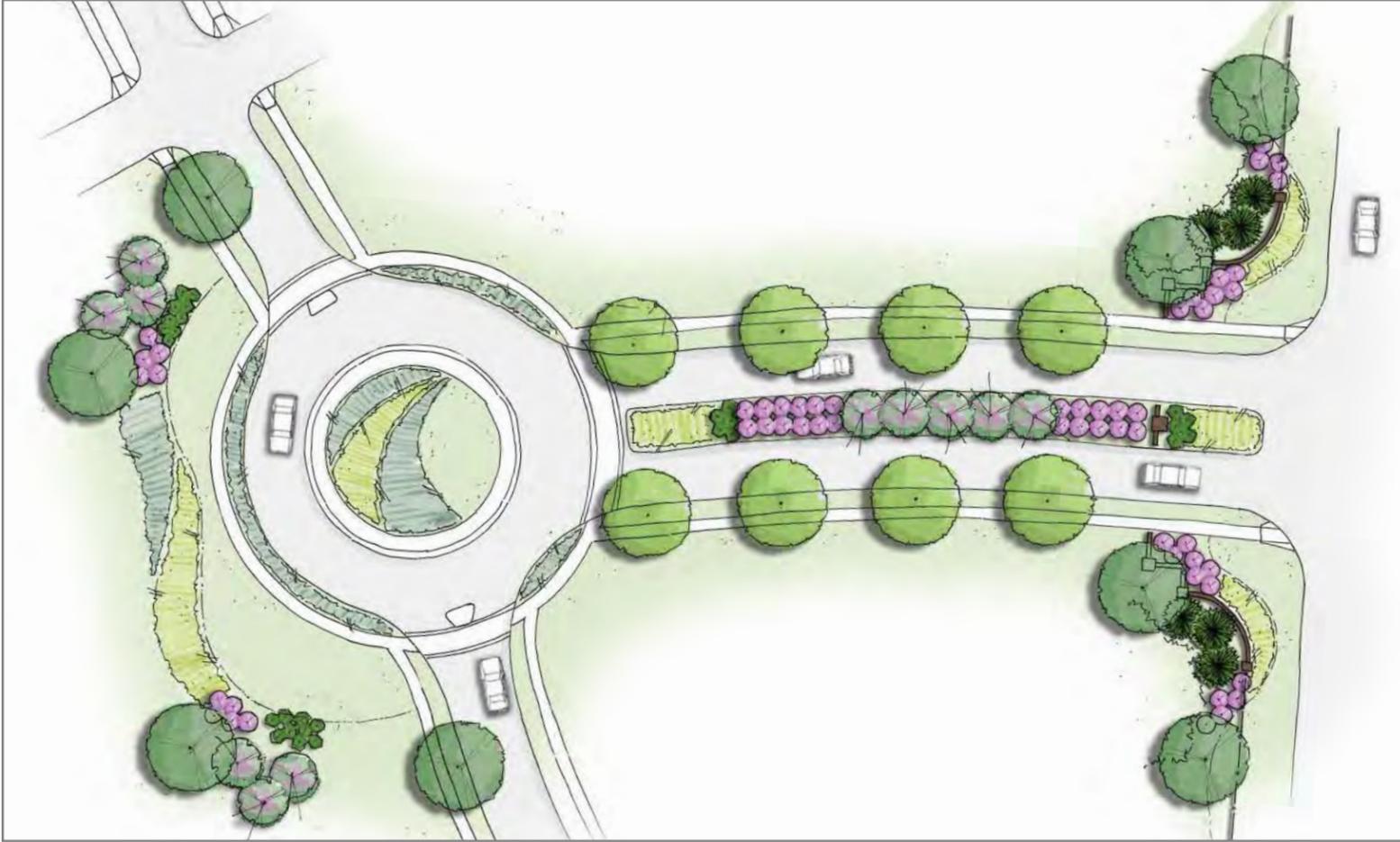
The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



ENTRY FEATURE / ROUNDABOUT (TYPICAL)

DESIGN ELEMENTS

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
 - (+/- 16) Trees
 - (+/- 75) Shrubs



GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)

DESIGN ELEMENTS

1. Trail
2. Seating

POCKET PARKS

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

"TOT LOT" (TYPICAL)

DESIGN ELEMENTS

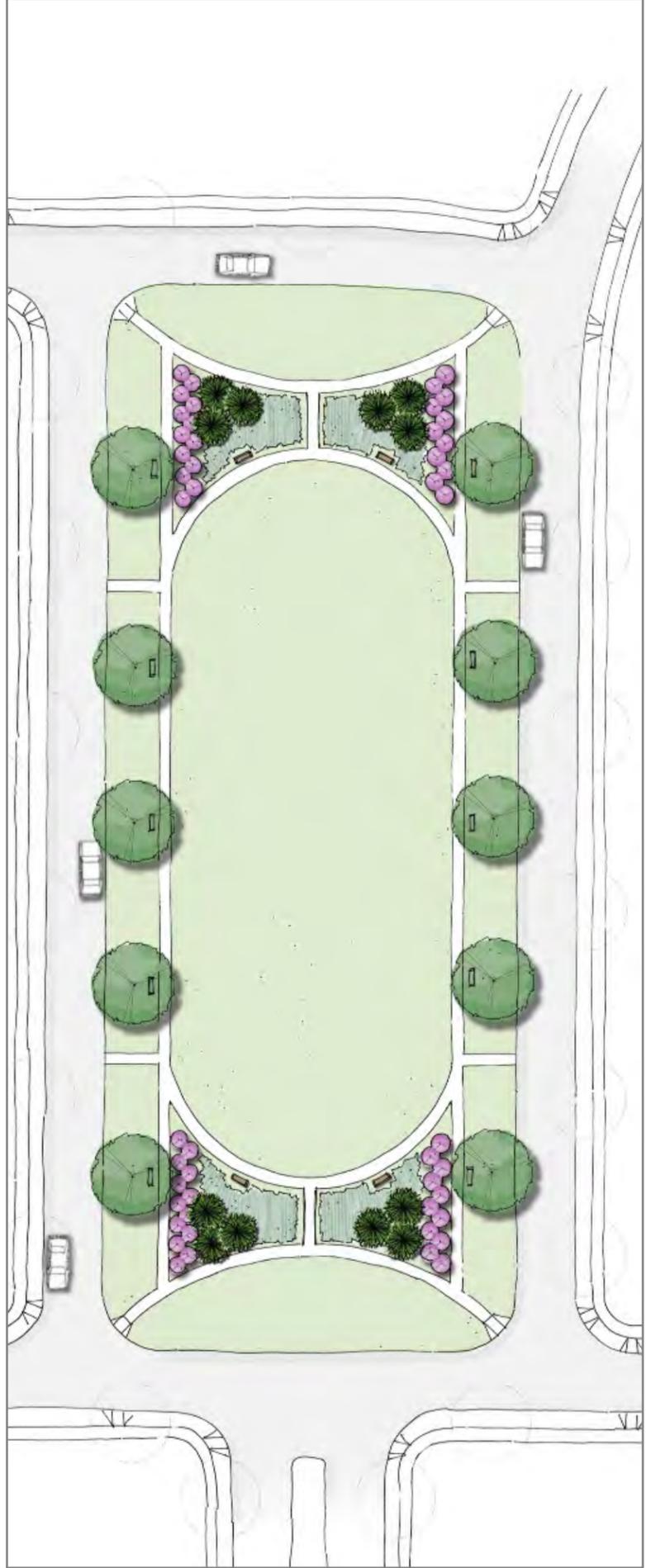
- 1. Seating
- 2. Play Structure
- 3. Landscaping



POCKET PARK (TYPICAL)

DESIGN ELEMENTS

- 1. Seating
- 2. Sidewalk
- 3. Landscaping



Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum of 4,500 square feet. Single family homes should be clustered together throughout the community.

LOT STANDARDS

- Lot standards shall be as follows:
 - The minimum lot size shall be 4,500 square feet and no maximum is established.
 - The minimum lot width shall be 40' and no maximum is established.
 - The minimum lot depth shall be 100' and no maximum is established.
 - The maximum lot coverage shall be 70%
 - The maximum lot impervious area shall be 75%

- Setbacks shall be as follows:

Front Setback - Minimum	10'
Side Interior Setback	4'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	35'
Accessory	5'



Lot Type: Single Family - Street Access

- Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
- Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.

- The buildable zone is the area defined and bounded by the setbacks on all property lines.
- A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
- Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

PERMITTED USES AND DIMENSIONAL STANDARDS

- Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and may be alley loaded. They may also have accessory apartments and/or living spaces above.
- Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
- Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
- Fences may be located on the property line (0' setback).



Lot Type: Single Family - Alley Access

- Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

- Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
- Front porches should be no less than 5' in depth and may be at grade.
- All single family detached homes will require review by the Architectural Review Committee (see page 12).



Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- The minimum lot size shall be 1,000 square feet and no maximum is established.
- The minimum lot width shall be 16' and no maximum is established.
- The minimum lot depth shall not be established.
- The maximum lot coverage shall be 70%
- The maximum lot impervious area shall be 75%

2. Setbacks shall be as follows:

Front Setback - Minimum	5'
Side Interior Lot Setback	0'
Side Street Setback - Minimum	5'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	45'
Accessory	5'

4. The buildable zone is the area defined and bounded by the setbacks on all property lines.

5. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.

6. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and may be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.

2. Party walls shall be fire rated in accordance with international building code.

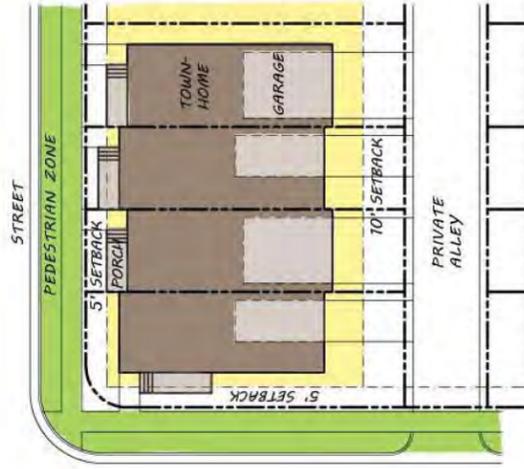
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

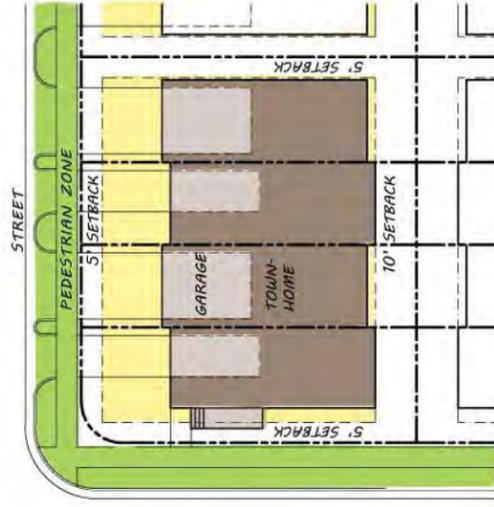
1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

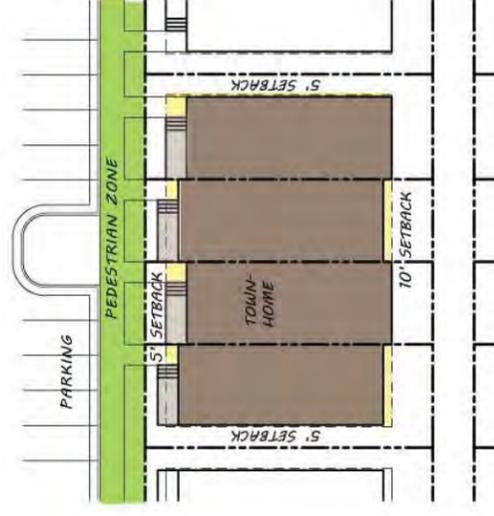
2. All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

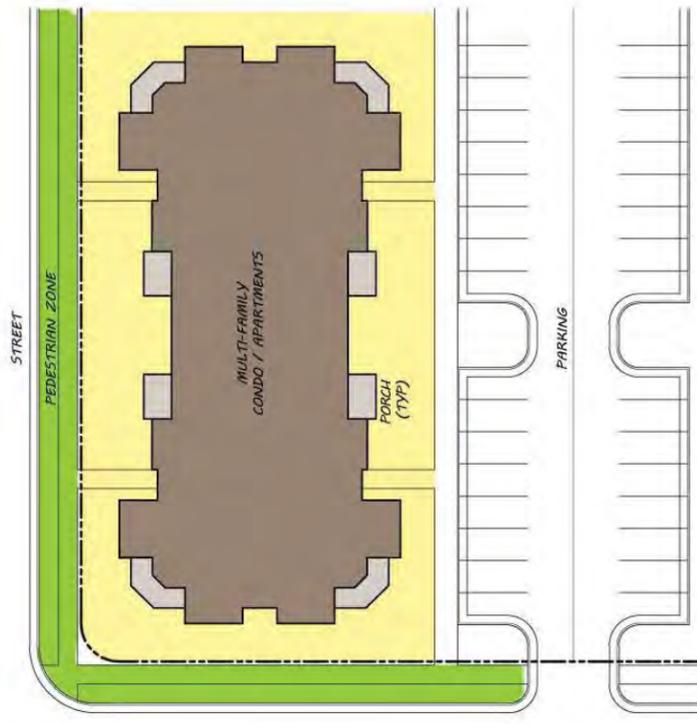
LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

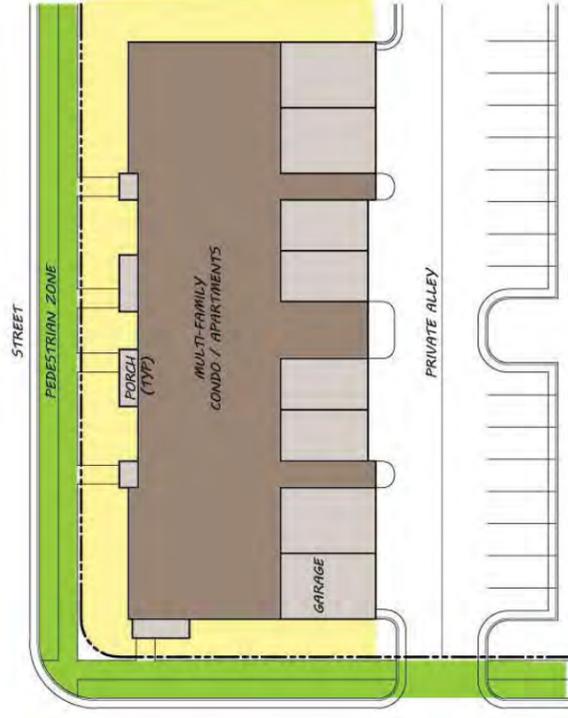
- There is no minimum lot size established.
- There is no minimum lot width established.
- There is no minimum lot depth established.
- The maximum lot coverage shall be 80%
- The maximum lot impervious area shall be 80%

2. Setbacks shall be as follows:

Front Setback - Minimum	0'
Side Interior Lot Setback	5' (20' min. between buildings)
Side Street Setback - Minimum	0'
Rear Setback - Minimum	5'
Height - Maximum	55'



Lot Type: Multi-Family - Surface Parking



Lot Type: Multi-Family - Alley Access

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Minimum building to building separation is 20'

5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.

6. The buildable zone is the area defined and bounded by the setbacks on all property lines.

7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips

8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.

2. Party walls shall be fire rated in accordance with international building code.

3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.

2. Balconies or porches are shall be encouraged.

3. All multi-family units will require review by the Architectural Review Committee (see page 12).



Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenhouse connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. There is no minimum lot size established.
 - b. There is no minimum lot width established.
 - c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

Front Setback - Minimum	15'
Side Interior Lot Setback	5' (10' min. between buildings)
Side Street Setback - Minimum	10'
Rear Setback - Minimum	5'
Height - Maximum	45'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.



2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.
5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. All single community buildings will require review by the Architectural Review Committee (see page 12).

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. The minimum lot size shall be 6,000 square feet
- b. The minimum lot width shall be 50'
- c. The minimum lot depth shall not be established.
- d. The maximum lot coverage shall be 75%
- e. The maximum lot impervious area shall be 75%

2. Setbacks shall be as follows:

Front Setback - Minimum	20'
Side Interior Lot Setback	10'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	20'
Zero Lot Line Side Setback	0'
Height - Maximum	80'

PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).



Utilities and Stormwater Management

PUBLIC UTILITIES AND INFRASTRUCTURE

Required improvements shall be made as development occurs within each tract. Infrastructure will be designed so that it will accommodate the entire community at total build-out. At the time of Plan Submittal, the developer will meet with Town Staff to determine critical areas (if any) for phased utility improvements as development occurs.

SANITARY SEWER

Per the Town of Clayton engineering staff, the Town has adequate capacity to accommodate the necessary sanitary sewer services for this project. The estimated waste water peak flow for the South tract is 588,388 gallons per day and North tract is 906,125 gallons per day (see summary at right and detail in Appendix). It is anticipated to develop the South tract first in approximately 15 phases of construction. The South tract will connect to an existing public sanitary sewer manhole that is part of the initial phase of the Sam's Branch Interceptor. The Town will continue with the design and extension of the Sam's Branch Interceptor -Phase 2 in coordination with the development phasing of Steeplechase. Sewer main extensions and service connections to the Town's sewer systems must be approved, prior to construction, by the Engineering Department and in accordance with the general guidelines and regulations of the Town. It is the Town's policy to utilize gravity sewer extension to provide sewer services to serve the North & South tracts. Allocations for sewer must be approved by town council. Estimated flow shown here is for informational purposes only.

WATER

Public water is available to the site via a series of 8-inch and 12-inch water mains. A 12-inch water main is present on Covered Bridge Road just west of the subject development and will be extended across the frontage at the time of the proposed road widening. In addition, an 8-inch main exists in O'Neil Street along the eastern boundary. Connections to the Covered Bridge Road 12-inch main and 8-inch main on O'Neil Street will be made and extended throughout the property to provide a system of inner-connected mains. This level of inner-connectivity shall provide for adequate domestic water use and fire protection.

STORMWATER RUNOFF AND NITROGEN CONTROLS

Storm sewer accessibility for the tract shall be provided via drainage swales and stormwater pipes that run throughout the tract. The drainage swales and stormwater pipes will be accessed for the purposes of carrying storm flows from various phases to eventually discharge into the respective tributaries of Sam's Branch and/or the Neuse River. Nitrogen control wet ponds and other BMP devices may be required with this development. The developer will provide evidence that it complies with all the Town's nitrogen and stormwater runoff control requirements as identified in the Town ordinance and State Stormwater Manual. Devices and control measures include a variety of devices and impoundments. These may be physically located outside of the phase so long as the above requirements are met as each tract is developed.

Steeplechase Sanitary Sewer Preliminary Evaluation

McAdams
13-Feb-15

Estimate of total peak wastewater flow for Steeplechase South (Phases 1-14):

Residential Unit Type	Residential Units	Bedrooms	WW Flow Rate per Unit	Average WW Flow gpd	gpm	cfs	Peaking Factor	gpd	gpm	cfs
Single Family (65-70)	411	4	250 gal/day-unit	102,750	71	0.159	2.5	256,875	178	0.397
Single Family (50-55/60-65)	100	3.5	250 gal/day-unit	25,000	17	0.039	2.5	62,500	43	0.097
Townhome	309	2.5	250 gal/day-unit	77,250	54	0.119	2.5	193,125	134	0.299
Apartment	0	2.0	240 gal/day-unit	-	0	0.000	2.5	-	0	0.000
Commercial / Retail	75,000	sf	0.13 gal/day-sf	9,750	7	0.015	2.5	24,375	17	0.038
Total WW Flow				214,750	149	0.332		536,875	373	0.830

Estimate of total peak wastewater flow for Steeplechase North (Phases 15-34):

Residential Unit Type	Residential Units	Bedrooms	WW Flow Rate per Unit	Average WW Flow gpd	gpm	cfs	Peaking Factor	gpd	gpm	cfs
Single Family (65-70/70-75)	330	4	250 gal/day-unit	82,500	57	0.128	2.5	206,250	143	0.319
Single Family (50-55/60-65)	225	3.5	250 gal/day-unit	56,250	39	0.087	2.5	140,625	98	0.217
Amenity / Clubhouse	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	2.5	2,763	2	0.004
Townhome	435	2.5	250 gal/day-unit	108,750	76	0.168	2.5	271,875	189	0.420
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	2.5	228,000	158	0.353
Total WW Flow				339,805	236	0.526		849,513	590	1.314

Totals 2,190 units 554,555 gpd

Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.

- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)

- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.

- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.

- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.

- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

Phasing

OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251st residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

DEVELOPMENT NAME CHANGE

The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

Appendix

COVER	SHEET 0
EXISTING CONDITIONS	SHEETS 1-3
MASTER PLAN	SHEETS 4, 4A, 4B, 4C
PHASING PLAN	SHEET 5
OPEN SPACE PLAN	SHEET 6
VEHICULAR AND PEDESTRIAN PLAN	SHEET 7
STREET WAIVER REQUESTS	SHEET 8



LEGEND

●	EXISTING IRON PIPE
○	IRON PIPE SET
▲	CALCULATED POINT
●	BORE HOLE
⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEANOUT
⊙	WATER VALVE
⊙	WATER METER
⊙	FIRE HYDRANT
⊙	TELEPHONE FEDERAL
⊙	TELEPHONE MANHOLE
⊙	ELECTRIC BOX
⊙	ELECTRIC POLE
⊙	LIGHT POLE
⊙	CURB INLET
⊙	STORM DRAINAGE MANHOLE
⊙	*4" INLET

—	STORM DRAIN PIPE
—	OVERHEAD UTILITY LINE
—	WATER LINE
—	SANITARY SEWER LINE
—	TELEPHONE LINE
—	GAS LINE
—	UNDERGROUND ELECTRIC
—	UNDERGROUND TELEPHONE
—	FENCE LINE

**PRELIMINARY PLAT
 NOT FOR RECORDATION
 CONVEYANCES OR SALES**



1. RONALD T. FREDERICK, SURVEYOR, THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTIONS RECORDED IN BOOK AND PAGE (AS SHOWN) THAT THE INFORMATION FOUND ON THIS PLAT WAS OBTAINED FROM THE FIELD AND THAT THE INFORMATION WAS CHECKED AND FOUND TO BE CORRECT. THAT THE RATIO OF PRECISION AS CALCULATED IS 1:52,224.5, AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 87-25 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS DAY OF _____ A.D. 2014.

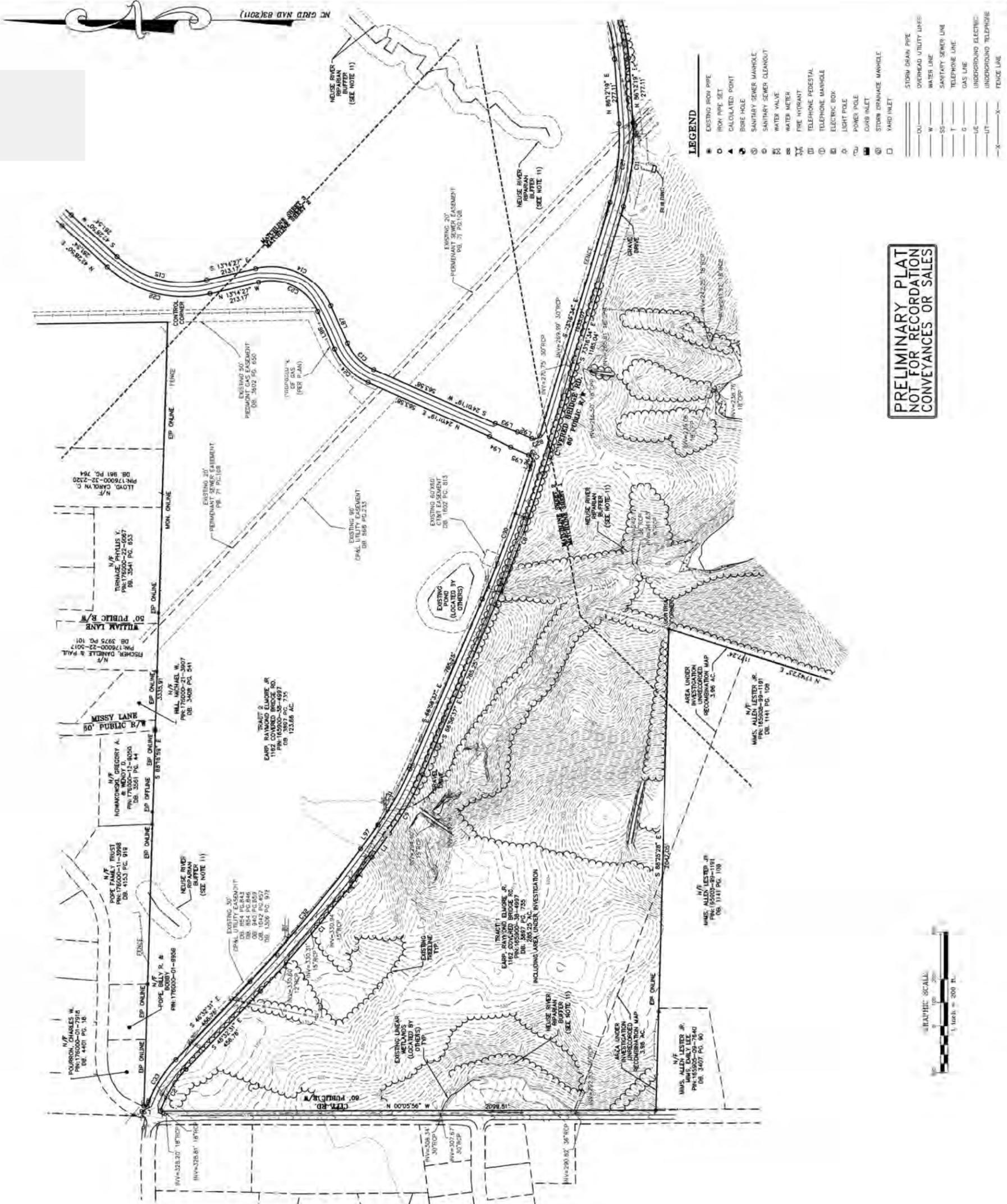
RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING NATURE: OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

RONALD T. FREDERICK PLS L-4720

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCELS OF LAND. THIS IS A REVISION OF THE SURVEY ARE BASED ON I.C. GRID (NAD 83) COORDINATES.
- ALL DISTANCES ARE HORIZONTAL DISTANCES.
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE SPECIAL FLOOD HAZARD MAP DATED DECEMBER 2, 2005, DEPICTED BY FEMA COMMUNITY PANEL #2005140001 & #2005140002.
- REFER TO SHEET 2 OF 3 FOR CONTINUED SURVEY.
- UTILITY STATEMENT: UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THROUGH THE DEEDS FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT EMPLOYED ANY SPECIAL METHODS TO LOCATE UTILITIES OR EXAMINATIONS WHICH MAY BE DISCLOSED BY A FULL AND COMPLETE EXAMINATION OF THE RECORDS OF THE TOWN OF CLAYTON AND JOHNSTON COUNTY.
- NEUSE RIVER REPAIR BUFFER MEASURED 50 FEET FROM TOP OF BANK, WHOSE SHOWING THE CREEK WAS LOCATED BY OTHERS (SPARZEN ENVIRONMENTAL).



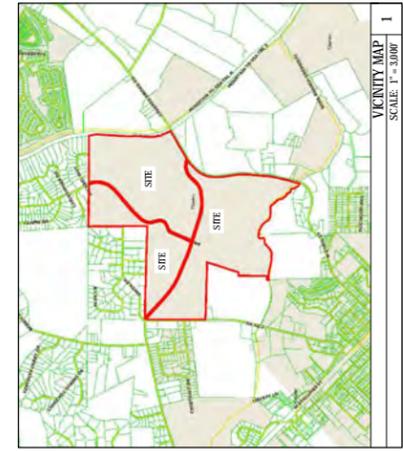
**PRELIMINARY PLAT
 NOT FOR RECORDATION
 CONVEYANCES OR SALES**

GENERAL NOTES

- SEE LINE AND CURVE TABLES THIS SHEET
- SEE SHEET 1 FOR GENERAL NOTES

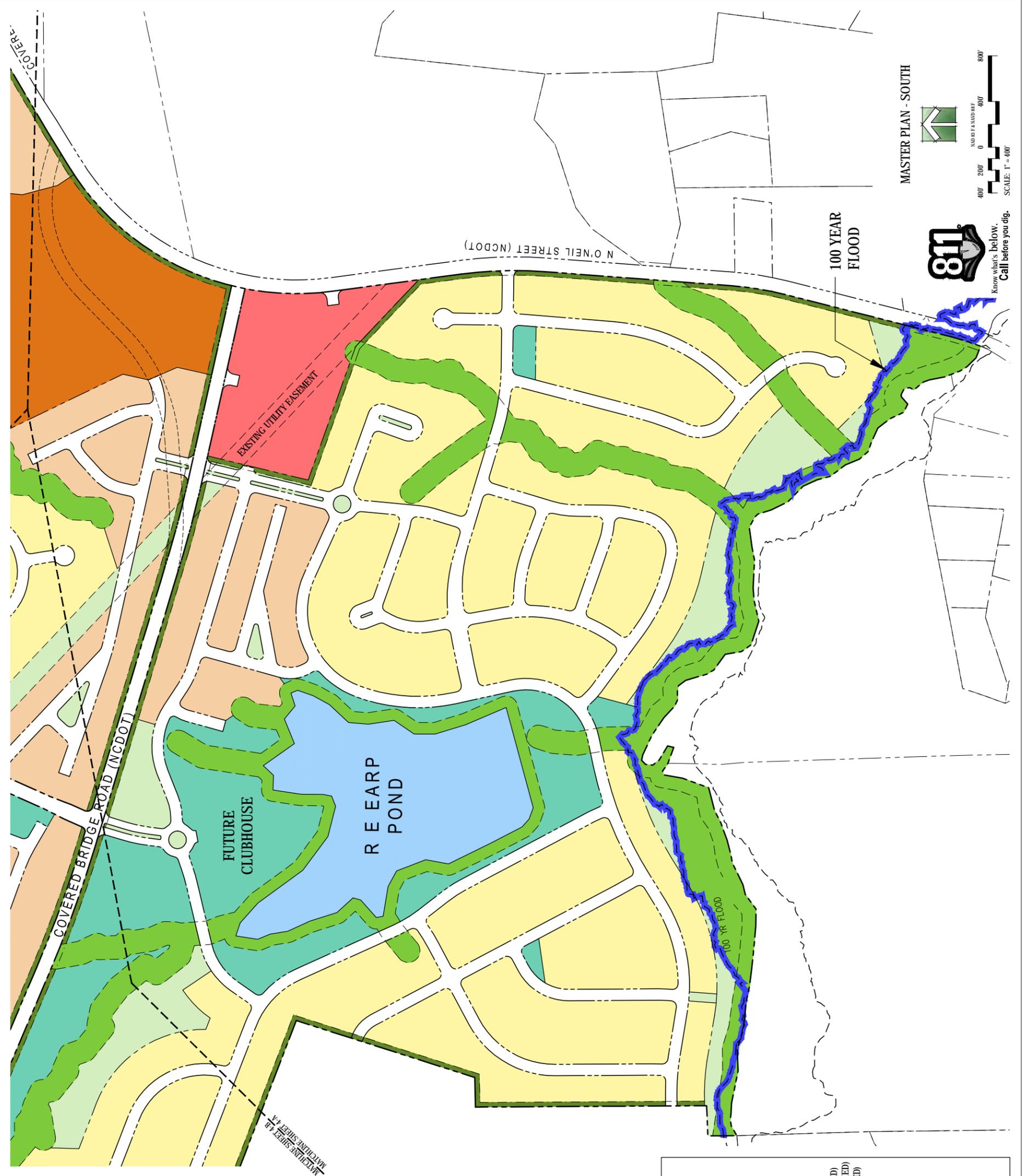
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	496.00	208.82	N. 38°43'28.14" W.	206.50
C2	196.00	130.84	N. 17°00'31.1" E.	130.86
C3	196.00	53.36	S. 75°45'12.4" V.	53.75
C4	175.00	52.76	N. 89°53'33.4" E.	52.84
C5	175.00	36.77	N. 0°38'27.7" W.	36.78
C6	175.00	36.77	N. 0°38'27.7" W.	36.78
C7	175.00	36.77	N. 0°38'27.7" W.	36.78
C8	175.00	36.77	N. 0°38'27.7" W.	36.78
C9	175.00	36.77	N. 0°38'27.7" W.	36.78
C10	175.00	36.77	N. 0°38'27.7" W.	36.78
C11	175.00	36.77	N. 0°38'27.7" W.	36.78
C12	175.00	36.77	N. 0°38'27.7" W.	36.78
C13	175.00	36.77	N. 0°38'27.7" W.	36.78
C14	175.00	36.77	N. 0°38'27.7" W.	36.78
C15	175.00	36.77	N. 0°38'27.7" W.	36.78
C16	175.00	36.77	N. 0°38'27.7" W.	36.78
C17	175.00	36.77	N. 0°38'27.7" W.	36.78
C18	175.00	36.77	N. 0°38'27.7" W.	36.78
C19	175.00	36.77	N. 0°38'27.7" W.	36.78
C20	175.00	36.77	N. 0°38'27.7" W.	36.78
C21	175.00	36.77	N. 0°38'27.7" W.	36.78
C22	175.00	36.77	N. 0°38'27.7" W.	36.78
C23	175.00	36.77	N. 0°38'27.7" W.	36.78
C24	175.00	36.77	N. 0°38'27.7" W.	36.78
C25	175.00	36.77	N. 0°38'27.7" W.	36.78
C26	175.00	36.77	N. 0°38'27.7" W.	36.78
C27	175.00	36.77	N. 0°38'27.7" W.	36.78
C28	175.00	36.77	N. 0°38'27.7" W.	36.78
C29	175.00	36.77	N. 0°38'27.7" W.	36.78
C30	175.00	36.77	N. 0°38'27.7" W.	36.78
C31	175.00	36.77	N. 0°38'27.7" W.	36.78
C32	175.00	36.77	N. 0°38'27.7" W.	36.78
C33	175.00	36.77	N. 0°38'27.7" W.	36.78

LINE	BEARING	DISTANCE
L1	N. 86°12'19" E.	277.11
L2	N. 86°12'19" E.	277.11
L3	S. 45°50'04" E.	55.30
L4	S. 31°0'56" E.	55.30
L5	S. 21°33'11" E.	71.21
L6	S. 21°33'11" E.	71.21
L7	S. 21°33'11" E.	71.21
L8	S. 32°28'49" E.	54.28
L9	S. 30°18'17" E.	19.74
L10	S. 02°52'08" E.	15.90
L11	S. 81°34'43" E.	55.30
L12	S. 81°34'43" E.	55.30
L13	N. 89°22'42" E.	9.49
L14	N. 48°18'30" E.	42.89
L15	S. 67°17'19" E.	40.34
L16	S. 37°52'59" E.	84.95
L17	S. 37°52'59" E.	84.95
L18	S. 65°45'20" E.	66.77
L19	S. 70°22'45" E.	44.28
L20	S. 31°45'41" E.	25.71
L21	S. 31°45'41" E.	25.71
L22	S. 31°45'41" E.	25.71
L23	S. 14°52'39" E.	55.02
L24	S. 24°21'23" E.	68.09
L25	S. 49°13'39" E.	92.29
L26	S. 49°13'39" E.	92.29
L27	S. 17°14'16" E.	61.58
L28	S. 41°38'40" E.	20.09
L29	S. 61°20'21" E.	49.48
L30	N. 82°17'29" E.	65.57
L31	S. 87°01'00" E.	322.73
L32	N. 83°03'51" E.	57.28
L33	N. 83°03'51" E.	57.28
L34	N. 77°50'51" E.	90.83
L35	S. 71°47'00" E.	108.59
L36	S. 02°52'08" E.	37.50
L37	S. 02°52'08" E.	37.50
L38	S. 54°52'50" E.	64.79
L39	S. 31°07'13" E.	34.69
L40	S. 19°40'18" E.	95.02
L41	S. 73°10'10" E.	19.64
L42	S. 73°10'10" E.	19.64
L43	S. 89°22'39" E.	44.39
L44	S. 67°23'15" E.	27.97
L45	S. 47°03'11" E.	65.54
L46	S. 62°42'19" E.	29.70
L47	S. 62°42'19" E.	29.70
L48	S. 62°42'19" E.	29.70
L49	S. 77°48'17" E.	24.70
L50	N. 82°52'43" E.	41.71
L51	N. 82°52'43" E.	41.71
L52	N. 58°27'00" W.	35.79
L53	N. 58°27'00" W.	35.79
L54	N. 58°27'00" W.	35.79
L55	N. 13°37'25" E.	28.25
L56	N. 62°42'19" E.	19.68
L57	N. 83°03'51" E.	16.73
L58	N. 101°00'0" E.	65.68
L59	N. 20°58'29" E.	132.53
L60	N. 63°31'09" E.	50.23
L61	N. 63°31'09" E.	50.23
L62	N. 63°31'09" E.	50.23
L63	N. 73°47'13" E.	61.29
L64	N. 71°50'09" E.	46.17
L65	N. 62°42'19" E.	29.70
L66	N. 62°42'19" E.	29.70
L67	N. 62°42'19" E.	29.70
L68	N. 53°48'53" E.	78.19
L69	N. 62°42'19" E.	29.70
L70	N. 84°03'11" E.	64.10
L71	N. 84°03'11" E.	64.10
L72	N. 84°03'11" E.	64.10
L73	S. 77°52'22" E.	69.52
L74	S. 81°52'33" E.	130.27
L75	N. 81°52'33" E.	130.27
L76	N. 81°52'33" E.	130.27
L77	S. 78°43'24" E.	144.84
L78	S. 89°22'45" E.	44.76
L79	S. 63°27'49" E.	27.57
L80	N. 73°10'10" E.	41.28
L81	N. 73°10'10" E.	41.28
L82	N. 68°47'08" E.	132.50
L83	S. 71°10'10" E.	66.58
L84	S. 58°23'07" W.	66.68
L85	N. 89°22'45" E.	34.60
L86	N. 89°22'45" E.	34.60
L87	S. 65°56'23" W.	72.51
L88	N. 65°56'23" W.	72.51
L89	S. 27°17'25" E.	193.87
L90	S. 27°17'25" E.	193.87
L91	S. 27°17'25" E.	193.87
L92	S. 24°07'19" W.	171.23
L93	S. 24°07'19" W.	171.23
L94	S. 21°09'34" W.	100.12
L95	N. 29°53'04" E.	100.12
L96	S. 71°10'10" E.	41.28
L97	N. 53°48'53" W.	125.41
L98	S. 05°44'14" W.	18.95



LEGEND:

	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE OPEN SPACE
	RIPARIAN BUFFERS AND FLOODPLAIN
	20' TYPE "C" PERIMETER BUFFER
	RESIDENTIAL USE
	• SMALL LOT SINGLE FAMILY (DETACHED)
	• MEDIUM LOT SINGLE FAMILY (DETACHED)
	• LARGE LOT SINGLE FAMILY (DETACHED)
	• ATTACHED SINGLE FAMILY
	RESIDENTIAL USE
	• TOWNHOMES
	RESIDENTIAL USE
	• CONDOMINIUMS
	• APARTMENTS / TOWNHOME OPTION
	COMMERCIAL



Preliminary Plat Review (Major Subdivision) Not for Construction	
PROJECT: NDC-1488	DATE: 10/01/2014
ISSUE: Prelim. Plat (Up-Sub)	DATE: 10/01/2014
REVISIONS:	
1st Review Comments	10/24/2014
2nd Review Comments	11/10/2014
3rd Review Comments	01/07/2015
4th Review Comments	01/14/2015
5th Review Comments	01/20/2015
6th Review Comments	02/12/2015
7th Review Comments	02/23/2015
DRAWN BY: KT, SB CHECKED BY: NT CONTENT: MASTERPLAN - SOUTH	
4A	

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Galaxy NC, LLC
 c/o Wakefield Development Company
Steepchase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520

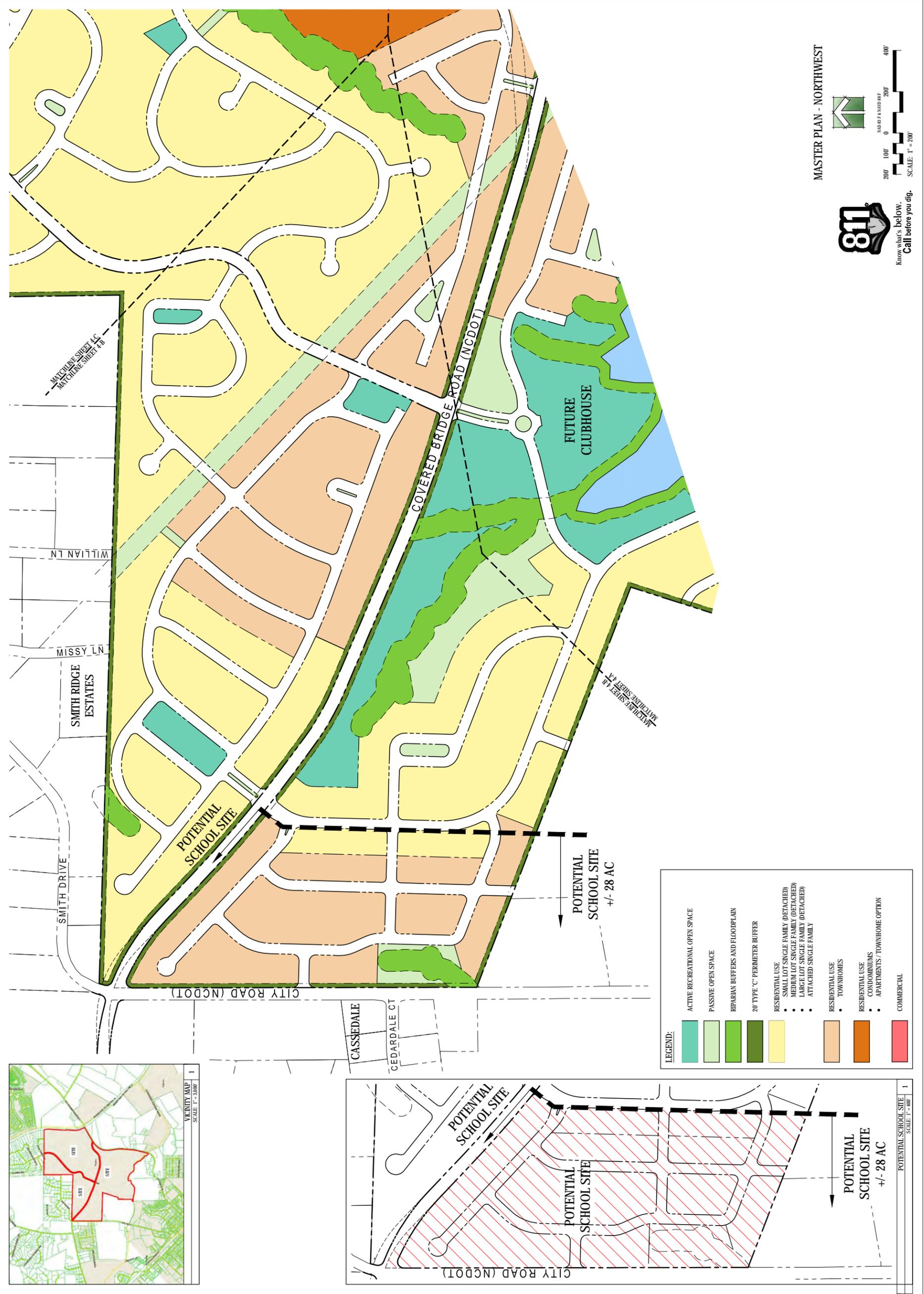


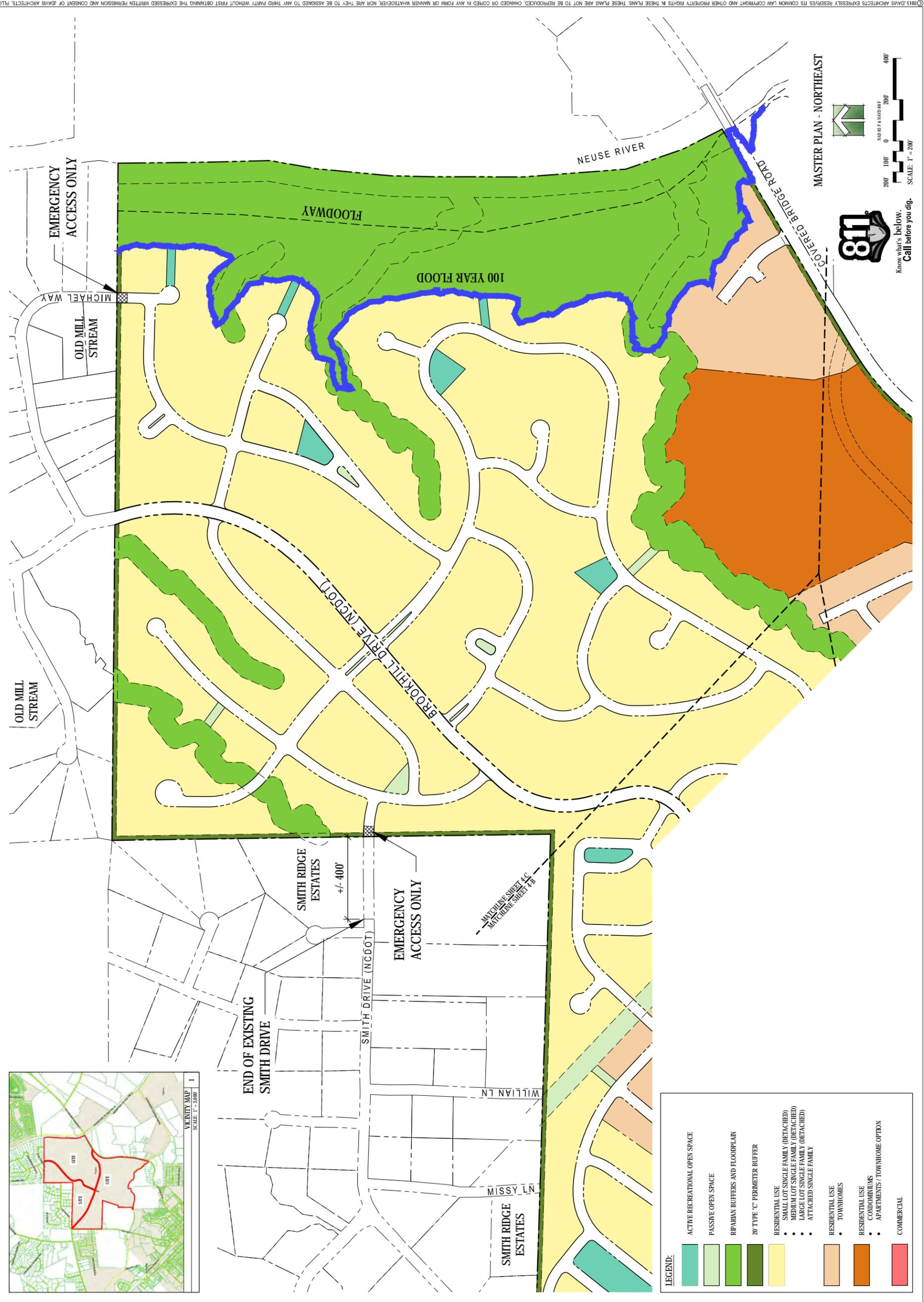
Preliminary Plat
 Review
 (Major Subdivision)
 Not for Construction

PROJECT:	DATE:
NDC: 14880	10/01/2014
ISSUE: Prelim. Plat (Up-Sub)	10/01/2014
REVISIONS:	
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3rd Review Comments	01/07/2015
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5th Review Comments	01/20/2015
6th Review Comments	02/12/2015
7th Review Comments	02/23/2015
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CONTENT: MASTER PLAN - NORTHWEST	

4B

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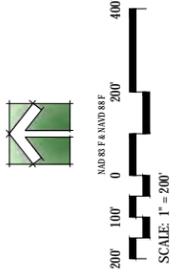




LEGEND:

[Light Green Box]	ACTIVE RECREATIONAL OPEN SPACE
[Light Yellow Box]	PASSIVE OPEN SPACE
[Medium Green Box]	REPARAN BUFFERS AND FLOODPLAIN
[Dark Green Box]	20' TYPE "C" PERIMETER BUFFER
[Yellow Box]	RESIDENTIAL USE
[Light Orange Box]	• SMALL LOT SINGLE FAMILY (DETACHED)
[Orange Box]	• MEDIUM LOT SINGLE FAMILY (DETACHED)
[Dark Orange Box]	• LARGE LOT SINGLE FAMILY (DETACHED)
[Red Box]	• ATTACHED SINGLE FAMILY
[Light Brown Box]	RESIDENTIAL USE
[Orange Box]	• TOWNHOMES
[Dark Orange Box]	RESIDENTIAL USE
[Red Box]	• CONDOMINIUMS
[Red Box]	• APARTMENTS/TOWNHOME OPTION
[Red Box]	COMMERCIAL

MASTER PLAN - NORTHEAST



Preliminary Plat
Review
(Major Subdivision)
Not for Construction

PROJECT:	DATE:
WDC-14880	10/01/2014
ISSUE: Prelim. Plat (Up-Sub)	10/01/2014
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5th Review Comments	01/20/2015
6th Review Comments	02/12/2015
7th Review Comments	02/23/2015
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CONTENT: MASTERPLAN - NORTHEAST	

4C

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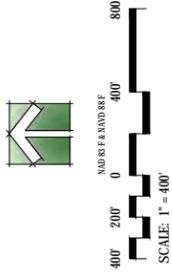
PHASE	ACRES
	IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.68
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 26.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
TOTAL	+/- 637.13

NOTES:
 THE CLUBHOUSE PERMIT SHALL BE
 REQUIRED PRIOR TO THE 251ST
 BUILDING PERMIT.

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PHASING PLAN



Preliminary Plat
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 (Major Subdivision)
 Not for Construction

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NDC: 14880	10/01/2014
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6th Review Comments	02/12/2015
7th Review Comments	02/23/2015
DRAWN BY: KT, SB	
CHECKED BY: BT	
CONTENT: PHASING PLAN	

Galaxy NC, LLC
 c/o Wakefield Development Company
Steepchase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520

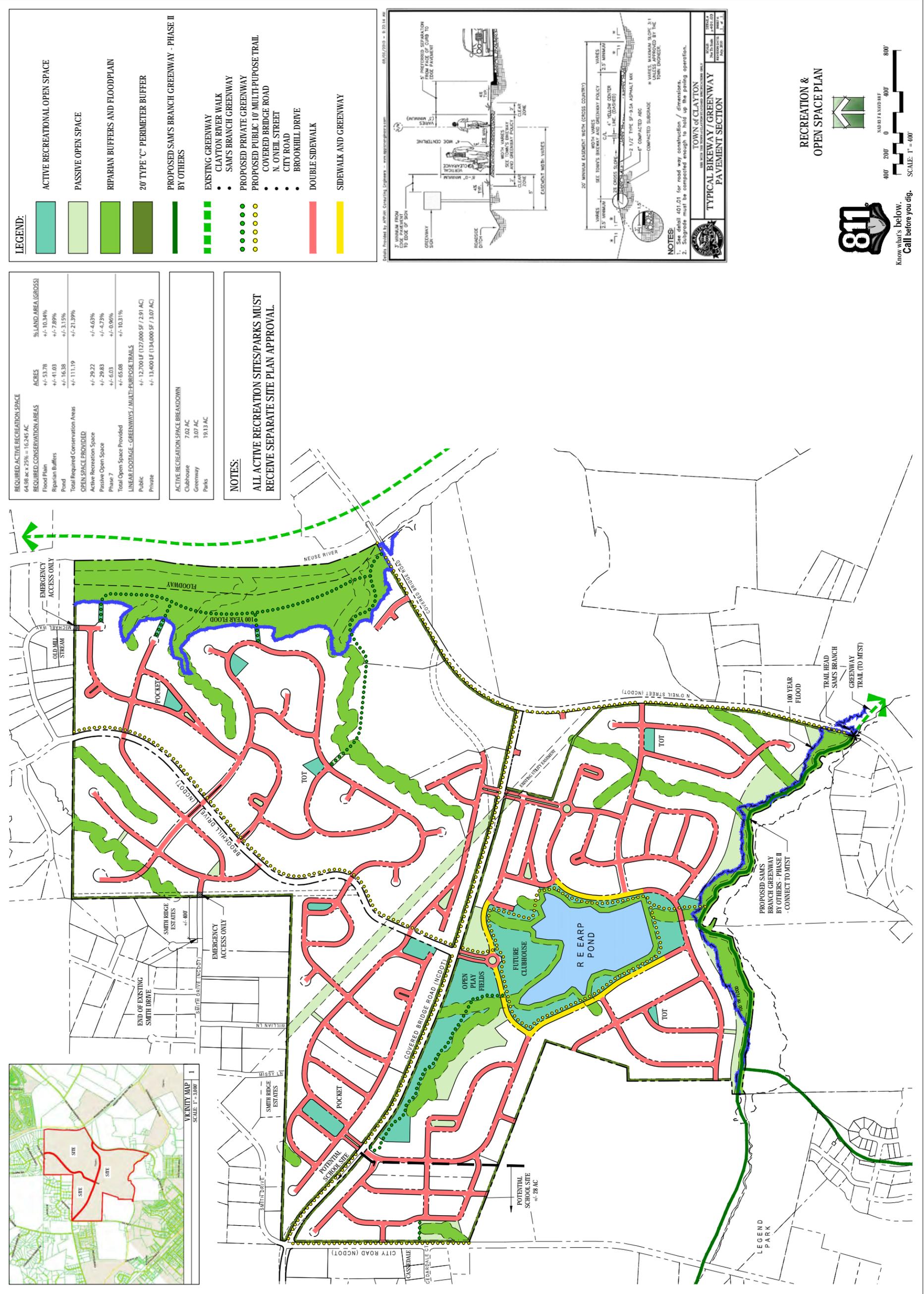


Preliminary Plat
 Review
 (Major Subdivision)
 Not for Construction

DATE	PROJECT	ISSUE
10/01/2014	100C-1888	Final Plat (Up-Sub)
10/01/2014		
10/24/2014		1st Review Comments
11/10/2014		2nd Review Comments
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01/14/2015		4th Review Comments
01/20/2015		5th Review Comments
02/12/2015		6th Review Comments
02/23/2015		7th Review Comments

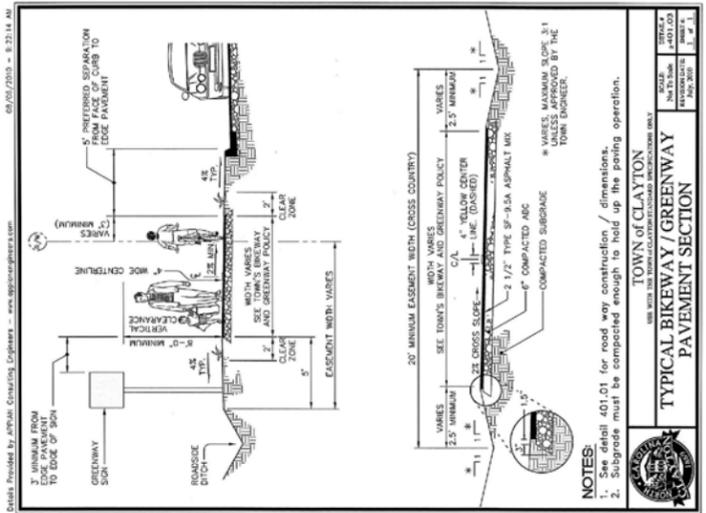
DRAWN BY: KT, SB
 CHECKED BY: KT
 CONTENT: RECREATION & OPEN SPACE PLAN

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LEGEND:

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAMS BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. ONEIL STREET
 - CITY ROAD
 - BROOKHILL DRIVE
 - DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY



TOWN OF CLAYTON
 1162 COVERED BRIDGE ROAD
TYPICAL BIKEWAY / GREENWAY PAVEMENT SECTION

NOTES:
 1. See sheet 401.01 for road way construction / dimensions.
 2. Subgrade must be compacted enough to hold up the paving operation.

811
 Know what's below.
 Call before you dig.

RECREATION & OPEN SPACE PLAN

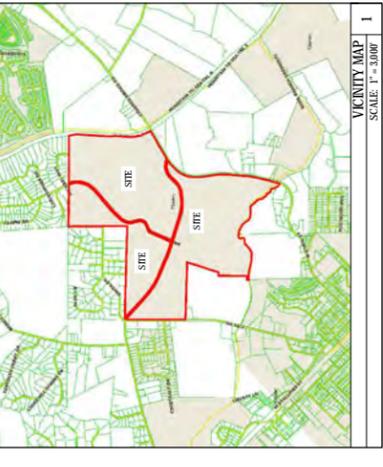
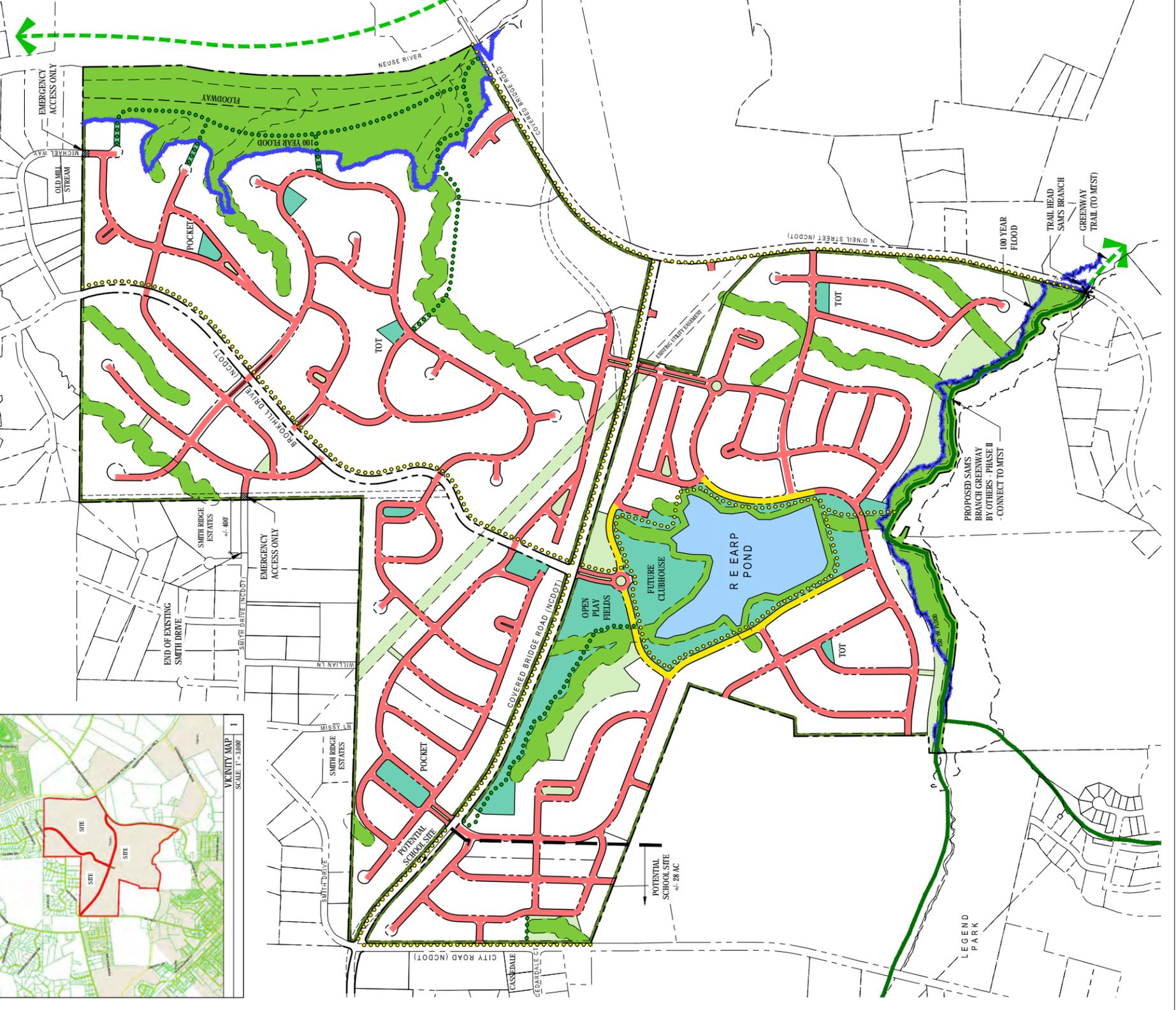
400' 200' 0 400' 800'
 1/8" = 1' HORIZONTAL
 SCALE: 1" = 400'

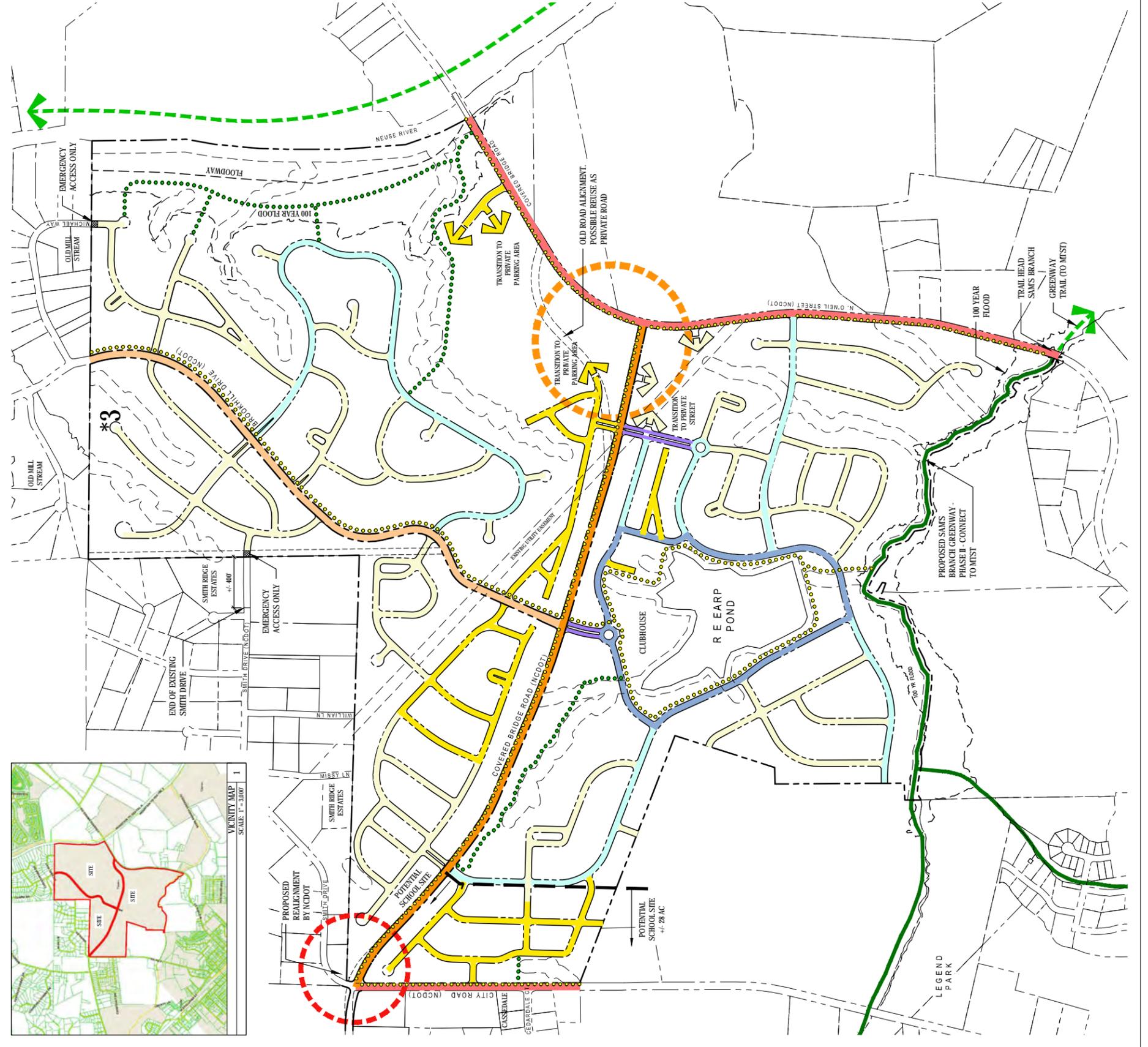
REQUIRED ACTIVE RECREATION SPACE	ACRES	% LAND AREA (GROSS)
64.98 ac x 25% = 16.245 AC	+/- 53.78	+/- 10.34%
REQUIRED CONSERVATION AREAS	+/- 41.03	+/- 7.89%
Flood Plain		
Riparian Buffers		
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%
OPEN SPACE PROVIDED		
Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS		
Public	+/- 12,700 LF (127,000 SF / 2.91 AC)	
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)	

ACTIVE RECREATION SPACE BREAKDOWN

Clubhouse	7.02 AC
Greenway	3.07 AC
Parks	19.13 AC

NOTES:
 ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.





- WAIVER REQUESTS:**
- ALL INTERNAL STREETS WILL HAVE SIDEWALK ON AT LEAST ONE SIDE TO PROVIDE A NETWORK OF PEDESTRIAN ACCESS THROUGHOUT THE SITE AND CONNECTION TO THE PRIVATE INTERNAL GREENWAY THAT WILL CONNECT TO THE FUTURE SAMS BRANCH GREENWAY EXTENSION.
 - THIS PROPOSAL REQUESTS THAT IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 - PROPOSED RESIDENTIAL STREET WITH CAL-DE-SAC EXCEEDS TOWN OF CLAYTON MAXIMUM LENGTH. REQUEST APPROVAL OF 1,000 LF CAL-DE-SAC.
 - THIS PROPOSAL REQUESTS THAT ALL PLANTER STRIPS BE INCREASED TO 6' WIDE AND THAT TREE SPECIES ARE TO BE APPROVED BY THE PLANNING DIRECTOR.

- STREET TREES NOTES:**
- STREET STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART
 - ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

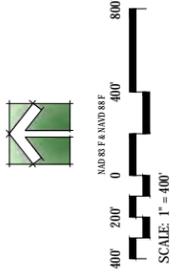
REFER SHEET 8 OF 8 FOR STREET WAIVER REQUESTS

- LEGEND:**
- PROPOSED ROAD REALIGNMENT BY DEVELOPER
 - PROPOSED ROAD REALIGNMENT BY NCDOT
 - BROOKHILL DRIVE (EXISTING NCDOT)
 - EXISTING COVERED BRIDGE ROAD (NCDOT)
 - EXISTING COLLECTOR STREET
 - N. O'NEIL STREET (NCDOT)
 - CITY ROAD (NCDOT)
 - EARP POND ROAD COLLECTOR
 - RESIDENTIAL COLLECTOR STREET (PUBLIC)
 - RESIDENTIAL MAIN ENTRANCE
 - RESIDENTIAL STREET (PUBLIC)
 - RESIDENTIAL STREET (PRIVATE)
 - PROPOSED SAMS BRANCH - PHASE II BY OTHERS
 - EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAMS BRANCH GREENWAY
 - PROPOSED PRIVATELY MAINTAINED GREENWAY
 - PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
 - BROOKHILL DRIVE

NOTE:
THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.



VEHICULAR & PEDESTRIAN CIRCULATION PLAN



Preliminary Plat Review
(Major Subdivision)
Not for Construction

PROJECT:	DATE:
NDC-14880	10/01/2014
ISSUE: Prelim. Plat (Up-Sub)	10/01/2014
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6th Review Comments	02/12/2015
7th Review Comments	02/23/2015
DRAWN BY: KT, SB	
CHECKED BY: KT	
CONTENT: VEHICULAR & PEDESTRIAN CIRCULATION PLAN	

TRANSPORTATION IMPACT ANALYSIS

Prepared for Galaxy NC, LLC/ CO/ Wakefield Development Co.

Project Number: 14-425
11/6/2014

Steeplechase Mixed-Use Development Clayton, NC



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Transportation Impact Analysis

Steeplechase Mixed-Use Development Clayton, NC

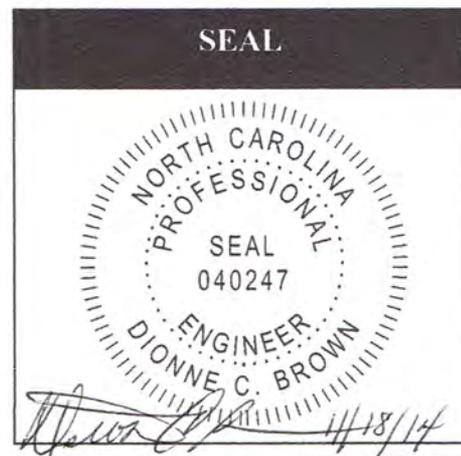
Prepared for Galaxy NC, LLC/ CO/
Wakefield Development Co.
November 6, 2014

Analysis by: Dionne C. Brown, P.E.

Drafting/Graphics by: Dionne C. Brown, P.E.

Reviewed by: Mary Morgan, P.E.

Sealed by: Dionne C. Brown, P.E.



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**Steeplechase Mixed-Use Development – Transportation Impact Analysis
Clayton, NC
Prepared for Galaxy NC, LLC/ CO/ Wakefield Development Co.
November 6, 2014**

Executive Summary

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The site is proposed to have access points on Covered Bridge Road, O'Neil Street and Brookhill Drive. The site plan is shown in Figure 1. This study analyzes two phases for the property's development. Phase 1 is located south of Covered Bridge Road and Phase 2 is located north of Covered Bridge Road and includes the proposed retail uses at the southwest corner of Covered Bridge Road and O'Neil Street.

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

It should be noted that the land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic. The following intersections were included in the study:

1. Covered Bridge Road at City Road/ Smith Drive
2. Covered Bridge Road at Site Access 1
3. Covered Bridge Road at Brookhill Drive/ Site Access 2
4. Covered Bridge Road at Site Access 3
5. Covered Bridge Road at O'Neil Street
6. O'Neil Street at Site Access 4
7. Covered Bridge Road at Site Access 5
8. Covered Bridge Road at Site Access 6
9. Brookhill Drive at Site Access 7
10. Brookhill Drive at Site Access 8
11. Brookhill Drive at Site Access 9
12. Brookhill Drive at Site Access 10
13. Brookhill Drive at Site Access 11
14. Covered Bridge Road at Shotwell Road

According to the site plan there are an additional five (5) access points along state maintained roads, one (1) on Covered Bridge Road and four (4) on Brookhill Drive. These roads are designed into a network of residential streets that have other outlets to the main corridor. Since the majority of this development is residential and is the primary generator of traffic, it was assumed that the percentage of traffic would be low at these access points. Therefore, the study intersections were narrowed down to the major access points on the state maintained roads.

The study intersections were analyzed during AM (7-9) and PM (4-6) peaks for the following conditions:

- 2014 Existing Conditions
- 2017 Future No Build Conditions
- 2017 Phase 1 Build-Out Conditions
- 2017 Phase 1 Build-Out with Improvements (as necessary)
- 2019 Future No Build Conditions
- 2019 Full Build-Out Conditions
- 2019 Full Build-Out with Improvements (as necessary)

NCDOT was contacted to obtain background information and to ascertain the elements to be covered in this Transportation Impact Analysis (TIA). Information regarding the property was provided by Wakefield Development Co.

Phase 1 - Discussion of Results

The following section discusses 2017 Phase 1 level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM and PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 1

In Phase 1 Build conditions, this intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM peak and LOS D in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 3

This intersection is expected to operate at LOS C in the AM and PM peaks during Phase 1 future build conditions. Based on projected volumes, an eastbound right turn lane and westbound left turn lane will be warranted on Covered Bridge Road. In order to facilitate turning movements in and out of this site access, the following improvements are recommended:

- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Provide westbound left turn lane with 100 feet of storage and appropriate taper
- Provide northbound right turn lane with 100 feet of storage and appropriate taper

With these improvements, this intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak.

Covered Bridge Road at O'Neil Street

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. This LOS F condition is due to a lack of sufficient gaps for left-turning vehicles from the stop-controlled approach, which is the result of conflicting traffic volumes on O'Neil Street. With the addition of Phase 1 site traffic, LOS D is expected in the AM peak and LOS F in the PM peak.

This intersection is anticipated to operate at a deficient level of service regardless of the proposed development. In order to improve the operation of this intersection, the following improvements are recommended:

- Provide northbound left turn lane with 100 feet of storage and appropriate taper
- Provide southbound right turn lane with 100 feet of storage and appropriate taper
- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Realignment as depicted in the site plan

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak, reducing the AM delay by 9.7 seconds and the PM delay by 125.6 seconds. The LOS F condition is anticipated to be limited to the peak hour and the SimTraffic model results indicate that there are no queuing issues.

O'Neil Street at Site Access 4

In Phase 1 Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS E in the AM peak and LOS F in the PM peak. With the addition of Phase 1 site traffic, LOS F is expected in the AM and PM peaks.

As further discussed in the report, the existing traffic volumes at this intersection indicate that a signal is currently warranted. Therefore, in order to improve the operation and safety of this intersection, the following improvements are recommended:

- Signalize the intersection
- Provide northbound right turn lane with 200 feet of storage and appropriate taper
- Provide southbound left turn lane with 200 feet of storage and appropriate taper
- Restripe westbound lane to provide right turn lane with 100 feet of storage

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS B in the PM peak.

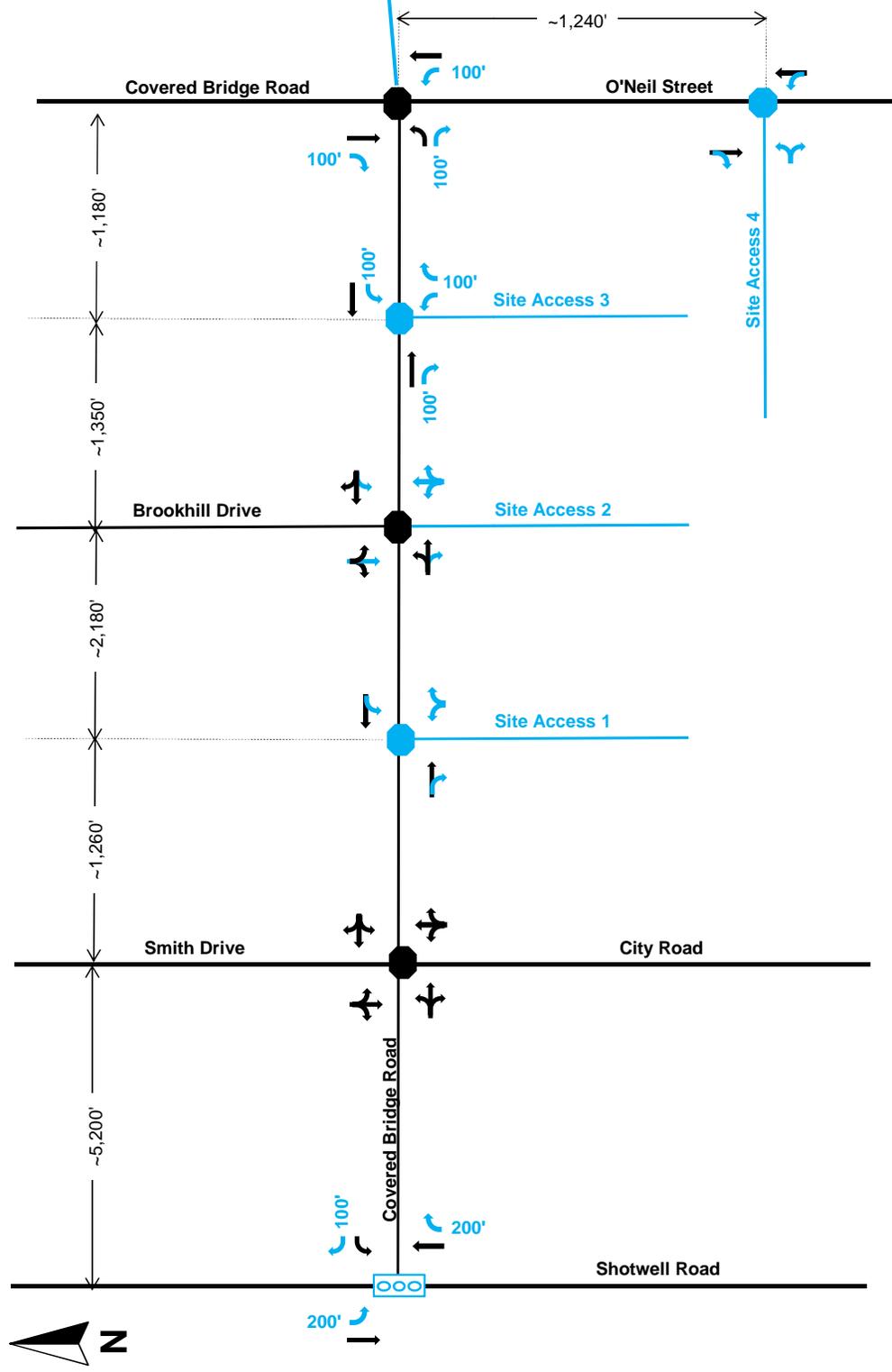
Improvements are illustrated in Figure 9 for Phase 1.

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	BLUE = PROPOSED

FIGURE 9
PHASE 1 BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE DEVELOPMENT

PROJECT NUMBER 14-425



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*** NOT TO SCALE ***

Phase 1 Level of Service Summary

Table A presents the summary of the level of service analysis for all study intersections.

Table A - Level of Service Summary – Phase 1 Build Conditions				
AM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (12.8) SB Approach	C (18.8) SB Approach	
Covered Bridge Road at Site Access 1			C (17.4) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.3) SB Approach	C (21.8) NB Approach	
Covered Bridge Road at Site Access 3			C (15.7) NB Approach	B (13.9) NB Approach
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (18.0) EB Approach	D (27.1) EB Approach	C (17.4) EB Approach
O'Neil Street at Site Access 4			B (12.6) EB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	E (40.5) WB Approach	F (266.0) WB Approach	C (23.5) Signalized
PM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.1) NB Approach	C (18.4) SB Approach	
Covered Bridge Road at Site Access 1			C (21.3) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.3) SB Approach	D (31.6) NB Approach	
Covered Bridge Road at Site Access 3			C (20.2) NB Approach	C (16.9) NB Approach
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (104.1) EB Approach	F (254.7) EB Approach	F (129.1) EB Approach
O'Neil Street at Site Access 4			B (14.5) EB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (50.9) WB Approach	F (426.5) WB Approach	B (16.4) Signalized
LOS (delay in seconds)				
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay				

Full Build Discussion of Results

The following section discusses 2019 Full Build level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peak. This LOS F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. Therefore, no improvements are recommended.

Covered Bridge Road at Site Access 1

In Full Build conditions, this intersection is expected to operate at LOS E in the AM peak and LOS F in the PM. The LOS E/F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. In addition, site traffic will have the opportunity to utilize other site access points, including signals, which will serve as a relief valve should the delay be excessive. Therefore, no improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peaks. In order to improve the operation of this intersection, it is recommended to:

- Signalize the intersection
- Provide an eastbound left turn lane of 400 feet of storage with appropriate taper
- Provide a westbound left turn lane of 150 feet of storage with appropriate taper
- Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper
- Provide a southbound full storage for left turn and through-right turn lanes

With these improvements, it is expected to operate at LOS D in the AM and PM peaks.

Covered Bridge Road at Site Access 3

With the recommended improvement in place from Phase 1, this intersection is expected to operate at LOS C in the AM peak and LOS D in the PM peak. No additional improvements are recommended.

Covered Bridge Road at O'Neil Street

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. With the addition of Full Build site traffic, LOS E is expected in the AM peak and LOS F in the PM peak with the improvements in place from Phase 1. It is recommended to signalize this intersection in order to accommodate future traffic volumes.

With this improvement, this intersection is expected to operate at LOS B in the AM and PM peaks.

O'Neil Street at Site Access 4

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 5

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 6

In Full Build conditions, this unsignalized intersection is expected to operate at LOS D in the AM peak and LOS E in the PM peak. A LOS E is typical for minor streets at unsignalized intersections, but delays are expected to be minimal. Therefore, no improvements are recommended.

Brookhill Drive at Site Access 7

In Full Build conditions, this unsignalized intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 8

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS A in the PM peak. No improvements are recommended.

Brookhill Drive at Site Access 9

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 10

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

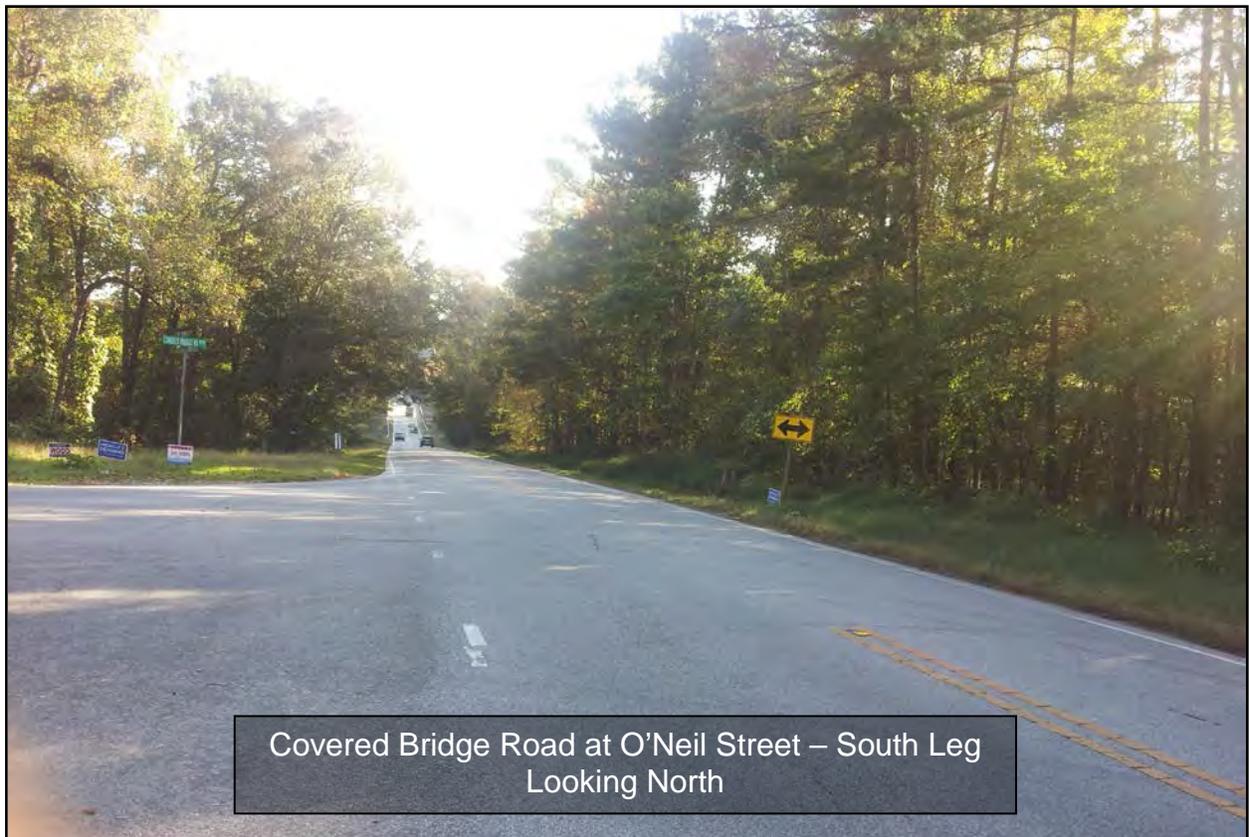
Brookhill Drive at Site Access 11

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS F in the AM and PM peaks. With the recommended improvements in place from Phase 1, this intersection is expected to operate at LOS D in the AM peak and LOS C in the PM peak.

Improvements are illustrated in Figure 14 for Full Build.

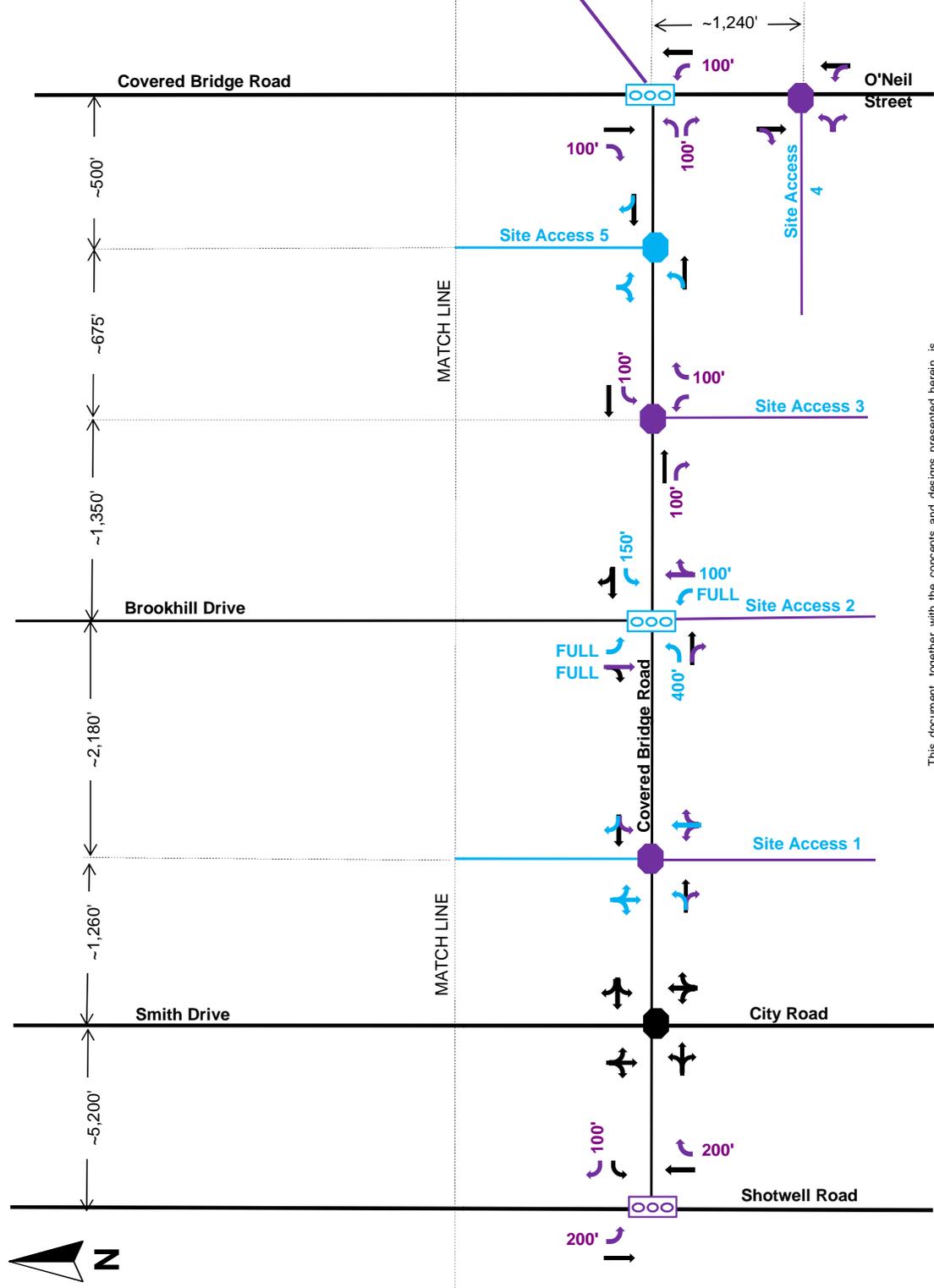


LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	PURPLE = PHASE 1
	BLUE = PROPOSED

**FIGURE 14
FULL BUILD
RECOMMENDED
IMPROVEMENTS**

STEEPLECHASE MIXED-USE
DEVELOPMENT

PROJECT NUMBER 14-425



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of, or improper reliance on, this document by others without written authorization and adaptation by DAVENPORT shall be without liability to DAVENPORT and shall be a violation of the agreement between DAVENPORT and the client.

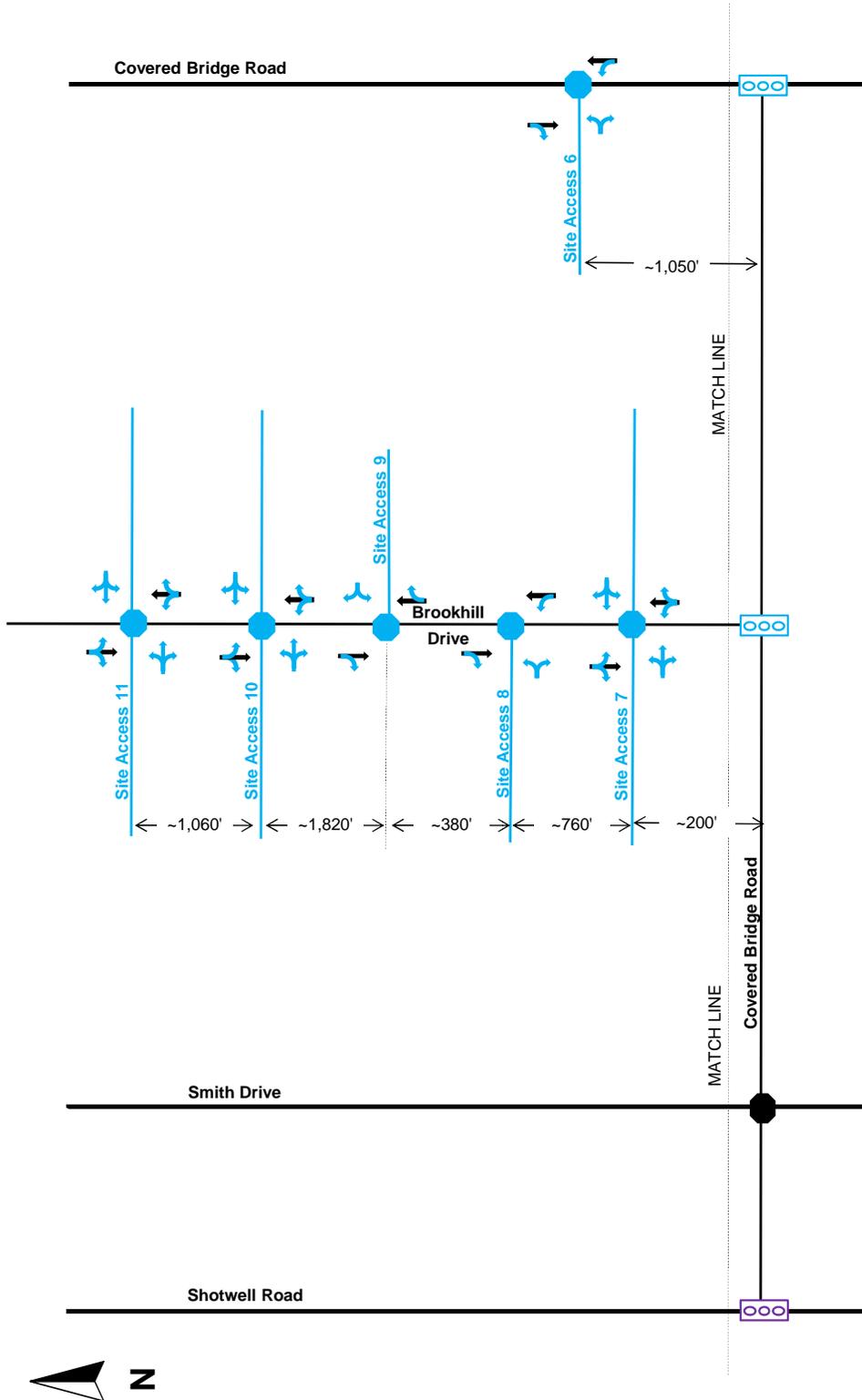
*** NOT TO SCALE ***

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
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FIGURE 14
FULL BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE
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*** NOT TO SCALE ***

Full Build Level of Service Summary

Table B presents the summary of the level of service analysis for all study intersections.

Table B - Level of Service Summary – Full Build Conditions				
AM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (13.1) SB Approach	F (50.8) SB Approach	
Covered Bridge Road at Site Access 1			E (42.5) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.5) SB Approach	F (Err) NB Approach	D (44.5) Signalized
Covered Bridge Road at Site Access 3			C (17.5) NB Approach	
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (19.0) EB Approach	E (37.9) EB Approach	B (12.9) Signalized
O'Neil Street at Site Access 4			B (13.1) EB Approach	
Covered Bridge Road at Site Access 5			B (14.7) SB Approach	
Covered Bridge Road at Site Access 6			D (31.1) EB Approach	
Brookhill Drive at Site Access 7			C (15.7) WB Approach	
Brookhill Drive at Site Access 8			B (10.5) EB Approach	
Brookhill Drive at Site Access 9			B (11.2) WB Approach	
Brookhill Drive at Site Access 10			B (11.6) WB Approach	
Brookhill Drive at Site Access 11			B (10.3) WB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	F (50.5) WB Approach	D (44.5) Signalized	

LOS (delay in seconds)
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

Table B - Level of Service Summary – Full Build Conditions cont.

PM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.4) NB Approach	F (61.5) SB Approach	
Covered Bridge Road at Site Access 1			F (66.7) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.6) SB Approach	F (Err) NB Approach	D (41.1) Signalized
Covered Bridge Road at Site Access 3			D (33.8) NB Approach	
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (139.1) EB Approach	F (406.3) EB Approach	B (18.5) Signalized
O'Neil Street at Site Access 4			C (15.1) EB Approach	
Covered Bridge Road at Site Access 5			C (17.8) SB Approach	
Covered Bridge Road at Site Access 6			E (48.5) EB Approach	
Brookhill Drive at Site Access 7			C (17.4) WB Approach	
Brookhill Drive at Site Access 8			A (9.3) EB Approach	
Brookhill Drive at Site Access 9			B (11.7) WB Approach	
Brookhill Drive at Site Access 10			B (12.5) WB Approach	
Brookhill Drive at Site Access 11			B (10.9) WB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (64.7) WB Approach	C (21.7) Signalized	

LOS (delay in seconds)

Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay



Summary and Conclusion

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic.

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

This study analyzes two phases for the property's development:

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

Table C on the following page summarizes the recommended improvements for each Phase. Improvements are illustrated in Figure 9 and Figure 14 for Phase 1 and Full Build, respectively.

In conclusion, this study has reviewed the impacts of both background traffic and this development traffic, and has determined that with the recommended improvements in place, there will be adequate capacity to accommodate future traffic. The final design of these improvements will need to be coordinated during the site plan approval process.

Please note that all accesses to the site are required to be constructed to NCDOT standards where applicable.

Table C - Recommended Improvement Summary

Intersection	Phase 1	Full Build
Covered Bridge Road at Brookhill Drive/ Site Access 2	No improvements	<ul style="list-style-type: none"> • Signalize intersection • Provide eastbound left turn lane of 400 feet of storage with appropriate taper • Provide westbound left turn lane of 150 feet of storage with appropriate taper • Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper • Provide a southbound full storage for left turn and through-right turn lanes
Covered Bridge Road at Site Access 3	<ul style="list-style-type: none"> • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Provide westbound left turn lane of 100 feet of storage with appropriate taper • Provide separate northbound right turn lane of 100 feet of storage with appropriate taper 	No additional improvements
Covered Bridge Road at O'Neil Street	<ul style="list-style-type: none"> • Provide northbound left turn lane of 100 feet of storage with appropriate taper • Provide southbound right turn lane of 100 feet of storage with appropriate taper • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Realignment as depicted in site plan 	<ul style="list-style-type: none"> • Signalize intersection
Covered Bridge Road at Shotwell Road	<ul style="list-style-type: none"> • Signalize intersection • Provide northbound left turn lane of 200 feet of storage with appropriate taper • Provide southbound right turn lane of 200 feet of storage with appropriate taper • Restripe westbound lane to provide right lane with 100 feet of storage and appropriate taper 	No additional improvements

***All other intersections require no improvements**



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION



TRANSPORTATION MOBILITY AND SAFETY DIVISION
TRAFFIC MANAGEMENT UNIT
CONGESTION MANAGEMENT SECTION

January 20, 2015

Traffic Impact Analysis Review Report
Steeplechase Development

TIA Project: SC-2014-064
Division: 4
County: Johnston
Description: Steeplechase Development on SR 1700 (Covered Bridge Rd) at SR 1708 (O'Neal St) in Clayton



BenJetta L. Johnson, P. E.
Congestion Management Regional Engineer

Solomon Mengesha
Congestion Management Project Design Engineer

Steeplechase Development

SC-2014-064	Johnston County	01/20/2015
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Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data presented in the sealed Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	11/19/2014	Date of Site Plan Prepared by Galaxy NC, LLC	10/01/2014
Date of Complete Information for Project Received by CMS	12/02/2014		
Date of Preliminary Review Letter Accepting TIA for Review	12/04/2014	Date of Sealed TIA Prepared by Davenport Engineering	11/18/2014

Proposed Development

According to the TIA, the proposed Steeplechase Mixed-Use Development is to be located on SR 1700 (Covered Bridge Rd) in Johnston County. The TIA states the development is to be constructed in two phases.

Phase 1 is to be constructed by 2017 and is to consist of the following:

Land Use	Land Use Code	Size
Single Family Detached Housing	210	498 Dwelling Unit
Townhomes/Condos	230	320 Dwelling Unit

Phase 2 is to be constructed by 2019 and is to consist of the following: (Total Build-out)

Land Use	Land Use Code	Size
Apartments	220	344 Dwelling Unit
Single Family Detached Housing	210	1,118 Dwelling Unit
Townhomes/Condos	230	643 Dwelling Unit
Shopping Center	820	25,000 Square Feet

Trip Generation – Phase 1 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	112	377	489
PM Peak Hour	386	216	602
Daily Trips			6,369

Trip Generation – Phase 2 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	313	947	1,260
PM Peak Hour	1,016	628	1,644
Daily Trips			17,892

Requested Access Points		
Driveway	Public Roadway	Access Type
1	SR 1700 (Covered Bridge Rd)	All-Movement
2	SR 1700 (Covered Bridge Rd)	All-Movement
3	SR 1700 (Covered Bridge Rd)	All-Movement
4	O'Neil Street	All-Movement
5	SR 1700 (Covered Bridge Rd)	All-Movement
6	SR 1700 Covered Bridge Rd)	All-Movement
7	Brookhill Drive	All-Movement (Denied)
8	Brookhill Drive	All-Movement
9	Brookhill Drive	All-Movement
10	Brookhill Drive	All-Movement
12	Brookhill Drive	All-Movement

TIP Projects in Study Area
 None In Area

Strategic Highway Corridors
 None In Area

TIA Comments
 The following items vary from our recommended practices:

- Cycle lengths used for one or more intersections were below the minimums recommended without further clarification or justification. Determination of the number of signal phases should follow NCDOT Signals and Geometrics procedures.
- For future analyses, the PEF should include a small amount of traffic where movement volumes are listed as zero. Otherwise Synchro will consider that movement a non-permissible movement.

General Reference
 For reference to various documents applicable to this review please reference the following link: <http://www.ncdot.org/doh/preconstruct/traffic/tepp/Topics/C-37/C-37.html>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section at (919) 773-2800.

Recommendations

LEGEND

① Improvement by Developer. Congestion Management concurs with recommendation.
 ② Improvement by Developer. Additional or modified recommendations.

Phase 1 Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru/Right Lane to Shared Left/Thru/Right Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ②
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ②
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **NB Site Driveway #1**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

New Signal

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②

- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB O'Neil Street**
 - 50' Right-Turn Lane ②
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Phase 2 (Full Build-Out) Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #5 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #5**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual 250' (Each) Left-Turn Lane ②
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 150' Left-Turn Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ②
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the NB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **NB Site Driveway #1A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB Site Driveway #1B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1709 (City Rd)/Smith Dr Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 50' Left-Turn Lane ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - 50' Right-Turn Lane ②
- **SB O'Neil Street**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #6 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **NB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #6**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #7 Intersection

Deny Driveway/Access

- Due to the close proximity to Brookhill Drive and SR 1700 (Covered Bridge Rd) signalized intersection, we recommend denying this Site Driveway ②

Brookhill Drive and Site Driveway #8 Intersection

- **NB Brookhill Drive**
 - 50' Left-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #8**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #9 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB Site Driveway #9**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

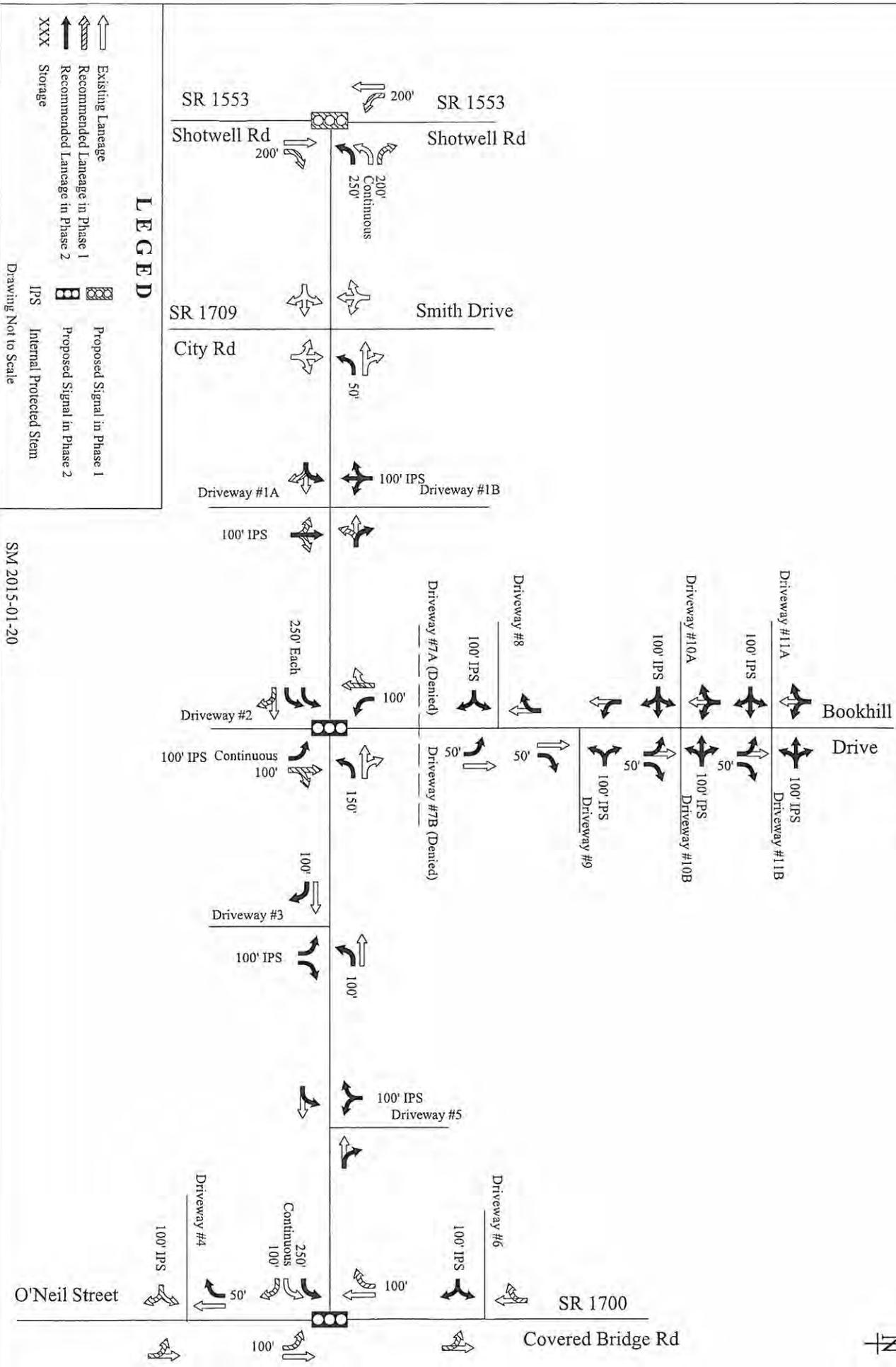
Brookhill Drive and Site Driveway #10 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #10A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **WB Site Driveway #10B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #11 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #11A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **EB Site Driveway #11B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Steeplechase Mixed Use Development SC-2014-064



LEGEND

- Existing Laneage
- Recommended Laneage in Phase 1
- Recommended Laneage in Phase 2
- Storage
- Proposed Signal in Phase 1
- Proposed Signal in Phase 2
- IPS
- Internal Protected Stem

Drawing Not to Scale



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY
GOVERNOR

ANTHONY J. TATA
SECRETARY

January 29, 2015

DELIVERY VIA EMAIL

David L. DeYoung, AICP
Planning Director - Town of Clayton
PO Box 879
Clayton, NC 27528

COUNTY: Johnston

SUBJECT: **Preliminary TIA Review of Steeplechase Mixed Use Development Proposed on SR 1700 Covered Bridge Road, SR 1708 O'Neil Street, SR 1709 City Road and SR 2620 Brookhill Drive**

Dear Mr. DeYoung:

This office has reviewed the Traffic Impact Analysis (TIA) for the subject mixed use development and offers the following comments. Please be advised that these comments are in addition to any requirements that included in the Traffic Impact Analysis Review Report performed by the Congestion Management Section of the Transportation Mobility and Safety Division of NCDOT. This review should not be mistaken for a final review and acceptance of the TIA, nor approval of the driveway permit, design/construction plans, or final plat.

- The Department agrees with the Town that the TIA needs to be updated to reflect the following:
 - Correct number of dwelling units and/or commercial square footage
 - Roundabout design as requested by the Town at Brookhill Drive/Site Driveway #2
 - Desired cross section as required by Town needs to be considered as it affects all recommend improvements and could impact ingress/egress at all intersections and driveways
 - Desired access at designated commercial site
 - Desired access at designated school site
 - Provide overall site plan with that shows the limits of Phase 1 and Phase 2
 - Show access on City Road as required by the Town if a school is not built
 - Analyze the following intersections as a roundabout:
 - Covered Bridge and City Road / Smith Drive
 - Covered Bridge Road and O'Neil Street
 - Provide 2 different scenarios. The first will provide analysis showing operations if NCDOT allows full access at Driveways #1 & #3/5. Secondly, provide analysis showing operations with a left-over movement with right in right out (no left egress at Driveways #1 & #3/ 5)
- The rural parkway cross section required by the Town for Covered Bridge Road (SR 1700) shall be designed to current North Carolina Department of Transportation Roadway Standards. The typical section shall require a minimum 110 feet dedicated right-of-way, 23 foot monolithic

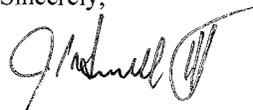
District Engineer's Office
2671 US 70 West, Goldsboro, NC 27530
Telephone: (919) 739-5300

landscaped island, two 12 foot travel lanes (one each direction), two foot paved shoulders, two 19 foot earth shoulders and appropriate ditches and or slopes. The wide shoulders are to accommodate any future widening that may occur. The Department will defer to the Town for any additional right-of-way required for the purpose of multi-use paths, sidewalks, or landscape buffers as multi-use paths are desired to be placed outside the ROW as possible. Left and right turn lanes will be required on Covered Bridge Road (SR 1700) for turning movements allowed after final review of the TIA

- The Department agrees with the Town that all additional access shown on Covered Bridge Road shall be eliminated other than Site Access #1, #2, and #3 (5). Any outparcels along Covered Bridge road shall be served internally

Please be advised that additional comments for each intersection as well as off site improvements are forthcoming upon receipt and review of the revised TIA as required by the Town and the comments above. Feel free to contact me if you have any additional questions or concerns.

Sincerely,



Jiles P. Harrell, PE
District Engineer

JPH

cc: Tim Little, PE - Division Engineer
Andy Brown, PE - Division Traffic Engineer
Driveway Permit File
Subdivision File



November 10, 2014

Mr. Steve Biggs
Town Manager
Town of Clayton
111 East Second Street
Clayton, North Carolina 27528

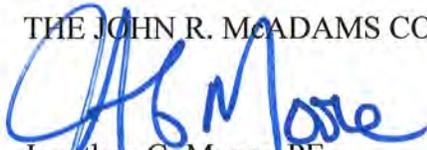
**Re: Brookhill Master Plan
MP/PSD-2014-128
Request for Sewer Allocation
WDL-14010**

On behalf of Wakefield Development Company & Galaxy NCLLC, McAdams Company has computed the preliminary sanitary sewer average daily flows for the proposed subdivision referenced above and have enclosed our calculations in the attachment to this letter. In our calculations, we provided a breakdown of potential flows anticipated to be generated on an annual basis with the total project flow listed on the last page. In addition, our calculations used the approved flow rate per unit for the Town of Clayton, as allowed by NCDENR, instead of a per bedroom calculation. Wakefield Development Company & Galaxy NCLLC is requesting sanitary sewer allocation on the basis of the provided information from the Town for the proposed Master Plan.

Consideration of this request is greatly appreciated. Upon your review, if you should have any questions or require additional information, please do not hesitate to contact me at (919) 361-5000.

Sincerely,

THE JOHN R. McADAMS COMPANY, INC.


Jonathan G. Moore, PE
Director, Residential

JM/rf

Attachment

The John R. McAdams
Company, Inc.

Raleigh / Durham, NC
2905 Meridian Parkway
Durham, North Carolina 27713
(919) 361-5000

Charlotte, NC
11301 Carmel Commons Blvd,
Suite 111
Charlotte North Carolina 28226
(704) 527-0800

McAdamsCo.com



Brookhill Sanitary Sewer Preliminary Evaluation

McAdams
10-Nov-14

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Record Lots date
				gpd	gpm	cfs	
Phase 1							July-15
Amenity / Clubhouse	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	
Phase 2							July-15
Townhome	72	2.5	250 gal/day-unit	18,000	13	0.028	
Phase 3							July-15
Single Family (65-70)	32	4	250 gal/day-unit	8,000	6	0.012	
Single Family (50-55/60-65)	75	3.5	250 gal/day-unit	18,750	13	0.029	
Phase 4							July-15
Single Family (65-70)	20	4	250 gal/day-unit	5,000	3	0.008	
Subtotal	199			50,855			
Phase 5							July-16
Single Family (65-70)	48	4	250 gal/day-unit	12,000	8	0.019	
Single Family (50-55/60-65)	68	3.5	250 gal/day-unit	17,000	12	0.026	
Phase 6							July-16
Single Family (65-70)	45	4	250 gal/day-unit	11,250	8	0.017	
Phase 7							July-16
Single Family (65-70)	15	4	250 gal/day-unit	3,750	3	0.006	
Phase 8							July-16
Single Family (65-70)	26	4	250 gal/day-unit	6,500	5	0.010	
Single Family (50-55/60-65)	8	3.5	250 gal/day-unit	2,000	1	0.003	
Phase 9							July-16
Single Family (65-70)	24	4	250 gal/day-unit	6,000	4	0.009	
Single Family (50-55/60-65)	32	3.5	250 gal/day-unit	8,000	6	0.012	
Phase 10							July-16
Single Family (65-70)	42	4	250 gal/day-unit	10,500	7	0.016	
Single Family (50-55/60-65)	15	3.5	250 gal/day-unit	3,750	3	0.006	
Subtotal	323			80,750			
Phase 11							July-17
Single Family (50-55/60-65)	65	3.5	250 gal/day-unit	16,250	11	0.025	
Phase 12							July-17
Single Family (50-55/60-65)	45	3.5	250 gal/day-unit	11,250	8	0.017	
Phase 13							July-17
Townhome	145	2.5	250 gal/day-unit	36,250	25	0.056	
Phase 14							July-17
Townhome	108	2.5	250 gal/day-unit	27,000	19	0.042	
Subtotal	363			90,750			
Commercial							
Commercial / Retail	25,000	sf	0.13 gal/day-sf	3,250	2	0.005	July-18
Total Units Phases 1-14	885		Total WW Flow Phases 1-14	225,605	157	0.349	

Estimate of average daily flow of wastewater for Brookhill North (Phases 15-33):

McAdams
10-Nov-14

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Recorded Lots
				gpd	gpm	cfs	
Phase 15							July-18
Single Family (50-55/60-65)	95	3.5	250 gal/day-unit	23,750	16	0.037	
Phase 16							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 17							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 18							July-18
Townhome	80	2.5	250 gal/day-unit	20,000	14	0.031	
Subtotal	365			91,250			
Phase 19							July-19
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 20							July-19
Single Family (50-55/60-65)	90	3.5	250 gal/day-unit	22,500	16	0.035	
Phase 21							July-19
Single Family (65-70/70-75)	80	4	250 gal/day-unit	20,000	14	0.031	
Phase 22							July-19
Single Family (65-70/70-75)	10	4	250 gal/day-unit	2,500	2	0.004	
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 23							July-19
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 24							July-19
Single Family (50-55/60-65)	30	3.5	250 gal/day-unit	7,500	5	0.012	
Subtotal	320			80,000			
Phase 25							July-20
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 26							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 27							July-20
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 28							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 29							July-20
Single Family (65-70/70-75)	50	4	250 gal/day-unit	12,500	9	0.019	
Phase 30							July-20
Single Family (65-70/70-75)	60	4	250 gal/day-unit	15,000	10	0.023	
Phase 31							July-20
Townhome	75	2.5	250 gal/day-unit	18,750	13	0.029	
Subtotal	310			77,500			
Phase 32							July-21
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	
Subtotal	380			91,200			
Phase 33							July-22
Townhome	90	2.5	250 gal/day-unit	22,500	16	0.035	
Total Units Phases 15-33	1,465		Total WW Flow Phases 15-33	362,450	252	0.561	
Total Units	2,350		Total Flow	588,055			

**TOWN OF CLAYTON
SUBDIVISION APPLICATION
EVALUATION FORM**

Application Number: PSD 2014-128

The Town Council shall decide the matter of Subdivision Application Number PSD 2014-128 by motion and vote on each of the following four findings of fact. Any motion to find against the application must be supported by statement of specific reasons or conclusions reached in support of the motion.

Finding One of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will meet all required specifications and will conform to the Town Unified Development Ordinance. (Applicant meets the criteria for approval).

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will meet all required specifications and will conform to the Town Unified Development Ordinance: (Applicant meets the criteria for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not meet all required specifications and/or will not conform to the Town Unified Development Ordinance for the following stated reasons: (Applicant fails to meet the criteria for approval.)

Finding Two of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, will be detrimental to the use or orderly development of other properties in the surrounding area and/or will violate the character of existing standards for development of properties in the surrounding area for the following stated reasons: (Applicant fails to meet the criteria necessary for approval.)

Finding Three of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will not provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will not provide for the unified and orderly use of or extension of public infrastructure, and/or will materially endanger the environment, public health, safety, or the general welfare for the following reasons. (Applicant fails to meet the criteria for approval.)

Finding Four of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will adversely affect the general plans for the orderly growth and development of the town and/or is not consistent with the planning policies adopted by the Town Council for the following stated reasons: (Applicant fails to meet the criteria necessary for approval.)

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: Based upon satisfactory compliance with the above four stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative I move to approve Subdivision Application # 2014-128

OR

Motion to Deny: Based upon failure to meet all of the above four stated findings and for reasons stated therein, I move to deny Subdivision Application # 2014-128.

TOWN OF CLAYTON
MOTION GRANTING SUBDIVISION APPROVALS
SHORT FORM

Motion:

Based on the substantial and competent evidence and testimony presented to the Town Council on this matter, the Council finds and concludes that Subdivision Application **PSD 2014-128, Steeplechase Planned Development**, (subject to the conditions recommended by the Planning Board and Planning Staff and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representatives):

- (1) That the subdivision meets all required specifications of the Town Unified Development Ordinance;
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area;
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare; and
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

Duly adopted by the Clayton Town Council this 4th day of May, 2015.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6c

Meeting Date: May 4, 2015

**TITLE: Rezoning – 15-08-02-RZ – Riverwood Athletic Club - Ravens Ridge
8C**

DESCRIPTION: Public Hearing

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Set Public Hearing for May 4, 2015	Staff Report Maps Application Consistency & Reasonableness Statement
5-4-15	Public Hearing	Staff Report Maps Application Consistency & Reasonableness Statement Motion Form



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-1545
Fax: 919-553-1720

*Planning Board
March 23, 2015*

STAFF REPORT

Application Number: 15-08-02-RZ
Project Name: Riverwood Athletic Club, Raven's Ridge Phase 8C Rezoning

NC PIN / Tag #: 176000-73-7987 / 16I03028G
Town Limits/ETJ: Town Limits
Overlay: NA
Applicant: DC Adams Engineering Inc
Owner: FSC IV LLC

Neighborhood Meeting: March 12, 2015

Public Noticing:

- sign posted March 19, 2015
- letters mailed TBD, 2015
- newspaper ad TBD, 2015

PROJECT LOCATION: This property includes 8.2 acres adjacent to the original Raven's Ridge Phase 8C, (formerly known as the House Tract), east of and adjacent to the Neuse River, south of and adjacent to the existing Riverwood Athletic Club, and north of Covered Bridge Rd.

REQUEST: The applicant is requesting approval to rezone the property from R-E to R-8. The property has recently been, or is currently in process of, annexation into the Town of Clayton.

SITE DATA:

Acreage: 8.2 acres
Present Zoning: Residential-Estate (R-E)
Proposed Zoning: Residential-8 (R-8)
Existing Use: Vacant/Agricultural

ADJACENT ZONING AND LAND USES:

North: Zoning: R-8

Existing Use: Single Family Residential (Riverwood Athletic Club Subdivision)

South: Zoning: R-E
Existing Use: Vacant/Agricultural

East: Zoning: R-E
Existing Use: Vacant/Agricultural

West: Zoning: R-10 and R-E (across the Neuse River)
Existing Use: Neuse River, with Residential/Agriculture beyond

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting approval for rezoning of the subject property from Residential Estate (R-E) to Residential-8 (R-8).

This rezoning is contingent upon an annexation of this property into the Town of Clayton. It represents the continued expansion of the Riverwood Athletic Club (RWAC) subdivision, and will be part of the Raven's Ridge subdivision, Phase 8C. A master plan modification (to expand the boundaries of RWAC to include the subject property) and subdivision plat (to modify the existing Phase 8C and expand it to include the subject property) (both under project # 15-08-01-SUB) are also occurring concurrently with the annexation and rezoning.

Compatibility with Surrounding Land Uses

This property is compatible with surrounding land uses, as it will be the continued expansion of the RWAC.

Access/Streets:

The property is accessed through the RWAC subdivision.

Consistency with the Strategic Growth Plan

This rezoning is consistent with the 2008 Strategic Growth Plan; see Goal 2.5.

CONSIDERATIONS:

- The applicant is requesting a rezoning from R-E to R-8. This is concurrent with master plan modification and annexation to the Riverwood Athletic Club (RWAC).
 - Rezoning is decided by the Town Council. The Planning Board shall make a recommendation to the Town Council.
 - When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with an adopted plans and policies of the town and explaining why the board considers the action taken to be reasonable and in the public interest.
-

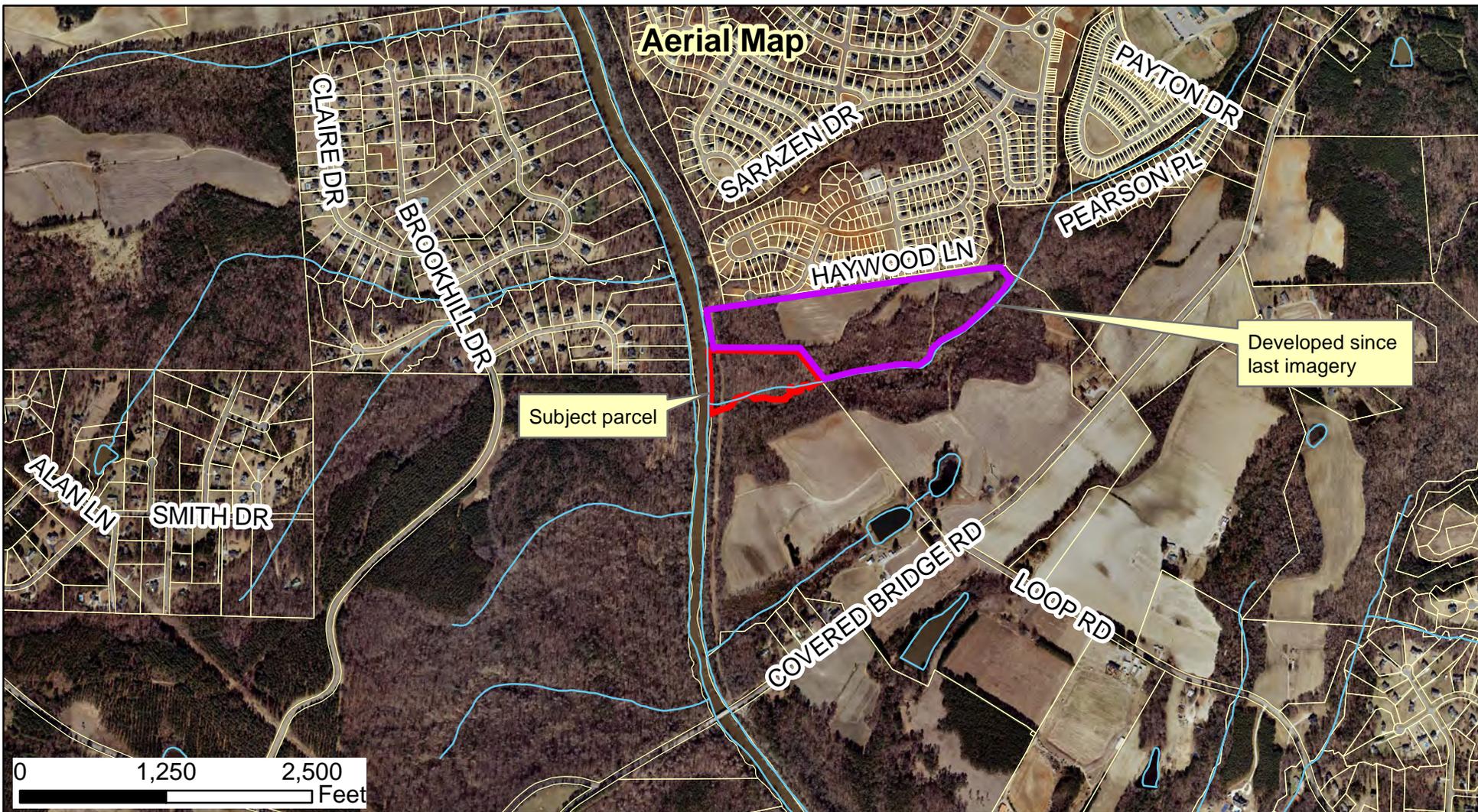
STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Proposed Land Use Map
- 4) Table 2.1 – allowed uses
- 5) Application
- 6) Neighborhood Meeting Materials (if available)
- 7) Statement of Consistency and Reasonableness



**15-08-01-SUB and 15-08-02-RZ RWAC Raven's Ridge 8C
Subdivision and Rezoning from R-E to R-8**

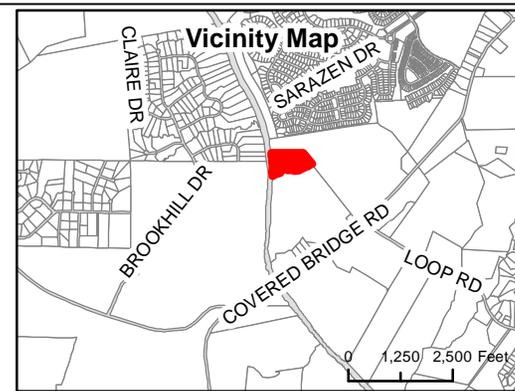
Applicant: DC Adams Engineering, Inc.
 Property Owner: FSC IV LLC (Fred Smith Co.)
 Parcel ID Number: 176000-73-7987
 Tag #: 16103028G

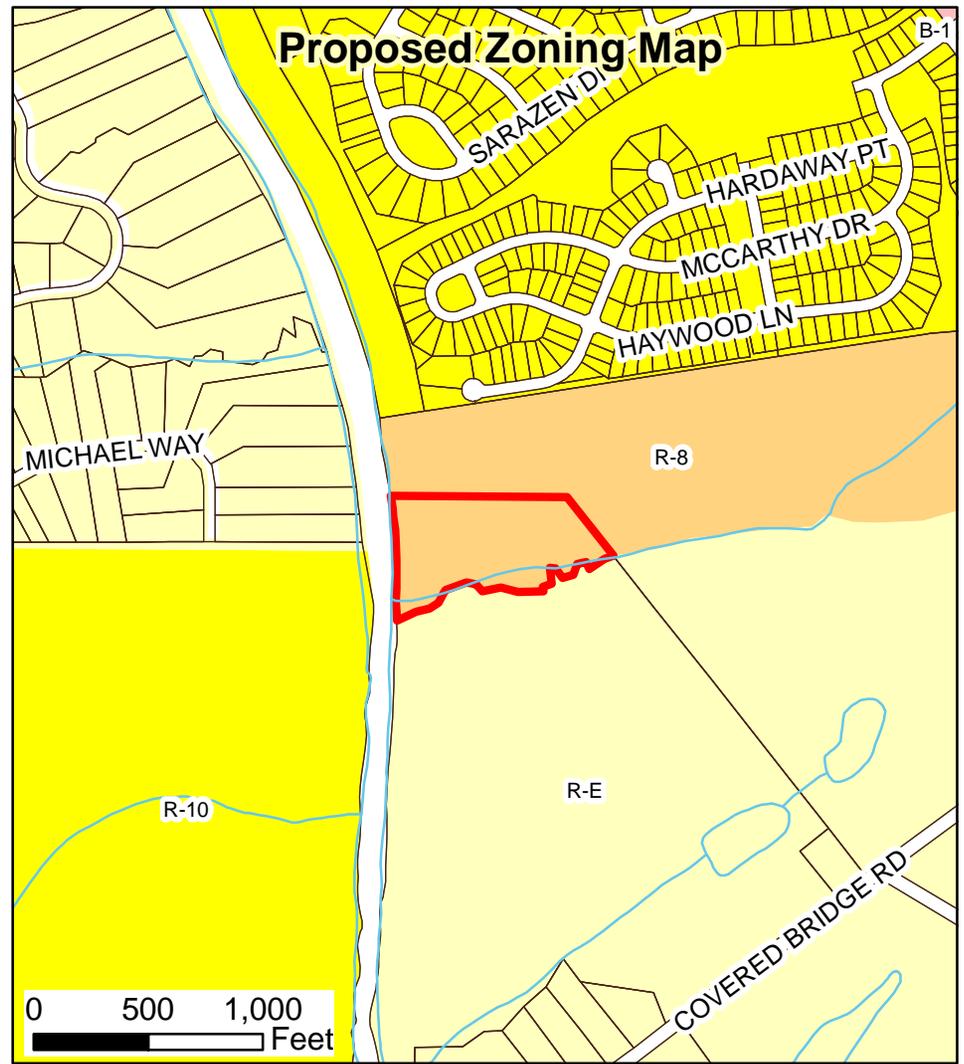
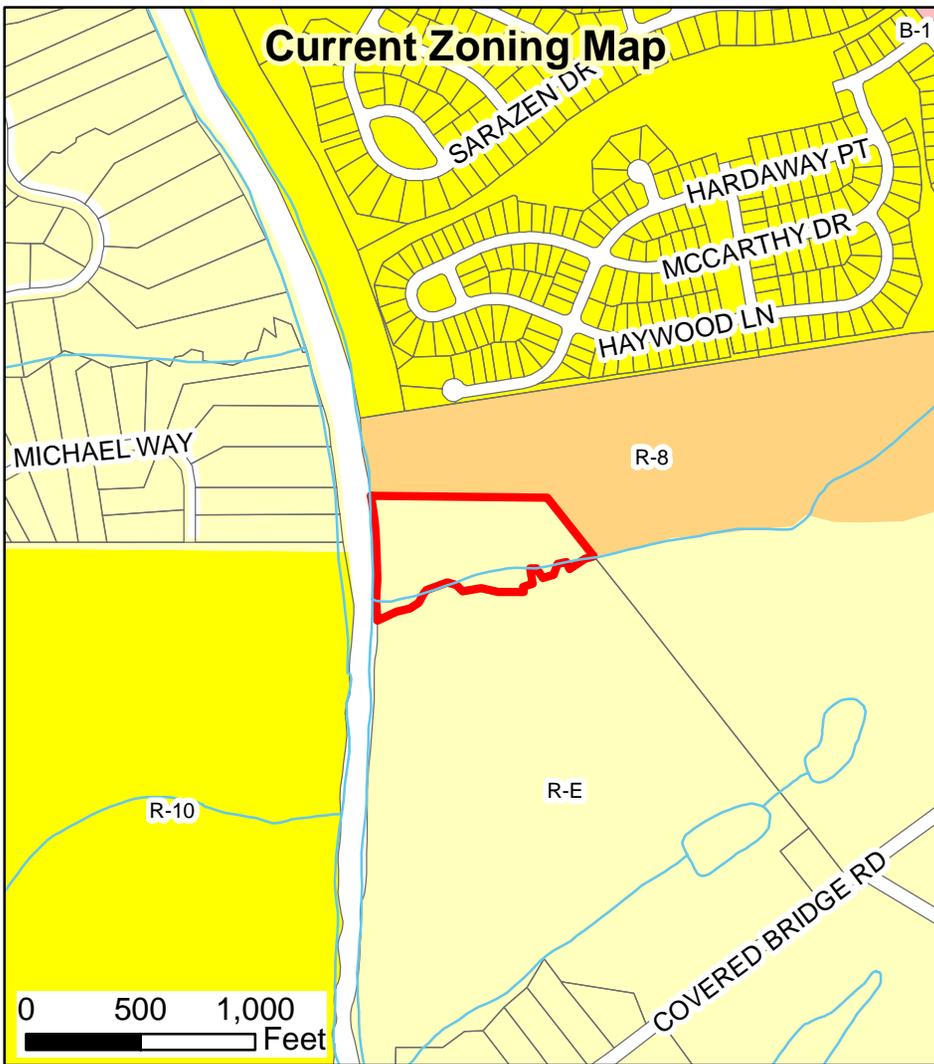
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015 Document Path: O:\PLANNING\REZONING\Rezoning\2015\15-08-02-RZ - RWAC - Raven's Ridge 8C Rezoning - House Tract\Maps\Staff Rpt Map 15-08-02-RZ - Aerial.mxd





15-08-01-SUB and 15-08-02-RZ RWAC Raven's Ridge 8C Subdivision and Rezoning from R-E to R-8

Applicant: DC Adams Engineering, Inc.
 Property Owner: FSC IV LLC (Fred Smith Co.)
 Parcel ID Number: 176000-73-7987
 Tag #: 16103028G

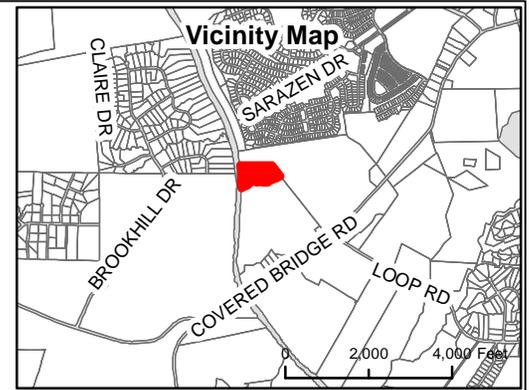
Produced by: TOC Planning

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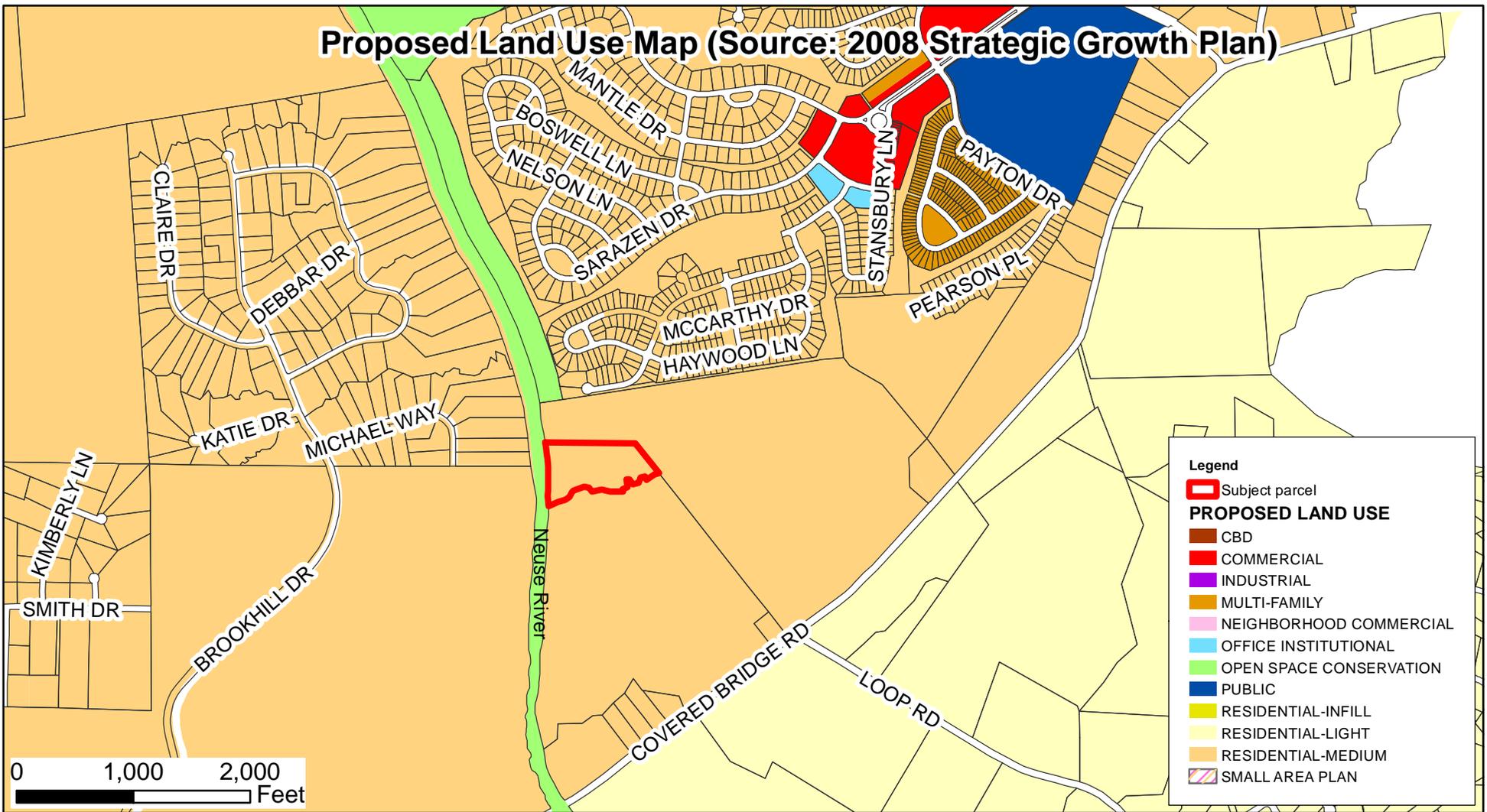


Legend

	Subject parcel		B-2
	R-E		B-3
	R-10		PD-C
	R-8		I-1
	R-6		I-2
	PD-R		O-I
	O-R		PD-MU
	B-1		



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)

15-08-01-SUB and 15-08-02-RZ RWAC Raven's Ridge 8C

Subdivision and Rezoning from R-E to R-8

Applicant: DC Adams Engineering, Inc.
 Property Owner: FSC IV LLC (Fred Smith Co.)
 Parcel ID Number: 176000-73-7987
 Tag #: 16I03028G

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015 Document Path: O:\PLANNING\REZONING\Rezoning\2015\15-08-02-RZ - RWAC - Raven's Ridge 8C Rezoning - House Tract\Maps\Staff Rpt Map 15-08-02-RZ - FLUM.mxd

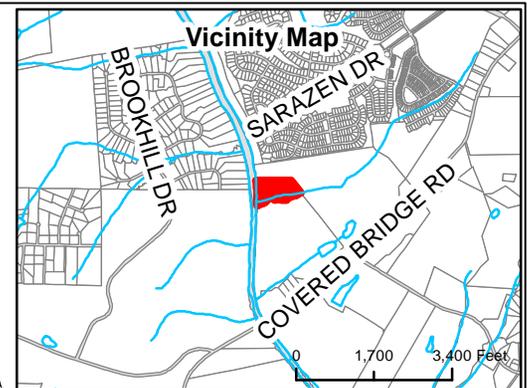


Table 2-1 Use Regulations

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Residential Uses												
Adult Care Home (2-6 Adults)	P	P	P	P								\$155.301(A)
Adult Care Home (7-12 Adults)	S	S	S	S		C	S	S	S			\$155.301(A)
Adult Care Home (13+ Adults)						C	S	S	S			\$155.301(A)
Alley Loaded House		P	P	P								\$155.301(B)
Apartments		S	S	S	S	S	S	S	S			\$155.301(C)
Boarding House				C		P		P				\$155.301(D)
Child Care Home	C	C	C	C	C							\$155.301(E)
Manufactured Home	P											\$155.301(F)
Manufactured Home Park	S											\$155.301(G)
Nursing Home (Congregate Living Facility)	C			C		P		S	P			\$155.301(H)
Two family House		S	S	S	S							\$155.301(I)
Townhouse		S	S	S	S	S	S	S	S			\$155.301(J)
Security/Caretaker Quarters	C								C			\$155.301(K)
Single Family House	P	P	P	P								\$155.301(L)
Upper-story Residence	S	S	S	S	S	P	P	P	P			\$155.301(M)
Zero Lot Line House		P	P	P								\$155.301(N)
Public and Civic Uses												
Assembly, Not For Profit	S					P			P			\$155.302(A)
Cemetery	P								P			\$155.302(B)
Church or Place of Worship	C	C	C	C		C		C	C			\$155.302(C)
College or University						P						\$155.302(D)
Day Care (Supervision for 3-8)	C	C	C	C	C							\$155.302(E)
Day Care (Supervision for 9+)	C	C	C	C	C	P	P	C	P			\$155.302(E)
Government Service	S	S	S	S	P	P	P	P	P	P	P	\$155.302(F)
Hospital or Medical Center						P			P			\$155.302(G)
School (Elementary or Secondary)	S	S	S	S		S						\$155.302(H)
School (Technical, Trade or Business)	S	S	S	S		P	P		P	P	P	\$155.302(I)
Recreational Uses												
Entertainment, Indoor						C	C	C	P	P		\$155.303(A)
Entertainment, Outdoor									C	P		\$155.303(B)
Fitness Center						C	C	C	P	P		\$155.303(C)
Golf Course	P	P	P	P								\$155.303(D)
Gun Range							S	S	S	S	S	\$155.303(E)
Park, Active	S	S	S	S	S	S	S	S	S	S	S	\$155.303(F)
Park, Passive	C	C	C	C	P	P	C	C	C	C	C	\$155.303(G)
Stable, Private	P											\$155.303(H)
Agricultural Uses												
Agriculture, Livestock	C										C	\$155.304(A)
Agriculture, Sales and Service	P										C	\$155.304(B)
Nursery	P					P	P	C	P			\$155.304(C)
Commercial Uses												
Adult Oriented Business									S		S	\$155.305(A)
Bed and Breakfast	P					P	P	P	P			\$155.305(B)
Car Wash/Auto Detailing						C	C	P	P			\$155.305(C)
Contractor Office						C	C		P	P	P	\$155.305(D)
Contractor Storage Yard									C	C	P	\$155.305(E)
Convenience Store with Gas Sales							C	C	P	P	P	\$155.305(F)
Creative Studio					P	P	P	P	P			\$155.305(G)
Financial Institution					P	P	P	P	P			\$155.305(H)
Funeral Home				C	P	P	P	P	P			\$155.305(I)
Hotel/Motel						S	S	S	P			\$155.305(J)
Kennel	C							C				\$155.305(K)
Laundry Services							C		C	P	P	\$155.305(L)
Lounge, Cocktail							S		S	S	S	\$155.305(M)
Microbrewery							P		P	P	P	\$155.305(N)

Abridged Use Table, created: March 16, 2015
 Town of Clayton, NC

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Newspaper Publisher									P	P	P	§155.305(O)
Office, General					P	P	P	P	P	P		§155.305(P)
Office, Medical					P	P	P	P	P	P		§155.305(Q)
Outdoor Seating/Sidewalk Cafe						C	P	C	C			§155.305(R)
Pawn Shop									C	P		§155.305(S)
Radio or Television Studio									P	P	P	§155.305(T)
Restaurant, Drive-Through								C	C	C		§155.305(U)
Restaurant, General						C	P	P	P	C		§155.305(V)
Retail Sales, General							P		P			§155.305(W)
Retail Sales, Neighborhood							P	P	P			§155.305(X)
Self-storage Facility									C	P	P	§155.305(Y)
Service, General							P		P			§155.305(Z)
Service, Neighborhood							P	P	P			§155.305(AA)
Tattoo Parlor									S			§155.305(BB)
Towing Service and Storage									C	C	C	§155.305(CC)
Vehicle Repair or Service									S	P	P	§155.305(DD)
Vehicle Sales and Rental									P	P	P	§155.305(EE)
Veterinary Clinic						C	C	C	P			§155.305(FF)
Video Sweepstakes Operations										S		§155.305(GG)
Industrial Uses												
Building Supplies, Wholesale									C	P	P	§155.306(A)
Crematorium										P	P	§155.306(B)
Gas and Fuel, Wholesale										P	P	§155.306(C)
Laboratory, Research						P			P	P	P	§155.306(D)
Manufacturing, Limited										P	P	§155.306(E)
Manufacturing, General										C	P	§155.306(F)
Manufacturing, Heavy											P	§155.306(G)
Research and Development						P			P	P	P	§155.306(H)
Warehouse, Freight Movement									C	P	P	§155.306(I)
Utilities												
Recycling Center										P	P	§155.307(A)
Renewable Energy Facility	S									C	P	§155.307(B)
Telecommunication Facility	S	S	S	S	S	S	S	S	S	S	S	§155.307(C)
Utility, Minor	P	P	P	P	P	P	P	P	P	P	P	§155.307(D)
Utility, Major										P	P	§155.307(E)
Waste Service										C	P	§155.307(F)
Key:												
P – Permitted												
C – Conditional Use permitted in the zoning district only if approved by the Board of Adjustment (BOA) (§ 155.710)												
S – Special Use permitted in the zoning district only if approved by the Town Council (TC)) (§ 155.711)												

(Ord. 2005-11-02, passed 11-21-05; Am. Ord. 2007-05-02, passed 5-7-07; Am. Ord. 2009-06-06, passed 6-1-09; Am. Ord. 2009-08-03, passed 8-3-09; Am. Ord 2014-12-02, passed 12-1-14)

PROPERTY OWNER INFORMATION

Name: FSC IV, LLC
 Mailing Address: 400 RIVERWOOD DR, CLAYTON, NC 27527
 Phone Number: 919-868-3222 Fax: _____
 Email Address: Brian.Strickland@Fredsmithcompany.com

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

THE PROPOSED REZONING REQUEST IS BEING MADE AS A PART OF MASTER PLAN REVISION FOR RIVERWOOD ATHLETIC CLUB. THIS PROPERTY WILL BE DEVELOPED IN THE SAME MANNER AS ADJACENT PHASES OF RIVERWOOD ATHLETIC CLUB.

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Rezoning application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
Submit 9 copies of all materials unless otherwise noted or directed by staff					
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$500 for standard rezoning OR \$1,000 + \$5.00/acre for Planned Developments)	<input checked="" type="checkbox"/>				
3. Completed application	<input checked="" type="checkbox"/>				
4. Owner's Consent Form <i>Required if applicant is not property owner.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	<input checked="" type="checkbox"/>				
6. If property to be rezoned is a portion of a parcel: - Property legal description typed (10 pt. font or greater). The legal description must also be submitted electronically in Microsoft Word format. - Plat showing property to be rezoned, matching legal description.	<input type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	<input type="checkbox"/>				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town - thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	<input type="checkbox"/>				

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

THE PROPOSED PLAN WILL BE CONSISTENT WITH ADOPTED PLANS OF THE TOWN AND WILL BE DEVELOPED/INCORPORATED INTO THE OVERALL RIVERWOOD ATHLETIC CLUB MASTER PLAN.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

THE PROPERTY IS CURRENTLY IN THE TOWN'S ETJ AND WILL NEED TO BE ANNEXED. THE PROPOSED DISTRICT WILL ALLOW FOR DEVELOPMENT OF THE PROPERTY IN A MANNER CONSISTENT WITH ADJACENT DEVELOPMENT.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

THE REZONING WILL MEET A SPECIFIC DEMAND WITHIN THE TOWN.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

ADEQUATE PUBLIC FACILITIES EXIST WITH NO ANTICIPATED IMPROVEMENTS BEYOND SEWER, WATER STREETS AND STORM DRAINAGE ASSOCIATED WITH TYPICAL STREET CONSTRUCTION.

5. It has been determined that the legal purposes for which zoning exists are not violated.

THIS ZONING REQUEST COMPLIES WITH ALL ASSOCIATED REGULATIONS.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

THIS PROJECT WILL BE A BENEFIT TO THE NEIGHBORHOOD. THERE ARE NO ANTICIPATED ADVERSE IMPACTS IMPOSED BY THIS PROJECT.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

THE PROPOSED CHANGE IS CONSISTENT WITH THE ZONING IN ADJACENT PHASES OF RIVERWOOD ATHLETIC CLUB.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Downie Adams, DC Adams
Print Name

ENGINEERING,
INC

[Signature]
Signature of Applicant

2/2/2015
Date

January 2015

Page 4 of 10

SAMPLE NEIGHBORHOOD MEETING LETTER - PLACE ON AGENT OR OWNER LETTERHEAD

Date _____

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: _____

Location: _____

Time: _____

Type of Application: _____

General Description: *[Provide information about the project that could assist those reviewing this letter, such as a brief description, layout or map]*

If you have any questions prior to or after this meeting, you may contact us at **Insert phone number of applicant**

Sincerely,

Applicant

cc: Clayton Planning Dept.



February 25, 2015

Re: Riverwood Athletic Club Master Plan
Clayton, NC

Dear Madame/Sir:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership according to Johnston County tax records. Per town of Clayton regulations, a neighborhood meeting will be held to provide information about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: March 12, 2015
Location: Riverwood Golf Club
Time: 6:00 PM
Type of Application: **15-08-01-SUB RIVERWOOD ATHLETIC CLUB MASTER PLAN REVISION
and 15-08-02-RZ HOUSE PROPERTY REZONING**
General Description: Riverwood Athletic Club master plan revisions as well as rezoning and addition of adjacent property.

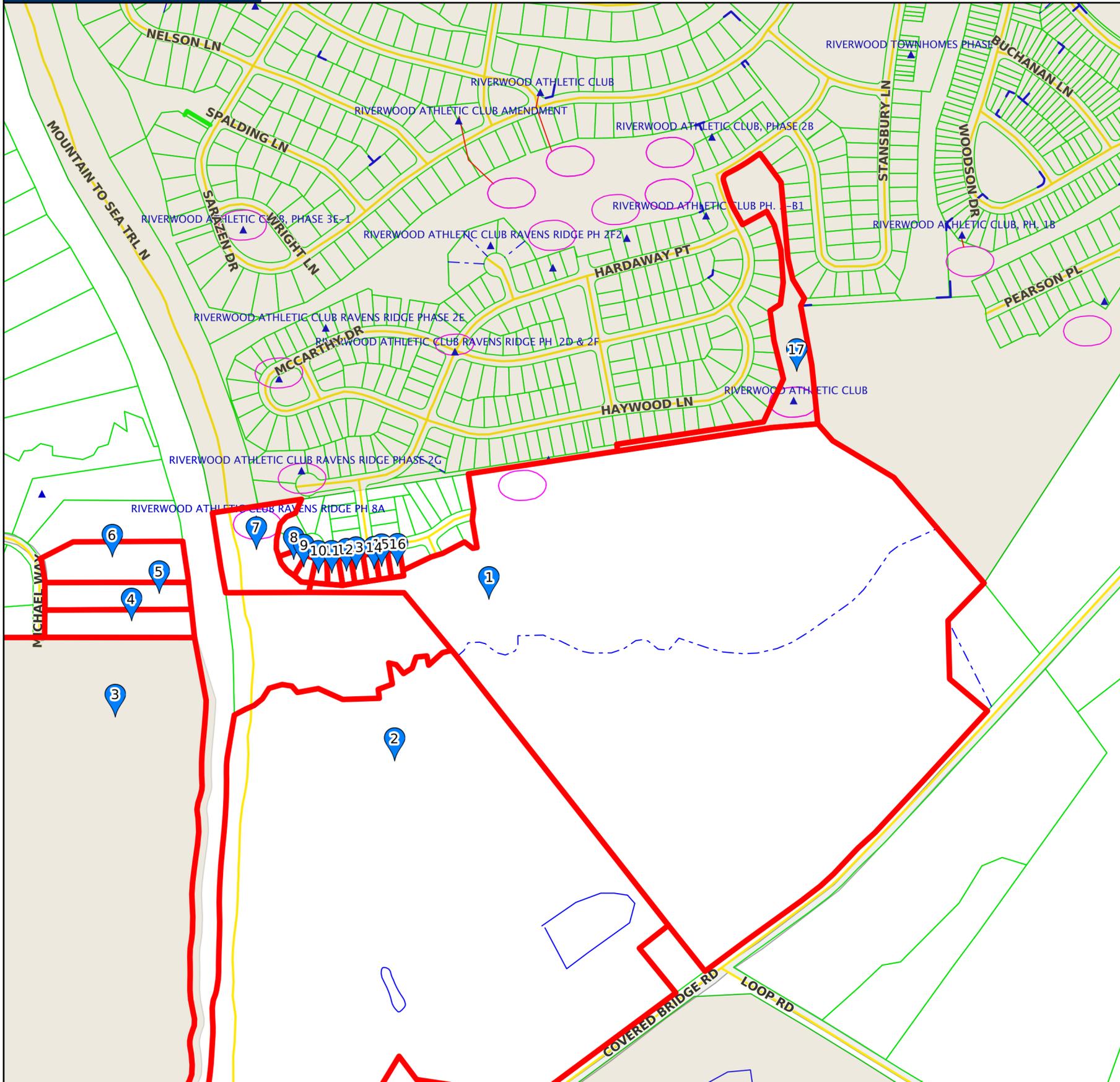
If you have any questions prior to or after this meeting, please contact us at (919) 550-8086 or by email at brian.strickland@fredsmithcompany.com.

Sincerely,

Brian Strickland

cc: Clayton Planning Dept.

Johnston County assumes no legal responsibility for the information represented here.



Result 1	Result 2
id: 16103027	id: 16103028
Tag: 16103027	Tag: 16103028
Tax Unique Id: 4272163	Tax Unique Id: 4268744
NCPin: 176000-93-4951	NCPin: 176000-82-1830
Mapsheet No: 1760	Mapsheet No: 1760
Owner Name 1: FSC RANCH LLC	Owner Name 1: HOUSE, MAVIS C
Owner Name 2:	Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR	Mail Address 1: 2873 COVERED BRIDGE RD
Mail Address 2:	Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500	Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 3131 COVERED BRIDGE RD	Site Address 1: 2873 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-	Site Address 2: CLAYTON, NC 27527-
Book: 04538	Book: 00705
Page: 0617	Page: 0629
Market Value: 454350	Market Value: 444620
Assessed Acreage: 84.28	Assessed Acreage: 68.94
Calc. Acreage: 84.08	Calc. Acreage: 68.88
Sales Price: 0	Sales Price: 0
Sale Date: 2014-12-19	Sale Date: 1970-01-01

Result 3	Result 4
id: 05H02009	id: 05H010101
Tag: 05H02009	Tag: 05H010101
Tax Unique Id: 4265643	Tax Unique Id: 4231712
NCPin: 166900-38-4997	NCPin: 176000-64-9005
Mapsheet No: 1669	Mapsheet No: 1760
Owner Name 1: RAYMOND ELMORE EARP JR IRREVOCABLE TRUST	Owner Name 1: O'BRIEN, ANGELLA J
Owner Name 2: EARP, NANCY CREWS EXECUTOR	Owner Name 2: O'BRIEN, DAVID MICHAEL
Mail Address 1: 7230 NC HWY 42 E	Mail Address 1: 8307 CAZAVINI CT
Mail Address 2:	Mail Address 2:
Mail Address 3: SELMA, NC 27576-6005	Mail Address 3: RALEIGH, NC 27613-4467
Site Address 1: 1162 COVERED BRIDGE RD	Site Address 1: 151 MICHAEL WAY
Site Address 2: CLAYTON, NC 27520-	Site Address 2: CLAYTON, NC 27520-
Book: 03897	Book: 04356
Page: 0735	Page: 0783
Market Value: 2189860	Market Value: 376900
Assessed Acreage: 631.06	Assessed Acreage: 1.88
Calc. Acreage: 631.04	Calc. Acreage: 1.76
Sales Price: 0	Sales Price: 365000
Sale Date: 2010-07-12	Sale Date: 2013-09-18

Result 5	Result 6
id: 05H01010J	id: 05H01010K
Tag: 05H01010J	Tag: 05H01010K
Tax Unique Id: 4215648	Tax Unique Id: 4223545
NCPin: 176000-64-9107	NCPin: 176000-64-8382
Mapsheet No: 1760	Mapsheet No: 1760
Owner Name 1: SAMMONS, DAVID H JR	Owner Name 1: HARRIS, JONATHAN DAVID
Owner Name 2: SAMMONS, RENE D	Owner Name 2: HARRIS, ANGELA NICOLE
Mail Address 1: 147 MICHAEL WAY	Mail Address 1: 143 MICHAEL WAY
Mail Address 2:	Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000	Mail Address 3: CLAYTON, NC 27520-5507
Site Address 1: 147 MICHAEL WAY	Site Address 1: 143 MICHAEL WAY
Site Address 2: CLAYTON, NC 27520-	Site Address 2: CLAYTON, NC 27520-
Book: 03113	Book: 04199
Page: 0040	Page: 0815
Market Value: 384520	Market Value: 513060
Assessed Acreage: 1.73	Assessed Acreage: 2.27
Calc. Acreage: 1.69	Calc. Acreage: 2.39
Sales Price: 412000	Sales Price: 417000
Sale Date: 2006-05-02	Sale Date: 2012-11-02

Scale: 1:4144 - 1 in. = 345.33 feet

(The scale is only accurate when printed landscape on a 11 x 17 size sheet with no page scaling.)



Johnston County assumes no legal responsibility for the information represented here.

Result 7

id: 16102056C
Tag: 16102056C
Tax Unique Id: 4272092
NCPin: 176000-74-4387
Mapsheet No: 1760
Owner Name 1: FSC RANCH LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04538
Page: 0617
Market Value: 100
Assessed Acreage: 2.55
Calc. Acreage: 2.54
Sales Price: 0
Sale Date: 2014-12-19

Result 8

id: 16102055K
Tag: 16102055K
Tax Unique Id: 4272124
NCPin: 176000-74-6353
Mapsheet No: 1760
Owner Name 1: FSC IV LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04404
Page: 0287
Market Value: 40000
Assessed Acreage: 0.17
Calc. Acreage: 0.17
Sales Price: 3000000
Sale Date: 2014-01-17

Result 9

id: 16102055J
Tag: 16102055J
Tax Unique Id: 4272121
NCPin: 176000-74-7209
Mapsheet No: 1760
Owner Name 1: RMS INVESTMENTS LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04547
Page: 0906
Market Value: 40000
Assessed Acreage: 0.16
Calc. Acreage: 0.16
Sales Price: 0
Sale Date: 2015-01-16

Result 10

id: 16102055I
Tag: 16102055I
Tax Unique Id: 4272116
NCPin: 176000-74-7268
Mapsheet No: 1760
Owner Name 1: RMS INVESTMENTS LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04547
Page: 0906
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-16

Result 11

id: 16102055H
Tag: 16102055H
Tax Unique Id: 4272114
NCPin: 176000-74-8227
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0342
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 12

id: 16102055G
Tag: 16102055G
Tax Unique Id: 4272112
NCPin: 176000-74-8288
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 13

id: 16102055F
Tag: 16102055F
Tax Unique Id: 4272107
NCPin: 176000-74-9239
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 14

id: 16102055E
Tag: 16102055E
Tax Unique Id: 4272104
NCPin: 176000-74-9380
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 15

id: 16102055D
Tag: 16102055D
Tax Unique Id: 4272102
NCPin: 176000-84-0331
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 16

id: 16102055C
Tag: 16102055C
Tax Unique Id: 4272099
NCPin: 176000-84-0391
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 17

id: 16102008R
Tag: 16102008R
Tax Unique Id: 4236525
NCPin: 176000-95-5856
Mapsheet No: 1760
Owner Name 1: RIVERWOOD ATHLETIC CLUB
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DRIVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 02581
Page: 0094
Market Value: 150
Assessed Acreage: 3.8
Calc. Acreage: 3.916
Sales Price: 0
Sale Date: 2003-11-04

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: DC Adams Engineering, Inc (RWAC Master Plan Revision/Phase 8C and House Tract Rezoning)

Location/Date: Riverwood Golf Club / March 12, 2015 @ 6:00PM

	NAME	ADDRESS
1	Donnie Adams	335 Athletic Club Blvd
2	Fred Smith	632 Marcellus Way
3	Duke McNichol	72 Josiah Dr, Clayton
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

TOWN OF CLAYTON

ZONING AMENDMENT

CONSISTENCY AND REASONABLENESS STATEMENT

15-08-02-RZ Raven's Ridge Phase 8C Rezoning

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- Objective 2.5 – More Housing Opportunities: Beyond Starter Homes

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically **(insert specifics to case)**

The rezoning of this parcel is consistent and compatible with surrounding uses and zoning and is in an appropriate location for expansion of the Riverwood Athletic Club master planned residential community

the above referenced zoning amendment is reasonable and in the public interest.

COUNCIL MOTION SHEET
ZONING ORDINANCE AMENDMENT
(Rezoning)

After considering the recommendations of the Planning Board and Planning Director, I move to [**approve OR deny**] [**Case #15-08-02-RZ - Raven's Ridge Phase 8C**]

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6d

Meeting Date: May 4, 2015

**TITLE: Major Subdivision/Preliminary Plat – 15-08-01-SUB - Ravens Ridge
8C**

DESCRIPTION: Public Hearing

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Set Public Hearing for May 4, 2015	Staff Report Maps Application
5-4-15	Public Hearing	Staff Report Maps Application Motion Form



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Planning Board
March 23, 2015*

STAFF REPORT

Application Number: 15-08-01-SUB
Project Name: RWAC Raven's Ridge 8C
Master Plan: Riverwood Athletic Club (RWAC)

NC PIN / Tag #: 176000-73-7987 / 16I03028G
Town Limits/ETJ: Town Limits
Overlay: NA
Applicant: DC Adams Engineering Inc
Owner: FSC IV LLC (Fred Smith Co.)

Neighborhood Meeting: March 12, 2015

Public Noticing:

- sign posted March 19, 2015
- letters mailed TBD, 2015
- newspaper ad TBD, 2015

PROJECT LOCATION: This property includes the original Raven's Ridge Phase 8C, plus an additional 8.2 acres of land (formerly known as the House Tract), east of and adjacent to the Neuse River, south of and adjacent to the existing Riverwood Athletic Club, and north of Covered Bridge Rd.

REQUEST: The applicant is requesting preliminary subdivision plat approval for the major subdivision of Raven's Ridge Phase 8C in the Riverwood Athletic Club (RWAC) Planned Development to allow 33 single family detached residential units, within Town Limits. The request includes a modification to the overall RWAC boundaries to include an additional 8.2 acres (pending annexation).

SITE DATA:

Acreage: 12.57 acres
Present Zoning: Residential-Estate (R-E) and Residential-8 (R-8)
Proposed Zoning: Residential-8 (R-8) (see 15-08-02-RZ)
Existing Use: Vacant/Agricultural

DEVELOPMENT DATA:

Proposed Uses: Single Family detached residential units
 Buildings: 33 single family detached residential units
 Number of Stories: Maximum height of 35 feet
 Impervious Surface: Maximum 55% impervious per lot and 55% per entire development
 Required Parking: 2 spaces per unit
 Proposed Parking: 2 spaces per unit
 Fire Protection: The Town of Clayton Fire Department will provide fire protection.
 Access/Streets: Access via the Riverwood Athletic Club subdivision
 Water/Sewer Provider: Town of Clayton
 Electric Provider: Duke Energy

ADJACENT ZONING AND LAND USES:

North: Zoning: R-8
 Existing Use: Single Family Residential (Riverwood Athletic Club Subdivision)

South: Zoning: R-E
 Existing Use: Vacant/Agricultural

East: Zoning: R-E
 Existing Use: Vacant/Agricultural

West: Zoning: R-10 and R-E (across the Neuse River)
 Existing Use: Neuse River, with Residential/Agriculture beyond

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for Phase 8C as depicted on the Riverwood Athletic Club (RWAC) Master Plan, which is under concurrent review. The plat includes an additional piece of land, approximately 8 acres, which represents an expansion of the RWAC boundaries. Approval of this preliminary subdivision plat is also subject to approval of a concurrent rezoning (15-08-02-RZ) and annexation of the additional 8 acres.

The applicant is requesting approval for a total of 33 lots single family detached residential units, which will be of a style similar to the surrounding residential neighborhood.

Consistency with the Strategic Growth Plan

The request is consistent with the Strategic Growth Plan, specifically Objective 2.5 – More Housing Opportunities – Beyond Starter Homes.

Consistency with Master Plan

If the RWAC Master Plan amendment is approved as proposed, the request will be consistent with the Master Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC). Individual lot development specifications including building placement, driveway placement, landscaping, etc. will be required to meet all Town standards and be consistent with the provisions of the approved Master Plan.

Compatibility with Surrounding Land Uses

The proposed development is consistent with the density and patterns of the RWAC Planned Development, and represents a continued expansion of the RWAC community.

Recreation and Open Space

Recreation and open space requirements have been met by the overall RWAC Planned Development.

Environmental

Resource conservation areas (stream buffers, 100-year flood zones) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted. Riparian buffers not considered “stream buffers” by the UDC will meet all state preservation requirements.

Signs

No signage is requested as part of this request.

Access/Streets

Access will be provided via the existing RWAC subdivision.

Multi-Modal Access

No sidewalks are provided in this subdivision. The proposed bike/multi-purpose 10 foot paved pathway will connect to the existing greenway along the Neuse River, and will run along the southern side of the subdivision. Access will be provided via a 30’ access easement at the end of the cul-de-sac.

Garbage / Recycling

Roll out containers will be utilized.

Architecture/Design

These density and layout of the lots is similar to existing development in the RWAC subdivision.

Waivers/Deviations/Variations from Code Requirements

None.

CONSIDERATIONS:

- The applicant is requesting Preliminary Subdivision Plat approval for Raven’s Ridge Phase 8C.
 - This approval is subject to approval of an annexation, rezoning 15-08-02-RZ, and master plan.
 - Preliminary Subdivision Plats (major subdivisions) are decided by the Town Council. The Planning Board shall make a recommendation to the Town Council.
-

FINDINGS:

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS:

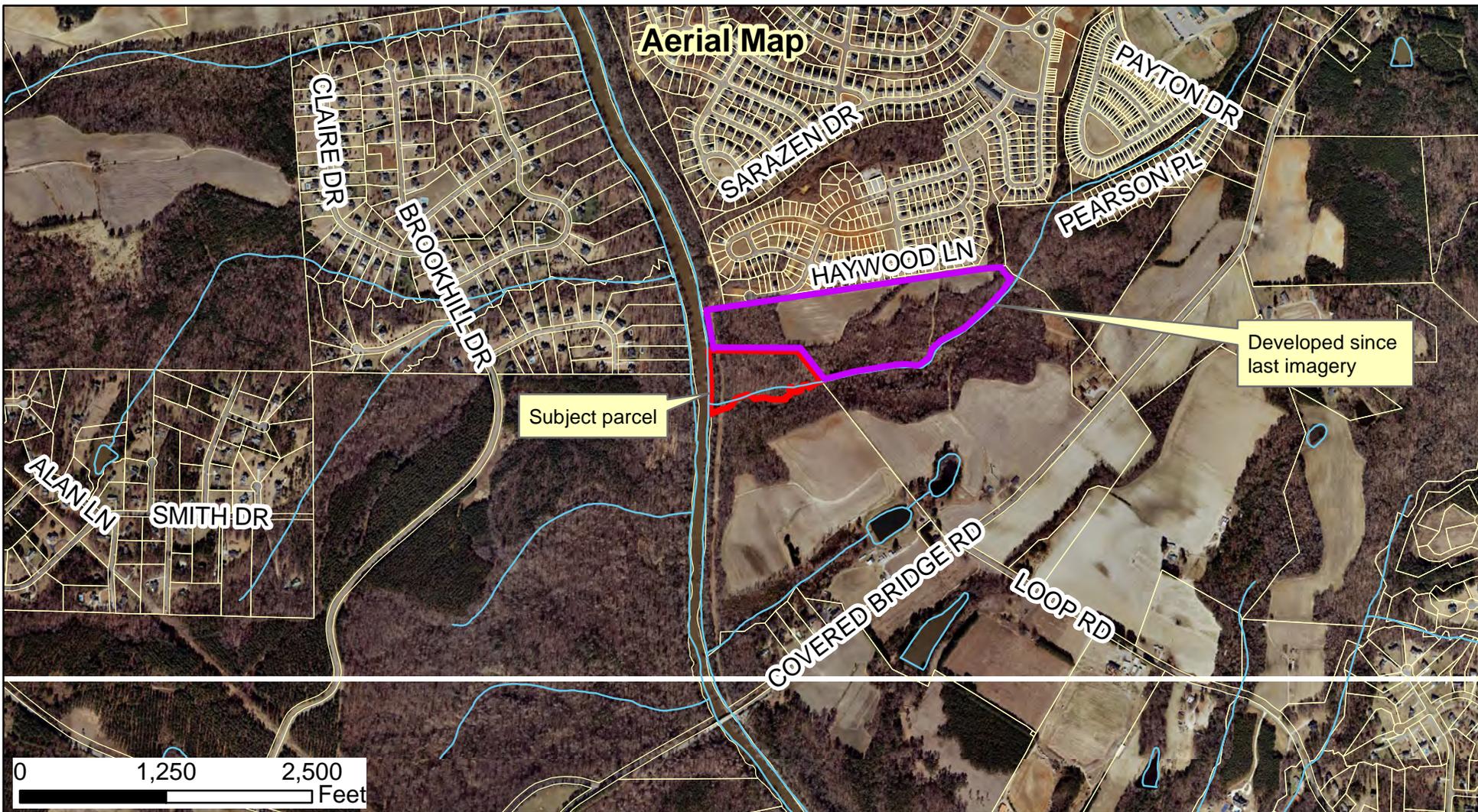
If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. Following Board approvals, three copies of the final Preliminary Subdivision Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
 2. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.
 3. The proposed 10’ wide multi-use/greenway will be constructed and tied into the existing Neuse River greenway prior to the Certificate of Occupancy being issued for the first dwelling unit.
 4. All development fees shall be paid prior to final plat recordation, except that Capacity fees shall be paid prior to issuance of building permits.
 5. Resource Conservation Areas (RCAs) as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.
 6. RCAs shall be protected with orange fencing during the construction of adjacent parcels. Fencing shall be installed prior to any clearing and/or grading.
 7. An updated wastewater allocation request must be approved by the Town Manager.
-

Planning Board Recommendation:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Subdivision Findings of Fact
- 4) Preliminary Subdivision Plat
- 5) Application
- 6) Neighborhood Meeting Materials (if available)
- 7) Statement of Consistency and Reasonableness



**15-08-01-SUB and 15-08-02-RZ RWAC Raven's Ridge 8C
Subdivision and Rezoning from R-E to R-8**

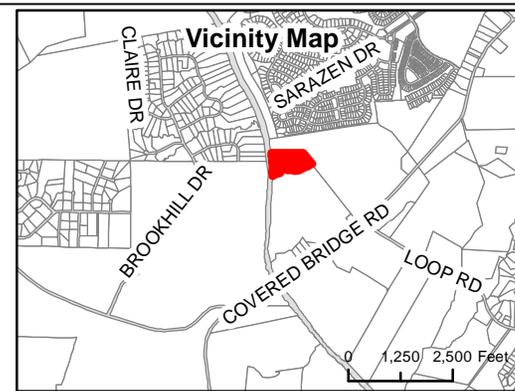
Applicant: DC Adams Engineering, Inc.
 Property Owner: FSC IV LLC (Fred Smith Co.)
 Parcel ID Number: 176000-73-7987
 Tag #: 16103028G

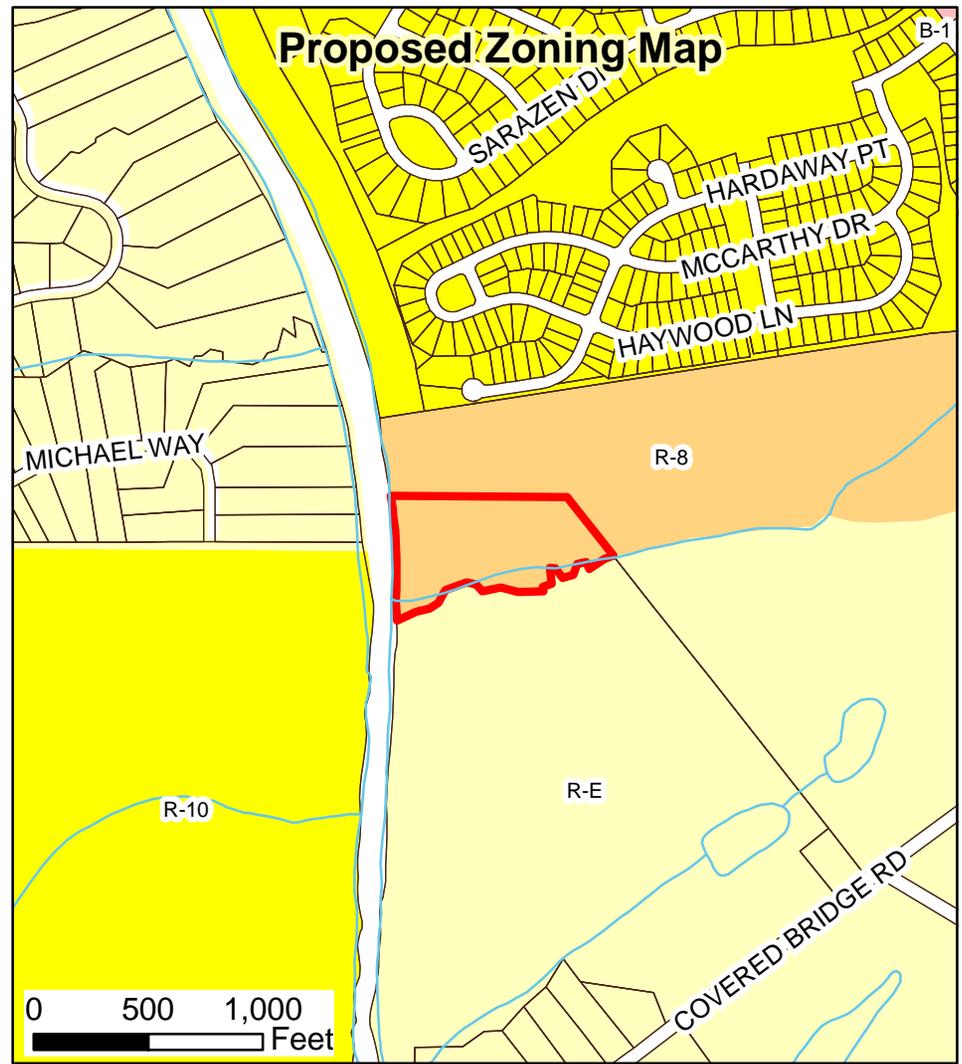
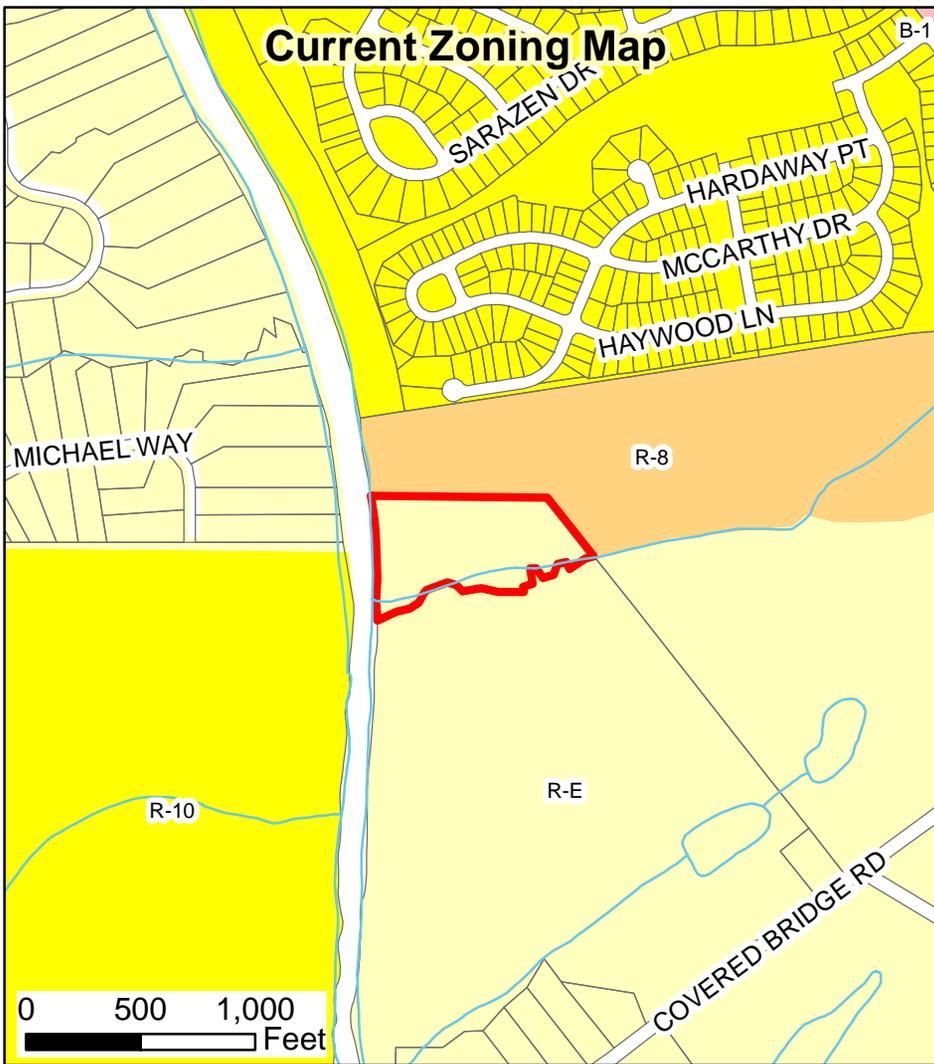
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015 Document Path: O:\PLANNING\REZONING\Rezoning\2015\15-08-02-RZ - RWAC - Raven's Ridge 8C Rezoning - House Tract\Maps\Staff Rpt Map 15-08-02-RZ - Aerial.mxd





15-08-01-SUB and 15-08-02-RZ RWAC Raven's Ridge 8C Subdivision and Rezoning from R-E to R-8

Applicant: DC Adams Engineering, Inc.
 Property Owner: FSC IV LLC (Fred Smith Co.)
 Parcel ID Number: 176000-73-7987
 Tag #: 16103028G

Produced by: TOC Planning

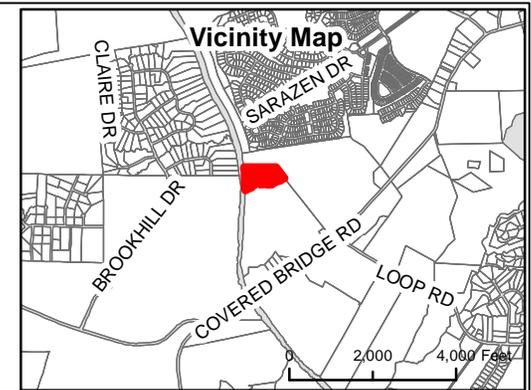
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



3/14/2015 Document Path: O:\PLANNING\REZONING\Rezoning\2015\15-08-02-RZ - RWAC - Raven's Ridge 8C Rezoning - House Tract\Maps\Staff Rpt Map 15-08-02-RZ - Existing and Proposed Zoning.mxd

Legend

	Subject parcel		B-2
	R-E		B-3
	R-10		PD-C
	R-8		I-1
	R-6		I-2
	PD-R		O-I
	O-R		PD-MU
	B-1		



FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDC...

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

THIS IS AN EXISTING SUBDIVISION. THE PROPOSED CHANGES AND ADDITIONS ARE CONSISTENT IN DESIGN OF THE EXISTING SECTIONS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE REVISIONS TO THE EXISTING PLAN HAVE NO EFFECT ON TRAFFIC FLOW WITHIN THE NEIGHBORHOOD. THE ADDITIONAL PROPERTY IS DESIGNED SUCH THAT IT WILL PROVIDE A DISPERSED TRAFFIC PATTERN WITHIN RIVERWOOD ATHLETIC CLUB.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS PROJECT IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPMENT PATTERN IN THE TOWN.

Project Name: RIVERWOOD ATHLETIC CLUB

Donnie Adams
Print Name DC ADAMS
ENGINEERING, INC

[Signature]
Signature of Applicant

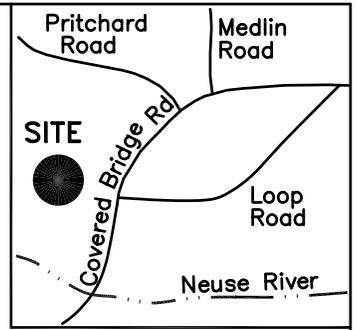
2/2/2015
Date

REFERENCE:

- PB 57 PG 101
- PB 57 PG 123
- PB 67 PG 79
- PB 69 PG 334,335
- PB 79 PG 276
- PB 80 PG 394,395
- DB 3710 PG 551
- DB 1173 PG 6
- DB 705 PG 629

LEGEND:

- EIP = EXISTING IRON PIPE
- IPS = IRON PIPE SET
- MNS = MAG NAIL SET
- CP = CALCULATED POINT



Existing Asphalt Walking Trail

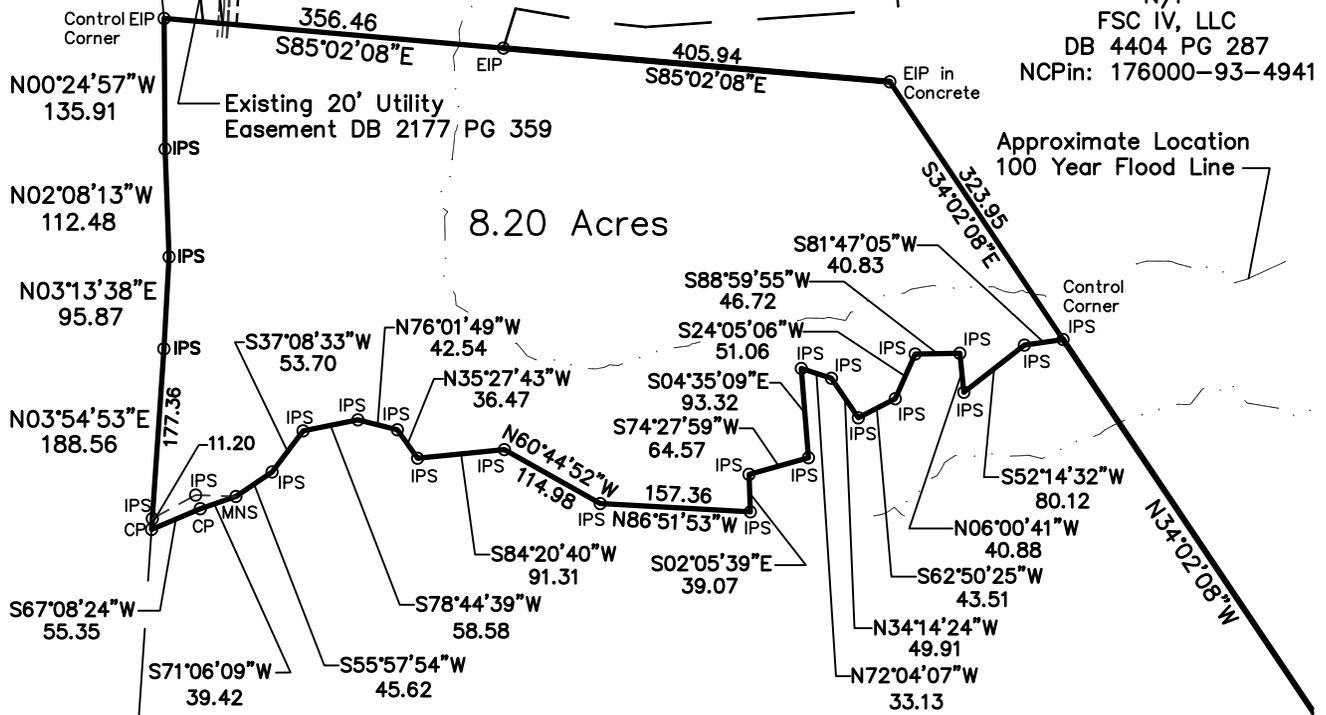
Neuse River

Variable Width Town of Clayton Greenway Easement
DB 3983 PG 937

Riverwood Athletic Club
Ravens Ridge Phase 2G
PB 69 PG 334,335

Riverwood Athletic Club
Ravens Ridge Phase 8A
PB 80 PG 394,395

N/F
FSC IV, LLC
DB 4404 PG 287
NCPin: 176000-93-4941



N/F
Mavis C. House
DB 705 PG 629
NCPin: 176000-82-0992

Owner:

Mavis C. House
2873 Covered Bridge Road
Clayton, NC 27527
Deed Book 705 Page 629
NCPin: 176000-82-0992

AREA BY COORDINATE METHOD



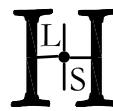
GRAPHIC SCALE

EXHIBIT MAP FOR:

All Distances Are Horizontal Ground
Unless Noted Otherwise

Mavis C. House

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.



Hall Land Surveying, Inc.

1899 Steven's Chapel Road
Smithfield, NC 27577

C-3441 (919) 868-8132

Wilders

TOWNSHIP

Johnston

COUNTY

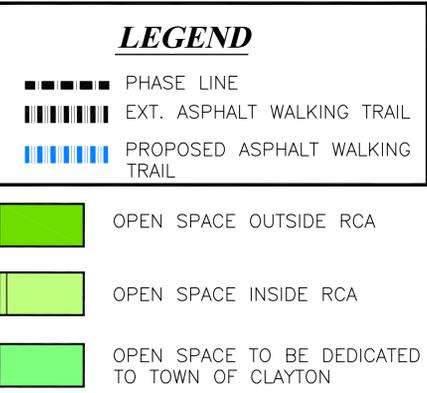
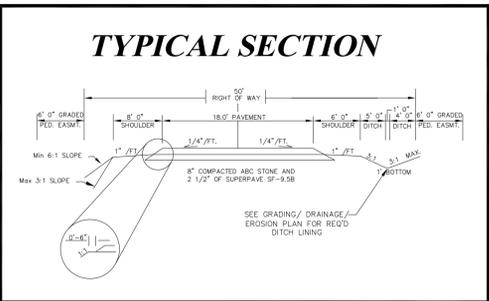
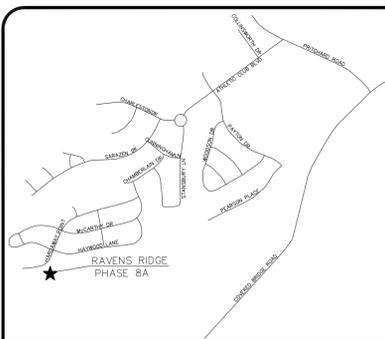
NC

STATE

SCALE 1" = 200'

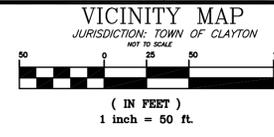
DATE 12/05/14

DRAWING NO. HLS14-0074



LOT STANDARDS TABLE												
PHASE	UNIT TYPE	AREA (ACS)	# OF UNITS	MIN. LOT WIDTH (FT)	MIN. LOT AREA (SF)	MAX. IMPERVIOUS AREA PER LOT (SF)	SETBACKS				MIN. BLDG. SEPARATION (FT)	MAX. BLDG. HEIGHT (FT)
							FRONT (FT)	SIDE (FT)	REAR (FT)	STREET SIDE (FT)		
8C-1/8C-2	SINGLE FAMILY	11.27	27	42	6000	55%	20	6	15	10	10	35

- SITE INFORMATION**
- OWNER: FSC IV, LLC & FSC RANCH, LLC
400 RIVERWOOD DR.
CLAYTON, NC 27520
 - A PORTION OF SITE IS LOCATED WITHIN TOWN LIMITS. THE REMAINDER WILL BE ANNEXED AFTER APPROVAL.
 - PARCEL #: 16000-93-4941 & 176000-73-7987
 - TAX #: 16005027 & 1603028G
 - TOTAL SITE ACREAGE: (SEE CHART THIS SHEET)
 - TOTAL OPEN SPACE: (SEE CHART THIS SHEET)
 - RESOURCE CONSERVATION AREA: (SEE TABLE THIS SHEET)
 - FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900L DATED 12/02/2005
 - CURRENT ZONING: R-E & R-S
 - PROPOSED ZONING: R-S OPEN SUBDIVISION
 - PROPOSED LOTS: RESIDENTIAL LOTS
 - EXISTING USE: VACANT
 - ALL OPEN SPACE TO BE MAINTAINED BY RWAC HOA
 - ELECTRIC PROVIDER: DUKE ENERGY PROGRESS
 - WATER PROVIDER: TOWN OF CLAYTON
 - SEWER PROVIDER: TOWN OF CLAYTON
 - MAXIMUM IMPERVIOUS SURFACE ALLOWED: 55%
 - PROPOSED OVERALL IMPERVIOUS AREA: (SEE CHART THIS SHEET)
 - PROPOSED IMPERVIOUS AREA PER LOT: (SEE CHART THIS SHEET)
 - MAXIMUM BUILDING HGT. = 35 FEET
 - MAXIMUM LOT COVERAGE = 35%



TOTAL ACREAGE OF PHASES 8C-1/8C-2:	11.27 ACS
MAX. IMPERVIOUS AREA (55%):	6.20 ACS

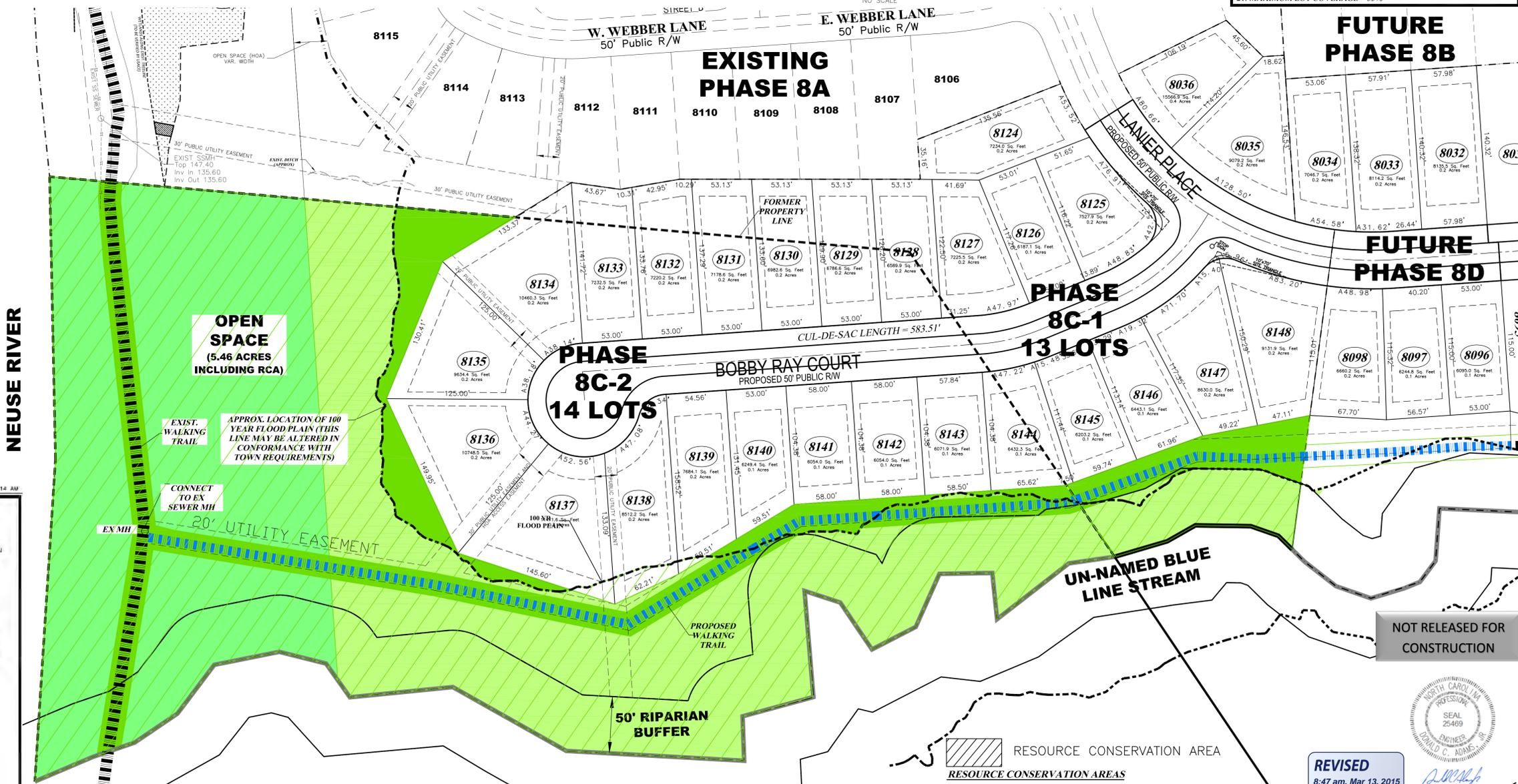
PHASE	TOTAL ROW AREA		PROPOSED IMPERVIOUS AREA		% OF ROW IN IMPERVIOUS
	ACS	SF	ACS	SF	
8C-1/8C-2	1.07	46409	0.43	18659	40%

PHASE	TOTAL OPEN SPACE AREA		PROPOSED IMPERVIOUS AREA		% OF OPEN SPACE IN IMPERVIOUS
	ACS	SF	ACS	SF	
8C-1/8C-2	5.46	237838	0.36	15610	7%

PHASE	# LOTS	TOTAL AREA IN LOTS		MAX. IMPERVIOUS AREA (ACS/SF)		MAX. % IMPERVIOUS PER LOT
		ACS	SF	ACS	SF	
8C-1/8C-2	27	4.74	206675	2.61	113671	55%

PHASES 8C-1/8C-2 TOTALS - PROPOSED IMPERVIOUS AREA			
USE TYPE	TOTAL AREA	PROPOSED IMPERVIOUS WITHIN USE TYPE	% OF TOTAL PHASE IN IMPERVIOUS
ROW	1.07 ACS	0.43 ACS	4%
OPEN SPACE	5.46 ACS	0.36 ACS	3%
LOTS	4.74 ACS	2.61 ACS	23%
TOTAL	11.27 ACS	3.40 ACS	30%

PHASE 8C-1/8C-2 IMPERVIOUS AREA SUMMARY		
MAX. IMPERVIOUS AREA ALLOWED:	6.20 ACS	55%
MAX. IMPERVIOUS AREA PROPOSED:	3.40 ACS	30%



NEUSE RIVER

NEUSE RIVER

STREET YARD TREES

- STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FEET (SPACE A MAXIMUM OF 50 FEET APART).
- ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AND AT LEAST EIGHT FEET TALL AT TIME OF PLANTING AND SHALL BE PLANTED NO LESS THAN FIVE FEET OR MORE THAN 15 FEET FROM THE BACK OF THE SIDEWALK.

OPEN SPACE

PHASE 8C-1 = 0.36 ACS/15,895 SF
INSIDE RCA = 0.21 ACS/9300 SF
OUTSIDE RCA = 0.10 ACS/4515 SF
GREENWAY TRAIL = 0.05 ACS/2080 SF

PHASE 8C-2 = 5.10 ACS/222,338 SF
INSIDE RCA = 4.50 ACS/195,785 SF
OUTSIDE RCA = 0.33 ACS/14,183 SF
GREENWAY TRAIL = 0.28 ACS/12370 SF

TOTAL OPEN SPACE = 5.46 ACS/238,233 SF
DEDICATED TO TOWN = 2.51 ACS/109,226 SF

RESOURCE CONSERVATION AREAS

PHASE 8C-1
BUFFER RCA = 0.21 ACS/9300 SF
PHASE 8C-2
100 YR FLOOD RCA = 4.81 ACS/209,779 SF

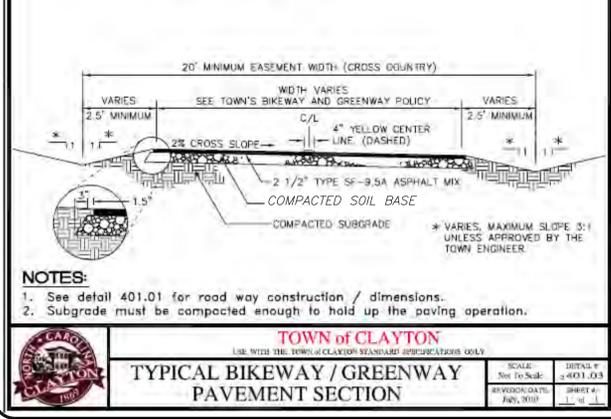
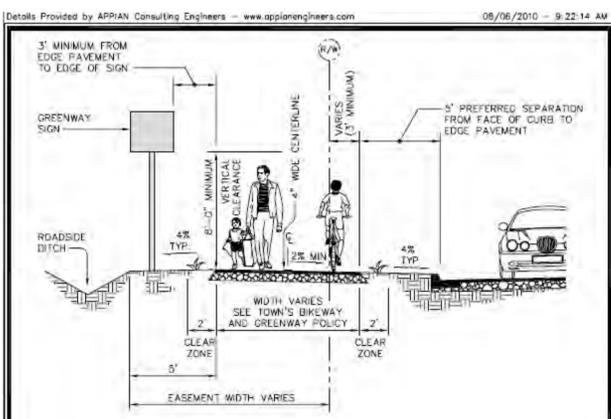
COMBINED TOTAL RCA = 5.03 ACS/219,079 SF

RESOURCE CONSERVATION AREAS

- RESOURCE CONSERVATION AREAS AS DEFINED BY SECTION 155.500 OF THE UNIFIED DEVELOPMENT ORDINANCE (UDO) SHALL BE IDENTIFIED ON PLATS AS BEING PERMANENTLY SET ASIDE. THESE AREAS SHALL INCLUDE JURISDICTIONAL WETLANDS, 100 YEAR FLOOD PLAINS AND STREAM BUFFERS (AS DEFINED IN SECTION 155.502(A)(1) OF THE UDO).
- RESOURCE CONSERVATION AREAS SHALL BE PROTECTED IN PERPETUITY BY A BINDING LEGAL INSTRUMENT THAT IS RECORDED WITH THE DEED. THE INSTRUMENT FOR PERMANENT PROTECTION SHALL INCLUDE CLEAR RESTRICTIONS ON THE USE OF THE RESOURCE CONSERVATION AREA AS DESCRIBED IN SECTION 155.500(F) OF THE UDO.
- THE 50 FOOT RIPARIAN BUFFER AND ALL RESOURCE CONSERVATION AREAS SHALL REMAIN UNDISTURBED IN ACCORDANCE WITH ARTICLE 5 OF THE UNIFIED DEVELOPMENT CODE.
- ORANGE FENCING SHALL BE REQUIRED ALONG PERIMETER OF THE 50 FOOT RIPARIAN BUFFER AND ANY OTHER RESOURCE CONSERVATION AREAS TO ENSURE IT IS NOT ENCROACHED UPON DURING CONSTRUCTION.

NOTE:
ALL STREAM BUFFERS SHOWN ON THIS PLAN ARE SUBJECT TO THE TOWN OF CLAYTON'S RESOURCE CONSERVATION REQUIREMENTS AND SHALL REMAIN UNDISTURBED.

NOTE:
A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.



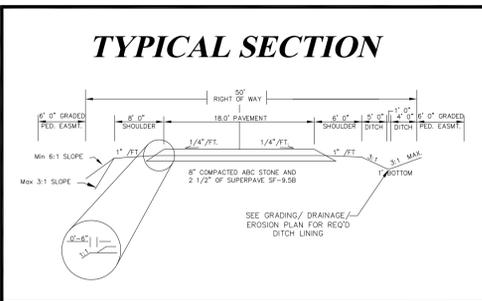
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8:47 am, Mar 13, 2015



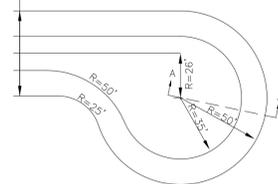
335 ATHLETIC CLUB BLVD
 CLAYTON, NC 27527
 dom@dcadams.com
 919.763.7278
 FIRM # C-3894
DC ADAMS
 ENGINEERING, INC
 RIVERWOOD ATHLETIC CLUB
 RAVENS RIDGE
 PHASES 8C-1 & 8C-2
 FRED SMITH COMPANY, CLAYTON, NC 27527
 PRELIMINARY SUBDIVISION PLAN
 FILE PHASE: DCA
 DESIGN: DCA
 DRAWN: ADS
 CHECKED: DCA
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: N/A
 DATE: 2/3/2015
 JOB NO.:
 SHEET: 1 OF 3



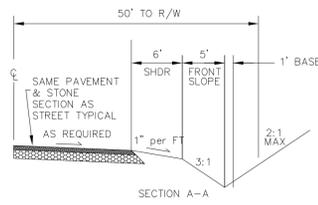
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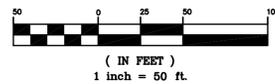
SEE TYPICAL STREET SECTION



ASYMMETRICAL CULDESAC
NO SCALE



SECTION A-A



(IN FEET)
1 inch = 50 ft.

LEGEND

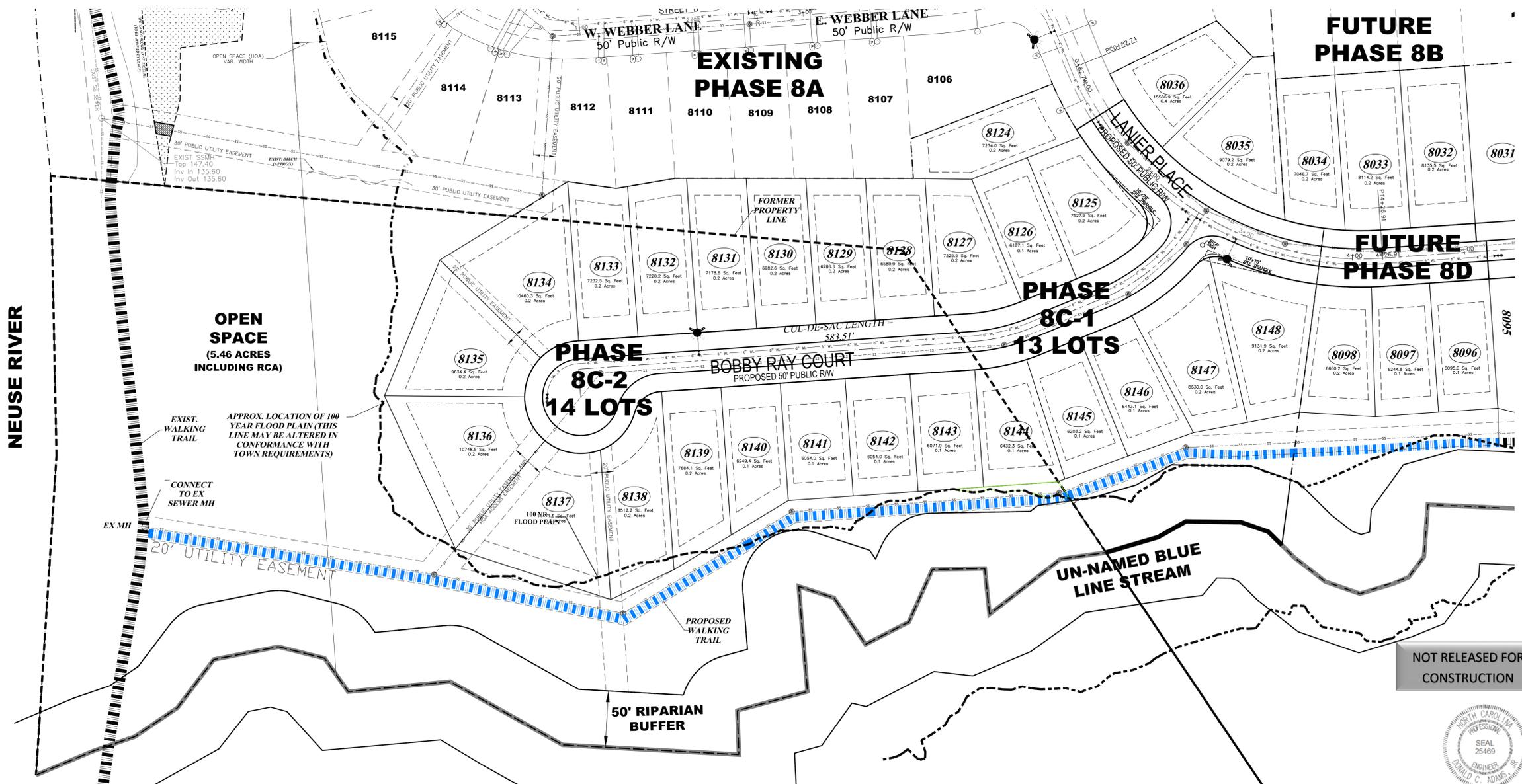
- PHASE LINE
- ▨ EXT. ASPHALT WALKING TRAIL
- ▨ PROPOSED ASPHALT WALKING TRAIL

LEGEND

EXISTING	PROPOSED

NOTE:
ALL STREAM BUFFERS SHOWN ON THIS PLAN ARE SUBJECT TO THE TOWN OF CLAYTON'S RESOURCE CONSERVATION REQUIREMENTS AND SHALL REMAIN UNDISTURBED.

NOTE:
A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.



NOT RELEASED FOR CONSTRUCTION



REVISED
8:48 am, Mar 13, 2015

REVISIONS:
1- 7/23/2015 REVISED PER TOC COMMENTS.
335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
dom@dcadams.com
919-763-7278
FIRM # C-3894

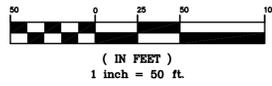
DC ADAMS
ENGINEERING, INC



RIVERWOOD ATHLETIC CLUB
RAVENS RIDGE
PHASES 8C-1 & 8C-2
FRED SMITH COMPANY, CLAYTON, NC 27527

PRELIMINARY UTILITY PLAN

FILE PHASERA	DESIGN DCA	DRAWN DCA	CHECKED DCA
HORIZONTAL SCALE 1"=50'	VERTICAL SCALE N/A	DATE 2/3/2015	JOB NO.
SHEET 2	OF 3		



LEGEND

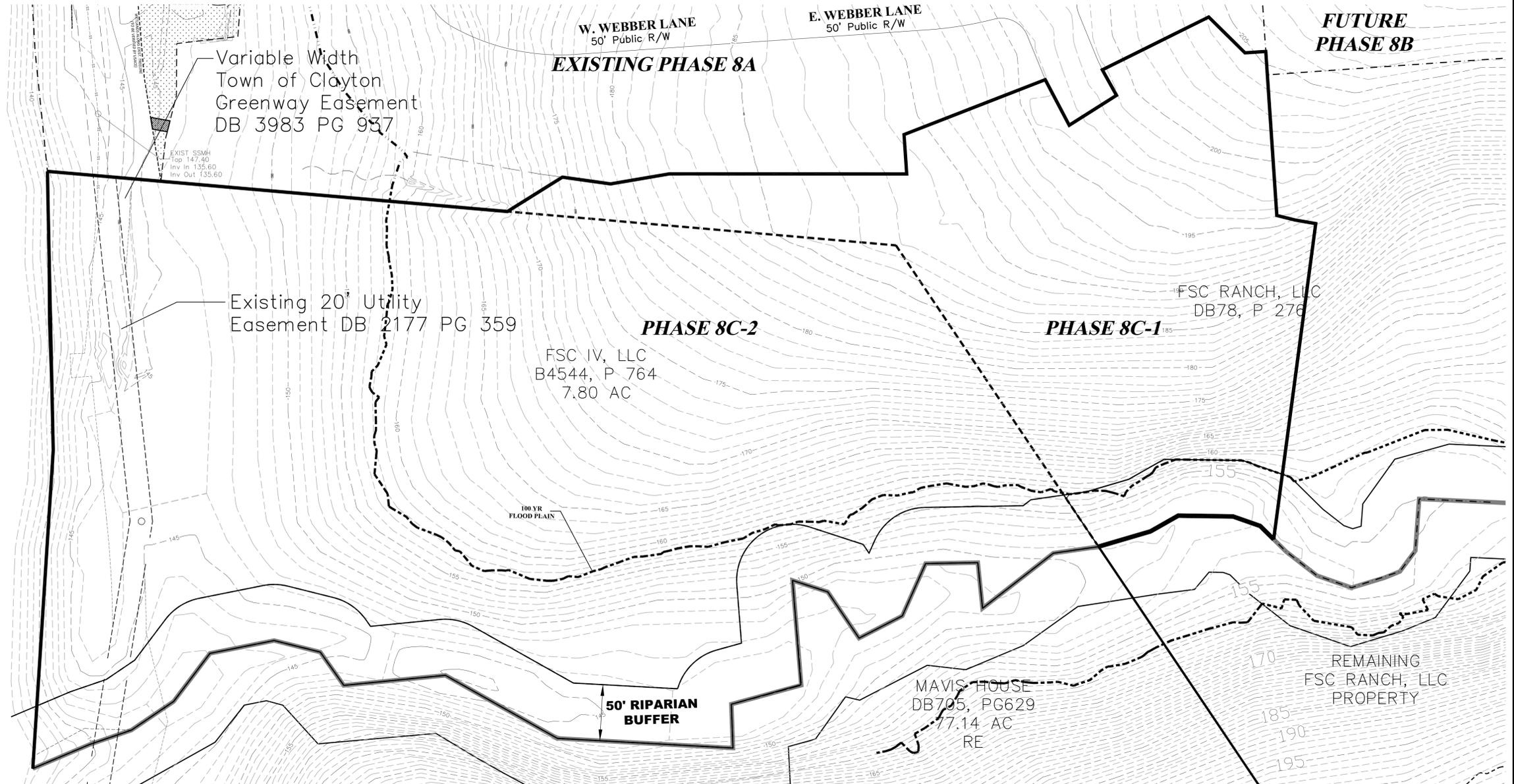
- PHASE LINE
- ||||| EXT. ASPHALT WALKING TRAIL

NOTE:
ALL STREAM BUFFERS SHOWN ON THIS PLAN ARE SUBJECT TO THE TOWN OF CLAYTON'S RESOURCE CONSERVATION REQUIREMENTS AND SHALL REMAIN UNDISTURBED.

NOTE:
A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

NOT RELEASED FOR CONSTRUCTION

REVISED
8:47 am, Mar 13, 2015



REVISIONS:
1: 2/27/2015 REVISION FOR TDC COMMENTS.
335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
dca@dcadams.com
919.763.7278
FIRM # C-3894

DC ADAMS
ENGINEERING, INC



RIVERWOOD ATHLETIC CLUB
RAVENS RIDGE
PHASES 8C-1 & 8C-2
FRED SMITH COMPANY, CLAYTON, NC 27527

EXISTING
CONDITIONS
PLAN

FILE PHASE8A
DESIGN DCA
DRAWN ADS
CHECKED DCA
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE N/A

DATE 2/3/2015
JOB NO.

SHEET 3
OF 3



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
 Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified

See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: _____ Open Space: _____

Modification to Approved Preliminary Plat
Major: ✓ Minor: +

New Subdivision Master Plan

Name of Project: RIVERWOOD ATHLETIC CLUB *• Addition of House Tract*
• revise SC Raven's Ridge Acreage of Property: NEW = 8.2 *EXISTING = 583.19*

Tag #: SEE PLAN 16I0200SH NC PIN: SEE PLAN 176000-99-7610

Location: PRITCHARD RD (RIVERWOOD ATHLETIC CLUB)

Number of Lots (existing): _____ (Proposed) 33 Min Lot Size: EX. VARIES
PROPOSED = 6000 SF MIN

Zoning District: R-8 Electric Provider: DUKE ENERGY PROGRESS

Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: COVERED IN OVERALL PROJECT

FOR OFFICE USE ONLY

Date Received: FEB 03 2015 Amount Paid: 565.00 File Number: 15-08-01-SUB

Town of Clayton
 Planning Department

November 2014

Page 1 of 17

PROPERTY OWNER INFORMATION

Name: RIVERWOOD ON THE NEUSE, LLC
 Mailing Address: 400 RIVERWOOD DR, CLAYTON, NC 27527
 Phone Number: 919-550-3086 Fax: _____
 Email Address: Brian.Strickland@Fredsmithcompany.com

APPLICANT INFORMATION

Applicant: DC ADAMS ENGINEERING, INC
 Mailing Address: _____
 Phone Number: _____ Fax: _____
 Contact Person: _____
 Email Address: _____

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

To be completed by the applicant:			To be completed by staff:		
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>	Yes	N/A	Yes	No	N/A
1. A pre-application meeting was held with Town Staff. Date: _____	<input checked="" type="checkbox"/>				
2. Completed Application	<input checked="" type="checkbox"/>				
3. Review Fee	<input checked="" type="checkbox"/>				
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>				
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
10. Road Name Application <i>Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			

12. A signed and sealed Traffic Impact Analysis (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
13. Neighborhood Meeting Notice Letter* See sample letter and meeting requirement, included in this packet. *Not required for minor modifications or subdivisions *Not required for subdivisions that are part of an approved planned development	<input type="checkbox"/>	<input type="checkbox"/>			
14. Neighborhood Meeting summary form* Included in this packet – NOT submitted with application. *Not required for minor modifications or subdivisions *Not required for subdivisions that are part of an approved planned development		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.		
15. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list. This for a public notice of the public hearing mailed by the Town – thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.	<input type="checkbox"/>	<input type="checkbox"/>			

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

THIS IS FOR MODIFICATION OF THE RIVERWOOD ATHLETIC CLUB MASTER PLAN. THE APPLICATION INCLUDES THE ADDITION OF A NEW PIECE OF PROPERTY (TO BE REZON PD). THE NEW ADDITION IS A REVISION OF PHASE 8C. ALSO, THIS MASTER PLAN INCLUDES A MINOR UPDATE TO PHASE 6D-3 + 2F-2.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

DANNIC ADAMS/DC ADAMS [Signature] 2/2/2015
 Print Name Signature of Applicant Date

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDC.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

THIS IS AN EXISTING SUBDIVISION. THE PROPOSED CHANGES AND ADDITIONS ARE CONSISTENT IN DESIGN OF THE EXISTING SECTIONS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE REVISIONS TO THE EXISTING PLAN HAVE NO EFFECT ON TRAFFIC FLOW WITHIN THE NEIGHBORHOOD. THE ADDITIONAL PROPERTY IS DESIGNED SUCH THAT IT WILL PROVIDE A DISPERSED TRAFFIC PATTERN WITHIN RIVERWOOD ATHLETIC CLUB.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS PROJECT IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPMENT PATTERN IN THE TOWN.

Project Name: RIVERWOOD ATHLETIC CLUB

Donna E Adams
Print Name DC Adams
ENGINEERING, Inc

[Signature]
Signature of Applicant

2/2/2015
Date

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.

To be completed by the applicant:			Staff:
	Yes	N/A	
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each: Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	<input checked="" type="checkbox"/>		
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Total Number of Lots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Number of lots per acre (density)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Electric Provider	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Water Provider (or indicate if well)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
- Sewer Provider (or indicate if septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Impervious (existing and proposed, square feet and %) – provide impervious for overall development and per lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Maximum allowed impervious	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Existing Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Proposed Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot __".	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private" and labeled with easement type.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
24. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
25. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
26. Proposed streets are labeled, <u>named</u> and dimensioned. Correct street cross	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

need a street name

To be completed by the applicant:			Staff:
	Yes	N/A	
<p>section detail provided. Label street type based on definitions in §155.602(D).</p> <p>If streets are private:</p> <ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." <p>Street names must be approved by Town of Clayton via a Road Name Application.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>29. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.)</p> <ul style="list-style-type: none"> - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p>30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:</p> <p>"The Resource Conservation Area shown hereon is provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity per the standards of the Unified Development Code"</p>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
31. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and bicycle racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Show how streets are connected to property lines ("stub-out" streets) to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
36. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
LANDSCAPING PLAN SHEET (See §155.402 for Landscaping Requirements)			
37. Show location, width, and type of all landscape buffers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>38. Provide a plant list summary table which includes:</p> <ul style="list-style-type: none"> - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. If common landscaped areas are provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
species must be used).			
40. Location, species, and caliper of any existing trees that will remain on site. If used to meet planting requirements, make note of what requirements are fulfilled by the preserved trees.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
44. Label adjacent property acreage, owners, and zoning districts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
45. Label subject parcel property owner, acreage, and zoning.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
46. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
47. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
49. Location of all existing and proposed drainage structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
50. Location of all existing and proposed fire hydrants.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Location of all existing and proposed easements, labeled as "public" or "private."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
52. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
53. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
55. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
56. Any other information considered by either the applicant or the Town to be pertinent to the review.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Signed by Applicant:



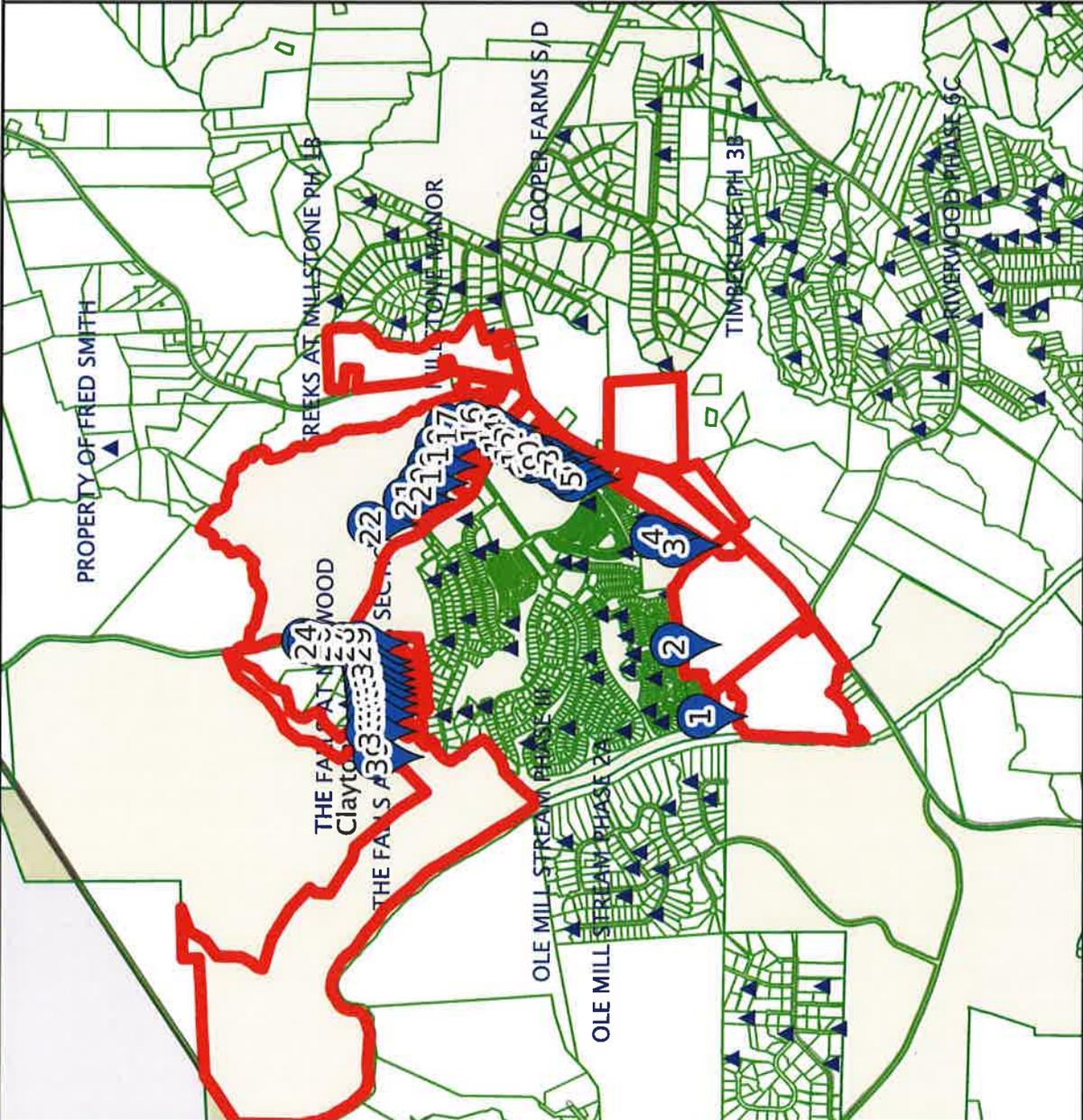
Date:

2/2/2015



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 16103028
 Tag: 16103028
 Tax Unique Id: 4268744
 NCPin: 176000-82-1830
 Mapsheet No: 1760
 Owner Name 1: HOUSE, MAVIS C
 Owner Name 2:
 Mail Address 1: 2873 COVERED BRIDGE RD
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27527-0000
 Site Address 1: 2873 COVERED BRIDGE RD
 Site Address 2: CLAYTON, NC 27527-
 Book: 00705
 Page: 0629
 Market Value: 444620
 Assessed Acreage: 68.94
 Calc. Acreage: 68.82
 Sales Price: 0
 Sale Date: 1970-01-01

Scale: 1:35743 - 1 in. = 2978.59 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)



Result 2

id: 16I03027
Tag: 16I03027
Tax Unique Id: 4265144
NCPin: 176000-93-4941
Mapsheets No: 1760
Owner Name 1: FSC RANCH LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1: 3131 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 04538
Page: 0617
Market Value: 454350
Assessed Acreage: 84.28
Calc. Acreage: 84.26
Sales Price: 0
Sale Date: 2014-12-19

Result 3

id: 16I13027
Tag: 16I13027
Tax Unique Id: 3991486
NCPin: 177000-03-6964
Mapsheets No: 1770
Owner Name 1: MILLS, LARRY SHELDON
Owner Name 2: MILLS, CONNIE T
Mail Address 1: 3329 COVERED BRIDGE RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 3329 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 04405
Page: 0636
Market Value: 210100
Assessed Acreage: 3.05
Calc. Acreage: 2.95
Sales Price: 0
Sale Date: 2014-01-23

Result 4

id: 16I03025
Tag: 16I03025
Tax Unique Id: 4191306
NCPin: 177000-25-7359
Mapsheets No: 1770
Owner Name 1: LANGDON, HAMPTON S
Owner Name 2: MURDOCH, LEANNE L
Mail Address 1: 1185 MARIETTA DR
Mail Address 2:
Mail Address 3: KERNERSVILLE, NC 27284-0000
Site Address 1: 3699 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 01737
Page: 0816
Market Value: 354950
Assessed Acreage: 76.14
Calc. Acreage: 76.14
Sales Price: 0
Sale Date: 1998-08-21

Result 5

id: 16I03025A
Tag: 16I03025A
Tax Unique Id: 4234310
NCPin: 177000-15-8734
Mapsheets No: 1770
Owner Name 1: MONK, JOSEPH HAMPTON III
Owner Name 2:
Mail Address 1: 3783 COVERED BRIDGE RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-9643
Site Address 1:
Site Address 2:
Book: 00919
Page: 0385
Market Value: 31490
Assessed Acreage: 1.34
Calc. Acreage: 1.45
Sales Price: 0
Sale Date: 1982-01-01

Result 6

id: 16I02008G
 Tag: 16I02008G
 Tax Unique Id: 4264537
 NCPin: 177000-15-9829
 Mapsheet No: 1770
 Owner Name 1: MONK, JOSEPH HAMPTON III
 Owner Name 2:
 Mail Address 1: 3783 COVERED BRIDGE RD
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27527-9643
 Site Address 1: 3783 COVERED BRIDGE RD
 Site Address 2: CLAYTON, NC 27527-
 Book: 00705
 Page: 0434
 Market Value: 143230
 Assessed Acreage: 2.01
 Calc. Acreage: 2.07
 Sales Price: 0
 Sale Date: 1970-01-01

Result 7

id: 16I02026C
 Tag: 16I02026C
 Tax Unique Id: 4157518
 NCPin: 177000-16-9192
 Mapsheet No: 1770
 Owner Name 1: RIVERWOOD ON THE NEUSE
 LLC
 Owner Name 2:
 Mail Address 1: 400 RIVERWOOD DR
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1:
 Site Address 2:
 Book: 02017
 Page: 0123
 Market Value: 32890
 Assessed Acreage: 1.43
 Calc. Acreage: 1.5
 Sales Price: 20000
 Sale Date: 2001-02-12

Result 8

id: 16I02008F
 Tag: 16I02008F
 Tax Unique Id: 4156177
 NCPin: 177000-26-0267
 Mapsheet No: 1770
 Owner Name 1: MOSS, BRETT N
 Owner Name 2: MOSS, SARAH C
 Mail Address 1: 3887 COVERED BRIDGE RD
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27527-9653
 Site Address 1: 3887 COVERED BRIDGE RD
 Site Address 2: CLAYTON, NC 27527-
 Book: 04314
 Page: 0813
 Market Value: 145300
 Assessed Acreage: 1.07
 Calc. Acreage: 1.05
 Sales Price: 192000
 Sale Date: 2013-06-26

Result 9

id: 16I02008E
 Tag: 16I02008E
 Tax Unique Id: 4191285
 NCPin: 177000-26-1443
 Mapsheet No: 1770
 Owner Name 1: PRUITT, ELSIE C
 Owner Name 2:
 Mail Address 1: 3903 COVERED BRIDGE RD
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520
 Site Address 1:
 Site Address 2:
 Book: 04072
 Page: 0497
 Market Value: 115750
 Assessed Acreage: 1.49
 Calc. Acreage: 1.45
 Sales Price: 148000
 Sale Date: 2012-01-25

Result 10

id: 16I02008X
Tag: 16I02008X
Tax Unique Id: 4217228
NCPin: 177000-26-2504
Mapsheet No: 1770
Owner Name 1: GAZAWAY, DOROTHY
Owner Name 2:
Mail Address 1: 3941 COVERED BRIDGE ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1:
Site Address 2:
Book: 00689
Page: 0164
Market Value: 23310
Assessed Acreage: 0.74
Calc. Acreage: 0.38
Sales Price: 0
Sale Date: 1967-01-01

Result 11

id: 16I02008D
Tag: 16I02008D
Tax Unique Id: 4217226
NCPin: 177000-26-2631
Mapsheet No: 1770
Owner Name 1: GAZAWAY, DOROTHY
Owner Name 2:
Mail Address 1: 3941 COVERED BRIDGE ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 3941 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 00671
Page: 0213
Market Value: 94000
Assessed Acreage: 0.78
Calc. Acreage: 0.78
Sales Price: 0
Sale Date: 1967-01-01

Result 12

id: 16I02008C
Tag: 16I02008C
Tax Unique Id: 4217225
NCPin: 177000-26-3738
Mapsheet No: 1770
Owner Name 1: PEEPERS, DEL
Owner Name 2:
Mail Address 1: 3991 COVERED BRIDGE RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 3991 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 00835
Page: 0330
Market Value: 114940
Assessed Acreage: 2.48
Calc. Acreage: 2.49
Sales Price: 0
Sale Date: 1978-01-01

Result 13

id: 16I02008I
Tag: 16I02008I
Tax Unique Id: 4217227
NCPin: 177000-26-4958
Mapsheet No: 1770
Owner Name 1: WEAVER, SHIRLEY G LIFE ESTATE
Owner Name 2: WEAVER, BARRY THURMAN REMDRM
Mail Address 1: 4025 COVERED BRIDGE ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 4025 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 02854
Page: 0568
Market Value: 120540
Assessed Acreage: 1.42
Calc. Acreage: 1.43
Sales Price: 0
Sale Date: 2005-03-04

Result 14

id: 16I02008Y
Tag: 16I02008Y
Tax Unique Id: 4217229
NCPin: 177000-27-5130
Mapsheet No: 1770
Owner Name 1: WEAVER, BARRY T
Owner Name 2:
Mail Address 1: 1464 LOOP RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 03212
Page: 0517
Market Value: 25900
Assessed Acreage: 1.4
Calc. Acreage: 1.6
Sales Price: 25000
Sale Date: 2006-10-05

Result 15

id: 16I02008B
Tag: 16I02008B
Tax Unique Id: 4217224
NCPin: 177000-27-6207
Mapsheet No: 1770
Owner Name 1: WEAVER, GARY DANIEL
Owner Name 2: WEAVER, KAY GORDON
Mail Address 1: 2907 SCHOONER LN
Mail Address 2:
Mail Address 3: GRIMESLAND, NC 27837-0000
Site Address 1: 4083 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 02849
Page: 0883
Market Value: 82710
Assessed Acreage: 2.35
Calc. Acreage: 2.25
Sales Price: 0
Sale Date: 2005-02-25

Result 16

id: 16I01014C
Tag: 16I01014C
Tax Unique Id: 4156586
NCPin: 177000-37-9772
Mapsheet No: 1770
Owner Name 1: ONEIL, SUSAN GAIL S
Owner Name 2:
Mail Address 1: 322 MEDLIN ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 4080 COVERED BRIDGE RD
Site Address 2: CLAYTON, NC 27527-
Book: 03973
Page: 0997
Market Value: 313370
Assessed Acreage: 69.44
Calc. Acreage: 68.9
Sales Price: 0
Sale Date: 2011-04-19

Result 17

id: 16I02047W
Tag: 16I02047W
Tax Unique Id: 4205787
NCPin: 177000-27-8907
Mapsheet No: 1770
Owner Name 1: RIVERWOOD LAND COMPANY
 LLC
Owner Name 2:
Mail Address 1: PO BOX 31827
Mail Address 2:
Mail Address 3: RALEIGH, NC 27622-0000
Site Address 1:
Site Address 2:
Book: 03984
Page: 0379
Market Value: 105600
Assessed Acreage: 1.6
Calc. Acreage: 1.6
Sales Price: 0
Sale Date: 2011-05-20

Result 18

id: 16I02008H
Tag: 16I02008H
Tax Unique Id: 4254227
NCPin: 177000-28-3331
Mapsheet No: 1770
Owner Name 1: RIVERWOOD COMPANY LLC
Owner Name 2:
Mail Address 1: PO BOX 31827
Mail Address 2:
Mail Address 3: RALEIGH, NC 27622-0000
Site Address 1: 272 PRITCHARD RD
Site Address 2: CLAYTON, NC 27527-
Book: 03741
Page: 0997
Market Value: 4520330
Assessed Acreage: 6.52
Calc. Acreage: 6.52
Sales Price: 0
Sale Date: 2009-08-05

Result 19

id: 16I02047V
Tag: 16I02047V
Tax Unique Id: 4191528
NCPin: 177000-28-0238
Mapsheet No: 1770
Owner Name 1: SBOC RIVERWOOD CENTER
Owner Name 2:
Mail Address 1: C/O SAMPSON-BLADEN OIL COMPANY
Mail Address 2: PO BOX 469
Mail Address 3: CLINTON, NC 28329
Site Address 1:
Site Address 2:
Book: 04032
Page: 0959
Market Value: 1125080
Assessed Acreage: 1.3
Calc. Acreage: 1.3
Sales Price: 475000
Sale Date: 2011-10-11

Result 20

id: 16I02008A
Tag: 16I02008A
Tax Unique Id: 4158400
NCPin: 177000-18-7405
Mapsheet No: 1770
Owner Name 1: ZOGREO, LLC
Owner Name 2: WILDER INVESTORS LLS
Mail Address 1: PO BOX 10810
Mail Address 2:
Mail Address 3: RALEIGH, NC 27605-0810
Site Address 1: 2165 PRITCHARD RD
Site Address 2: CLAYTON, NC 27520-
Book: 03988
Page: 0133
Market Value: 322500
Assessed Acreage: 2.15
Calc. Acreage: 2.12
Sales Price: 0
Sale Date: 2011-06-01

Result 21

id: 16I02053Q
Tag: 16I02053Q
Tax Unique Id: 4055942
NCPin: 177000-18-4689
Mapsheet No: 1770
Owner Name 1: RIVERWOOD ON THE NEUSE LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 03658
Page: 0966
Market Value: 454500
Assessed Acreage: 3.03
Calc. Acreage: 3.05
Sales Price: 0
Sale Date: 2009-02-24

Result 22

id: 16I02026B
 Tag: 16I02026B
 Tax Unique Id: 4055954
 NCPin: 177000-19-0251
 Mapsheet No: 1770
 Owner Name 1: RIVERWOOD ON THE NEUSE
 LLC
 Owner Name 2:
 Mail Address 1: 400 RIVERWOOD DR
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-0000
 Site Address 1:
 Site Address 2:
 Book: 03658
 Page: 0966
 Market Value: 4983380
 Assessed Acreage: 242.54
 Calc. Acreage: 242.54
 Sales Price: 0
 Sale Date: 2009-02-24

Result 23

id: 16I02029Y
 Tag: 16I02029Y
 Tax Unique Id: 4222089
 NCPin: 176100-90-0404
 Mapsheet No: 1761
 Owner Name 1: THE FALLS AT NORWOOD
 COMMUNITY
 Owner Name 2: ASSOCIATION INC
 Mail Address 1: C/O DEBORAH NELSON
 Mail Address 2: 61 PARQUE DE SARAH PL
 Mail Address 3: CLAYTON, NC 27227-3928
 Site Address 1: 1007 PRITCHARD RD
 Site Address 2: CLAYTON, NC 27527-
 Book: 03475
 Page: 0641
 Market Value: 10
 Assessed Acreage: 0.28
 Calc. Acreage: 0.26
 Sales Price: 0
 Sale Date: 2007-12-31

Result 24

id: 16I02029Y
 Tag: 16I02029Y
 Tax Unique Id: 4222089
 NCPin: 176100-90-0404
 Mapsheet No: 1761
 Owner Name 1: THE FALLS AT NORWOOD
 COMMUNITY
 Owner Name 2: ASSOCIATION INC
 Mail Address 1: C/O DEBORAH NELSON
 Mail Address 2: 61 PARQUE DE SARAH PL
 Mail Address 3: CLAYTON, NC 27227-3928
 Site Address 1: 5 GRANDE OVERLOOK DR
 Site Address 2: CLAYTON, NC 27527-
 Book: 03475
 Page: 0641
 Market Value: 10
 Assessed Acreage: 0.28
 Calc. Acreage: 0.26
 Sales Price: 0
 Sale Date: 2007-12-31

Result 25

id: 16I02029X
 Tag: 16I02029X
 Tax Unique Id: 4222088
 NCPin: 176100-80-9321
 Mapsheet No: 1761
 Owner Name 1: NORWOOD, MARY N
 Owner Name 2: HEINSOHN, RONALD H
 Mail Address 1: 2204 ALEXANDER RD
 Mail Address 2:
 Mail Address 3: RALEIGH, NC 27608-1645
 Site Address 1: 75 GRANDE OVERLOOK DR
 Site Address 2: CLAYTON, NC 27527-
 Book: 03813
 Page: 0017
 Market Value: 86500
 Assessed Acreage: 1.02
 Calc. Acreage: 1.021
 Sales Price: 0
 Sale Date: 2010-02-15

Result 26

id: 16I02029W
Tag: 16I02029W
Tax Unique Id: 4222087
NCPin: 176100-80-9113
Mapsheet No: 1761
Owner Name 1: MATTRESS, ALBERT III
Owner Name 2: MATTRESS, SOPHIA
 ELIZABETH
Mail Address 1: 115 GRANDE OVERLOOK
 DRIVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 115 GRANDE OVERLOOK DR
Site Address 2: CLAYTON, NC 27527-
Book: 03769
Page: 0046
Market Value: 524740
Assessed Acreage: 1.01
Calc. Acreage: 1.01
Sales Price: 410000
Sale Date: 2009-10-16

Result 28

id: 16I02040A
Tag: 16I02040A
Tax Unique Id: 4197531
NCPin: 176000-89-9733
Mapsheet No: 1760
Owner Name 1: YORK, JOHN H
Owner Name 2: YORK, AMY R
Mail Address 1: 193 GRANDE OVERLOOK DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-3927
Site Address 1: 193 GRANDE OVERLOOK DR
Site Address 2: CLAYTON, NC 27527-
Book: 03170
Page: 0816
Market Value: 583320
Assessed Acreage: 1.48
Calc. Acreage: 1.484
Sales Price: 85000
Sale Date: 2006-08-01

Result 27

id: 16I02029V
Tag: 16I02029V
Tax Unique Id: 4222086
NCPin: 176000-89-9916
Mapsheet No: 1760
Owner Name 1: FREEMAN, WADE JR
Owner Name 2: FREEMAN, CAROL L
Mail Address 1: 149 GRANDE OVERLOOK DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-3927
Site Address 1: 149 GRANDE OVERLOOK DR
Site Address 2: CLAYTON, NC 27527-
Book: 02917
Page: 0212
Market Value: 472210
Assessed Acreage: 1.01
Calc. Acreage: 1.005
Sales Price: 65000
Sale Date: 2005-06-15

Result 29

id: 16I02040B
Tag: 16I02040B
Tax Unique Id: 4197551
NCPin: 176000-89-9414
Mapsheet No: 1760
Owner Name 1: WHITMAN, BRIAN
Owner Name 2: WHITMAN, GINA
Mail Address 1: 105 KATIE DRIVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 227 GRANDE OVERLOOK DR
Site Address 2: CLAYTON, NC 27527-
Book: 03543
Page: 0939
Market Value: 95150
Assessed Acreage: 2.13
Calc. Acreage: 2.132
Sales Price: 106000
Sale Date: 2008-05-12

Result 30

id: 16I02040C
Tag: 16I02040C
Tax Unique Id: 4197552
NCPin: 176000-89-6461
Mapsheets No: 1760
Owner Name 1: CHO, JANG HO
Owner Name 2: KIM, SOOK RYUN
Mail Address 1: 33 PLAZA DELUKE SQ
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 33 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03558
Page: 0681
Market Value: 760720
Assessed Acreage: 1.82
Calc. Acreage: 1.82
Sales Price: 100000
Sale Date: 2008-06-09

Result 31

id: 16I02040C
Tag: 16I02040C
Tax Unique Id: 4197552
NCPin: 176000-89-6461
Mapsheets No: 1760
Owner Name 1: CHO, JANG HO
Owner Name 2: KIM, SOOK RYUN
Mail Address 1: 33 PLAZA DELUKE SQ
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 220 GRANDE OVERLOOK DR
Site Address 2: CLAYTON, NC 27527-
Book: 03558
Page: 0681
Market Value: 760720
Assessed Acreage: 1.82
Calc. Acreage: 1.82
Sales Price: 100000
Sale Date: 2008-06-09

Result 32

id: 16I02040D
Tag: 16I02040D
Tax Unique Id: 4212452
NCPin: 176000-89-4491
Mapsheets No: 1760
Owner Name 1: VALESKO, STEPHEN M
Owner Name 2: VALESKO, JACQUELINE A
Mail Address 1: 61 PLAZA DE LUKE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 61 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03928
Page: 0457
Market Value: 555180
Assessed Acreage: 1.14
Calc. Acreage: 1.145
Sales Price: 555000
Sale Date: 2010-12-13

Result 33

id: 16I02040E
Tag: 16I02040E
Tax Unique Id: 4217985
NCPin: 176000-89-3460
Mapsheets No: 1760
Owner Name 1: BALCOMBE, ROY L
Owner Name 2: BALCOMBE, GEORGINA M
Mail Address 1: 89 PLAZA DE LUKE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 89 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03485
Page: 0776
Market Value: 576950
Assessed Acreage: 1.46
Calc. Acreage: 1.462
Sales Price: 775000
Sale Date: 2008-01-25

Result 34

id: 16I02040F
Tag: 16I02040F
Tax Unique Id: 4153324
NCPin: 176000-89-2329
Mapsheet No: 1760
Owner Name 1: DOREMUS, STANLEY III
Owner Name 2: DOREMUS, LORI
Mail Address 1: 119 PLAZA DE LUKE SQ
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-3989
Site Address 1: 119 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03465
Page: 0393
Market Value: 609840
Assessed Acreage: 1.18
Calc. Acreage: 1.175
Sales Price: 101000
Sale Date: 2007-12-11

Result 35

id: 16I02040G
Tag: 16I02040G
Tax Unique Id: 4153490
NCPin: 176000-89-0397
Mapsheet No: 1760
Owner Name 1: AWAN, AMJAD N
Owner Name 2:
Mail Address 1: 509 CARTER DR
Mail Address 2:
Mail Address 3: COPPELL, TX 75019-4052
Site Address 1: 145 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 04471
Page: 0291
Market Value: 663980
Assessed Acreage: 1.36
Calc. Acreage: 1.362
Sales Price: 575000
Sale Date: 2014-07-10

Result 36

id: 16I02040H
Tag: 16I02040H
Tax Unique Id: 4212699
NCPin: 176000-79-9331
Mapsheet No: 1760
Owner Name 1: IGBA, CHUCK G
Owner Name 2: IGBA, EBI P
Mail Address 1: 167 PLAZA DE LUKE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-0000
Site Address 1: 167 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03810
Page: 0218
Market Value: 531910
Assessed Acreage: 1.5
Calc. Acreage: 1.496
Sales Price: 510000
Sale Date: 2010-02-04

Result 37

id: 16I02040I
Tag: 16I02040I
Tax Unique Id: 4197553
NCPin: 176000-79-7306
Mapsheet No: 1760
Owner Name 1: HUMBLE, JIMMY TODD
Owner Name 2: HUMBLE, LISA M
Mail Address 1: 336 COLLINSWORTH DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-3935
Site Address 1: 175 PLAZA DE LUKE SQ
Site Address 2: CLAYTON, NC 27527-
Book: 03125
Page: 0459
Market Value: 823420
Assessed Acreage: 2.34
Calc. Acreage: 2.343
Sales Price: 105000
Sale Date: 2006-05-22

Result 38

id: 16I02027D
Tag: 16I02027D
Tax Unique Id: 4197450
NCPin: 176100-70-8098
Mapsheet No: 1761
Owner Name 1: THE FALLS AT NORWOOD
COMMUNITY
Owner Name 2: ASSOCIATION INC
Mail Address 1: C/O DEBORAH NELSON
Mail Address 2: 61 PARQUE DE SARAH PL
Mail Address 3: CLAYTON, NC 27227-3928
Site Address 1:
Site Address 2:
Book: 03475
Page: 0641
Market Value: 150
Assessed Acreage: 3.72
Calc. Acreage: 3.77
Sales Price: 0
Sale Date: 2007-12-31

Result 39

id: 16I02027
Tag: 16I02027
Tax Unique Id: 4197449
NCPin: 176100-40-7112
Mapsheet No: 1761
Owner Name 1: STATE OF NORTH CAROLINA
Owner Name 2:
Mail Address 1:
Mail Address 2:
Mail Address 3:
Site Address 1:
Site Address 2:
Book: 03634
Page: 0278
Market Value: 1796860
Assessed Acreage: 325.71
Calc. Acreage: 343.87
Sales Price: 4941000
Sale Date: 2008-12-18

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: February 25, 2015

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Donnie Adams

Signature: 

Date of Meeting: March 12, 2015

Time of Meeting: 6:00

Location of Meeting: Riverwood Golf Club

Meeting Summary/Minutes: *provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.*

To give ample time for adjacent owners to arrive, Donnie Adams opened the meeting at 6:10.

~~Donnie gave a brief description/summary of the property to be rezoned, the RWAC Master Plan revision (addition of the House property) and the preliminary subdivision plan for Phase C1/C2~~

The floor was opened for questions or comments. Hearing none, the meeting was closed at 6:20pm.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



February 25, 2015

Re: Riverwood Athletic Club Master Plan
Clayton, NC

Dear Madame/Sir:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership according to Johnston County tax records. Per town of Clayton regulations, a neighborhood meeting will be held to provide information about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: March 12, 2015
Location: Riverwood Golf Club
Time: 6:00 PM
Type of Application: **15-08-01-SUB RIVERWOOD ATHLETIC CLUB MASTER PLAN REVISION
and 15-08-02-RZ HOUSE PROPERTY REZONING**
General Description: Riverwood Athletic Club master plan revisions as well as rezoning and addition of adjacent property.

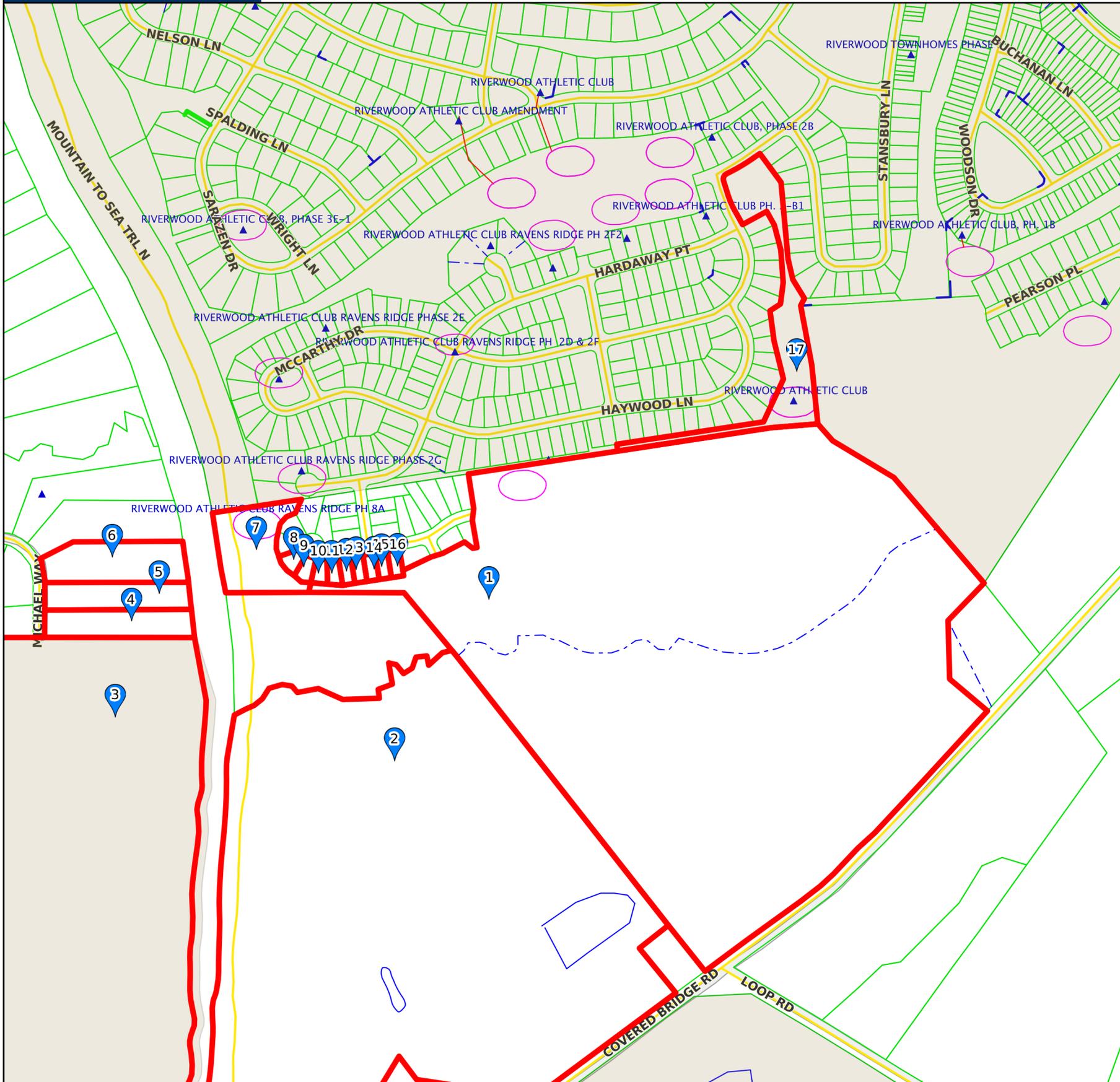
If you have any questions prior to or after this meeting, please contact us at (919) 550-8086 or by email at brian.strickland@fredsmithcompany.com.

Sincerely,

Brian Strickland

cc: Clayton Planning Dept.

Johnston County assumes no legal responsibility for the information represented here.



Result 1		Result 2	
id:	16103027	id:	16103028
Tag:	16103027	Tag:	16103028
Tax Unique Id:	4272163	Tax Unique Id:	4268744
NCPin:	176000-93-4951	NCPin:	176000-82-1830
Mapsheet No:	1760	Mapsheet No:	1760
Owner Name 1:	FSC RANCH LLC	Owner Name 1:	HOUSE, MAVIS C
Owner Name 2:		Owner Name 2:	
Mail Address 1:	400 RIVERWOOD DR	Mail Address 1:	2873 COVERED BRIDGE RD
Mail Address 2:		Mail Address 2:	
Mail Address 3:	CLAYTON, NC 27527-5500	Mail Address 3:	CLAYTON, NC 27527-0000
Site Address 1:	3131 COVERED BRIDGE RD	Site Address 1:	2873 COVERED BRIDGE RD
Site Address 2:	CLAYTON, NC 27527-	Site Address 2:	CLAYTON, NC 27527-
Book:	04538	Book:	00705
Page:	0617	Page:	0629
Market Value:	454350	Market Value:	444620
Assessed Acreage:	84.28	Assessed Acreage:	68.94
Calc. Acreage:	84.08	Calc. Acreage:	68.88
Sales Price:	0	Sales Price:	0
Sale Date:	2014-12-19	Sale Date:	1970-01-01
Result 3		Result 4	
id:	05H02009	id:	05H010101
Tag:	05H02009	Tag:	05H010101
Tax Unique Id:	4265643	Tax Unique Id:	4231712
NCPin:	166900-38-4997	NCPin:	176000-64-9005
Mapsheet No:	1669	Mapsheet No:	1760
Owner Name 1:	RAYMOND ELMORE EARP JR IRREVOCABLE TRUST	Owner Name 1:	OBRIEN, ANGELLA J
Owner Name 2:	EARP, NANCY CREWS EXECUTOR	Owner Name 2:	OBRIEN, DAVID MICHAEL
Mail Address 1:	7230 NC HWY 42 E	Mail Address 1:	8307 CAZAVINI CT
Mail Address 2:		Mail Address 2:	
Mail Address 3:	SELMA, NC 27576-6005	Mail Address 3:	RALEIGH, NC 27613-4467
Site Address 1:	1162 COVERED BRIDGE RD	Site Address 1:	151 MICHAEL WAY
Site Address 2:	CLAYTON, NC 27520-	Site Address 2:	CLAYTON, NC 27520-
Book:	03897	Book:	04356
Page:	0735	Page:	0783
Market Value:	2189860	Market Value:	376900
Assessed Acreage:	631.06	Assessed Acreage:	1.88
Calc. Acreage:	631.04	Calc. Acreage:	1.76
Sales Price:	0	Sales Price:	365000
Sale Date:	2010-07-12	Sale Date:	2013-09-18
Result 5		Result 6	
id:	05H01010J	id:	05H01010K
Tag:	05H01010J	Tag:	05H01010K
Tax Unique Id:	4215648	Tax Unique Id:	4223545
NCPin:	176000-64-9107	NCPin:	176000-64-8382
Mapsheet No:	1760	Mapsheet No:	1760
Owner Name 1:	SAMMONS, DAVID H JR	Owner Name 1:	HARRIS, JONATHAN DAVID
Owner Name 2:	SAMMONS, RENE D	Owner Name 2:	HARRIS, ANGELA NICOLE
Mail Address 1:	147 MICHAEL WAY	Mail Address 1:	143 MICHAEL WAY
Mail Address 2:		Mail Address 2:	
Mail Address 3:	CLAYTON, NC 27520-0000	Mail Address 3:	CLAYTON, NC 27520-5507
Site Address 1:	147 MICHAEL WAY	Site Address 1:	143 MICHAEL WAY
Site Address 2:	CLAYTON, NC 27520-	Site Address 2:	CLAYTON, NC 27520-
Book:	03113	Book:	04199
Page:	0040	Page:	0815
Market Value:	384520	Market Value:	513060
Assessed Acreage:	1.73	Assessed Acreage:	2.27
Calc. Acreage:	1.69	Calc. Acreage:	2.39
Sales Price:	412000	Sales Price:	417000
Sale Date:	2006-05-02	Sale Date:	2012-11-02

Scale: 1:4144 - 1 in. = 345.33 feet

(The scale is only accurate when printed landscape on a 11 x 17 size sheet with no page scaling.)



Johnston County assumes no legal responsibility for the information represented here.

Result 7

id: 16102056C
Tag: 16102056C
Tax Unique Id: 4272092
NCPin: 176000-74-4387
Mapsheet No: 1760
Owner Name 1: FSC RANCH LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04538
Page: 0617
Market Value: 100
Assessed Acreage: 2.55
Calc. Acreage: 2.54
Sales Price: 0
Sale Date: 2014-12-19

Result 8

id: 16102055K
Tag: 16102055K
Tax Unique Id: 4272124
NCPin: 176000-74-6353
Mapsheet No: 1760
Owner Name 1: FSC IV LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04404
Page: 0287
Market Value: 40000
Assessed Acreage: 0.17
Calc. Acreage: 0.17
Sales Price: 3000000
Sale Date: 2014-01-17

Result 9

id: 16102055J
Tag: 16102055J
Tax Unique Id: 4272121
NCPin: 176000-74-7209
Mapsheet No: 1760
Owner Name 1: RMS INVESTMENTS LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04547
Page: 0906
Market Value: 40000
Assessed Acreage: 0.16
Calc. Acreage: 0.16
Sales Price: 0
Sale Date: 2015-01-16

Result 10

id: 16102055I
Tag: 16102055I
Tax Unique Id: 4272116
NCPin: 176000-74-7268
Mapsheet No: 1760
Owner Name 1: RMS INVESTMENTS LLC
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27527-5500
Site Address 1:
Site Address 2:
Book: 04547
Page: 0906
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-16

Result 11

id: 16102055H
Tag: 16102055H
Tax Unique Id: 4272114
NCPin: 176000-74-8227
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0342
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 12

id: 16102055G
Tag: 16102055G
Tax Unique Id: 4272112
NCPin: 176000-74-8288
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 13

id: 16102055F
Tag: 16102055F
Tax Unique Id: 4272107
NCPin: 176000-74-9239
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 14

id: 16102055E
Tag: 16102055E
Tax Unique Id: 4272104
NCPin: 176000-74-9380
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 15

id: 16102055D
Tag: 16102055D
Tax Unique Id: 4272102
NCPin: 176000-84-0331
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 16

id: 16102055C
Tag: 16102055C
Tax Unique Id: 4272099
NCPin: 176000-84-0391
Mapsheet No: 1760
Owner Name 1: CAVINESS & CATES BUILDING AND
Owner Name 2: DEVELOPMENT COMPANY
Mail Address 1: 639 EXECUTIVE PL STE 400
Mail Address 2:
Mail Address 3: FAYETTEVILLE, NC 28305-5489
Site Address 1:
Site Address 2:
Book: 04546
Page: 0333
Market Value: 40000
Assessed Acreage: 0.14
Calc. Acreage: 0.14
Sales Price: 0
Sale Date: 2015-01-12

Result 17

id: 16102008R
Tag: 16102008R
Tax Unique Id: 4236525
NCPin: 176000-95-5856
Mapsheet No: 1760
Owner Name 1: RIVERWOOD ATHLETIC CLUB
Owner Name 2:
Mail Address 1: 400 RIVERWOOD DRIVE
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 02581
Page: 0094
Market Value: 150
Assessed Acreage: 3.8
Calc. Acreage: 3.916
Sales Price: 0
Sale Date: 2003-11-04

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: DC Adams Engineering, Inc (RWAC Master Plan Revision/Phase 8C and House Tract Rezoning)

Location/Date: Riverwood Golf Club / March 12, 2015 @ 6:00PM

	NAME	ADDRESS
1	Donnie Adams	335 Athletic Club Blvd
2	Fred Smith	632 Marcellus Way
3	Duke McNichol	72 Josiah Dr, Clayton
4		
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TOWN OF CLAYTON

ZONING AMENDMENT

CONSISTENCY AND REASONABLENESS STATEMENT

15-08-01-SUB Raven's Ridge Phase 8C Preliminary Subdivision (Major)

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- Objective 2.5 – More Housing Opportunities: Beyond Starter Homes

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically **(insert specifics to case)**

The subdivision site plan for this parcel is consistent and compatible with surrounding uses and neighborhood design and is in an appropriate expansion of the Riverwood Athletic Club master planned residential community

the above referenced zoning amendment is reasonable and in the public interest.

**Town of Clayton
Town Council
Preliminary Subdivision Plat Motion Sheet**

After considering the competent, material, and substantial evidence presented, including the application and materials of record, I move to **(PICK ONE)**:

- Approve
- Deny
- Approve with Conditions

Preliminary Subdivision Plat Application Number **15-08-01-SUB (Raven's Ridge 8C)**

This motion is based on the following findings:

1. The preliminary subdivision plat **IS** consistent with the adopted plans and policies of the town.

OR

The preliminary subdivision plat **IS NOT** consistent with the adopted plans and policies of the town. (State evidence supporting finding.)

2. The subdivision **DOES** meet all required specifications of the Town of Clayton Unified Development Code.

OR

The subdivision **DOES NOT** meet all required specifications of the Town of Clayton Unified Development Code. (State evidence supporting finding.)

3. The subdivision **WILL NOT** be detrimental to the use or orderly development of other properties in the surrounding area and **WILL NOT** violate the character of existing standards for development of properties in the surrounding area.

OR

The subdivision **WILL** be detrimental to the use or orderly development of other properties in the surrounding area and **WILL** violate the character of existing standards for development of properties in the surrounding area. (State evidence supporting finding.)

4. The subdivision design **WILL** provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, **WILL** provide for the unified and orderly use of or extension of public infrastructure, and **WILL NOT** materially endanger the environment, public health, safety, or the general welfare.

OR

The subdivision design **WILL NOT** provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, **WILL NOT** provide for the unified and orderly use of or extension of public infrastructure, and **WILL** materially endanger the environment, public health, safety, or the general welfare. (State evidence supporting finding).

[If approved with conditions] The applicant meets this finding subject to the following conditions:

- 1. Following Board approvals, three copies of the final Preliminary Subdivision Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.**
- 2. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.**
- 3. The proposed 10' wide multi-use/greenway will be constructed and tied into the existing Neuse River greenway prior to the Certificate of Occupancy being issued for the first dwelling unit.**
- 4. All development fees shall be paid prior to final plat recordation, except that Capacity fees shall be paid prior to issuance of building permits.**
- 5. Resource Conservation Areas (RCAs) as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.**
- 6. RCAs shall be protected with orange fencing during the construction of adjacent parcels. Fencing shall be installed prior to any clearing and/or grading.**
- 7. An updated wastewater allocation request must be approved by the Town Manager.**

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5e **Meeting Date:** May 4,

2015 TITLE: Rezoning – 14-126-01 – Proctor’s Place

DESCRIPTION: Public Hearing

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Set Public Hearing for May 4, 2015	Staff Report Maps Application Consistency & Reasonableness Statement
5-4-15	Public Hearing	Staff Report Maps Application Consistency & Reasonableness Statement Motion Form



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-1545
Fax: 919-553-1720

*Planning Board
March 23, 2015*

STAFF REPORT

Application Number: 14-126-01-RZ (Rezoning)
Project Name: Proctor's Place east parking lot rezoning
NC PIN / Tag #: 165916-94-0664 / 05023036B
Town Limits/ETJ: Town Limits
Overlay: NA
Applicant: Calvary Chapel
Owner: Sherald and Diane Lee
Neighborhood Meeting: Held February 16, 2015
Public Noticing:

- sign posted March 19, 2015
- letters mailed TBD, 2015
- newspaper ad TBD, 2015

PROJECT LOCATION: The property is located at 510 W Main Street between an apartment building at 444 W Main Street and a commercial building at 510 W Main Street.

REQUEST: The applicant is requesting approval to rezone .75± acres located between apartment building at 444 W Main Street and commercial building at 510 W Main Street, in between Main St and the railroad tracks.

SITE DATA:

Acreage: 0.75± acres
Present Zoning: Residential-6 (R-6)
Proposed Zoning: Business-2 (B-2)
Existing Use: Vacant

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential-10 (R-10)
Existing Use: Single Family Residential and Railroad Tracks

South: Zoning: Residential-6 (R-6)
Existing Use: Single Family Residential

East: Zoning: Residential-6 (R-6)
 Existing Use: Apartments

West: Zoning: Business-2 (B-2)
 Existing Use: Office Building (Proctor’s Place)

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting approval for rezoning of the subject property from Single Family Residential 6 (R-6) to Neighborhood Business (B-2). The site is currently vacant.

The site is on Main Street and B-2 is a compatible zoning for this area. The applicant has indicated that if approved, the site would be developed as a parking lot for uses at the associated Proctor’s Place office complex. However, all uses permitted in the B-2 zoning district would be permitted if the site is rezoned. For example, the following uses are permitted by-right in B-2: Boarding House, Car Wash/Auto Detailing, Bank, Funeral Home, and Medical Office. This list represents some of the more intensive uses that may occur in B-2. Proctor’s Place office park is adjacent to this parcel, and represents another use (General Office) that is permitted and generally occurs in B-2.

Compatibility with Surrounding Land Uses

This property is currently a vacant lot that is being used as overflow parking for Proctor’s Place (zoned B-2), which is located to the site’s west. The railroad Right-Of-Way (ROW) on the north side of the site provides a natural barrier to the residential lots and cemetery that lie on the other side of the ROW. An apartment complex is on the east side. The site is bounded on the south by Main St, which means it is a high-visibility site. Residences are to the south of the site. Overall, B-2 is compatible with the surrounding uses, particularly since the site is on Main St.

The Unified Development Code provides certain protections for residential properties adjacent to commercial uses, primarily in the form of buffering. Adjacent properties could expect a minimum six foot visual screening from the property if developed as a commercial use. Landscaped buffers (Class B) would be required on all sides of the property except the west. (See §155.402(E)).

Access/Streets:

The property fronts on and is currently accessed from Main St. Access is not a problem.

Consistency with the Strategic Growth Plan

This rezoning is consistent with Objective 2.1, and while not consistent with the proposed land use map (it is shown as residential on the proposed land use map – see attached map), the growth of downtown and existing uses and zoning surrounding this property make B-2 an appropriate designation.

CONSIDERATIONS:

- The applicant is requesting a rezoning from R-6 to B-2.
 - Rezonings are decided by the Town Council. The Planning Board shall make a recommendation to the Town Council.
 - When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with an adopted plans and policies of the Town and explaining why the Council considers the action taken to be reasonable and in the public interest.
-

STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Proposed Land Use Map
- 4) Table 2.1 – allowed uses
- 5) Application
- 6) Neighborhood Meeting Materials (if available)
- 7) Statement of Consistency and Reasonableness



**14-126-01-RZ Proctor's Place East Parking Lot
Rezoning from R-6 to B-2**

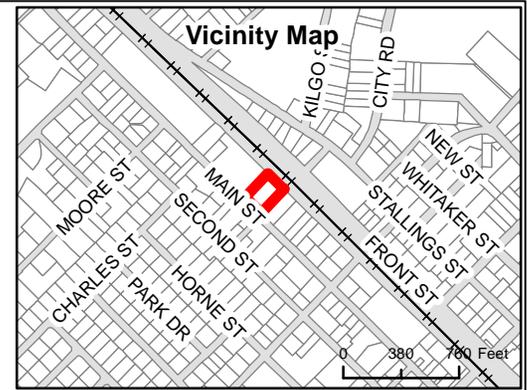
Applicant: Calvary Chapel
 Property Owner: Sherald and Donald Lee
 Parcel ID Number: 165916-94-0664
 Tag #: 05023036B

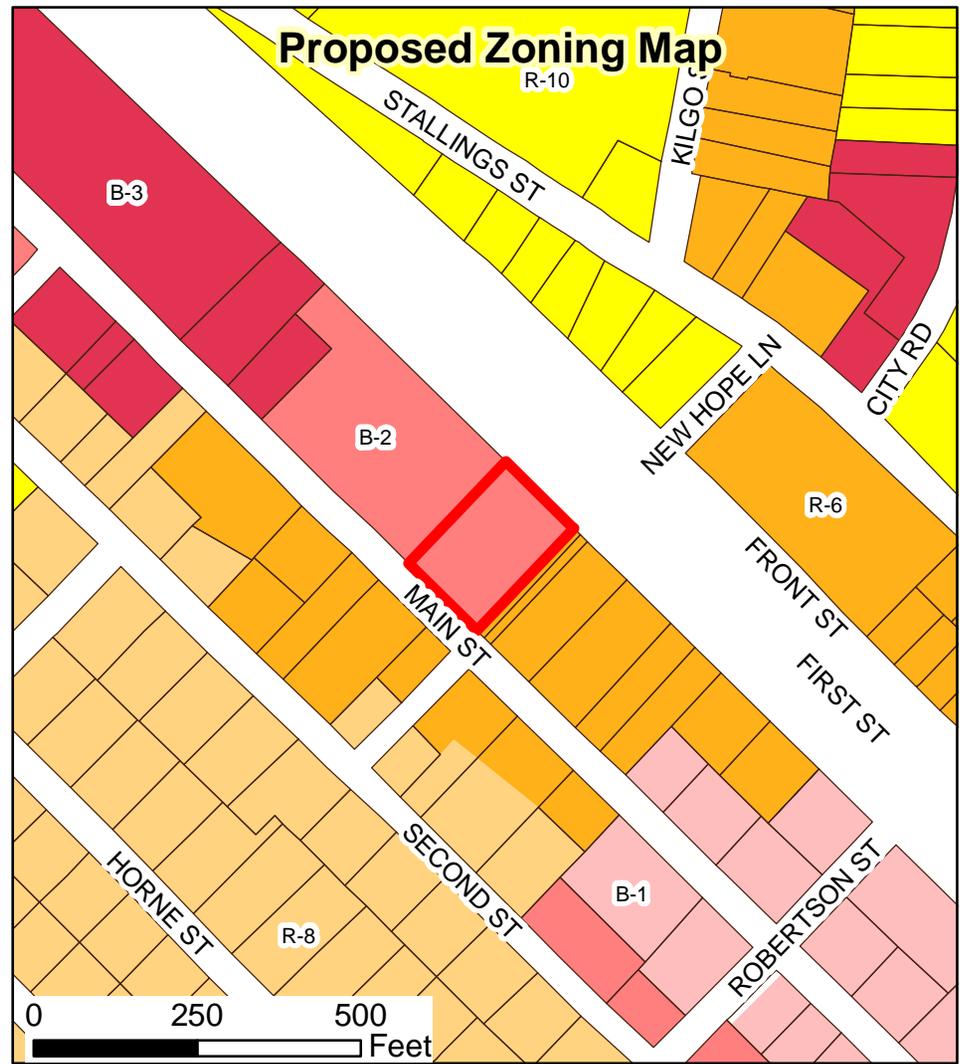
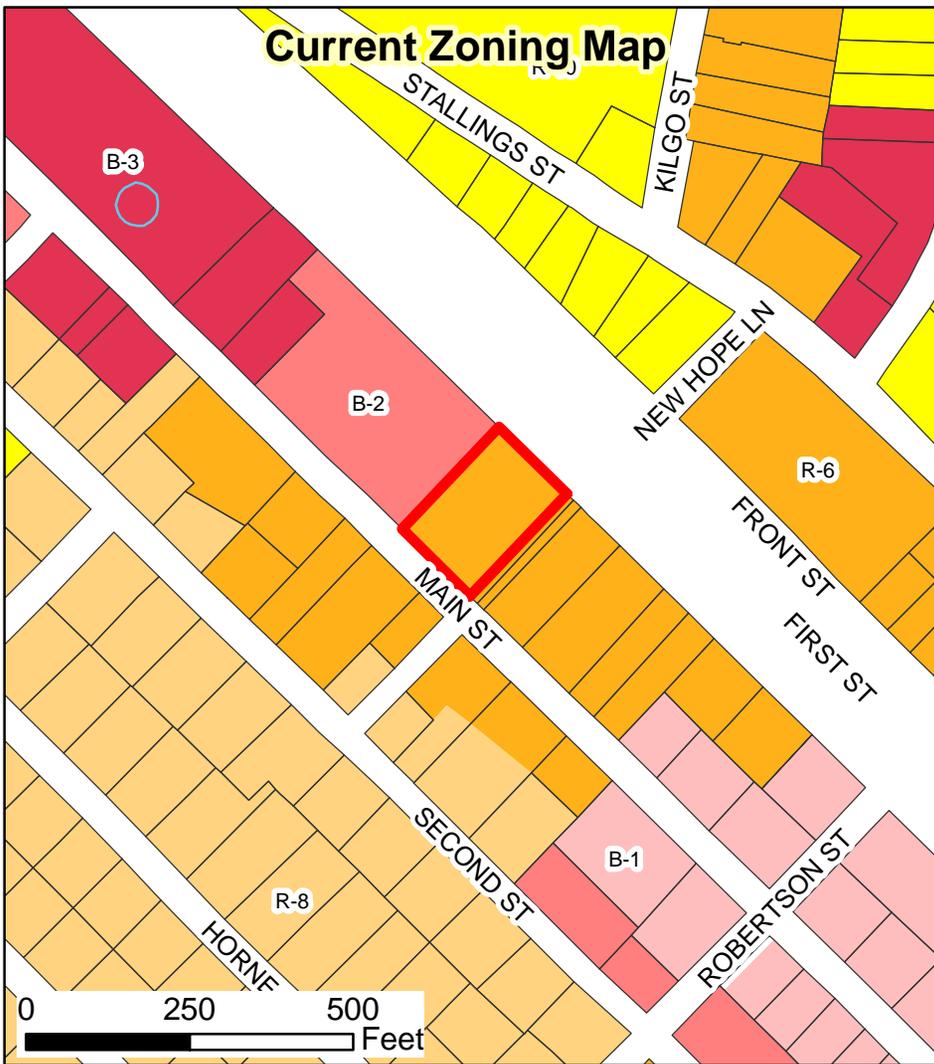
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015





**14-126-01-RZ Proctor's Place East Parking Lot
Rezoning from R-6 to B-2**

Applicant: Calvary Chapel
 Property Owner: Sherald and Donald Lee
 Parcel ID Number: 165916-94-0664
 Tag #: 05023036B

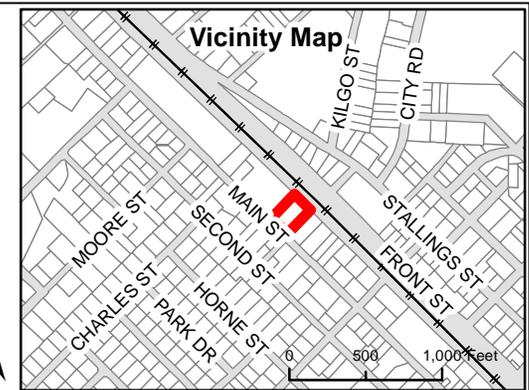
Produced by: TOC Planning
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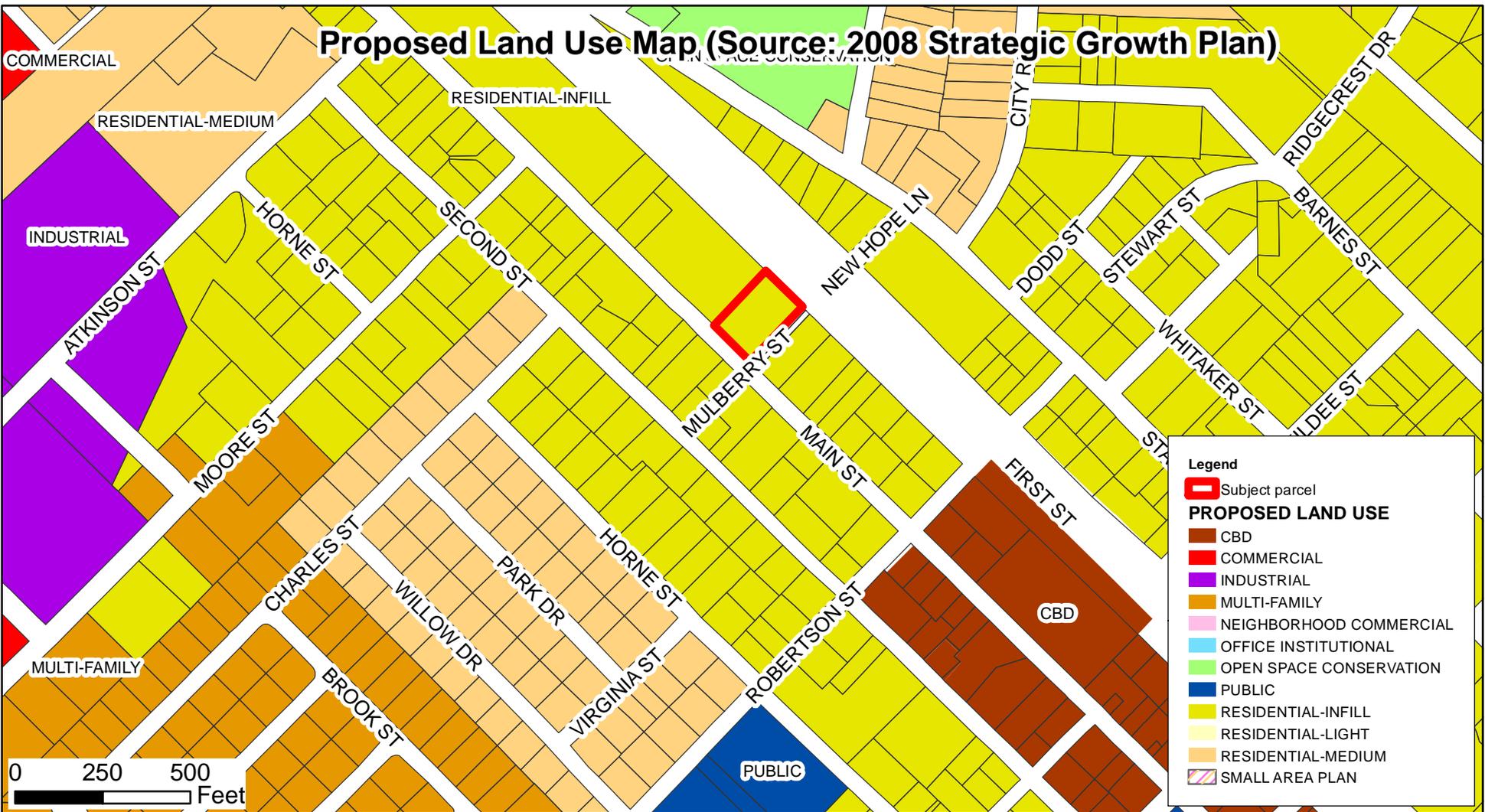


3/14/2015

Legend

- | | | | |
|--|-----------------|--|-------|
| | Subject parcels | | B-2 |
| | R-E | | B-3 |
| | R-10 | | PD-C |
| | R-8 | | I-1 |
| | R-6 | | I-2 |
| | PD-R | | O-I |
| | O-R | | PD-MU |
| | B-1 | | |





Proposed Land Use Map (Source: 2008 Strategic Growth Plan)

14-126-01-RZ Proctor's Place East Parking Lot Rezoning - R-6 to B-2

Applicant: Calvary Chapel
 Property Owner: Sherald and Donald Lee
 Parcel ID Number: 165916-94-0664
 Tag #: 05023036B

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

03/14/2015

Vicinity Map

0 500 1,000 Feet

Table 2-1 Use Regulations

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Residential Uses												
Adult Care Home (2-6 Adults)	P	P	P	P								\$155.301(A)
Adult Care Home (7-12 Adults)	S	S	S	S		C	S	S	S			\$155.301(A)
Adult Care Home (13+ Adults)						C	S	S	S			\$155.301(A)
Alley Loaded House		P	P	P								\$155.301(B)
Apartments		S	S	S	S	S	S	S	S			\$155.301(C)
Boarding House				C		P		P				\$155.301(D)
Child Care Home	C	C	C	C	C							\$155.301(E)
Manufactured Home	P											\$155.301(F)
Manufactured Home Park	S											\$155.301(G)
Nursing Home (Congregate Living Facility)	C			C		P		S	P			\$155.301(H)
Two family House		S	S	S	S							\$155.301(I)
Townhouse		S	S	S	S	S	S	S	S			\$155.301(J)
Security/Caretaker Quarters	C								C			\$155.301(K)
Single Family House	P	P	P	P								\$155.301(L)
Upper-story Residence	S	S	S	S	S	P	P	P	P			\$155.301(M)
Zero Lot Line House		P	P	P								\$155.301(N)
Public and Civic Uses												
Assembly, Not For Profit	S					P			P			\$155.302(A)
Cemetery	P								P			\$155.302(B)
Church or Place of Worship	C	C	C	C		C		C	C			\$155.302(C)
College or University						P						\$155.302(D)
Day Care (Supervision for 3-8)	C	C	C	C	C							\$155.302(E)
Day Care (Supervision for 9+)	C	C	C	C	C	P	P	C	P			\$155.302(E)
Government Service	S	S	S	S	P	P	P	P	P	P	P	\$155.302(F)
Hospital or Medical Center						P			P			\$155.302(G)
School (Elementary or Secondary)	S	S	S	S		S						\$155.302(H)
School (Technical, Trade or Business)	S	S	S	S		P	P		P	P	P	\$155.302(I)
Recreational Uses												
Entertainment, Indoor						C	C	C	P	P		\$155.303(A)
Entertainment, Outdoor									C	P		\$155.303(B)
Fitness Center						C	C	C	P	P		\$155.303(C)
Golf Course	P	P	P	P								\$155.303(D)
Gun Range							S	S	S	S	S	\$155.303(E)
Park, Active	S	S	S	S	S	S	S	S	S	S	S	\$155.303(F)
Park, Passive	C	C	C	C	P	P	C	C	C	C	C	\$155.303(G)
Stable, Private	P											\$155.303(H)
Agricultural Uses												
Agriculture, Livestock	C										C	\$155.304(A)
Agriculture, Sales and Service	P										C	\$155.304(B)
Nursery	P					P	P	C	P			\$155.304(C)
Commercial Uses												
Adult Oriented Business									S		S	\$155.305(A)
Bed and Breakfast	P					P	P	P	P			\$155.305(B)
Car Wash/Auto Detailing						C	C	P	P			\$155.305(C)
Contractor Office						C	C		P	P	P	\$155.305(D)
Contractor Storage Yard									C	C	P	\$155.305(E)
Convenience Store with Gas Sales							C	C	P	P	P	\$155.305(F)
Creative Studio					P	P	P	P	P			\$155.305(G)
Financial Institution					P	P	P	P	P			\$155.305(H)
Funeral Home				C	P	P	P	P	P			\$155.305(I)
Hotel/Motel						S	S	S	P			\$155.305(J)
Kennel	C							C				\$155.305(K)
Laundry Services							C		C	P	P	\$155.305(L)
Lounge, Cocktail							S		S	S	S	\$155.305(M)
Microbrewery							P		P	P	P	\$155.305(N)

Abridged Use Table, created: March 16, 2015
 Town of Clayton, NC

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Newspaper Publisher									P	P	P	\$155.305(O)
Office, General					P	P	P	P	P	P		\$155.305(P)
Office, Medical					P	P	P	P	P	P		\$155.305(Q)
Outdoor Seating/Sidewalk Cafe						C	P	C	C			\$155.305(R)
Pawn Shop									C	P		\$155.305(S)
Radio or Television Studio									P	P	P	\$155.305(T)
Restaurant, Drive-Through								C	C	C		\$155.305(U)
Restaurant, General						C	P	P	P	C		\$155.305(V)
Retail Sales, General							P		P			\$155.305(W)
Retail Sales, Neighborhood							P	P	P			\$155.305(X)
Self-storage Facility									C	P	P	\$155.305(Y)
Service, General							P		P			\$155.305(Z)
Service, Neighborhood							P	P	P			\$155.305(AA)
Tattoo Parlor									S			\$155.305(BB)
Towing Service and Storage									C	C	C	\$155.305(CC)
Vehicle Repair or Service									S	P	P	\$155.305(DD)
Vehicle Sales and Rental									P	P	P	\$155.305(EE)
Veterinary Clinic						C	C	C	P			\$155.305(FF)
Video Sweepstakes Operations										S		\$155.305(GG)
Industrial Uses												
Building Supplies, Wholesale									C	P	P	\$155.306(A)
Crematorium										P	P	\$155.306(B)
Gas and Fuel, Wholesale										P	P	\$155.306(C)
Laboratory, Research						P			P	P	P	\$155.306(D)
Manufacturing, Limited										P	P	\$155.306(E)
Manufacturing, General										C	P	\$155.306(F)
Manufacturing, Heavy											P	\$155.306(G)
Research and Development						P			P	P	P	\$155.306(H)
Warehouse, Freight Movement									C	P	P	\$155.306(I)
Utilities												
Recycling Center										P	P	\$155.307(A)
Renewable Energy Facility	S									C	P	\$155.307(B)
Telecommunication Facility	S	S	S	S	S	S	S	S	S	S	S	\$155.307(C)
Utility, Minor	P	P	P	P	P	P	P	P	P	P	P	\$155.307(D)
Utility, Major										P	P	\$155.307(E)
Waste Service										C	P	\$155.307(F)
Key:												
P – Permitted												
C – Conditional Use permitted in the zoning district only if approved by the Board of Adjustment (BOA) (§ 155.710)												
S – Special Use permitted in the zoning district only if approved by the Town Council (TC)) (§ 155.711)												

(Ord. 2005-11-02, passed 11-21-05; Am. Ord. 2007-05-02, passed 5-7-07; Am. Ord. 2009-06-06, passed 6-1-09; Am. Ord. 2009-08-03, passed 8-3-09; Am. Ord 2014-12-02, passed 12-1-14)



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.

If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.

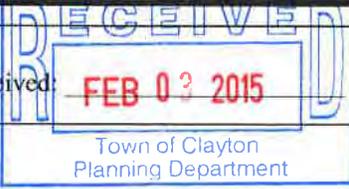
Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.

SITE INFORMATION:

Name of Project: PROCTOR'S PLACE Acreage of Property: .754
 Parcel ID Number: 165916-94-0664 Tax ID: Tag#: 05023036 B
 Deed Book: _____ Deed Page(s): _____
 Address: 510 W. MAIN ST. CLAYTON
 Location: BETWEEN APT. BUILDING @ 444 W. MAIN ST. & COMMERCIAL BLDG. @ 510 W. MAIN ST.
 Existing Use: Vacant Proposed Use: Parking
 Existing Zoning District: R-6
 Requested Zoning District: B-2
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: 14-126-01-RZ Date Received: FEB 03 2015 Amount Paid: 500.00



OWNER INFORMATION:

Name: SHERALD & DONALD LEE
Mailing Address: 2160 SHOTWELL RD. CLAYTON, N.C.
Phone Number: 919-553-5733 Fax: _____
Email Address: _____

APPLICANT INFORMATION:

Applicant: CALVARY CHAPEL
Mailing Address: 510 W. MAIN ST. SUITE #104 CLAYTON, N.C.
Phone Number: 919-359-0802 Fax: _____
Contact Person: KEVIN
Email Address: _____

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- A signed and sealed boundary survey (not more than a year old unless otherwise approved by the **Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

JUSTIFICATION STATEMENT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

Additional parking is needed to accompany the commercial building at 510 West Main Street.

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

yes

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

Property in question is an empty lot at this time and is zoned R-6

Request is being made to rezone this lot for use as B-2.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

Proposed plan will improve uses of

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

yes

5. It has been determined that the legal purposes for which zoning exists are not violated.

yes

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

yes

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

yes

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

SHERALD L. LEE
Print Name


Signature of Applicant

2-2-15
Date

PROC'S PLACE LLC
510 West Main Street
Clayton, N.C. 27520
919-553-5733

Date **FEB. 2, 15**

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: FEBRUARY 16, 2015

Location: 510 W. MAIN ST.

Time: 7:00 P.M.

Type of Application: ~~SPECIAL USE PERMIT~~ REZONING

General Description: CHANGE ZONING FROM R-6 TO B-2

If you have any questions prior to or after this meeting, you may contact us at **919-553-5733**

Sincerely, **SHERALD L. LEE**


Applicant

cc: Clayton Planning Dept.

Lots 1, 2, 3, 4, 5 and 6, Gower Estate property, Clayton

Prepared by and Hold for: Kristoff Law Offices, P.A. (No Title Examination)

Revenue Stamps: \$0

NORTH CAROLINA
JOHNSTON COUNTY

Parcel ID No.: 05023036

GENERAL WARRANTY DEED

THIS DEED made this 25th day of February, 2002, by and between PERCY YATES LEE, Trustee, PERCY YATES LEE, as Executor of the Estate of Lena F. Lee, PERCY YATES LEE and wife, JOYCE C. LEE, HUBERT L. LEE and wife, BONNIE Y. LEE, RAYMOND E. LEE and wife, JEAN LEE, CHARLES FRED LEE and wife, TEXIE LEE, and GEORGE R. LEE and wife, CATHY LEE, TED RICHARD LEE, a single person, and JOYCE L. BLACKLEY and husband, ERNEST L. BLACKLEY, TROY A. LEE, JR. and wife, TRACY LEE, ROY LEE and wife, DENISE LEE, and ERNEST L. LEE and wife, NOLA LEE, Grantor; and SHERALD L. LEE and wife, DIANE T. LEE, and DONALD G. LEE and wife, CONNIE Y. LEE, Grantee, whose address is 2098 Shotwell Road, Clayton, North Carolina 27520

(the designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.);

WITNESSETH:

THAT the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does give, grant, bargain, and convey unto the Grantee, that certain lot or parcel of land situated in the Town of Clayton, Clayton Township, Johnston County, North Carolina and more particularly described as follows:

Bounded on the northeast by Southern Railroad right-of-way, on the southeast by Mulberry Street, on the southwest by Main Street and BEGINNING at an iron stake in the northwestern right-of-way of Mulberry Street and the northeastern right-of-way of Main Street, where the two intersect and runs thence with Main Street, North 40-00 West 452.90 feet; thence North 48-16 East 150 feet; thence North 40-00 West 75 feet; thence North 48-16 East 53.38 feet to the Southern Railroad right-of-way; thence with the Southern Railroad right-of-way 534 feet to the right-of-way of Mulberry Street; thence with Mulberry Street, South 50-00 West 203.29 feet to the point of BEGINNING, shown and designated as Lots 1, 2, 3, 4, 5 and 6, all of said lots except Lot No. 1 having a frontage on Main Street of 75 feet and Lot No. 1 having a frontage of 77.19 feet according to a map of the Gower Estate property prepared by Ragsdale Engineers, to which map reference is made.

Charles Fred Lee (SEAL)
CHARLES FRED LEE

Texie C. Lee (SEAL)
TEXIE LEE

George R. Lee (SEAL)
GEORGE R. LEE

Cathy Lee (SEAL)
CATHY LEE

Ted Richard Lee (SEAL)
TED RICHARD LEE

Joyce L. Blackley (SEAL)
JOYCE L. BLACKLEY

Ernest Lee Blackley (SEAL)
ERNEST L. BLACKLEY

Troy A. Lee, Jr. (SEAL)
TROY A. LEE, JR.

Tracy Lee (SEAL)
TRACY LEE

Roy Lee (SEAL)
ROY LEE

Denise Lee (SEAL)
DENISE LEE

Ernest L. Lee (SEAL)
ERNEST L. LEE

Nola Lee (SEAL)
NOLA LEE

STATE OF NORTH CAROLINA
COUNTY OF JOHNSTON

I, the undersigned notary public, in and for the County and State aforesaid, do hereby certify that Troy A. Lee Jr. and Tracy Lee personally appeared before me this day and acknowledged the due execution of the foregoing instrument. Witness my hand and notarial stamp or seal on this the 21 of MAY, 2002.

Susan A. Canady
NOTARY PUBLIC

My commission expires 10-21-2002



STATE OF NORTH CAROLINA
COUNTY OF JOHNSTON

I, the undersigned notary public, in and for the County and State aforesaid, do hereby certify that Roy Lee and Denise Lee personally appeared before me this day and acknowledged the due execution of the foregoing instrument. Witness my hand and notarial stamp or seal on this the 21 of MAY, 2002.

Susan A. Canady
NOTARY PUBLIC

My commission expires 10-21-2002



STATE OF NORTH CAROLINA
COUNTY OF JOHNSTON

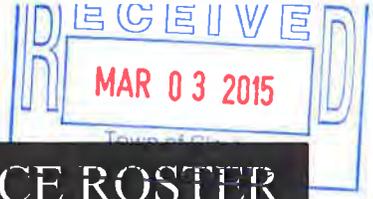
I, the undersigned notary public, in and for the County and State aforesaid, do hereby certify that Ernest L. Lee and Nola Lee personally appeared before me this day and acknowledged the due execution of the foregoing instrument. Witness my hand and notarial stamp or seal on this the 10th of MAY, 2002.

Denise Y. Sullivan
NOTARY PUBLIC

My commission expires 8/1/2006



State of North Carolina-Johnston County
The foregoing Certificate(s) of Susan A. Canady Denise Y. Sullivan
Susan A. Canady
Notary (Notaries), Public is (are) certified to be correct.
This instrument was prepared for registration and
recorded in Book 2255 Page 804
This 21 of MAY, 2002 at 1:36 PM
Cecil Mangin Mary Ball
Register of Deeds Deputy Register of Deeds



NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: SHERALD & DONALD LEE

Location/Date: 510 WEST MAIN ST CLAYTON 2-16-15

	NAME	ADDRESS
1	NO NAME <u>SHERALD</u>	
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 1

id: 05023036
Tag: 05023036
Tax Unique Id: 4225238
NCPin: 165916-84-8890
Mapsheets No: 165916
Owner Name 1: PROCS PLACE LLC
Owner Name 2:
Mail Address 1: 2160 SHOTWELL ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 03450
Page: 0493
Market Value: 1378880
Assessed Acreage: 1.54
Calc. Acreage: 1.66
Sales Price: 345000
Sale Date: 2007-11-19

Result 2

id: 05023014
Tag: 05023014
Tax Unique Id: 4223398
NCPin: 165916-84-7672
Mapsheets No: 165916
Owner Name 1: LONG, CHARLES LUCAS
Owner Name 2: LONG, HEATHER L
Mail Address 1: 5005 SATINWOOD DR
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-5895
Site Address 1: 517 W MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 03199
Page: 0732
Market Value: 48010
Assessed Acreage: 0.26
Calc. Acreage: 0.25
Sales Price: 0
Sale Date: 2006-09-15

Result 3

id: 05023015
Tag: 05023015
Tax Unique Id: 4223391
NCPin: 165916-84-7426
Mapsheets No: 165916
Owner Name 1: BOONE, VIRGIL E
Owner Name 2:
Mail Address 1: 3366 BARBER MILL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8571
Site Address 1: 513 W MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 00930
Page: 0418
Market Value: 51630
Assessed Acreage: 1
Calc. Acreage: 0.275
Sales Price: 0
Sale Date: 1983-01-01

Result 4

id: 05023016
Tag: 05023016
Tax Unique Id: 4156846
NCPin: 165916-84-7389
Mapsheets No: 165916
Owner Name 1: CASEY, PORTER JR
Owner Name 2: CASEY, TIMPLA
Mail Address 1: 326 PAGE ST
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-2452
Site Address 1: 505 W MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 04145
Page: 0171
Market Value: 111120
Assessed Acreage: 0.49
Calc. Acreage: 0.49
Sales Price: 70000
Sale Date: 2012-07-13

Result 5

id: 05023017
Tag: 05023017
Tax Unique Id: 4152677
NCPin: 165916-84-8367
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1:
Site Address 2:
Book: 01490
Page: 0926
Market Value: 68770
Assessed Acreage: 1
Calc. Acreage: 0.133
Sales Price: 0
Sale Date: 1996-01-16

Result 6

id: 05023021
Tag: 05023021
Tax Unique Id: 4166386
NCPin: 165916-84-9259
Mapsheet No: 165916
Owner Name 1: LEE, RAYMOND E
Owner Name 2: LEE, SHIRLEY B
Mail Address 1: 2117 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 01941
Page: 0258
Market Value: 64880
Assessed Acreage: 0.39
Calc. Acreage: 0.389
Sales Price: 85000
Sale Date: 2000-06-05

Result 7

id: 05023036A
Tag: 05023036A
Tax Unique Id: 4210364
NCPin: 165916-94-0530
Mapsheet No: 165916
Owner Name 1: LEE, SHERALD L
Owner Name 2: LEE, DIANE T
Mail Address 1: 2098 SHOTWELL ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book: 02869
Page: 0096
Market Value: 330
Assessed Acreage: 1
Calc. Acreage: 0.074
Sales Price: 0
Sale Date: 2005-03-29

Result 8

id: 05023035A
Tag: 05023035A
Tax Unique Id: 4166379
NCPin: 165916-94-0459
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1:
Site Address 2:
Book: 01505
Page: 0449
Market Value: 5940
Assessed Acreage: 1
Calc. Acreage: 0.073
Sales Price: 0
Sale Date: 1996-05-26

Result 9

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheets No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W B MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 10

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheets No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W D MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 11

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheets No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W C MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 12

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheets No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W F MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 13

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W A MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 14

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W H MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 15

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W G MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 16

id: 05023035
Tag: 05023035
Tax Unique Id: 4225231
NCPin: 165916-94-0483
Mapsheet No: 165916
Owner Name 1: LEE, DONALD G
Owner Name 2: LEE, CONNIE Y
Mail Address 1: 2099 SHOTWELL RD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8220
Site Address 1: 444 W E MAIN ST
Site Address 2: CLAYTON, NC 27520-
Book: 01490
Page: 0926
Market Value: 296870
Assessed Acreage: 0.4
Calc. Acreage: 0.409
Sales Price: 0
Sale Date: 1996-01-16

Result 17

id: 05030006
Tag: 05030006
Tax Unique Id: 4166557
NCPin: 165916-94-4684
Mapsheet No: 165916
Owner Name 1: HORNE MEMORIAL CHURCH
Owner Name 2:
Mail Address 1: 121 E SECOND ST ✓
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1:
Site Address 2:
Book:
Page:
Market Value: 103020
Assessed Acreage: 1.78
Calc. Acreage: 1.785
Sales Price: 0
Sale Date:

Result 18

id: 05030007
Tag: 05030007
Tax Unique Id: 4166558
NCPin: 165916-94-2862
Mapsheet No: 165916
Owner Name 1: NEW HOPE BAPTIST CHURCH
Owner Name 2:
Mail Address 1: ✓
Mail Address 2:
Mail Address 3:
Site Address 1:
Site Address 2:
Book: 00699
Page: 0579
Market Value: 182990
Assessed Acreage: 0.32
Calc. Acreage: 0.316
Sales Price: 0
Sale Date: 1970-01-01

Result 19

id: 05030073
Tag: 05030073
Tax Unique Id: 4223674
NCPin: 165916-94-2827
Mapsheet No: 165916
Owner Name 1: SCURATO, WHITNEY L ✓
Owner Name 2:
Mail Address 1: 701 W STALLINGS STREET
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 701 W STALLINGS ST
Site Address 2: CLAYTON, NC 27520-
Book: 03399
Page: 0151
Market Value: 73970
Assessed Acreage: 0.21
Calc. Acreage: 0.211
Sales Price: 104000
Sale Date: 2007-08-10

Result 20

id: 05030074
Tag: 05030074
Tax Unique Id: 4223675
NCPin: 165916-94-1858
Mapsheet No: 165916
Owner Name 1: JARMAN, SHELLY JEAN ✓
Owner Name 2:
Mail Address 1: 703 WEST STALLINGS STREET
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Site Address 1: 703 W STALLINGS ST
Site Address 2: CLAYTON, NC 27520-
Book: 02454
Page: 0919
Market Value: 74680
Assessed Acreage: 0.25
Calc. Acreage: 0.253
Sales Price: 52500
Sale Date: 2003-05-19

Result 21

id: 05030075
Tag: 05030075
Tax Unique Id: 4224570
NCPin: 165916-94-1905
Mapsheet No: 165916
Owner Name 1: KEPLEY, JAMES LAWRENCE ✓
Owner Name 2:
Mail Address 1: 705 W STALLINGS ST
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-1632
Site Address 1: 705 W STALLINGS ST
Site Address 2: CLAYTON, NC 27520-
Book: 03404
Page: 0087
Market Value: 36810
Assessed Acreage: 0.19
Calc. Acreage: 0.186
Sales Price: 0
Sale Date: 2007-08-20

TOWN OF CLAYTON

ZONING AMENDMENT

CONSISTENCY AND REASONABLENESS STATEMENT

14-126-01-RZ Proctor's Place Rezoning East Parking Lot

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- Objective 2.1 – Balanced Development/Investment: Old & New

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically **(insert specifics to case)**

The rezoning of this parcel is consistent and compatible with surrounding uses and zoning and is in an appropriate location for business-related uses

the above referenced zoning amendment is reasonable and in the public interest.

COUNCIL MOTION SHEET
ZONING ORDINANCE AMENDMENT
(Rezoning)

After considering the recommendations of the Planning Board and Planning Director, I move to **[approve OR deny]** **[Case #14-126-01-RZ – Proctor’s Place – East Parking Lot]**

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5f

Meeting Date: May 4, 2015

TITLE: Rezoning – 15-05-01-RZ - Horne Memorial Church

DESCRIPTION: Public Hearing regarding property located near Horne, Page, and Church Streets. Applicant is requesting approval to rezone three parcels (.71 acres) located on Church Street between Horne and Page from Residential-6 (R-6) to Office-Institutional (O-1).

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
4-20-15	Set Public Hearing for May 4, 2015	Staff Report Maps Application Consistency & Reasonableness Statement
5-4-15	Public Hearing	Staff Report Maps Application Consistency & Reasonableness Statement Motion Form



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-1545
 Fax: 919-553-1720

Planning Board
 March 23, 2015

STAFF REPORT

Application Number: 15-05-01-RZ
Project Name: Horne Memorial Rezoning

NC PIN / Tag #: 166917-02-3423/05015059, 166917-02-2346/05015060, 166917-02-2480/05015060A
Town Limits/ETJ: Town Limits
Overlay: NA
Applicant: True Line Surveying
Owner: Horne Memorial United Methodist Church

Neighborhood Meeting: Held January 21, 2015

Public Noticing:

- sign posted March 19,, 2015
- letters mailed TBD, 2015
- newspaper ad TBD, 2015

PROJECT LOCATION: The property is located near Horne, Page, and Church Streets, on the same block at Town Hall. See inset map.

REQUEST: The applicant is requesting approval to rezone three parcels (0.71 acres) located on Church Street between Horne and Page from Residential-6 (R-6) to Office-Institutional (O-I).

SITE DATA:

Acreage: 0.714 acres
 Present Zoning: Residential-6 (R-6)
 Proposed Zoning: Office-Institutional (O-I)
 Existing Use: Church, church daycare, and church offices.



ADJACENT ZONING AND LAND USES:

North:	Zoning:	Office-Institutional (O-I)/Business-1 (B-1)
	Existing Use:	Clayton Center/Town of Clayton Library & Event Venue (the Wagner House)
South:	Zoning:	Residential-6 (R-6)
	Existing Use:	Single Family Residential
East:	Zoning:	Residential-6 (R-6)
	Existing Use:	Single Family Residential, Women’s Club
West:	Zoning:	Residential-6 (R-6)/Office-Institutional (O-I)
	Existing Use:	Single Family Residential/Clayton Center

STAFF ANALYSIS AND COMMENTARY:**Overview**

The applicant is requesting approval for rezoning of the subject parcels from Residential-6 (R-6) to Office-Institutional (O-I). The site is currently used for church and church-related activities. The three parcels occupy approximately 0.714 acres, and include the historic Horne Memorial Church, the church daycare, and some church-related office space in an existing residential house (the Lassiter House).

The Horne Memorial Church is an urban church that the town has grown up around. The applicant is looking to rezone these parcels in preparation of recombination of the three parcels; the daycare playground (in particular) is on a nonconforming lot. Rezoning and recombining the parcels on this block would allow the Church to accommodate their future needs for this part of their operations, reduce the non-conformity of the lot, and place the church into a more appropriate zoning district. A church is permitted in both the existing and proposed zoning district, but staff feels that the O-I district is a better fit for this church and its associated uses, particularly given its location immediately adjacent to the Clayton Center.

Currently allowed uses, either by right or as a conditional use in R-6 (the current zoning on the property), include most types of residential uses, Adult Care Home (potentially up to 12 adults), Nursing Home, Boarding House, Church, Daycare, School, Park, and Funeral Home. Office-Institutional (O-I) zoning allows for uses that are common in office buildings, such as Boarding House, Nursing Home, Daycare, Bed and Breakfast, Funeral Home, Financial Institution, General and Medical Offices, and Research Laboratories, among some other less common uses. Even though offices are only permitted as primary uses in O-I, they are allowed in R-6 as accessory uses for the Church. Self-storage Facilities are not allowed as a primary use in either zoning district.

Compatibility with Surrounding Land Uses

The site is located on the boundary between office, event-space, and public uses (library) to the north, and the historic, downtown single-family residential neighborhood to the south. Further to the north is the business core of downtown Clayton. The Church shares the block with Town Hall, which is also an office-type use that hosts events at somewhat regular intervals. The Church and Town Hall are very compatible uses to share a block, and

serve as an appropriate step-down in intensity between the bustle of the downtown business district to the north and the less intensive residential area to the south.

Access/Streets:

The property has adequate access, being bounded on three sides by two-way streets. Most parking occurs on-street or in nearby public parking lots.

Consistency with the Strategic Growth Plan

This rezoning is consistent with the 2008 Strategic Growth Plan; see Goal 2.1.

CONSIDERATIONS:

- The applicant is requesting a rezoning from R-6 to O-I.
 - Rezoning decisions are made by the Town Council. The Planning Board shall make a recommendation to the Town Council.
 - When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with adopted plans and/or policies of the Town and explaining why the Council considers the action taken to be reasonable and in the public interest.
-

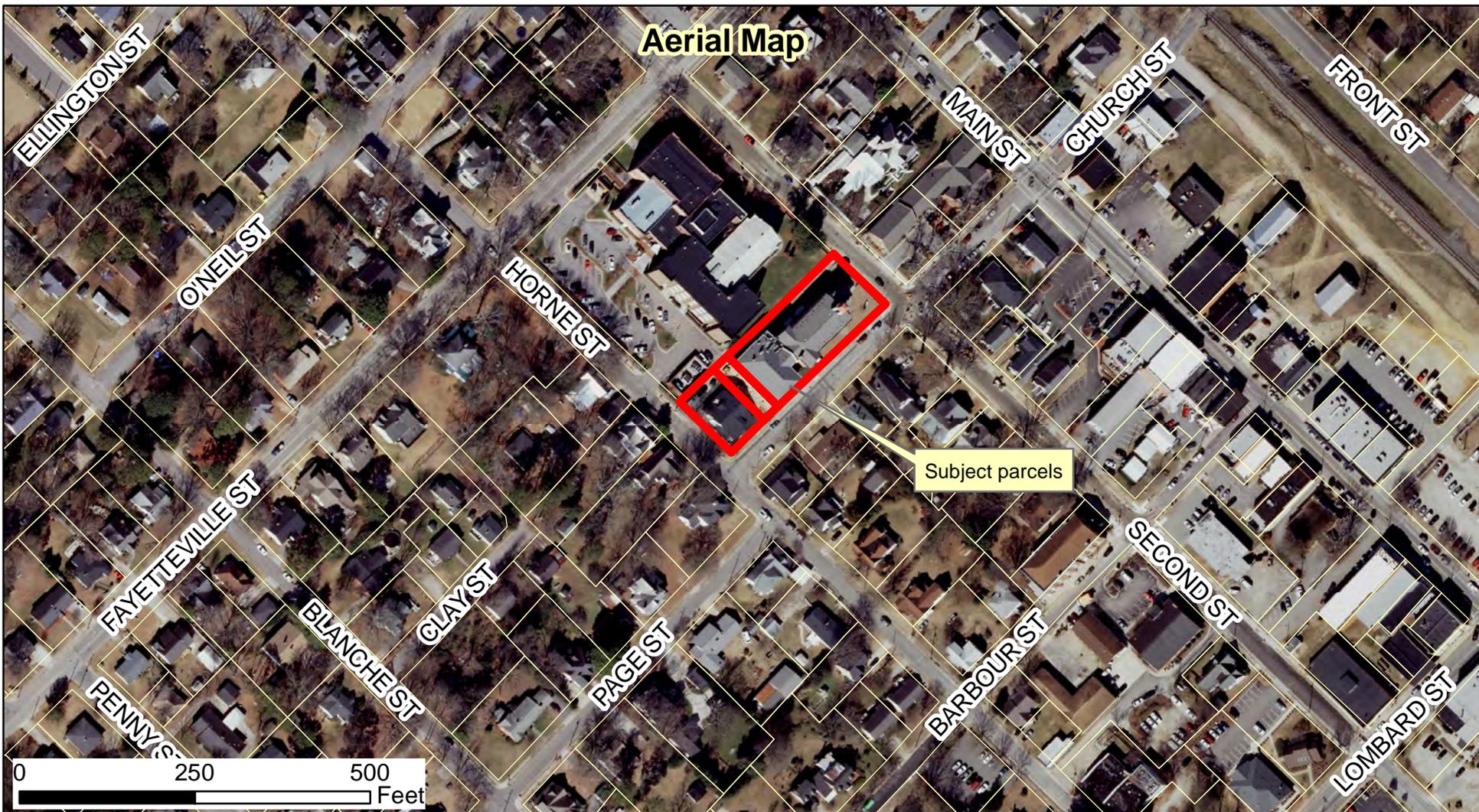
STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning of these three parcels.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Proposed Land Use Map
- 4) Table 2.1 – allowed uses
- 5) Application
- 6) Neighborhood Meeting Materials – original
- 7) Neighborhood Meeting Materials – Planning Dept. response
- 8) Neighborhood Meeting Materials – applicant-corrected minutes
- 9) Statement of Consistency and Reasonableness



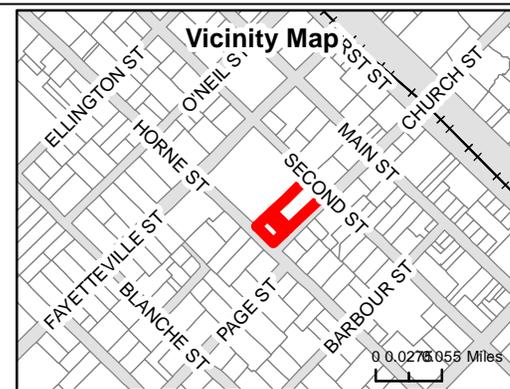
15-05-01-RZ Horne Memorial Rezoning Rezoning from R-6 to O-I

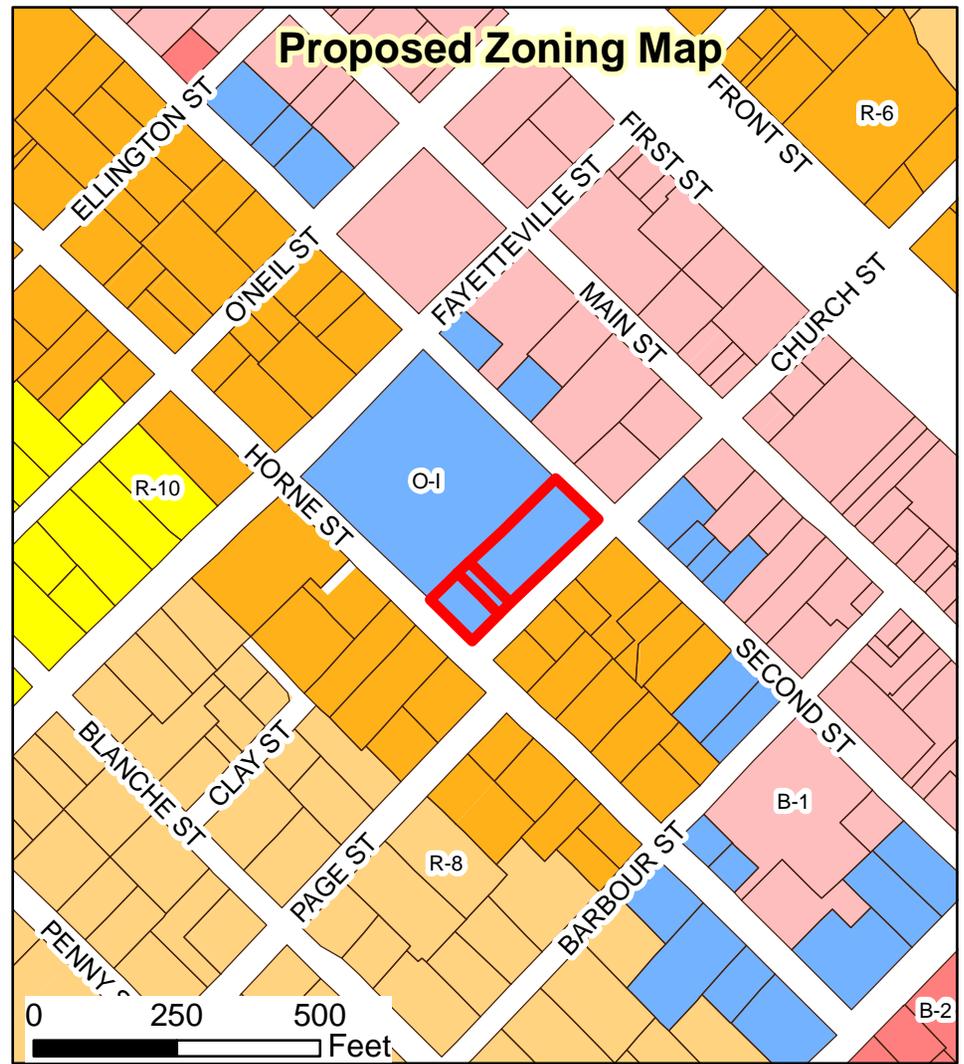
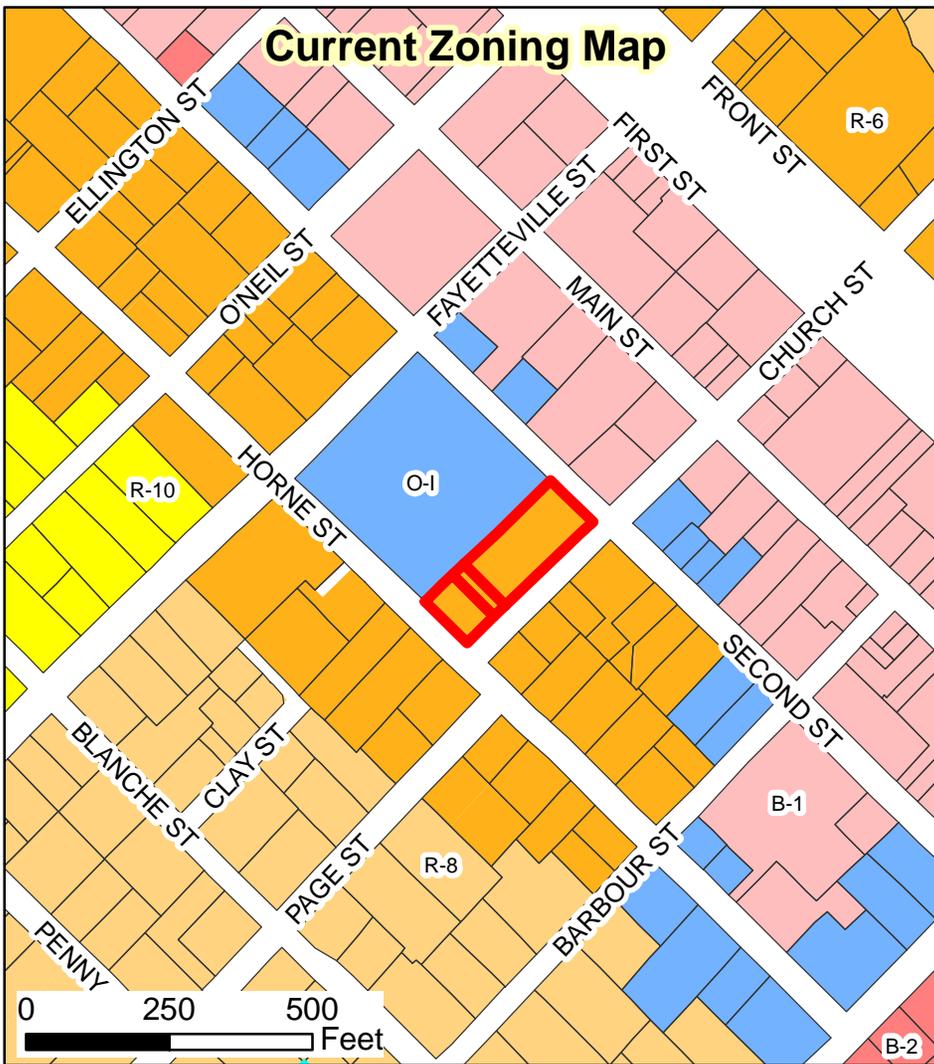
Applicant: True Line Surveying
 Property Owner: Horne Memorial United Methodist Church
 Parcel ID Number: 166917-02-3423, 166917-02-2480, 166917-02-2346
 Tag #: 05015059, 05015060A, 05015060

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015





15-05-01-RZ Horne Memorial Rezoning Rezoning from R-6 to O-I

Applicant: True Line Surveying
 Property Owner: Horne Memorial United Methodist Church
 Parcel ID Number: 166917-02-3423, 166917-02-2480, 166917-02-2346
 Tag #: 05015059, 05015060A, 05015060

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



3/14/2015

Legend

- | | |
|--|--|
| Subject parcels | B-2 |
| R-E | B-3 |
| R-10 | PD-C |
| R-8 | I-1 |
| R-6 | I-2 |
| PD-R | O-I |
| O-R | PD-MU |
| B-1 | |

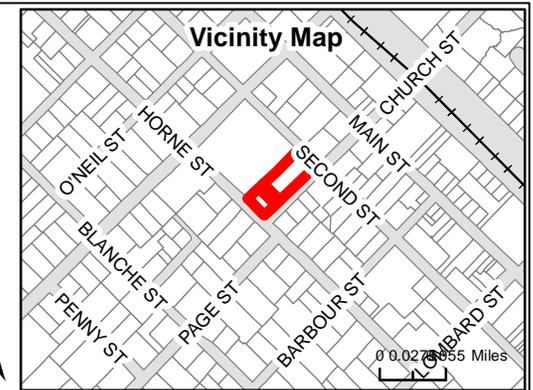


Table 2-1 Use Regulations

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Residential Uses												
Adult Care Home (2-6 Adults)	P	P	P	P								\$155.301(A)
Adult Care Home (7-12 Adults)	S	S	S	S		C	S	S	S			\$155.301(A)
Adult Care Home (13+ Adults)						C	S	S	S			\$155.301(A)
Alley Loaded House		P	P	P								\$155.301(B)
Apartments		S	S	S	S	S	S	S	S			\$155.301(C)
Boarding House				C		P		P				\$155.301(D)
Child Care Home	C	C	C	C	C							\$155.301(E)
Manufactured Home	P											\$155.301(F)
Manufactured Home Park	S											\$155.301(G)
Nursing Home (Congregate Living Facility)	C			C		P		S	P			\$155.301(H)
Two family House		S	S	S	S							\$155.301(I)
Townhouse		S	S	S	S	S	S	S	S			\$155.301(J)
Security/Caretaker Quarters	C								C			\$155.301(K)
Single Family House	P	P	P	P								\$155.301(L)
Upper-story Residence	S	S	S	S	S	P	P	P	P			\$155.301(M)
Zero Lot Line House		P	P	P								\$155.301(N)
Public and Civic Uses												
Assembly, Not For Profit	S					P			P			\$155.302(A)
Cemetery	P								P			\$155.302(B)
Church or Place of Worship	C	C	C	C		C		C	C			\$155.302(C)
College or University						P						\$155.302(D)
Day Care (Supervision for 3-8)	C	C	C	C	C							\$155.302(E)
Day Care (Supervision for 9+)	C	C	C	C	C	P	P	C	P			\$155.302(E)
Government Service	S	S	S	S	P	P	P	P	P	P	P	\$155.302(F)
Hospital or Medical Center						P			P			\$155.302(G)
School (Elementary or Secondary)	S	S	S	S		S						\$155.302(H)
School (Technical, Trade or Business)	S	S	S	S		P	P		P	P	P	\$155.302(I)
Recreational Uses												
Entertainment, Indoor						C	C	C	P	P		\$155.303(A)
Entertainment, Outdoor									C	P		\$155.303(B)
Fitness Center						C	C	C	P	P		\$155.303(C)
Golf Course	P	P	P	P								\$155.303(D)
Gun Range							S	S	S	S	S	\$155.303(E)
Park, Active	S	S	S	S	S	S	S	S	S	S	S	\$155.303(F)
Park, Passive	C	C	C	C	P	P	C	C	C	C	C	\$155.303(G)
Stable, Private	P											\$155.303(H)
Agricultural Uses												
Agriculture, Livestock	C										C	\$155.304(A)
Agriculture, Sales and Service	P										C	\$155.304(B)
Nursery	P					P	P	C	P			\$155.304(C)
Commercial Uses												
Adult Oriented Business									S		S	\$155.305(A)
Bed and Breakfast	P					P	P	P	P			\$155.305(B)
Car Wash/Auto Detailing						C	C	P	P			\$155.305(C)
Contractor Office						C	C		P	P	P	\$155.305(D)
Contractor Storage Yard									C	C	P	\$155.305(E)
Convenience Store with Gas Sales							C	C	P	P	P	\$155.305(F)
Creative Studio					P	P	P	P	P			\$155.305(G)
Financial Institution					P	P	P	P	P			\$155.305(H)
Funeral Home				C	P	P	P	P	P			\$155.305(I)
Hotel/Motel						S	S	S	P			\$155.305(J)
Kennel	C							C				\$155.305(K)
Laundry Services							C		C	P	P	\$155.305(L)
Lounge, Cocktail							S		S	S	S	\$155.305(M)
Microbrewery							P		P	P	P	\$155.305(N)

Abridged Use Table, created: March 16, 2015
 Town of Clayton, NC

Use Type	Zoning Districts											Specific Use Section
	Residential				Nonresidential							
	R-E	R-10	R-8	R-6	O-R	O-I	B-1	B-2	B-3	I-1	I-2	
Newspaper Publisher									P	P	P	\$155.305(O)
Office, General					P	P	P	P	P	P		\$155.305(P)
Office, Medical					P	P	P	P	P	P		\$155.305(Q)
Outdoor Seating/Sidewalk Cafe						C	P	C	C			\$155.305(R)
Pawn Shop									C	P		\$155.305(S)
Radio or Television Studio									P	P	P	\$155.305(T)
Restaurant, Drive-Through								C	C	C		\$155.305(U)
Restaurant, General						C	P	P	P	C		\$155.305(V)
Retail Sales, General							P		P			\$155.305(W)
Retail Sales, Neighborhood							P	P	P			\$155.305(X)
Self-storage Facility									C	P	P	\$155.305(Y)
Service, General							P		P			\$155.305(Z)
Service, Neighborhood							P	P	P			\$155.305(AA)
Tattoo Parlor									S			\$155.305(BB)
Towing Service and Storage									C	C	C	\$155.305(CC)
Vehicle Repair or Service									S	P	P	\$155.305(DD)
Vehicle Sales and Rental									P	P	P	\$155.305(EE)
Veterinary Clinic						C	C	C	P			\$155.305(FF)
Video Sweepstakes Operations										S		\$155.305(GG)
Industrial Uses												
Building Supplies, Wholesale									C	P	P	\$155.306(A)
Crematorium										P	P	\$155.306(B)
Gas and Fuel, Wholesale										P	P	\$155.306(C)
Laboratory, Research						P			P	P	P	\$155.306(D)
Manufacturing, Limited										P	P	\$155.306(E)
Manufacturing, General										C	P	\$155.306(F)
Manufacturing, Heavy											P	\$155.306(G)
Research and Development						P			P	P	P	\$155.306(H)
Warehouse, Freight Movement									C	P	P	\$155.306(I)
Utilities												
Recycling Center										P	P	\$155.307(A)
Renewable Energy Facility	S									C	P	\$155.307(B)
Telecommunication Facility	S	S	S	S	S	S	S	S	S	S	S	\$155.307(C)
Utility, Minor	P	P	P	P	P	P	P	P	P	P	P	\$155.307(D)
Utility, Major										P	P	\$155.307(E)
Waste Service										C	P	\$155.307(F)
Key:												
P – Permitted												
C – Conditional Use permitted in the zoning district only if approved by the Board of Adjustment (BOA) (§ 155.710)												
S – Special Use permitted in the zoning district only if approved by the Town Council (TC)) (§ 155.711)												

(Ord. 2005-11-02, passed 11-21-05; Am. Ord. 2007-05-02, passed 5-7-07; Am. Ord. 2009-06-06, passed 6-1-09; Am. Ord. 2009-08-03, passed 8-3-09; Am. Ord 2014-12-02, passed 12-1-14)



updated appl.

Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Application fee: Standard Rezoning: \$500.00
Rezoning to Planned Development District: \$1,000.00 + \$5.00 acre
All fees are due when the application is submitted.

Note on Planned Developments: Requests to rezone to a Planned Development District must be accompanied by a Master Plan submittal. Master Plans are approved as Preliminary Subdivision Plats – please submit a concurrent Preliminary Subdivision Plat application and Master Plan.

SITE INFORMATION

Name of Project: Horne Memorial Acreage of Property: 0.7143
County Tag Number: 05015059,05015060A,05015060 NC PIN: 166917-02-3423,166917-02-2480
Address/Location: Horne, Page St., Church St. (Pin: 166917-02-2346)

Existing Zoning District: R-6

Proposed Zoning District: O-1

Is project within an Overlay District? No
 Yes (list): _____

APPLICANT INFORMATION

Applicant: True Line Surveying
Mailing Address: 205 W. Main St., Clayton, NC
Phone Number: 919-359-0427 Fax: 919-359-0428
Contact Person: Curk Lane
Email Address: curk@truelinesurveying.com

FOR OFFICE USE ONLY
Date Received: FEB 23 2015 Amount Paid: pd w/ orig. submission. File Number: 15-05-01-RZ

January 2015

Page 1 of 10

PROPERTY OWNER INFORMATION

Name: Horne Memorial United Methodist Church

Mailing Address: PO Box 475, Clayton, NC

Phone Number: _____ Fax: _____

Email Address: _____

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

Rezoning from R-6 to O&I to use property for church related use

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Rezoning application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i>					
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$500 for standard rezoning OR \$1,000 + \$5.00/acre for Planned Developments)	<input checked="" type="checkbox"/>				
3. Completed application	<input checked="" type="checkbox"/>				
4. Owner's Consent Form <i>Required if applicant is not property owner.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	<input type="checkbox"/>				
6. <i>If property to be rezoned is a portion of a parcel:</i>					
- Property legal description typed (10 pt. font or greater). The legal description must also be submitted electronically in Microsoft Word format.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
- Plat showing property to be rezoned, matching legal description.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	<input checked="" type="checkbox"/>				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>			Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.		
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town – thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	<input checked="" type="checkbox"/>				

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

- 1. Consistency with the adopted plans of the Town.

~~Yes, church use is an allowed use under current zoning. Changing to O&I is better suited for future expansion.~~

- 2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

~~Portion of property is currently being used for church use, other portion is vacant for future use.~~

- 3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

~~The church is expanding and office and parking needs already exist.~~

- 4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

~~All streets and utilities are in place.~~

5. It has been determined that the legal purposes for which zoning exists are not violated.

~~Yes~~

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

~~Yes. Church is expanding and no land left on the block it currently uses.~~

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

~~No. Not to the detriment of the general public.~~

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Molly Herring
Print Name

Molly Herring
Signature of Applicant

2/23/15
Date

January 2015

Page 4 of 10

ADJACENT PROPERTY OWNERS LIST

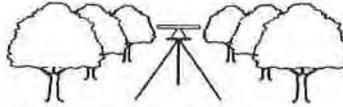
Project Name: Horne Memorial

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
166913-02-1690	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
166917-02-5398	LOCKLEAR, HARVEY D LOCKLEAR, KAREN D	205 E 2ND ST ,CLAYTON, NC 27520-2461
166917-02-5434	TORMEY, ANDREW PATRICK	308 CHERRY LAUREL DR, Clayton, NC 27527
166917-02-4302	THOMPSON, WILLIAM A	217 S CHURCH ST, CLAYTON, NC 27520
166917-02-3256	SOUTH FAYETTEVILLE STREET LLC	603 SOUTH FAYETTEVILLE STREET CLAYTON, NC 27520
166917-02-0390	TORCHIANO, DOROTEA	123 HORNE STREET CLAYTON, NC 27520
166917-02-4225	WILLIAMS, MARGARET M	210 E HORNE ST CLAYTON, NC 27520
166913-02-6512	WOMANS CLUB - CLAYTON	109 S CHURCH ST., CLAYTON, NC 27520
166913-02-5850	AVENT, MCGOWEN	PO BOX 395, BRIDGETON, NC 28519
166917-02-3423	HORNE MEMORIAL METHODIST CHRCH	PO BOX 475 CLAYTON, NC 27528

TRUE LINE SURVEYING, P.C.



February 23, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a rezoning application to rezone 3 lots owned by Horne Memorial United Methodist Church at the corners of Horne, Page and Church Streets from R-6 to O&I. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: March 10, 2015

Location: True Line Surveying, 205 W. Main Street Clayton

Time: 6:00 PM

Type of Application: Rezoning

General Description: rezone 3 lots owned by Horne Memorial United Methodist Church at the corners of Horne, Page and Church Streets from R-6 to O&I

If you have any question prior to or after this meeting, you may contact True Line Surveying at (919) 359-0427.

Sincerely,

Curk T. Lane
True Line Surveying

*** DISCLAIMER ***
Johnston County assumes no legal responsibility for the information represented here.



Scale: 1:2266 - 1 in. = 188.8 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: True Line Surveying

Location/Date: 205 W. Main St. Clayton, NC 1/21/15

	NAME	ADDRESS
1	Kristy Dean	207 E. Horne St. Clayton
2	Margaret Canady	315 Page St., Clayton
3	Robin & Craig Pulley	334 Page St., Clayton
4	Susan & Dwayne Mullins	323 Page St., Clayton
5	Jason & Angle Sutphin	331 Page St., Clayton
6	Jay McLeod	Town Planning Dept.
7	Ross Carter	Horne Memorial UMC
8	Margaret Williams	210 E. Horne St., Clayton
9	Bill Ogle	Horne UMC
10	Bill Brewer	Horne UMC
11	Porter Timpla Casey	326 Page St., Clayton
12	Anthony & Courtney Garich	224 E. Horne St., Clayton
13	Kay Moy	505 W. Main St., Clayton
14	Dorotea Torchiano	123 E. Horne St., Clayton
15	Bill Irwin	2914 Jack Rd., Clayton
16		
17		
18		
19		
20		

1/21/15

Horne Meeting

Name	Address	Phone
Kristy Dean	207E. Hornest.	919-369-3463
Margaret & Camady	315 Page St	919-553-657
Robin Puley	334 Page St	919-946-7340
Craig Puley	334 Page St.	919-946-7343
Susan & Dwayne Mullins	323 Page St.	919-417-0045
Jason / Angie Stpin	331 Page St	919-333-8893
JAY McLEOD	TOWN PLANNING DEPT.	jwmclead@townofclayton.org
Ross Carter	Horne Memorial UMC	ross@horneumc.net
Margaret Williams	210E Horne	919-608-0245
Bill Ogle	Horne UMC	919-390-8334
Bill Brewer	" "	919-801-2892
Porter Timpa William Casey	326 Page St	919-395-2607
ANTHONY & COURTNEY GARCIA	224 E. HORNE	919-601-2141
KAY MOY	505W. Main	919-801-0728
Darotea Torchiano	123 E Horne St	347-331-984
BILL IRWIN	2914 JACK RD. CLAYTON	314 PAGE ST.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: True Line Surveying

Location/Date: 205 W. Main St. Clayton, NC 3/10/15

	NAME	ADDRESS
1	Ross Carter	Horne Memorial UMC
2	Dorotea Torchiano	123 E. Horne St., Clayton
3	Bill Irwin	2914 Jack Rd., Clayton
4	Jessica Schwab	314 Page St., Clayton
5	Susan & Dwayne Mullins	323 Page St., Clayton
6	Bobby Parker	2052 Walden Way, Clayton
7	Michael Grannis	507 E. Second St., Clayton
8	Bob Satterfield	2045 Walden Way, Clayton
9		
10		
11		
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14		
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Horne Memorial Church Meeting
3-10-15 6:00pm

ROSS CARTER - HORNE UMC, 121 E. SECOND ST,

Dorothea Torchiano - 123 E Horne St

Bill Irwin - Home 2914 Jack Rd. (314 Page St. Clayton 27520

Jessica Schwab 314 Page street Clayton, NC 27520

Susan & Dwayne Mullins 323 Page St. Clayton NC 27520

Bobby Parker 2052 Warden Way Clayton 27527

MICHAEL GRANNIS 507 E. SECOND ST. CLAYTON 27520

BOB SATTERFIELD 2045 WARDEN WAY CLAYTON 27527

Jay McLeod

From: Jay McLeod
Sent: Wednesday, March 18, 2015 12:28 PM
To: Molly Herring (molly@truelinesurveying.com)
Cc: Curk Lane (curk@truelinesurveying.com); David DeYoung; Rebecca Powers; Emily Beddingfield
Subject: FW: Horne Memorial, Minutes Insufficient
Attachments: Neighborhood Meeting.pdf

Hi Molly,

The attached, submitted minutes for the neighborhood meetings for the Horne Memorial rezoning applications (15-05-01-RZ and 15-05-02-RZ) are insufficient and do not meet the spirit or requirements of the Code. I was at the first meeting, and I have two pages of handwritten notes detailing issues raised by residents and neighbors. The two sentences in this attachment that describe the meeting hardly do justice to the meeting or the residents and applicants. It might even be argued that the submitted minutes intentionally misrepresent the discussions that have taken place. These minutes will be submitted as statements of fact to the Planning Board and Town Council, as well as scrutinized by the residents that attended these meetings, and must represent to the best of all of our abilities a factual accounting of what has transpired.

In addition to sign-in sheets (which are part of your submission and do meet the requirement), sufficient minutes will have a record of what issues were raised, how they were addressed by the applicant, and what (if any) resolution was agreed upon. I am also aware that a rendering was presented at the March neighborhood meeting. Any presented or discussed materials should also be part of the submitted minutes.

Planning Board agenda packets are going out today. Please resubmit sufficient minutes ASAP.

Thanks,

Jay McLeod, AICP

Planner

Town of Clayton

111 East Second Street | PO Box 879 | Clayton, NC 27528

P (919)359-9335 | F (919)553-1720

jwmcLeod@townofclaytonnc.org

From: Molly Herring [<mailto:molly@truelinesurveying.com>]

Sent: Wednesday, March 18, 2015 10:22 AM

To: Jay McLeod

Subject: RE: Horne Memorial

Neighborhood Meeting

Molly Herring

True Line Surveying

205 West Main St.

Clayton, NC 27520

919-359-0427

919-359-0428 Fax

From: Jay McLeod [<mailto:jwmcleod@townofclaytonnc.org>]
Sent: Monday, March 16, 2015 12:39 PM
To: 'Molly Herring'
Subject: RE: Horne Memorial

Hi Molly,
The schedule for the Horne Memorial rezoning applications is below:

15-05-01-RZ Horne Memorial rezoning

Rezoning to O-I for the three parcels owned by Horne Memorial Church, that include the Church, the playground/daycare lot behind it, and the office/house on the same block.

Applicant: Curk Lane, True Line Surveying

Planning Board will make a recommendation to approve or deny the request, and the request will move on to the Town Council March 23rd workshop and April 6th meeting for decision.

15-05-02-RZ Horne Memorial rezoning

Rezoning to O-I for the two parcels owned by Horne Memorial Church, in the residential neighborhood generally south of the Church.

Applicant: Curk Lane, True Line Surveying

Planning Board will make a recommendation to approve or deny the request, and the request will move on to the Town Council March 23rd workshop and April 6th meeting for decision.

Everything seems to be moving along. Please send over the neighborhood meeting minutes (from both meetings) as soon as you all are able. Thanks a bunch.

Please let me know if there's anything else,

Jay McLeod
Ext. 5405
919-359-9335

From: Molly Herring [<mailto:molly@truelinesurveying.com>]
Sent: Monday, March 16, 2015 12:03 PM
To: Jay McLeod
Subject: Horne Memorial

Hey Jay,
Are there any other meetings for Horne besides the March 23 planning board meeting?

Thanks,

Molly Herring
True Line Surveying
205 West Main St.
Clayton, NC 27520
919-359-0427
919-359-0428 Fax



This email is free from viruses and malware because [avast! Antivirus](#) protection is active.

Horne Memorial UMC

Neighborhood Meeting Summary

03-18-2015

Neighborhood meeting held on 01-21-15 was well attended. Many discussion topics of concern were brought up as follows;

What will happen to existing house – Neighbors want to keep it and the Church is deciding if it can be saved, used or needs to be taken down.

What kind of building will be done on the lots – Neighbors are concerned about parking on the lots and how it affects their property, such as lights from headlights, screening required how many spaces. The Church is still trying to decide what can be built on the lots and have no immediate plans.

Why does the Church need to rezone the properties – Neighbors want to keep the zoning the same and the Church wants to rezone because the future use will not be residential in nature but will be a combination of uses best described by O/I zoning. Once the rezoning is complete then the Church will know what is an allowed use and what the setbacks and buffer requirements are.

Discussions also were had on how the Church came about owning the property and why they did not see a for sale sign on the lots. The property was offered for sale and the Church purchased them from the owners with the hopes for future use to serve the Church's needs for the community.

Concerned with how changing the use of these lots will affect the neighborhood. Neighbors want it to stay as is. Church is a part of same community and expressed its desire to better serve the community it needs to be able to change and grow just like the houses do around them.

Property value was discussed but a consensus was not determined.

Needs for the Church to expand were discussed as mix of parking, office use and storage.

The conclusion from the neighbors is that the lots need to stay as are and let the Church expand elsewhere as any parking would not be in keeping with surroundings. Church would like to stay a part of the neighborhood and would like to be able to grow and change as the need arises.

TOWN OF CLAYTON

ZONING AMENDMENT

CONSISTENCY AND REASONABLENESS STATEMENT

15-05-01-RZ Horne Memorial Church Rezoning I

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- Objective 2.1 – Balanced Development/Investment: Old & New

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically **(insert specifics to case)**

The rezoning and recombination of these three parcels will allow this urban Church to continue to meet the needs of their constituents and is consistent with the uses on this block (which includes Town Hall) and serves as the border between the more intense uses in downtown and the less intense uses in the historic, residential neighborhood to the south of Horne Street

the above referenced zoning amendment is reasonable and in the public interest.

COUNCIL MOTION SHEET
ZONING ORDINANCE AMENDMENT
(Rezoning)

After considering the recommendations of the Planning Board and Planning Director, I move to **[approve OR deny]** **[Case #15-05-01-RZ - Horne Memorial Church Rezoning I]**

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet .

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6a

Meeting Date: May 4, 2015

TITLE: FY 2014-2015 Audit Contract

DESCRIPTION: Mr. Robert McKie will be present to answer any questions regarding the attached Audit Contract. It is requested that Council authorize/approve execution of the contract.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
5-4-15	Approval of Contract	Contract

CONTRACT TO AUDIT ACCOUNTS

Of Town of Clayton, NC

Governmental Unit and Discretely Presented Component Unit (DPCU) if applicable

On this 2nd day of April, 2015,

Auditor: Anderson Smith & Wike PLLC

Auditor Mailing Address: P.O. Box 697, Rockingham, NC 28380

Hereinafter referred to as The Auditor

and The Town Council

(Governing Board (s)) of Town of Clayton, NC

: hereinafter referred to as the Governmental Unit (s), agree as follows:

Governmental Unit (s)

1. The Auditor shall audit all statements and disclosures required by generally accepted accounting principles (GAAP) and additional required legal statements and disclosures of all funds and/or divisions of the Governmental Unit (s) for the period beginning July 1, 2014, and ending June 30, 2015. The non-major combining, and individual fund statements and schedules shall be subjected to the auditing procedures applied in the audit of the basic financial statements and an opinion will be rendered in relation to (as applicable) the governmental activities, the business-type activities, the aggregate DPCU's, each major governmental and enterprise fund, and the aggregate remaining fund information (non-major government and enterprise funds, the internal service fund type, and the fiduciary fund types).

2. At a minimum, the Auditor shall conduct his/her audit and render his/her report in accordance with generally accepted auditing standards. The Auditor shall perform the audit in accordance with *Government Auditing Standards* if required by the State Single Audit Implementation Act, as codified in G.S. 159-34. If required by OMB Circular A-133 Audits of States, Local Governments, and Non-Profit Organizations and the State Single Audit Implementation Act, the Auditor shall perform a Single Audit. This audit and all associated workpapers may be subject to review by Federal and State agencies in accordance with Federal and State laws, including the staffs of the Office of State Auditor (OSA) and the Local Government Commission (LGC). If the audit and/or workpapers are found in this review to be substandard, the results of the review may be forwarded to the North Carolina State Board of CPA Examiners (NC CPA Board).

County and Multi-County Health Departments: The Office of State Auditor will designate certain programs that have eligibility requirements to be considered major programs in accordance with OMB Circular A-133 for the State of North Carolina. The LGC will notify the auditor and the County and Multi-Health Department of these programs. A County or a Multi-County Health Department may be selected to audit any of these programs as major.

3. If an entity is determined to be a component of another government as defined by the group audit standards - the entity's auditor will make a good faith effort to comply in a timely manner with the requests of the group auditor in accordance with AU-6 §600.41 - §600.42.

4. This contract contemplates an unqualified opinion being rendered. The audit shall include such tests of the accounting records and such other auditing procedures as are considered by the Auditor to be necessary in the circumstances. Any limitations or restrictions in scope which would lead to a qualification should be fully explained in an attachment to this contract.

5. If this audit engagement is subject to the standards for audit as defined in *Government Auditing Standards*, 2011 revisions, issued by the Comptroller General of the United States, then by accepting this engagement, the Auditor warrants that he has met the requirements for a peer review and continuing education as specified in *Government Auditing Standards*. The Auditor agrees to provide a copy of their most recent peer review report regardless of the date of the prior peer review report to the Governmental Unit and the Secretary of the LGC prior to the execution of the audit contract (See Item 22). **If the audit firm received a peer review rating other than pass**, the Auditor shall not contract with the Governmental Unit without first contacting the Secretary of the LGC for a peer review analysis that may result in additional contractual requirements.

If the audit engagement is not subject to Government Accounting Standards or if financial statements are not prepared in accordance with GAAP and fail to include all disclosures required by GAAP, the Auditor shall provide an explanation as to why in an attachment.

6. It is agreed that time is of the essence in this contract. All audits are to be performed and the report of audit submitted to the State and Local Government Finance Division (SLGFD) within four months of fiscal year end. Audit report is due on: October 31, 2015. If it becomes necessary to amend this due date or the audit fee, an amended contract along with a written explanation of the delay must be submitted to the Secretary of the LGC for approval.

Contract to Audit Accounts (cont.) Town of Clayton, NC

Name of Governmental Unit and Discretely Presented Component Unit's (DPCU) if applicable

7. It is agreed that generally accepted auditing standards include a review of the Governmental Unit's systems of internal control and accounting as same relates to accountability of funds and adherence to budget and law requirements applicable thereto; that the Auditor will make a written report, which may or may not be a part of the written report of audit, to the Governing Board setting forth his findings, together with his recommendations for improvement. That written report must include all matters defined as "significant deficiencies and material weaknesses" in AU-C 265 of the *AICPA Professional Standards (Clarified)*. The Auditor shall file a copy of that report with the Secretary of the LGC.
8. All local government and public authority contracts for audit or audit-related work require the approval of the Secretary of the LGC. This includes annual or special audits, agreed upon procedures related to internal controls, bookkeeping or other assistance necessary to prepare the Governmental Unit's records for audit, financial statement preparation, any finance-related investigations, or any other audit-related work in the State of North Carolina. **Invoices for services rendered under these contracts shall not be paid by the Governmental Unit until the invoice has been approved by the Secretary of the LGC.** (This also includes any progress billings.) [G.S. 159-34 and 115C-447] All invoices for Audit work must be submitted by email in PDF format to the Secretary of the LGC for approval. The invoices must be sent to: lgc.invoice@nctreasurer.com. Subject line should read "Invoice – [Unit Name]. The PDF invoice marked 'approved' with approval date will be returned by email to the Auditor to present to the Governmental Unit for payment. Approval is not required on contracts and invoices for system improvements and similar services of a non-auditing nature.
9. In consideration of the satisfactory performance of the provisions of this contract, the Governmental Unit shall pay to the Auditor, upon approval by the Secretary of the LGC, the following fee, which includes any cost the Auditor may incur from work paper or peer reviews or any other quality assurance program required by third parties (Federal and State grantor and oversight agencies or other organizations) as required under the Federal and State Single Audit Acts:

Year-end bookkeeping assistance – [For audits subject to Government Auditing Standards, this is limited to bookkeeping services permitted by revised Independence Standards] at standard hourly rates

Audit \$21,000 - \$22,000 not to exceed \$22,000

Preparation of the annual financial statements \$7,000 - \$8,000 not to exceed \$8,000

Prior to submission of the completed audited financial report, applicable compliance reports and amended contract (if required) the Auditor may submit invoices for approval for services rendered, not to exceed 75% of the total of the stated fees above. If the current contracted fee is not fixed in total, invoices for services rendered may be approved for up to 75% of the prior year audit fee. The 75% cap for interim invoice approval for this audit contract is \$ ^{22,500} **** NA if no interim billing**

10. If the Governmental Unit has outstanding revenue bonds, the Auditor shall include documentation either in the notes to the audited financial statements or as a separate report submitted to the SLGFD along with the audit report, a calculation demonstrating compliance with the revenue bond rate covenant. Additionally, the Auditor should be aware that any other bond compliance statements or additional reports required in the authorizing bond documents need to be submitted to the SLGFD simultaneously with the Governmental Unit's audited financial statements unless otherwise specified in the bond documents.
11. After completing the audit, the Auditor shall submit to the Governing Board a written report of audit. This report shall include but not be limited to the following information: (a) Management's Discussion and Analysis, (b) the financial statements and notes of the Governmental Unit and all of its component units prepared in accordance with GAAP, (c) supplementary information requested by the client or required for full disclosure under the law, and (d) the Auditor's opinion on the material presented. The Auditor shall furnish the required number of copies of the report of audit to the Governing Board as soon as practical after the close of the accounting period.
12. If the audit firm is required by the NC CPA Board or the Secretary of the LGC to have a pre-issuance review of their audit work, there must be a statement added to the engagement letter specifying the pre-issuance review including a statement that the Governmental Unit will not be billed for the pre-issuance review. The pre-issuance review must be performed **prior** to the completed audit being submitted to the LGC. The pre-issuance report must accompany the audit report upon submission to the LGC.
13. The Auditor shall electronically submit the report of audit to the LGC when (or prior to) submitting the invoice for services rendered. The report of audit, as filed with the Secretary of the LGC, becomes a matter of public record for inspection, review and copy in the offices of the SLGFD by any interested parties. Any subsequent revisions to these reports must be sent to the Secretary of the LGC. These audited financial statements are used in the preparation of official statements for debt offerings (the Auditors' opinion is not included) by municipal bond rating services to fulfill secondary market disclosure requirements of the Securities and Exchange Commission and other lawful purposes of the Governmental Unit without subsequent consent of the

Town of Clayton, NC

Contract to Audit Accounts (cont.)

Name of Governmental Unit and Discretely Presented Component Unit's (DPCU) if applicable

Auditor. If it is determined by the LGC that corrections need to be made to the Governmental Unit's financial statements, they should be provided within three days of notification unless, another time frame is agreed to by the LGC.

If the OSA designates certain programs to be audited as major programs, as discussed in item #2, a turnaround document and a representation letter addressed to the OSA shall be submitted to the LGC.

The LGC's process for submitting contracts, audit reports and Invoices is subject to change. Auditors should use the submission process in effect at the time of submission. The most current instructions will be found on our website: <https://www.nctreasurer.com/slg/lfm/forms-instructions/Pages/Annual-Audit-Forms-and-Resources.aspx>

14. Should circumstances disclosed by the audit call for a more detailed investigation by the Auditor than necessary under ordinary circumstances, the Auditor shall inform the Governing Board in writing of the need for such additional investigation and the additional compensation required therefore. Upon approval by the Secretary of the LGC, this contract may be varied or changed to include the increased time and/or compensation as may be agreed upon by the Governing Board and the Auditor
15. If an approved contract needs to be varied or changed for any reason, the change must be made in writing, signed and dated by all parties and pre-audited if the change includes a change in audit fee. This document and a written explanation of the change must be submitted by email in PDF format to the Secretary of the LGC for approval. The portal address to upload your amended contract and letter of explanation documents is <http://nctreasurer.slgfd.leapfile.net> No change shall be effective unless approved by the Secretary of the LGC, the Governing Board, and the Auditor.
16. Whenever the Auditor uses an engagement letter with the Governmental Unit, Item #17 is to be completed by referencing the engagement letter and attaching a copy of the engagement letter to the contract to incorporate the engagement letter into the contract. In case of conflict between the terms of the engagement letter and the terms of this contract, the terms of this contract will control. Engagement letter terms are deemed to be void unless the conflicting terms of this contract are specifically deleted in Item #23 of this contract. Engagement letters containing indemnification clauses will not be approved by the LGC.
17. Special provisions should be limited. Please list any special provisions in an attachment. *See Attached Engagement letter*
18. A separate contract should not be made for each division to be audited or report to be submitted. If a DPCU is subject to the audit requirements detailed in the Local Government Budget and Fiscal Control Act and a separate audit report is issued, a separate audit contract is required. If a separate report is not issued and the DPCU is included in the primary government audit, the DPCU must be named along with the parent government on this audit contract. Signatures from the DPCU Board chairman and finance officer also must be included on this contract.
19. The contract must be executed, pre-audited, physically signed by all parties including Governmental Unit and Auditor signatures and submitted in PDF format to the Secretary of the LGC. The current portal address to upload your contractual documents is <http://nctreasurer.slgfd.leapfile.net> Electronic signatures are not accepted at this time. Included with this contract are instructions to submit contracts and invoices for approval as of April, 2014. These instructions are subject to change. Please check the NC Treasurer's web site at www.nctreasurer.com for the most recent instructions.
20. The contract is not valid until it is approved by the LGC Secretary. The staff of the LGC shall notify the Governmental Unit and Auditor of contract approval by email. The audit should not be started before the contract is approved.
21. There are no other agreements between the parties hereto and no other agreements relative hereto that shall be enforceable unless entered into in accordance with the procedure set out herein and approved by the Secretary of the LGC.
22. Municipal & County Contracts: The Auditor acknowledges that any private employer transacting business in this State who employs 25 or more employees in this State must, when hiring an employee to work in the United States, use E Verify to verify the work authorization of the employee in accordance with N.C.G.S. §64 26(a). The Auditor acknowledges further that any such private employer and its subcontractors must comply with all of the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes (North Carolina's E-verify law), and that such private employer has a duty under the law to ensure compliance by its subcontractors. The Auditor further acknowledges that this contract is of the type governed by S.L. 2013-418, which makes it unlawful for a local government to enter into certain types of contracts unless the contractor and its subcontractors comply with North Carolina's E-verify law, and that failure to comply with such law could render this contract void. The Auditor hereby covenants, warrants and represents for itself and its subcontractors that with respect to this contract the Auditor and its subcontractors shall comply with the provisions of North Carolina's E-verify law and that failure to comply with such law shall be deemed a breach of this contract and may render this contract void.
23. All of the above paragraphs are understood and shall apply to this contract, except the following numbered paragraphs shall be deleted: (See Item 16 for clarification).

Contract to Audit Accounts (cont.) Town of Clayton, NC

Name of Governmental Unit and Discretely Presented Component Unit's (DPCU) if applicable

Communication regarding audit contract requests for modification or official approvals will be sent to the email addresses provided in the spaces below.

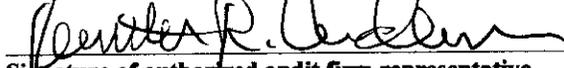
Audit Firm Signature:

Anderson Smith & Wike PLLC

Name of Audit Firm

By Kenneth R. Anderson

Authorized Audit firm representative name: Type or print



Signature of authorized audit firm representative

krandersoncpa@bellsouth.net

Email Address of Audit Firm:

Date 4-2-2015

Governmental Unit Signatures:

By Jody McLeod - Mayor

Mayor / Chairperson: Type or print name and title

Signature of Mayor/Chairperson of governing board

Date _____

By _____
DPCU Chairperson: Type or print name and title

Signature of Chairperson of DPCU if applicable

Date _____

Unit Signatures (continued):

By N/A
Chair of Audit Committee - Type or print name

N/A **
Signature of Audit Committee Chairperson

Date N/A
** If Governmental Unit has no audit committee, this section should be marked "N/A."

PRE-AUDIT CERTIFICATE: Required by G.S. 159-28 (a)

This instrument has been preaudited in the manner required by The Local Government Budget and Fiscal Control Act or by the School Budget and Fiscal Control Act. Additionally, the following date is the date this audit contract was approved by the governing body.

By Robert McKie

Governmental Unit Finance Officer: Type or print name

Finance Officer Signature

rmckie@townofclayton.org

Email Address of Finance Officer

Date _____
(Pre-audit Certificate **must be dated.**)

Date Governing Body Approved Audit Contract - G.S. 159-34(a)

Board Approval Date – Primary Government

Board Approval Date - DPCU



SYSTEM REVIEW REPORT

To the Partners of Anderson, Smith & Wike, PLLC and the
Peer Review Committee of the North Carolina Association
of Certified Public Accountants

We have reviewed the system of quality control for the accounting and auditing practice of Anderson, Smith & Wike, PLLC (the firm) in effect for the year ended March 31, 2013. Our peer review was conducted in accordance with the Standards for Performing and Reporting on Peer Reviews established by the Peer Review Board of the American Institute of Certified Public Accountants. As part of our peer review, we considered reviews by regulatory entities, if applicable, in determining the nature and extent of our procedures. The firm is responsible for designing a system of quality control and complying with it to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. Our responsibility is to express an opinion on the design of the system of quality control and the firm's compliance therewith based on our review. The nature, objectives, scope, limitations of, and the procedures performed in a System Review are described in the standards at www.aicpa.org/prsummary.

As required by the standards, engagements selected for review included engagements performed under *Government Auditing Standards* and audits of employee benefit plans.

In our opinion, the system of quality control for the accounting and auditing practice of Anderson, Smith & Wike, PLLC in effect for the year ended March 31, 2013, has been suitably designed and complied with to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. Firms can receive a rating of *pass*, *pass with deficiency(ies)* or *fail*. Anderson, Smith & Wike, PLLC has received a peer review rating of *pass*.

Koonce, Wooten & Haywood, LLP

Koonce, Wooten & Haywood, LLP

July 9, 2013

Raleigh
4060 Barrett Drive
Post Office Box 17806
Raleigh, North Carolina 27619

919 782 9265
919 783 8937 FAX

Durham
3511 Shannon Road
Suite 100
Durham, North Carolina 27707

919 354 2584
919 489 8183 FAX

Pittsboro
10 Sanford Road
Post Office Box 1399
Pittsboro, North Carolina 27312

919 542 6000
919 542 5764 FAX



220 East Washington Street
Post Office Box 697
Rockingham, North Carolina 28380
(910) 895-2899

Other Office Locations:
Seven Lakes, North Carolina
Gastonia, North Carolina
Statesville, North Carolina

April 2, 2015

Town of Clayton
P.O. Box 296
Robbins, NC 27325

This attachment to "Contract To Audit Accounts" (LGC-205) is intended to further clarify certain provisions of the Contract.

We will audit the general purpose financial statements of the Town of Clayton as of and for the year ended June 30, 2015. In addition we will subject the Town of Clayton's Schedule of Expenditures of Federal and State Awards to the auditing procedures applied in our audit of the general purpose financial statements. However, the documents issued by the Town of Clayton for the year ended June 30, 2015 may include additional information which will not be subject to the auditing procedures applied in our audit of the general purpose financial statements, and for which our auditors' report will disclaim an opinion.

Audit Objectives

The objective of our audit is the expression of an opinion as to whether your general purpose financial statements are fairly presented, in all material respects, in conformity with generally accepted accounting principles and to report on the fairness of the additional information referred to in the first paragraph when considered in relation to the general purpose financial statements taken as a whole. The objective also includes reporting on:

- Internal control related to the financial statements and compliance with laws, regulations, and the provisions of contracts or grant agreements, noncompliance with which could have a material effect on the financial statements in accordance with *Government Auditing Standards*.
- Internal control related to major programs and an opinion (or disclaimer of opinion) on compliance with laws, regulations, and the provisions of contracts or grant agreements that could have a direct and material effect on each major program in accordance with the Single Audit Act Amendments of 1996, OMB Circular A-133, *Audits of States, Local Governments, and Non-Profit Organizations*, and the State Single Audit Implementation Act.

The reports on internal control and compliance will each include a statement that the report is intended for the information and use of the governing body or management, federal and state awarding agencies and, if applicable, pass-through entities and is not intended to be and should not be used by anyone other than these specified parties.

Our audit will be conducted in accordance with generally accepted auditing standards; the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States; the Single Audit Act Amendments of 1996; the provisions of OMB Circular A-133, and the State Single Audit Implementation Act and will include tests of accounting records, a determination of major program(s) in accordance with Circular A-133 and the State Single Audit Implementation Act, and other procedures we consider necessary to enable us to express such an opinion and to render the required reports. If our opinion on the general purpose financial statements or the single audit compliance opinion is other than unqualified, we will fully discuss the reasons with you in advance. If, for any reason, we are unable to complete the audit or are unable to form or have not formed an opinion, we may decline to express an opinion or to issue a report as a result of this engagement.

In connection with our single audit, we will test the types of compliance requirements described in OMB Circular A-133 and the *Audit Manual for Governmental Auditors in North Carolina*, issued by the Local Government Commission that are in effect as of the date of this contract. If significant changes are made to either of these documents after the date of the contract, we will discuss with you their effect on the audit and quoted fees.

Management Responsibilities

Management is responsible for establishing and maintaining internal control and for compliance with the provisions of contracts, agreements, and grants. In fulfilling this responsibility, estimates and judgments by management are required to assess the expected benefits and related costs of the controls. The objectives of internal control are to provide management with reasonable, but not absolute, assurance that assets are safeguarded against loss from unauthorized use or disposition, that transactions are executed in accordance with management's authorizations and recorded properly to permit the preparation of general purpose financial statements in accordance with generally accepted accounting principles, and that federal award programs are managed in compliance with applicable laws and regulations and the provisions of contracts and grant agreements.

Management is responsible for making all financial records and related information available to us. We understand that you will provide us with such information required for our audit and that you are responsible for the accuracy and completeness of that information. We will advise you about appropriate accounting principles and their application and will assist in the preparation of your financial statements, including the schedule of expenditures of federal awards, but the responsibility for the financial statements remains with you. That responsibility includes the establishment and maintenance of adequate records and effective internal control over financial reporting and compliance, the selection and application of accounting principles, and the safeguarding of assets. Management is responsible for adjusting the financial statements to correct material misstatements and for confirming to us in the representation letter that the effects of any uncorrected misstatements aggregated by us during the current engagement and pertaining to the latest period presented are immaterial, both individually and in the aggregate, to the financial statements taken as a whole. You are responsible for the design and implementation of programs and controls to prevent and detect fraud, and for informing us about all known or suspected fraud affecting the government involving (a) management, (b) employees who have significant roles in internal control, and (c) others where the fraud could have a material affect on the financial statements. You are also responsible for informing us of your knowledge of any allegations of fraud or suspected fraud affecting the government received in communications from employees, former employees, regulators, or others. In addition, you are responsible for identifying and ensuring that the entity complies with applicable laws and regulations. Additionally, as required by OMB Circular A-133, it is management's responsibility to follow up and take corrective action on reported audit findings and to prepare a summary schedule of prior audit findings and a corrective action plan. The summary schedule of prior audit findings should be available for our review on June 30, 2015.

Audit Procedures - General

An audit includes examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements; therefore, our audit will involve judgment about the number of transactions to be examined and the areas to be tested. Also, we will plan and perform the audit to obtain reasonable, rather than absolute, assurance about whether the financial statements are free of material misstatement whether caused by error or fraud. As required by the Single Audit Act Amendments of 1996, OMB Circular A-133, and the State Single Audit Implementation Act, our audit will include tests of transactions related to major federal and state assistance programs for compliance with applicable laws and regulations and the provisions of contracts and grant agreements. However, because an audit is designed to provide reasonable but not absolute assurance and because we will not perform a detailed examination of all transactions, there is a risk that material errors, fraud, other illegal acts or noncompliance may exist and not be detected by us. In addition, an audit is not designed to detect immaterial errors, fraud, or other illegal acts that do not have a direct effect on the general purpose financial statements or to major programs. However, we will inform you of any material errors and any fraud that comes to our attention. We will also inform you of any other illegal acts that come to our attention, unless clearly inconsequential. We will include such matters in the reports required for a single audit. Our responsibility as auditors is limited to the period covered by our audit and does not extend to matters that might arise during any later periods for which we are not engaged as auditors.

Our procedures will include tests of documentary evidence supporting the transactions recorded in the accounts, and may include tests of the physical existence of inventories, and direct confirmation of receivables and certain other assets and liabilities by correspondence with selected individuals, creditors, and financial institutions. We will request written representation from your attorneys as part of the engagement, and they may bill you for responding to this inquiry. At the conclusion of our audit, we will also request certain written representations from you about the financial statements and related matters.

Audit Procedures - Internal Controls

In planning and performing our audit, we will consider the internal control sufficient to plan the audit in order to determine the nature, timing, and extent of our auditing procedures for the purpose of expressing our opinions on the Town of Clayton's general purpose financial statements and on its compliance with requirements applicable to major programs.

We will obtain an understanding of the design of the relevant controls and whether they have been placed in operation, and we will assess control risk. Tests of controls may be performed to test the effectiveness of certain controls that we consider relevant to preventing and detecting errors and fraud that are material to the general purpose financial statements and to preventing and detecting misstatements resulting from illegal acts and other noncompliance matters that have a direct and material effect on the general purpose financial statements. Tests of controls relative to the general purpose financial statements are required only if control risk is assessed below the maximum level. Our tests, if performed, will be less in scope than would be necessary to render an opinion on internal control and, accordingly, no opinion will be expressed in our report on internal control issued pursuant to *Government Auditing Standards*.

As required by OMB Circular A-133, we will perform tests of controls to evaluate the effectiveness of the design and operation of controls that we consider relevant to preventing or detecting material noncompliance with compliance requirements, applicable to each major federal award program. However, our tests will be less in scope than would be necessary to render an opinion on those controls and, accordingly, no opinion will be expressed in our report on internal control issued pursuant to OMB Circular A-133.

An audit is not designed to provide assurance on internal control or to identify reportable conditions. However, we will inform the governing body or audit committee of any matters involving internal control and its operation that we consider to be reportable conditions under standards established by the American Institute of Certified Public Accountants. Reportable conditions involve matters coming to our attention relating to significant deficiencies in the design or operation of the internal control that, in our judgment, could adversely affect the entity's ability to record, process, summarize, and report financial data consistent with the assertions of management in the general purpose financial statements. We will also inform you of any non-reportable conditions or other matters involving internal control, if any, as required by OMB Circular A-133.

Audit Procedures - Compliance

Our audit will be conducted in accordance with the standards referred to in the section titled Audit Objectives. As part of obtaining reasonable assurance about whether the general purpose financial statements are free of material misstatement, we will perform tests of the Town of Clayton's compliance with applicable laws and regulations and the provisions of contracts and agreements, including grant agreements. However, the objective of those procedures will not be to provide an opinion on overall compliance and we will not express such an opinion in our report on compliance issued pursuant to *Government Auditing Standards*.

OMB Circular A-133 and the State Single Audit Implementation Act require that we also plan and perform the audit to obtain reasonable assurance about whether the auditee has complied with applicable laws and regulations and the provisions of contracts and grant agreements applicable to major programs. Our procedures will consist of the applicable procedures described in the *OMB Circular A-133 Compliance Supplement* and the *Audit Manual for Government Auditors in North Carolina* for the types of compliance requirements that could have a direct and material effect on each of the Town of Clayton's major programs. The purpose of those procedures will be to express an opinion on the Town of Clayton's compliance with requirements applicable to major programs in our report on compliance issued pursuant to OMB Circular A-133 and the State Single Audit Implementation Act.

Management Responsibilities For Non-attest Services

You are responsible for all management decisions and for performing all management functions, and for designating an individual possessing suitable skill, knowledge and/or experience to oversee the non-attest services we will provide. You are responsible for evaluating the adequacy and results of the services performed and accepting responsibility for the results of such services. You are responsible for establishing and maintaining internal controls, including monitoring ongoing activities.

The non-attest services we will provide are covered in the following paragraphs.

Non-attest Services

We will provide the following non-attest service:

- We will advise management about appropriate accounting principles and their application and will assist in preparation of the Town's financial statements. The responsibility for the financial statements and all representations contained therein remains with management, which includes the Finance Officer;

You are responsible for evaluating the adequacy and results of the above non-attest services performed and accepting responsibility for the results of such services. This includes your review and approval of all adjustments we may propose to the accounting records of the Town or its financial statements as a result of these services.

Audit Administration, Fees and Other

We understand that your employees will prepare all cash, accounts receivable, or other confirmations we request and will locate any invoices selected by us for testing.

At the conclusion of the engagement, we will complete the appropriate sections of and sign the Data Collection Form that summarizes our audit findings. However, it is management's responsibility to submit the reporting package (including financial statements, schedule of expenditures of federal and state awards, summary schedule of prior audit findings, auditors' reports, and a corrective action plan) along with the Data Collection Form to the designated federal clearinghouse and, if appropriate, to pass-through entities. The Data Collection Form and the reporting package must be submitted within the earlier of 30 days after receipt of the auditors' reports or nine months after the end of the audit period, unless a longer period is agreed to in advance by the cognizant or oversight agency for audits.

The workpapers for this engagement are the property of Anderson Smith & Wike PLLC and constitute confidential information. However, we may be requested to make certain workpapers available to a federal or state agency pursuant to authority given to it by law or regulation. If requested, access to such workpapers will be provided under the supervision of Anderson Smith & Wike PLLC personnel. Furthermore, upon request, we may provide photocopies of selected workpapers to a federal or state agency. The federal or state agency may intend, or decide, to distribute the photocopies or information contained therein to others, including other governmental agencies.

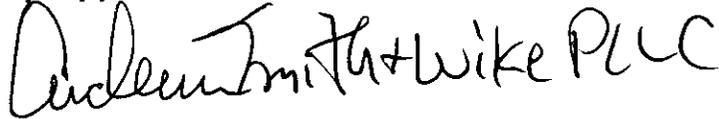
The workpapers for this engagement will be retained for a minimum of five years after the date the auditors' report is issued or for any additional period requested by the Town of Clayton, a federal or state agency, or other pass-through entity. If we are aware that an awarding agency, pass-through entity, or auditee is contesting an audit finding, we will contact the party(ies) contesting the audit finding for guidance prior to destroying the workpapers.

Our fees for these services will not exceed the amount listed in the attached Contract to Audit Accounts unless circumstances disclosed by the audit call for a more detailed investigation by the Auditor than necessary under ordinary circumstances. This fee is based on the amount and type of federal and state awards received by the Town of Clayton during the year ended June 30, 2015 and the related compliance requirements in effect as of the date of this contract. If significant changes have occurred or additional investigation is required, the Auditor shall inform the Governing Board in writing of the circumstances and the additional compensation required. Our invoices for these fees will be rendered as work progresses and are payable on presentation based on the guidelines permitted by the Local Government Commission. This estimate is based on anticipated cooperation from your personnel and the assumption that you have performed clerical checks, reconciliations, comparisons of assets with record accountability and management review of reports that summarize the detail of account balances. Our fees to assist you beyond the scope of the audit will be billed at \$90 to \$125 per hour.

Our fees include assisting you with the preparation of the Town of Clayton's financial statements as well as the copying and binding of the Town of Clayton's financial statements. Quantities in excess of twenty-five (25) will be billed at \$30.00 per CAFR.

We appreciate the opportunity to be of service to the Town of Clayton and believe this letter accurately summarizes the significant terms of our engagement. If you have any questions, please let us know. If you agree with the terms of our engagement as described in this letter, please sign the enclosed copy and return it to us.

Very truly yours,



RESPONSE:

This attachment to LGC-205 correctly sets forth our understanding of the terms of the engagement.

By: _____

Title: _____

Date: _____

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6b

Meeting Date: May 4, 2015

TITLE: Bid Tabulation Results and Awarding Sam's Creek Phase II Construction Project

DESCRIPTION: Mr. Tim Simpson will present results of the bid process for the construction project of Same Creek Phase II. Recommendation will be made to award project to J.F. Wilkerson Contracting Co.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

5-4-15

Approval of Resolution

**Bid Results
Resolution**



ENGINEERS

SURVEYORS

PLANNERS

April 23, 2015

00136-0039 (50)

Mr. Tim Simpson, PE
Town of Clayton
653 Hwy 42 West
Clayton, NC 27520

Subject: Town of Clayton Sam's Creek Interceptor – Phase II
Recommendation of Award of Construction Contract

Dear Mr. Simpson:

On April 22, 2015, at 2:00pm, the Town of Clayton received bids for the Sam's Creek Interceptor – Phase II project. Five bids were received from contractors and no contractors objected to proceeding with opening of bids; therefore, the bids were opened and read aloud. The advertisement for bid and formal bidding procedures were consistent with statutory requirements to the best of our knowledge. We have reviewed the bids received on April 22, 2015, for the above referenced project and find that J.F. Wilkerson Contracting Co., Inc. (License #4499) is the apparent low bidder. Mathematical errors were discovered in the bids received from Sanford Contractors, Inc. and H.G. Reynolds Company, Inc., however, the order of the bids or the low bid was unaffected. A summary of J.F. Wilkerson Contracting Co., Inc. original bid is as follows:

Total Base Bid: \$ 1,188,268.00

J.F. Wilkerson Contracting Co., Inc. is properly licensed and experienced in the type of construction involved. It is our understanding that the bid amount is well within the Town of Clayton's budget established for this project. Based on our review of the bids, we recommend award of the project to J.F. Wilkerson Contracting Co., Inc. (License #4499) in the total bid amount of \$1,188,268.00.

Please accept this letter as the formal recommendation of award of construction contract to J.F. Wilkerson Contracting Co., Inc. This recommendation of award is subject to approval and acceptance by the Town of Clayton.

Venture IV Building
Suite 500
1730 Varsity Drive
Raleigh, NC 27606

919.233.8091

Fax 919.233.8031

www.mckimcreed.com

Mr. Tim Simpson, PE

April 23, 2015

Page 2

Enclosed you will find the following documents:

- Certified Bid Tabulation
- J.F. Wilkerson Contracting Co., Inc. Original Bid Package
- J.F. Wilkerson Contracting Co., Inc. Bid Bond

It is recommended that a construction contingency be held in the budget to cover any unforeseen conditions that may be encountered during construction.

Should you have any questions or concerns in regards to this letter or any of the enclosures, please do not hesitate to contact our office. We look forward to working with you to successfully complete the construction phase of this project.

Sincerely,

MCKIM & CREED, INC.



K. Jason Savage, PE
Construction Administrator

Enclosures

BID TABULATION

**TOWN OF CLAYTON
SAM'S CREEK INTERCEPTOR – PHASE II
BID DATE: April 22, 2015 at 2:00 PM
M&C Project No. 00136-0039**

BIDDER	LICENSE #	BID BOND	BASE BID
Carolina Civilworks, Inc.	74658	✓	\$1,930,831.00
H.G. Reynolds Company, Inc.	14149	✓	\$1,748,605.00
J.F. Wilkerson Contracting Co., Inc.	4499	✓	\$1,188,268.00
Ralph Hodge Construction Co., Inc.	6271	✓	\$1,519,003.50
Sanford Contractors, Inc.	6301	✓	\$1,241,442.20



Certified as Correct:


K. Jason Savage, PE
Construction Administrator
McKim & Creed, Inc.

4/23/15
Date

**TOWN OF CLAYTON
RESOLUTION OF AWARD OF BID
FOR SAM'S CREEK INTERCEPTOR – PHASE II**

WHEREAS, the Town of Clayton publicly advertised for bids to be received for Sam's Creek Interceptor Phase II Project on April 8, 2015; and

WHEREAS, the Town of Clayton exhibited good faith efforts to notify minority and women owned businesses of said project and encouraged bidding; and

WHEREAS, the BIDS were publicly opened on the stated date; and

WHEREAS, the low bidder is J.F. Wilkerson Contracting Co., for the bid amount of \$1,188,268.00; and

WHEREAS, J.F. Wilkerson Contracting Co., is properly licensed and experienced in the type of construction involved in this project; and

WHEREAS, all received bids were reviewed by McKim & Creed Engineers; and

WHEREAS, based on review of all received bids it is the recommendation that award of the construction contract be granted to J.F. Wilkerson Contracting Co.; and

WHEREAS, the Town of Clayton intends to construct said project in accordance with the approved plans and specifications,

NOW THEREFORE BE IT RESOLVED, BY THE CLAYTON TOWN COUNCIL THAT:

The Town of Clayton award the construction of the Sam's Creek Interceptor – Phase II Project to J.F. Wilkerson Contracting Co., in the amount of \$1,188,268.00.,

Duly adopted this the 4th of May, 2015, while in regular session.

Jody L. McLeod,
Mayor

ATTEST:

Kimberly A. Moffett, CMC, NCCMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7a

Meeting Date: May 4, 2015

TITLE: Budget Amendment

DESCRIPTION: This budget amendment Ordinance is necessary to budget the revenues and related expenditures for the following items, Black Dot Tower Easement Sale, Closeout Front Street Project, Damage Reimbursement, Tower Deposits Forfeiture and Recreation Grant Proceeds. This amendment is required for compliance with G.S. 159-15. Mr. McKie will be present to address any questions.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

5-4-15

Place on Consent

Ordinance

Town of Clayton
Amendment to the FY 14-15 Budget

BE IT HEREBY ADOPTED BY THE TOWN COUNCIL FOR THE TOWN OF CLAYTON that the following amendments shall be made to the FY 14-15 Budget:

Fund: General Fund

Line Item	Previous Appropriation	Adjustment	Revised Appropriation
Expenditures			
100-40-01-59 02	Misc. Contingency \$0	+150,509	\$150,509
100-42-15-52 60	Equipment Purchase \$250	+3,217	\$3,467
100-42-15-52 85	Departmental Supplies \$1,600	+1,550	\$3,150
100-42-16-52 85	Departmental Supplies \$800	+700	\$1,500
100-42-95-58 50	Capital Outlay \$27,000	+1,959	\$28,959
100-50-31-52 50	Contracted Vehicle Service \$5,000	+9,250	\$14,250
100-55-55-58 12	Street Repair and Improvements \$294,468	+191,609	\$486,077
100-60-02-50-52 37	Maint and Repair-Buildings \$2,700	+2,500	\$5,200
100-60-74-52 38	Maint and Repair-Grounds \$50,898	+5,000	\$55,898
Revenue			
100-40-00-48 72	Misc. Sale of Real Property \$0	+150,509	\$150,509
100-40-00-48 97	Miscellaneous Income \$0	+7,426	\$7,426
100-50-00-43 80	Damage Reimbursement \$0	+9,250	\$9,250
100-55-02-48 60	Reimbursable Projects \$5,000	+191,609	\$196,609
100-60-02-43 80	Damage Reimbursement \$0	+2,500	\$2,500
100-60-02-45 12	Grant Funds-Recreation \$11,500	+5,000	\$16,500

Explanation: Amendment necessary to budget the revenues and related expenditures for the following items, which is required for compliance with G.S. 159-15:

1. Black Dot Tower Easement Sale – \$150,509
2. Closeout Front Street Project – \$191,609
3. Damage Reimbursements – \$11,750
4. Tower Deposits Forfeiture – \$7,426
5. Recreation Grant Proceeds – \$5,000

Duly adopted this 18th day of May, 2015 while in regular session.

Jody L. McLeod
Mayor

Attest:

Kimberly A. Moffett, CMC, NCCMC
Town Clerk