

AGENDA
TOWN OF CLAYTON PLANNING BOARD MEETING
Monday, November 30, 2015
6:00 PM
TOWN COUNCIL CHAMBERS
111 E. SECOND STREET
For Information: (919) 553-5002

- I. CALL TO ORDER**
- II. ADJUSTMENTS TO THE AGENDA**
- III. APPROVAL OF MINUTES**
 - A. August 2015 Meeting Minutes**
- IV. REPORTS AND COMMENTS**
- V. OLD BUSINESS**
- VI. NEW BUSINESS**
 - A. 13-106-01-SD Hannah’s Creek- Major Subdivision**
Request to add one lot (Lot 78) to the existing Hannah’s Creek subdivision using land currently designated as “open space”.
 - B. 15-50-01-SD Rhodes Farm Subdivision- Major Subdivision**
Request for approval to develop a conventional subdivision with 41 single family detached homes.
 - C. 15-45-03-SUP Hocutt Baptist Western Parking- Special Use Permit**
Request for a special use permit to develop a parking lot to be used for an existing church.
 - D. 15-45-02-SP Hocutt Baptist Church Western Parking Lot- Major Site Plan**
Request for Major Site Plan approval to develop a 58 space parking lot to be used for an existing church.
- VII. INFORMAL DISCUSSION AND PUBLIC COMMENT**
- VIII. ADJOURN**

**Town of Clayton
Planning Board Minutes
August 24, 2015**

The regular meeting of the Clayton Planning Board for the month of August was held at 6:00 PM in Town Hall located at 111 East Second Street.

PRESENT: Frank Price (Chair) (ETJ), George “Bucky” Coats (TL), Ronald L. Johnson (TL), Marty D. Bizzell (ETJ), Robert J. Ahlert (TL), Sarah Brooks (TL), David Teem (Vice Chair), James Lipscomb (ETJ), Michael Grannis (Council Member), Bob Satterfield (Council Member)

ARRIVED LATE: Jim Lee (ETJ) arrived at 6:26 p.m.

ABSENT: Jean M. Sandaire (TL) [ALT]

STAFF PRESENT: David DeYoung, Planning Director; John McCullen, Town Engineer; Jay McLeod, Planner; Haley Hogg, Planner and Christy Anastasi, Deputy Town Clerk.

1. CALL TO ORDER:

Mr. Price called the meeting to order at 6:02 p.m.

2. ADJUSTMENT TO THE AGENDA:

It was stated that there were no adjustments to the agenda.

3. APPROVAL OF MINUTES:

None

4. REPORTS AND COMMENTS:

A. Steeplechase withdrawn by Council

Mr. DeYoung stated that Steeplechase has been withdrawn and explained that Town Council had waived the time lapse requirement. Mr. DeYoung stated the applicant may be back in about six months.

Mr. Price asked if the same developers came back would the master plan have to be reviewed again and approved again.

Mr. DeYoung stated the master plan would have to be approved once again.

5. OLD BUSINESS:

A. Comments on Draft Comprehensive Plan 2040 Update:

Mr. DeYoung stated that the consultant would provide a presentation on the Comprehensive Plan 2040 to Town Council on September 8, 2015 followed by public comment. If anyone on the Planning Board would have any additional comments and or questions to submit them to staff right away. Comments were received by Mr. Alhert.

6. NEW BUSINESS:

A. Hocutt Baptist Church Rezoning, 10-38-01-RZ

Request to rezone 5.45 acres including and surrounding the current Hocutt Baptist Church from Residential-6 and Residential-8 to Office-Institutional.

Mr. Jay McLeod stated that a new process would start tonight, where the applicant would present the case and staff would follow with comments. The presentation would be provided by Shawn Hine, with Green Engineering. Mr. Hine stated Hocutt Baptist Church is the applicant and had recently purchased three houses. A recommendation by Town Staff is to have all property owned by and property that holds "life rights" to be rezoned from Residential-6 and Residential-8 to Office-Institutional. This zoning category would work best for future master plan. The location of the rezoning request is Northwest corner of Robertson Street and Second Street and the majority of the block between Robertson Street and Ellington Street (east and west) and second Street and Horne Street. The home located on Robertson Street has been burned down and the lot cleared. The church has put stone down for parking. The Northwest piece of the property has been withdrawn, still talking with the property owner. This property is listed as the last tag number (05023004) on the staff report. Mr. Hine stated this is the first step towards a master plan and parking area. Down the road the master plan will be to expand the sanctuary, add an educational building and additional parking area. The neighborhood meeting was held on August 11, 2015 at 7:00 p.m. at Hocutt Baptist Church. Several neighbors attended the meeting but, mostly curious about what the church was doing. Mr. Hine stated plans would show any parking areas located next to residential areas would comply with required appropriate landscape buffering to ensure compatibility. A discussion was held about the current gravel parking area and when that area would become a more permanent area for parking. Mr. DeYoung stated zoning on the west side of Robertson Street is being closely looked at and additional

information from staff is needed and will be provided to Town Council. Staff is looking at the parking area to become a permanent parking area instead of a gravel parking lot in the near future. Due to much of the gravel moving onto the silt fence it is a concern that there could be a drainage problem. Mr. Jay McLeod stated staff recommends approval of the rezoning from Residential-6 and Residential-8 to Office-Institutional as well as the addition of a Special Use District designation over the seven parcels located west of Robertson Street. This is consistent with the Strategic Growth Plan. Question if outdoor gathering space was to be used would a permit be needed. Mr. Jay McLeod stated no permit would be needed.

ACTION:	MOTION FOR APPROVAL OF REZONING 10-38-01-RZ
Motion:	Ms. Brooks
Second:	Mr. Coats
Vote:	Unanimous

B. Novo-Nordisk Southeast Property Rezoning, 15-37-01-RZ

Request to rezone the parcels from industrial-Light (I-1, County Zoning) to Industrial-Light (I-1, Town Zoning), following their inclusion into Clayton’s ETJ by House Bill 343.

Mr. Jay McLeod stated a request to rezone the parcels (180.76 acres) from Industrial-Light (I-1 County Zoning) to Industrial-Light (I-1, Town Zoning), following their inclusion into Clayton’s ETJ by House Bill 343. Located south of Powhatan Road, east and north of the railroad tracks, and southwest of the intersection of Glen Laurel Road and Powhatan Road. These parcels were not part of Clayton’s 2008 Strategic Growth Plan because they were not in Clayton’s jurisdiction at the time. These parcels were designated as “Primary Growth Areas” via Johnston County’s Future Land Use Map. The properties located directly south and west of the subject parcels are included in Clayton’s Strategic Growth Plan and are designated to be “Industrial”. The Industrial Light (I-1) zoning district would be consistent with the Strategic Growth Plan of Clayton. Question when land is acquired from the county does the land need any zoning? Zoning takes place after it becomes property of the Town. Mr. Jay McLeod stated that property that is acquired would come with no zoning attached. Therefore, it would be zoned after it is acquired.

ACTION:	MOTION FOR APPROVAL OF REZONING 15-37-01-RZ
Motion:	Mr. Bizzell
Second:	Mr. Teem
Vote:	Unanimous

C. The Arbors II Planned Development Rezoning, 12-05-03-PDD

Request to rezone the 3.8 +/- acre parcel northwest of the roundabout on Front Street from Neighborhood Business (B-3) to Planned Development-Residential (PD-R), for into The Arbors Planned Development.

D. The Arbors II Planned Development Major Site Plan, 12-05-02-SP

Request for major site plan approval for three new residential apartment buildings (72 units) on 3.8 +/- acres adjacent to the existing Arbors I apartments at East Village.

Mr. Bizzell has recused himself from the Arbors at East Village Phase II.

Mr. Michael McCarty with Capp Development Group stated he would be presenting the request for rezoning and major site plan. The project location is at the intersection of East Front Street and Bent Branch Loop. Request rezoning of 3.76 acres from neighborhood Business (B-3) to Planned Development-Residential (PD-R) in anticipation of an extension of apartment buildings. A request for three additional residential apartment buildings with 72 units adjacent to the existing Arbors at East Village. The location of the three new buildings would be located at the left side of the roundabout at the entrance of the Arbors. These apartments will consist of 1, 2, and 3 bedroom units with 138 required parking spaces. Proposed are 142 parking spaces. Two access points will be provided. One new driveway off of East Front Street, and the second Arbors Phase I. Recreation and open space requirements are met with about 32% of this site being open space.

Mr. Jim Lee arrived at 6:27PM.

The new buildings would match existing buildings in Phase I of the Arbors. Applicant is requesting a modified 15-foot Class C buffer with the removal of a six foot fence, hedge, berm or combination along East Front Street. Staff is recommending a continuous hedge and formal planting arrangement that would be similar to the Bent Branch Loop entrance. After completion there should be no difference between Phase I and Phase II as far as architecture and landscape. Question about handicap parking spaces? There are two per building. Question about open areas, where these would be located and if benches and or tables will be provided. Open areas would be located between building one and two there will be an area where benches with tables will be provided for residents. Question will garages be provided for Phase II? There are 55 garage units for Phase I. However, there will be no garages for Phase II. What is the average cost of the units? Mid to upper 90's is the average cost.

Mr. Dave DeYoung stated staff added a small 1,600 foot area asking to amend for a total of 4.1 acres and not 3.76. Mr. DeYoung stated this 1,600 foot area currently is zoned B2 and this small area should also be rezoned to Planned Development-Residential (PD-R). With making your recommendation please consider the 1,600 foot area as part of this request. Water and sewer will be provided by Town of Clayton. The current sign located by the clubhouse will be upgraded and moved to the roundabout area. Staff is recommending approval with conditions of the proposed Major Site Plan.

ACTION: MOTION FOR APPROVAL OF REZONING 12-05-03-PDD

Motion: Mr. Ahlert
Second: Mr. Johnson
Vote: Unanimous

ACTION: MOTION FOR APPROVAL FOR WAIVER SECTION 155.402 E TO ALLOW ALTERNATIVE LANDSCAPING

Motion: Mr. Johnson
Second: Mr. Teem
Vote: Unanimous

ACTION: MOTION FOR APPROVAL OF MAJOR SITE PLAN 12-05-02-SP

Motion: Ms. Brooks
Second: Mr. Teem
Vote: Unanimous

Mr. Bizzell rejoined the board and Mr. Lipscomb recused himself from the Fisher Street Two-Family Home.

E. Fisher Street Two-Family Home Special Use Permit, 15-39-01-SP

Request for a Special Use Permit to allow development of a two-family home in a Residential-8 existing neighborhood.

Mr. DeYoung stated the applicant is requesting a Special Use Permit to develop a two-family home into an R-8 zoning district. The location of this property is 501 Fisher Street, adjacent to Andrews Street and Starling Street. The proposed building will be a total of 2,148 square feet. One unit will be accessible from Fisher Street and a separate basement unit accessible from Starling Street. There will be two separate driveways for residents. No buffering is required however the applicant has provided street trees

which are adequate for proposed site plan. The reason for the Minor Site Plan is because all Special Use Permits are accompanied by a Minor Site Plan. In order to have a two family unit under the current zoning a single family unit with a mother-in-law unit a stove cannot be added, with the SUP a stove can be added to both units. Normally no action would have to be taken. Staff recommendation is approval.

Mr. James Lipscomb provided an overview of the design. Plans would be to rent the home. Mr. Lipscomb stated a nice new home will be an improvement from a vacant lot. Mr. Lipscomb stated the home will have extra landscaping and will provide two driveways. Question was asked whether each driveway would hold two cars. Mr. Lipscomb stated he would try his best to make it happen.

ACTION:	MOTION FOR APPROVAL OF SPECIAL USE PERMIT 15-39-01-SUP
Motion:	Mr. Lee
Second:	Mr. Alhert
Vote:	Unanimous

F. Fisher Street Two-Family Home Site Plan, 15-39-02-SPM

Request for approval of a minor site plan (accompanying a special use permit application) for a two-family home in an existing residential neighborhood.

ACTION:	MOTION FOR APPROVAL OF MINOR SITE PLAN 15-39-02-SPM
Motion:	Mr. Coats
Second:	Mr. Teem
Vote:	Unanimous

Mr. Lipscomb rejoined the board.

7. INFORMAL DISCUSSION AND PUBLIC COMMENT

No discussion and or public comments were made.

8. ADJOURNMENT

ACTION:	ADJOURNMENT
Motion:	Mr. Teem
Second:	Mr. Coats
Vote:	Unanimous

With there being nothing further, the meeting was adjourned at 6:57 p.m.

X

Frank Price
Planning Board Chairman

X

Christy Anastasi
Deputy Town Clerk



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

November 30, 2015

STAFF REPORT

Application Number: 13-106-01-SD Project Name: Hannah's Creek Lot 78 – Major Subdivision

NC PIN / Tag #: 165803-21-4008 / 05g03015i
Town Limits/ETJ: ETJ
Overlay: Scenic Highway Overlay
Applicant: Curk Lane
Owner: Darryl D. Evans
Location: The property is located in the existing Hannah's Creek subdivision, south of the intersection of Corvina Drive, Concord Court, and Vinyard Drive.

Public Noticing:

- Neighborhood meeting October 14, 2015
- Sign posted October 16, 2015
- Letters mailed prior to December 22, 2015
- Newspaper ad posted prior to December 23, 2015

REQUEST: The applicant is requesting preliminary subdivision plat approval to add one lot (Lot 78) to the existing Hannah's Creek subdivision.

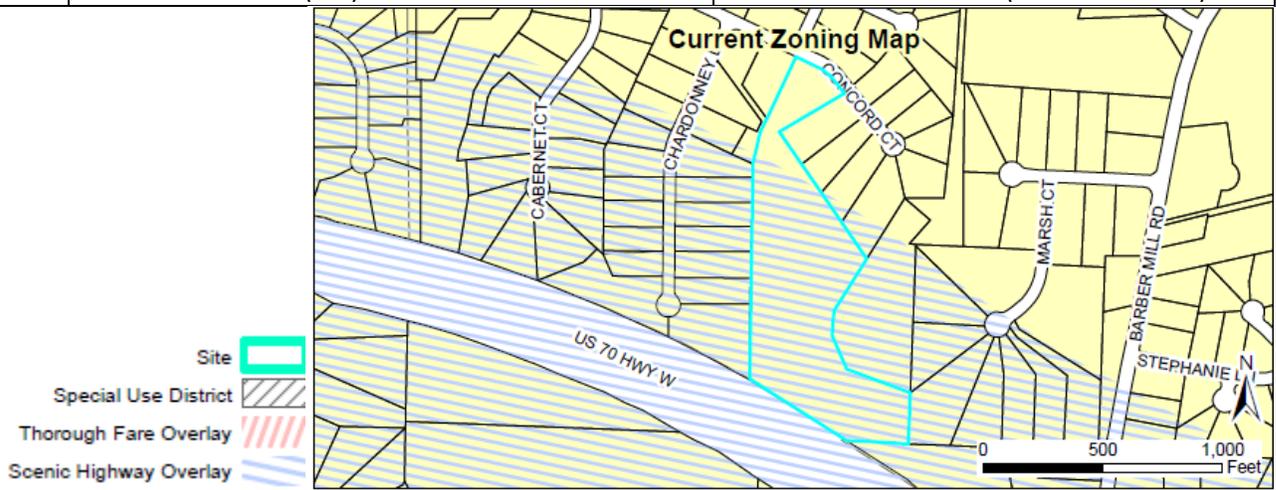


SITE DATA:

Parcel Acreage: 11.89 acres
Proposed Lot 78 Acreage: 1.3± acres (to be subdivided from the Parcel Acreage)
Existing Use: Agriculture

ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
South	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
East	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
West	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)



DEVELOPMENT DATA:

Existing Uses: 77 lot single family subdivision
Proposed Uses: Single family residential dwelling
Buildings: One
Number of Stories: Maximum height of 35 feet
Impervious Surface: Maximum 4,288 SF – which is identical to adjacent lots in subdivision.
Required Parking: 2 spaces per unit
Proposed Parking: 2 spaces per unit
Access/Streets: New driveway off of Concord Court
Water/Sewer Provider: Public water and septic
Fire Protection: Town of Clayton Fire Department

STAFF ANALYSIS:

Overview

The applicant is requesting preliminary plat (major subdivision) approval to add one lot (Lot 78) to an existing subdivision. This subdivision utilizes septic fields, and is generally limited in density by the availability of soil that will accommodate septic drain fields. With the completion of the platting of Phase 3 of Hannah's Creek subdivision, the developer has found additional land that will accommodate a septic field, and is proposing to use that land to add one more lot to the subdivision.

The original Preliminary Subdivision Approval from the County identifies the tract of land that Lot 78 will be separated from as "Permanent Open Space". All recorded Plat Book pages for this site identify this parcel as "Reserved for Future Development". The granting of the creation of Lot 78 will reduce the overall open space available for the subdivision.

In 2014, a minor subdivision application was approved for this site by the Planning Department. This minor subdivision was granted administratively (as allowed by Code) based on the recorded Plat Book images, which designate the land that Lot 78 will be separated from as "Reserved for Future Development". The original, preliminary subdivision approval from the County (which shows "Permanent Open Space") was not consulted at the time this approval was granted. Staff believes that a clerical error occurred at the County during the platting process, and the plat reviewer missed that the area shown as "Permanent Open Space" and allowed it to be recorded as "Reserved for Future Development". Since Hannah's Creek is an existing subdivision, it was determined that the addition of a lot (Lot 78) should have triggered a major subdivision application which requires approval by Town Council. The 2014 minor subdivision approval was recently determined by the Planning Director to have been issued in error. To rectify this, the developer agreed to pursue a major subdivision application in order to create Lot 78. Major subdivision applications require neighborhood meetings, and are decided in a quasi-judicial hearing by Town Council.

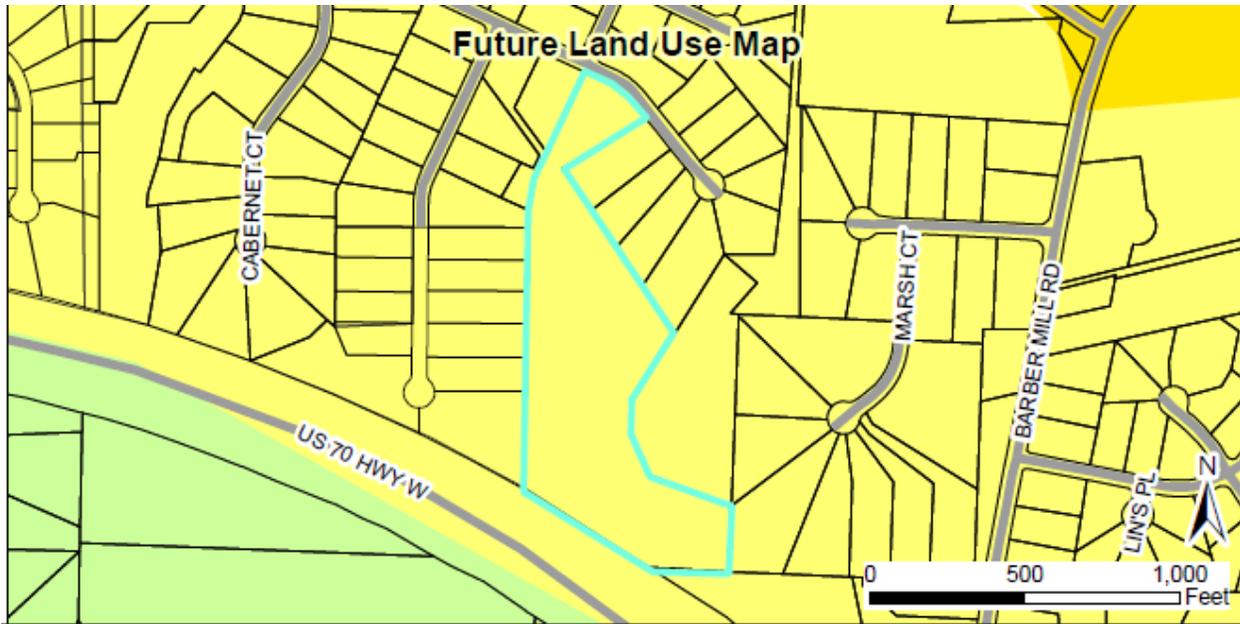
Consistency with Adopted Plans:

- **Comprehensive Plan 2040**
The request is consistent.

- **Master Plan (if any)**
The request is not consistent with the Preliminary Plat Approval that was issued by the County in 2006, which show the parcel as "Permanent Open Space". This approval in the County occurred before the subdivision and this parcel were incorporated into Clayton's ETJ in 2008.

The request is consistent with the current recorded Plat Book which designates the area as "Reserved for Future Development".

- **Unified Development Code**
The proposed development will be consistent with the Unified Development Code (UDC). Individual lot development specifications including building placement, driveway placement, etc. will be required to meet all Town standards.



Compatibility with Surrounding Land Uses

Uses surrounding the subject property are identical to what is being proposed on Lot 78.

Landscaping and Buffering

N/A.

Recreation and Open Space

When this development was approved in the County, the required open space for an open space subdivision was 10%. Per Town of Clayton UDC, the required open space of a comparable open space subdivision is 12.5% of net site area. Net site area excludes Resource Conservation Areas from the calculation. This new addition to the existing Hannah's Creek subdivision occurs on land that was originally intended as open space for the subdivision.

As of the writing of this staff report, enough information is not available in order to determine if the addition of another lot meets the 12.5% open space requirement. The addition of lots must meet the Town requirement for open space.

According to correspondence with the applicant, no recreation fees were ever paid to the County. This indicates that this subdivision was approved as an open space subdivision, and the provision of open space was a requirement of the original approval.

As part of this application, the developer has proposed to add a natural surface "nature trail" through the remaining open space south of the proposed Lot 78. This trail would have two access points, each of which would be 30' pedestrian easements, as required by Code. The easement alongside Lot 78 would coincide with an existing 20' wide drainage easement.

Environmental

N/A

Access/Streets

Access will be provided via a new driveway off of Concord Court.

Waivers/Deviations/Variances from Code Requirements

None.

CONSIDERATIONS:

- The applicant is requesting Preliminary Subdivision Plat approval for Lot 78.
 - This approval is subject to approval of SUP 2013-71.
-

FINDINGS:

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION:

Staff

CONDITIONS:

If approved, staff recommends the following conditions be applied:

1. The Conditions of Approval shall be inserted into the Site Plan, and three clean copies shall be delivered to the Planning Department for final approval.
 2. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan.
 3. All development fees shall be paid prior to final plat recordation, except that Capacity fees shall be paid prior to issuance of building permits.
 4. The nature trail shall be constructed or bonded prior to the issuance of building permits.
 5. Any proposed pedestrian easements shall be revised so as to not overlap drainage easements.
-

ATTACHMENTS:

- 1) Application and application materials, including site plan
- 2) Staff report maps
- 3) Neighborhood meeting materials from applicant
- 4) Preliminary subdivision approval from County (approved 2006)

- 5) Plat book images
- 6) Minor subdivision approval (approved 2014)
- 7) Materials from Hannah's Creek HOA
 - a. letter of opposition, petition, and neighborhood meeting minutes – Hannah's Creek Community
 - b. Letter of opposition – Katherine Pagano
 - c. Letter of opposition – Steve Warren
 - d. Letter regarding proposal – Josh Carlisle
 - e. Stream buffer determination – Div. of Water Quality



TOWN OF CLAYTON

Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

**SUBDIVISION: MAJOR SUBDIVISION
(Preliminary Subdivision Plat)**

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified

See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
See §155.706(N) for information on minor and major modifications.
See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: Open Space: Modification to Approved Preliminary Plat
Major: Minor:
 New Subdivision Master Plan

Name of Project: Hannahs Creek Subdivision Acreage of Property: 84.836

Tag #: _____ NC PIN: _____

Location: Hannahs Creek Subdivision

Number of Lots (existing): 77 (Proposed) 1 Min Lot Size: _____

Zoning District: R-E Electric Provider: Duke

Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: 16.730

FOR OFFICE USE ONLY

Date Received: _____ Amount Paid: \$405.⁰⁰ File Number: 13-106-01-SD
RECEIVED
OCT 01 2015
Town of Clayton
Planning Department

PROPERTY OWNER INFORMATION

Name: Darryl D. Evans, Inc.

Mailing Address: 425 Indian Camp Rd., Smithfield, NC 27577

Phone Number: 919-934-3884

Fax: 919-934-3882

Email Address: _____

APPLICANT INFORMATION

Applicant: True Line Surveying

Mailing Address: 205 W. Main St., Clayton, NC 27520

Phone Number: 919-359-0427

Fax: 919-359-0428

Contact Person: Curk Lane

Email Address: curk@truelinesurveying.com

REQUIRED INFORMATION *(to be submitted with the application)*

The following items must accompany the application:

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/25/15</u>	<input checked="" type="checkbox"/>				
2. Completed Application	<input checked="" type="checkbox"/>				
3. Review Fee	<input checked="" type="checkbox"/>				
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input type="checkbox"/>				
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

~~This modification meets all required specifications and preforms to the towns UDO.~~

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

~~The creation of Lot 78 will be similar or larger in size as existing lots creating a home site in keeping with all homes in neighborhood. All homes in neighborhood including new lot will all be built by the same builder, Darryl D. Evans, Inc.~~

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

~~There are no new road or traffic patterns proposed for this modification. The new lot 78 will be created on an exciting road, Concord Ct.~~

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

~~Lot 78 will create an evenly distributive street scape of homes along Concord Ct. and Corvina Dr. that will be consistent of all home sites in Hannah's Creek Subdivision as approved by Johnston County Planning Board and Town of Clayton Town Council. (see attachment)~~

Project Name: Hannahs Creek

Curk Lane
Print Name


Signature of Applicant

10/1/15
Date

D. David Allison, Jr. & Deborah L. Allison
121 Concord Court
Clayton, NC 27520

Lars G. Andersson & Carla J. Andersson
86 Chardonnay Drive
Clayton, NC 27520

Mary Baker
228 Corvina Drive
Clayton, NC 27520

Frederick K. Bangert & Kathy J. Bangert
9 Cabernet Court
Clayton, NC 27520

Bruce D. Beavers & Teresa L. Beavers
105 Concord Court
Clayton, NC 27520

Michael G. Beavers & Mable S. Beavers
42 Chardonnay Drive
Clayton, NC 27520

Robert E. Blackman Jr. & Melinda W.
73 Merlot Court
Clayton, NC 27520

Jeremy Brewer & Paula Brewer
235 Corvina Drive
Clayton, NC 27520

Marcus Burrell & Myra Burrell
23 Chardonnay Drive
Clayton, NC 27520

Joshua Carlisle & Laura Carlisle
30 Corvina Drive
Clayton, NC 27520

James Carroll & Tammy Carroll
140 Corvina Drive
Clayton, NC 27520

Keith B. Connolly & Kimberly L. Connolly
101 Vinyard Drive
Clayton, NC 27520

George D. Craig Jr. & Edith B. Craig
23 Cabernet Court
Clayton, NC 27520

Thomasine C. Dade
73 Cabernet Court
Clayton, NC 27520

Johnny H. Daughtridge III & Ashley T.
117 Cabernet Court
Clayton, NC 27520

Timothy Donehoo & Levana Miller
58 Chardonnay Drive
Clayton, NC 27520

James M. Dubovec & Kristen A.
181 Corvina Drive
Clayton, NC 27520

Matthew Dupree & Emily Dupree
118 Cabernet Court
Clayton, NC 27520

Jonathan Ellis
62 Corvina Drive
Clayton, NC 27520

Sean P. Elmore & Erin L. Elmore
128 Corvina Drive
Clayton, NC 27520

Emmanuel Eslabon & Carmela Eslabon
31 Merlot Court
Clayton, NC 27520

Ronald L. Evans & Kathleen V. Evans
106 Concord Court
Clayton, NC 27520

Susan Fikes
77 Merlot Court
Clayton, NC 27520

John P. Fleming & Raquel W. Fleming
17 Corvina Drive
Clayton, NC 27520

James W. Flockhart Jr. & Suzanne M.
53 Cabernet Court
Clayton, NC 27520

Alan Flowers
112 Cabernet Court
Clayton, NC 27520

David R. Ford & Heather H. Ford
117 Concord Court
Clayton, NC 27520

Gerald K. Ford & Sharon S. Ford
116 Concord Court
Clayton, NC 27520

Gary A. Furer & Deborah J. Furer
31 Cabernet Court
Clayton, NC 27520

Julian Gomez & Kristy L. Gomez
107 Cabernet Court
Clayton, NC 27520

William Greiner & Tammy Greiner
54 Merlot Court
Clayton, NC 27520

William C. Hartley & Teresa C. Hartley
20 Chardonnay Drive
Clayton, NC 27520

Lee A. Hartman & Tera G. Hartman
234 Corvina Drive
Clayton, NC 27520

John J. Hicks & Connie J. Hicks
24 Vinyard Drive
Clayton, NC 27520

Thomas L. Hunter & Rebecca S. Hunter
36 Cabemet Court
Clayton, NC 27520

Kevin W. Ingram & Melissa A. Ingram
59 Chardonnay Drive
Clayton, NC 27520

Joseph W. Jackson & Misty Joe Jackson
87 Concord Court
Clayton, NC 27520

Jay W. Johnson & Malinda J. Johnson
54 Vinyard Drive
Clayton, NC 27520

Brian A. Kapusta & Sarah B. Kapusta
78 Vinyard Drive
Clayton, NC 27520

Christopher LaTurno & Lisa LaTurno
74 Chardonnay Drive
Clayton, NC 27520

Gerald D. Lee & William G. Smart
61 Merlot Court
Clayton, NC 27520

Brian S. Lipscomb & Amanda L.
150 Corvina Drive
Clayton, NC 27520

Henry C. Marcum & Tabitha S. Marcum
70 Merlot Court
Clayton, NC 27520

Charles McCann & Karen L. McCann
170 Corvina Drive
Clayton, NC 27520

Glenn McDowell & Kelly McDowell
58 Cabernet Court
Clayton, NC 27520

Donald Jeremy McLean & Alana H.
96 Chardonnay Drive
Clayton, NC 27520

Robert Miles & Rhonda Pelech
69 Chardonnay Drive
Clayton, NC 27520

David G. Miller & Lynda E. Miller
39 Cabernet Court
Clayton, NC 27520

Michael Mullins & Jody Mullins
231 Corvina Drive
Clayton, NC 27520

Daniel M. Nunes & Holley M. Nunes
220 Corvina Drive
Clayton, NC 27520

Matthew J. O'Connor & Holly E.
33 Vinyard Drive
Clayton, NC 27520

Keith Pagano & Katherine Pagano
66 Concord Court
Clayton, NC 27520

Jeremy Sabo & Lauren Sabo
188 Corvina Drive
Clayton, NC 27520

Lonnie Linwood Sawyer
120 Chardonnay Drive
Clayton, NC 27520

Vincent J. Scavone & Kimberly A.
14 Merlot Court
Clayton, NC 27520

Bradley T. Schoonover & Rachel A.
116 Chardonnay Drive
Clayton, NC 27520

Daniel Schott & Ariana Schott
76 Cabernet Court
Clayton, NC 27520

Scott Joel Smith
102 Cabemet Court
Clayton, NC 27520

Joseph Spivey & Amanda Spivey
84 Corvina Drive
Clayton, NC 27520

Robert Stephenson & Carrie
121 Cabernet Court
Clayton, NC 27520

Bennett E. Strickland & Aileen A.
86 Concord Court
Clayton, NC 27520

Allen Surratt II & Amanda Surratt
91 Chardonnay Drive
Clayton, NC 27520

Michael Tuccelli & Sarah Tuccelli
219 Corvina Drive
Clayton, NC 27520

John P. Tuttle Jr. & Diana W. Tuttle
95 Cabernet Court
Clayton, NC 27520

Matthew E. Vaughn & Marisa M. Vaughn
90 Cabernet Court
Clayton, NC 27520

Carl Vincent & Wanda Vincent
160 Corvina Drive
Clayton, NC 27520

Steve Warren & Angela Warren
65 Concord Court
Clayton, NC 27520

Alfred Whitlow Jr.
106 Corvina Drive
Clayton, NC 27520

David and Connie Atwood
148 Chardonney Dr.
Clayton, NC 27520

Wanda C. Grullon
123 Chardonney Dr.
Clayton, NC 27520

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.

To be completed by the applicant:	Yes	N/A	Staff:
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each: Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).			
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Owner's name and address	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Within Town limits or ETJ	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Zoning District	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Overlay District (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Electric Provider	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Water Provider (or indicate if well)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
- Sewer Provider (or indicate if septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Impervious (existing and proposed, square feet and %) – provide impervious for overall development and per lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Maximum allowed impervious	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Existing Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Proposed Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private" and labeled with easement type.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
24. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
25. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
26. Proposed streets are labeled, named and dimensioned. Correct street cross	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<p>section detail provided. Label street type based on definitions in §155.602(D).</p> <p>If streets are private:</p> <ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." <p>Street names must be approved by Town of Clayton via a Road Name Application.</p>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
27. Lengths of all cul-de-sacs.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
28. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input type="checkbox"/>	
<p>29. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.)</p> <ul style="list-style-type: none"> - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:</p> <p>"The Resource Conservation Area shown hereon is provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity per the standards of the Unified Development Code"</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
31. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and bicycle racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Show how streets are connected to property lines ("stub-out" streets) to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
36. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
LANDSCAPING PLAN SHEET (See §155.402 for Landscaping Requirements)			
37. Show location, width, and type of all landscape buffers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>38. Provide a plant list summary table which includes:</p> <ul style="list-style-type: none"> - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. If common landscaped areas are provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
species must be used).			
40. Location, species, and caliper of any existing trees that will remain on site. If used to meet planting requirements, make note of what requirements are fulfilled by the preserved trees.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
44. Label adjacent property acreage, owners, and zoning districts.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Label subject parcel property owner, acreage, and zoning.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
46. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
51. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Show street cross-sections.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
53. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
55. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
56. Any other information considered by either the applicant or the Town to be pertinent to the review.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Signed by Applicant:



Date:

10/1/15



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Lot 78 Hannahs Creek Address or PIN #: 165803-21-4008

AGENT/APPLICANT INFORMATION:

True Line Surveying
 (Name - type, print clearly)

205 W. Main St.
 (Address)
Clayton NC 27520
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

Major

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Darryl O. Evers
 (Name - type, print clearly)

425 Indian Camp Rd.
 (Address)

[Signature]
 (Owner's Signature)

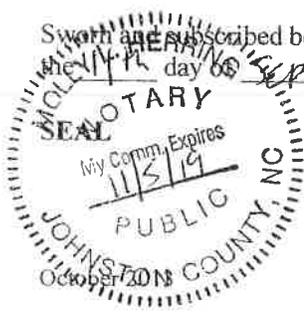
Smithfield NC 27577
 (City, State, Zip)

STATE OF NC
 COUNTY OF Johnston

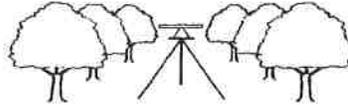
Sworn and subscribed before me Molly L. Herring, a Notary Public for the above State and County, this 11th day of Sept., 2015.

Molly L. Herring
 Notary Public

My Commission Expires: 11/5/17



TRUE LINE SURVEYING, P.C.



October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: October 14, 2015

Location: True Line Surveying, 205 W. Main Street Clayton

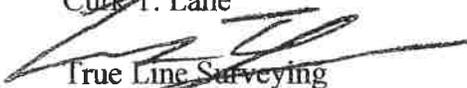
Time: 6:00 PM

Type of Application: Modification to Major Subdivision

General Description: Modification to Hannah's Creek subdivision requesting additional acres to open space and the creation of 1 additional lot.

If you have any question prior to or after this meeting, you may contact us at (919) 359-0427.

Sincerely,
Curl T. Lane



True Line Surveying



May 20, 2008

Mr. Curk Lane
True Line Surveying, PC
205 West Main Street
Clayton, NC 27520

Mr. Darryl D. Evans
Darryl D. Evans Inc
425 Indian Camp Road
Smithfield, NC 27577

Re: PRELIMINARY SUBDIVISION SUB 08-01 FOR HANNAH'S CREEK,
PHASE 3

Dear Mr. Lane & Mr. Evans:

At the May 5, 2008, Council meeting, the Clayton Town Council approved preliminary subdivision for residential development SUB 08-01 for Hannah's Creek, Phase 3. Enclosed is an executed copy of the permit for your records.

Feel free to call me at 553-5002 if you have any questions.

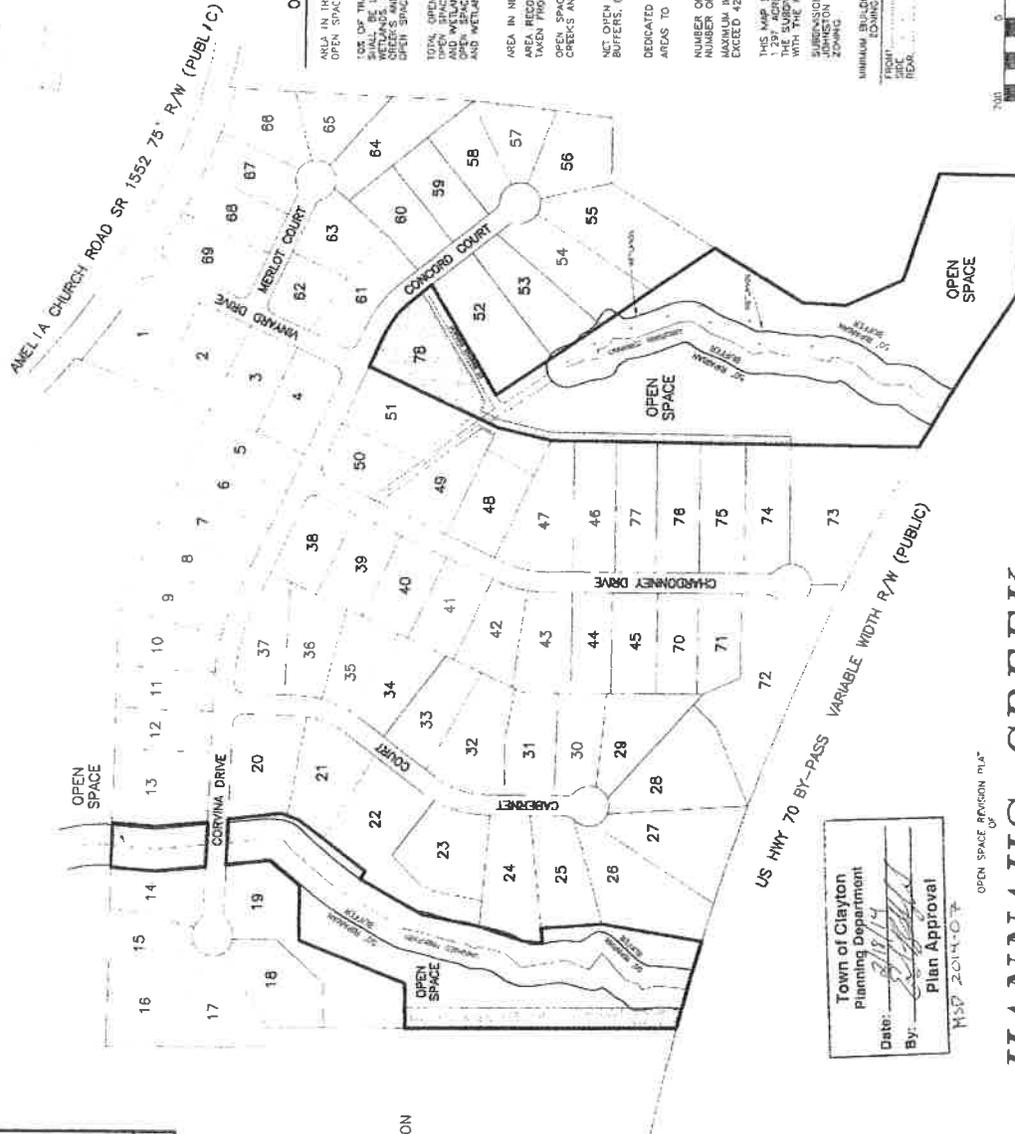
Sincerely,

A handwritten signature in cursive script that reads "Sherry L. Scoggins".

Sherry L. Scoggins, CMC
Town Clerk

Enclosure

cc: Planning & Inspections Department



OPEN SPACE CALCULATIONS

AREA IN THIS MAP	34.848 AC
OPEN SPACE REQUIRED	0.464 AC
TOTAL OPEN SPACE DEDICATED TO OPEN SPACE THAT WILL REMAIN AFTER THE REMOVAL OF ALL BUILDINGS, CREEKS AND WETLANDS AND DEDICATED OPEN SPACE INSIDE BUFFER AREAS AND CREEKS AND WETLANDS DO NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT	13.308 AC
TOTAL OPEN SPACE DEDICATED	13.308 AC
OPEN SPACE INSIDE BUFFER AREAS, CREEKS AND WETLANDS	3.997 AC
OPEN SPACE REMAINING OUTSIDE BUFFER AREAS, CREEKS AND WETLANDS	9.311 AC
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE	1.287 AC
AREA REQUIRED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE	0.767 AC
OPEN SPACE REMAINING OUTSIDE BUFFER AREAS, CREEKS AND WETLANDS	7.257 AC
NET OPEN SPACE REMAINING OUTSIDE BUFFER AREAS, CREEKS AND WETLANDS	1.758 AC
DEDICATED OPEN SPACE SHOWN IN HEAVY LINES	
AREAS TO NEW LOT 78 AND OLD FIELD SUBDIVISION ARE HATCHED	
NUMBER OF LOTS EXISTING	77
NUMBER OF LOTS PROPOSED	78
MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF	

THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1.287 ACRE LOT (LOT 78) AND REMOVES 0.767 ACRES FROM THE EXISTING 1.287 ACRE LOT (LOT 77) TO BE INCORPORATED WITH THE FUTURE OLD FIELD SUBDIVISION TO BE INCORPORATED IN JOHNSON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR 2009 ZONING.

MINIMUM BUILDING SETBACKS:
 EDGING 4'-0"
 FRONT 20 FEET
 SIDE 5 FEET
 REAR 10 FEET

MINIMUM BUILDING SETBACKS:
 EDGING 4'-0"
 FRONT 21 FEET
 SIDE 8 FEET
 REAR 16 FEET



Town of Clayton
 Planning Department
 Date: 12/18/13
 By: [Signature]
 Plan Approval
 MSP 2014-07

OPEN SPACE REVISION PLAT

HANNAHS CREEK SUBDIVISION

FOR
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSON COUNTY
 NORTH CAROLINA
 DECEMBER 15, 2013
 REISED 2-4-14 TOWN COMMENTS

DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
DATE	
BY	

TRUE LINE SURVEYING, P.C.

205 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

March 4, 2014

Curk Lane
True Line Surveying
205 W Main Street
Clayton, NC 27520

Re: MSD 2014-07 Hannah's Creek Subdivision Minor Modification

Dear Mr. Lane,

On February 18, 2014, the Planning Director approved the above referenced modification to the previously approved subdivision (Hannah's Creek Phase 1) subject to the following conditions of approval:

1. The development of the site is limited to the site design and uses approved by the Planning Director (plans with stamped approval dated 2/18/14). Modifications of the approved plans shall require additional review and approval, subject to requirements of the Unified Development Code.

Thank you for your cooperation in the review and approval process for this development. If you should have any questions regarding this matter please feel free to contact the Planning Department.

Sincerely,

Emily Beddingfield, AICP
Town Planner

cc: Beth Franson, GIS Analyst

**TOWN OF CLAYTON
SUBDIVISION APPROVAL SUB 08-01
GRANTED**

On the date listed below, the Town Council for the Town of Clayton met and held an evidentiary hearing to consider the following application:

Applicant: Curk Lane for True Line Surveying
Owner: Darryl D. Evans, Inc
Property Location: Amelia Church Road approximately 1/4 of a mile northwest of the Barber Mill Road intersection (Hannah's Creek Subdivision, Phase 3)
Tax Parcel Numbers: 05G03020G & 05G03062
Proposed Use of Property: Single -Family Development
Meeting Dates: May 5, 2008

Having heard all the evidence and argument presented at the hearing, the Town Council finds that the application is complete, that the application complies with all of the applicable requirements of the Clayton Unified Development Ordinance, hereafter referred to as UDO, for the subdivision proposed, and that, therefore, the application to subdivide the above-described property for the purpose indicated is hereby approved, subject to all applicable provisions of the UDO and the following conditions:

- (1) The applicant shall complete the subdivision strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the Planning Department office.
- (2) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this approval shall be void and of no effect.

As set forth in Section 155.706 of the UDO, the Town Council imposed the following additional conditions of the Subdivision Permit:

- o Conditions of approval recommended by the Planning Board and Planning Staff:
 - Metes & Bounds (Planning)
 - Certifications (Planning)

Curk Lane for True Line Surveying, applicant, of the above-identified property for the above Preliminary Subdivision Permit, does hereby acknowledge receipt of this Preliminary Subdivision Permit issued by the Clayton Town Council. The undersigned does hereby acknowledge that no work may be done pursuant to this permit except in accordance with all of its conditions and requirements and that this restriction shall be binding on them and their successors in interest.



Curk Lane

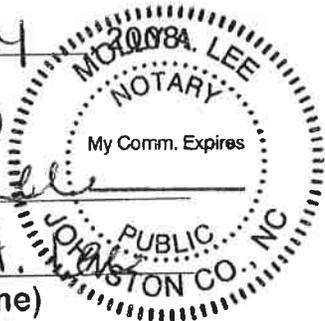
NORTH CAROLINA
Johnston COUNTY

I, Molly A. Lee, a Notary Public in and for said County and State, do hereby certify that Curk T. Lane (applicant) personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal, this the 15 day of May

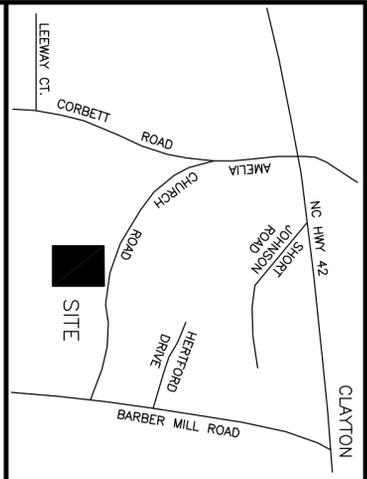
Molly A. Lee

Notary Public - Molly A. Lee
(Printed Name)



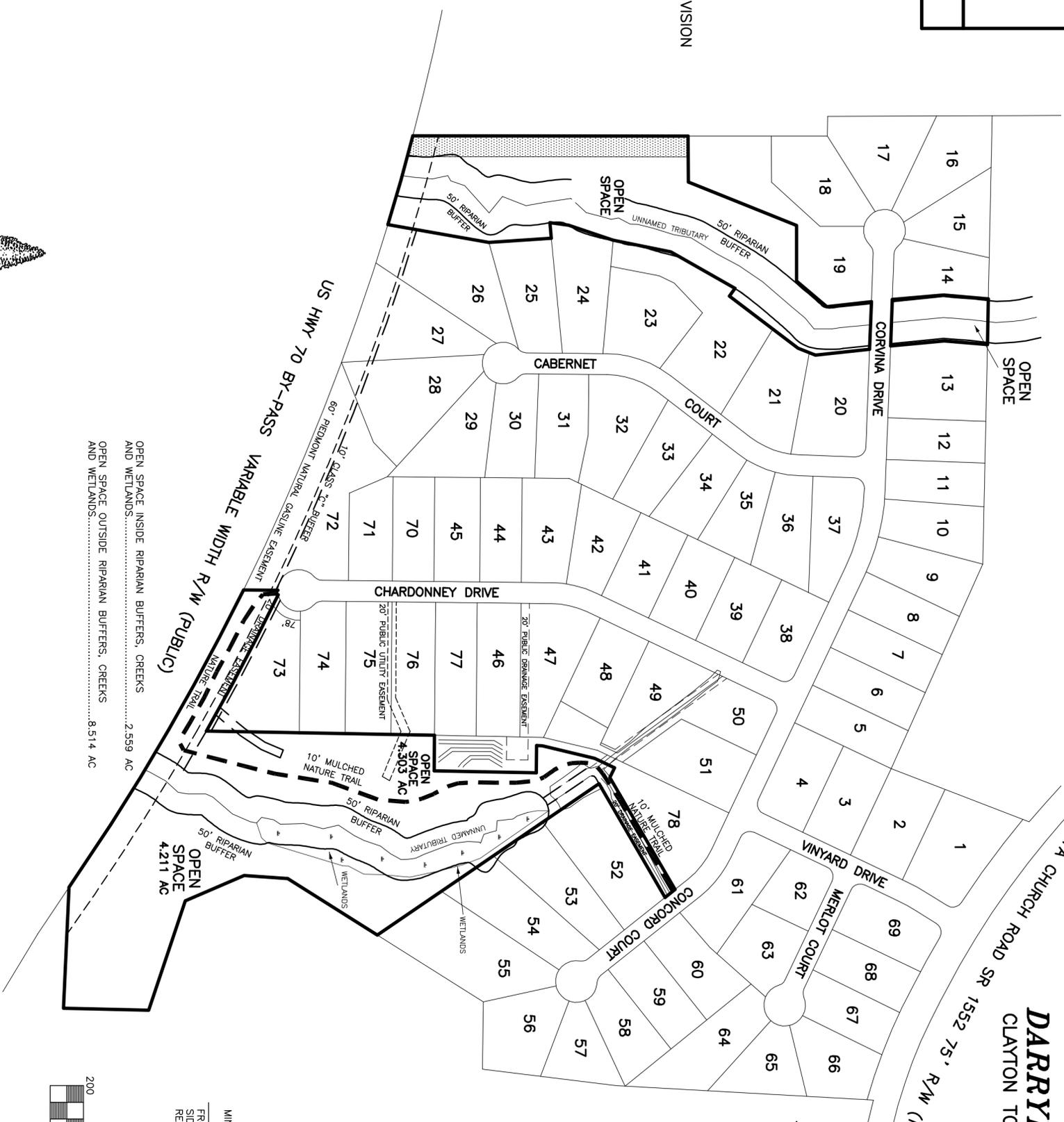
NC County of Commission: Johnston

Commission expires: 11/2/09



OLD FIELD SUBDIVISION

OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 3.446 AC
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 2.195 AC



OPEN SPACE REVISION PLAT
HANNAHS CREEK
SUBDIVISION
 FOR
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 OCTOBER 1, 2015

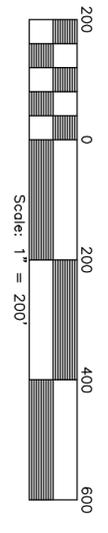
OPEN SPACE CALCULATIONS

AREA IN TRACT.....	84,836 AC
OPEN SPACE REQUIRED.....	10,605 AC
12.5% OF TRACT MUST BE DEDICATED TO OPEN SPACE. THAT 12.5% SHALL BE LOCATED OUTSIDE OF RIPARIAN BUFFERS, CREEKS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS DO NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT	
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE.....	1,506 AC
AREA RECOMBINED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE.....	0,767 AC
OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....	6,005 AC
OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....	10,709 AC
TOTAL OPEN SPACE DEDICATED.....	16,714 AC

PROPOSED NATURE TRAIL 1900+/-FT - - - - -
 NUMBER OF LOTS EXISTING.....77
 NUMBER OF ADDITIONAL LOTS PROPOSED.....1
 MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF

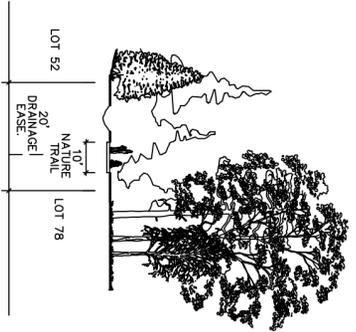
THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1,506 ACRE LOT (LOT 78) AND REMOVES 0.767 ACRES FROM THE SUBDIVISION'S EXISTING OPEN SPACE TO BE RECOMBINED WITH THE FUTURE OLD FIELD SUBDIVISION TO THE WEST. SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR AR ZONING

MINIMUM BUILDING SETBACKS		MINIMUM BUILDING SETBACKS	
ZONING: A-R		ZONING: R-E	
FRONT.....	20 FEET	FRONT.....	21 FEET
SIDE.....	5 FEET	SIDE.....	9 FEET
REAR.....	5 FEET	REAR.....	18 FEET

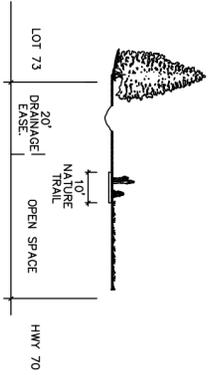


OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 2.559 AC
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 8.514 AC

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES



NATURE TRAIL N.T.S.

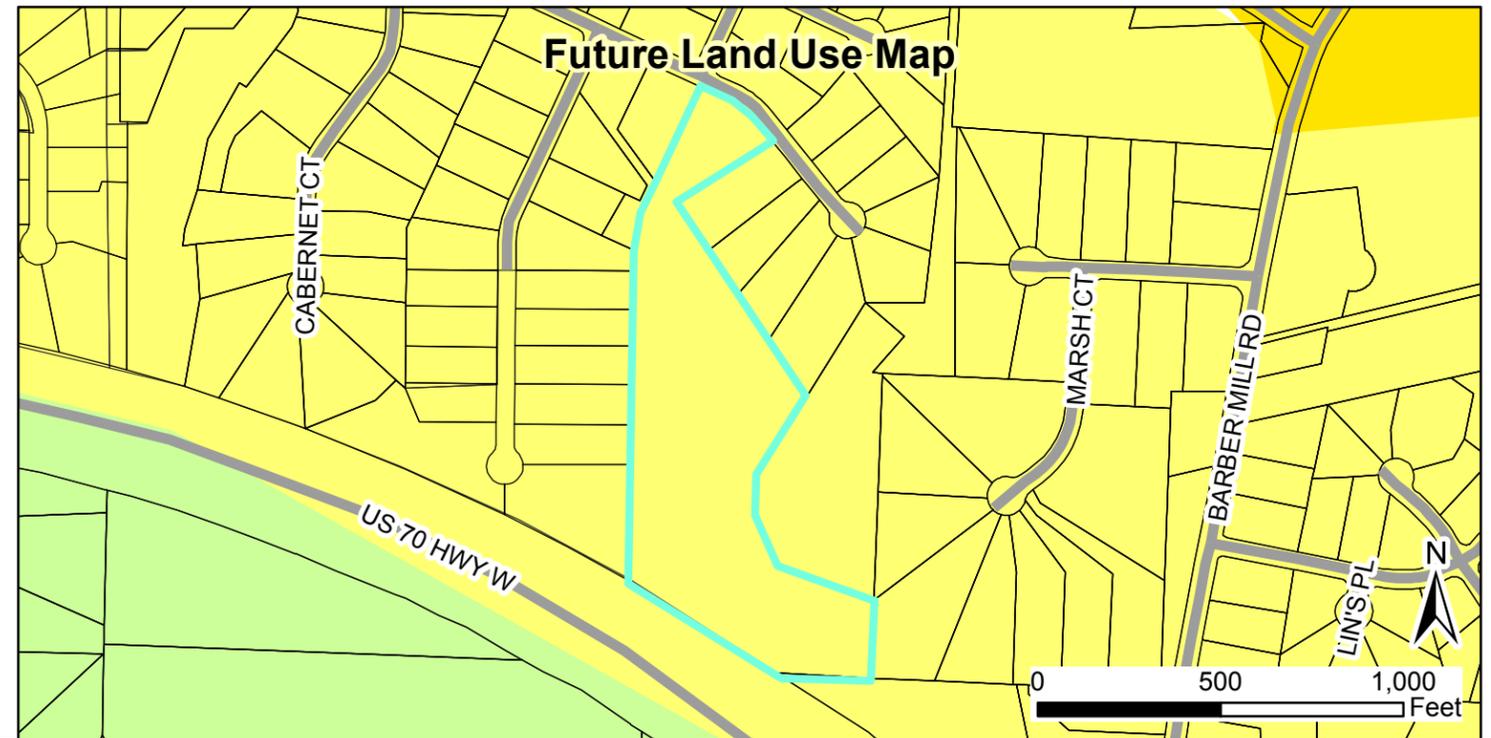
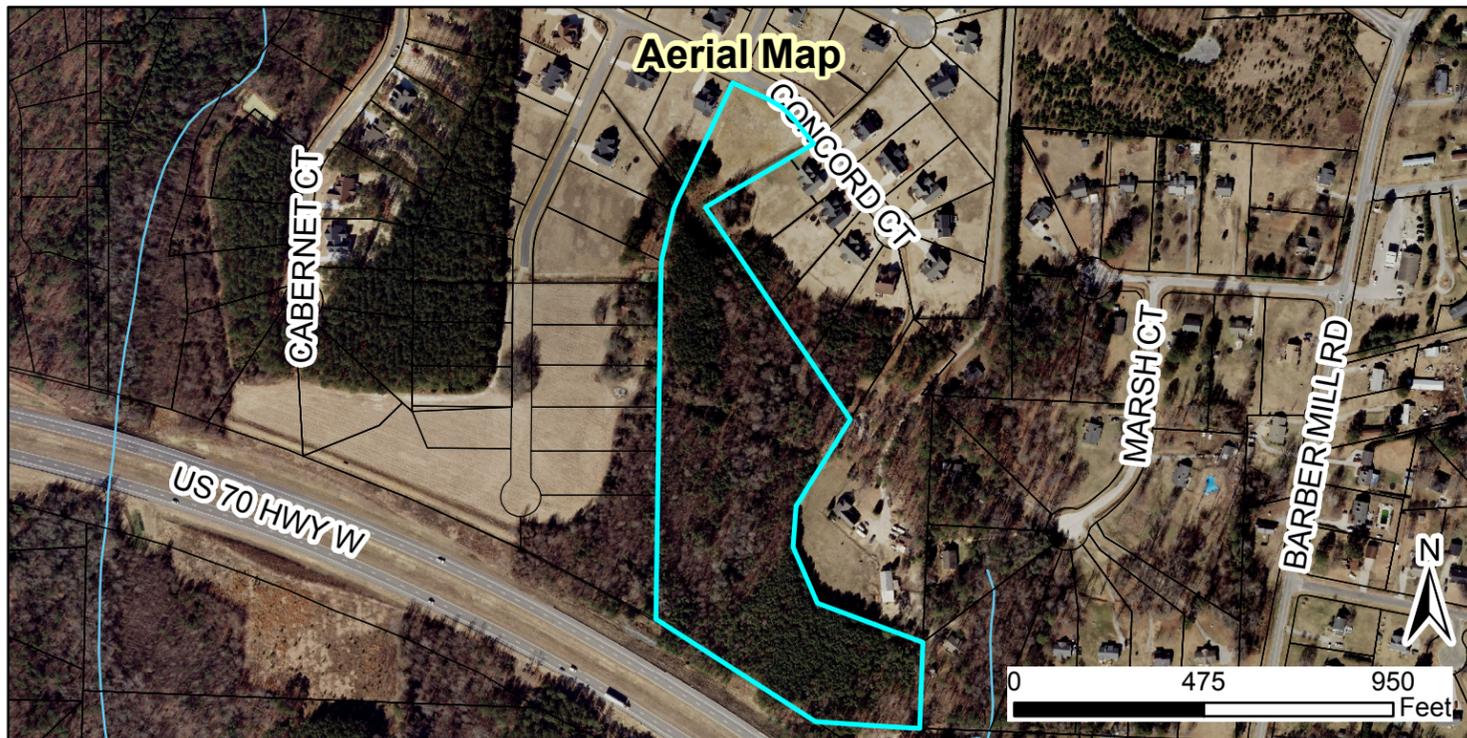
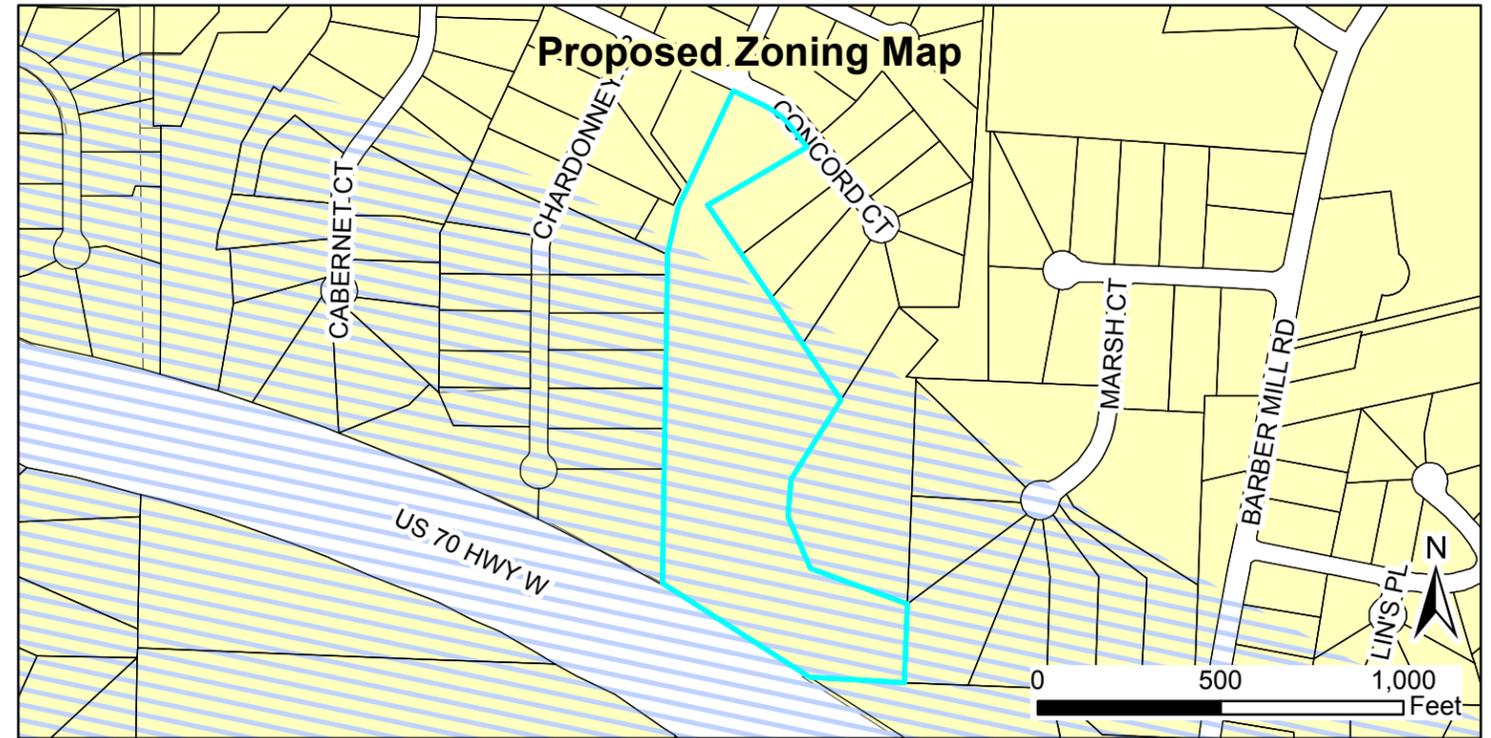
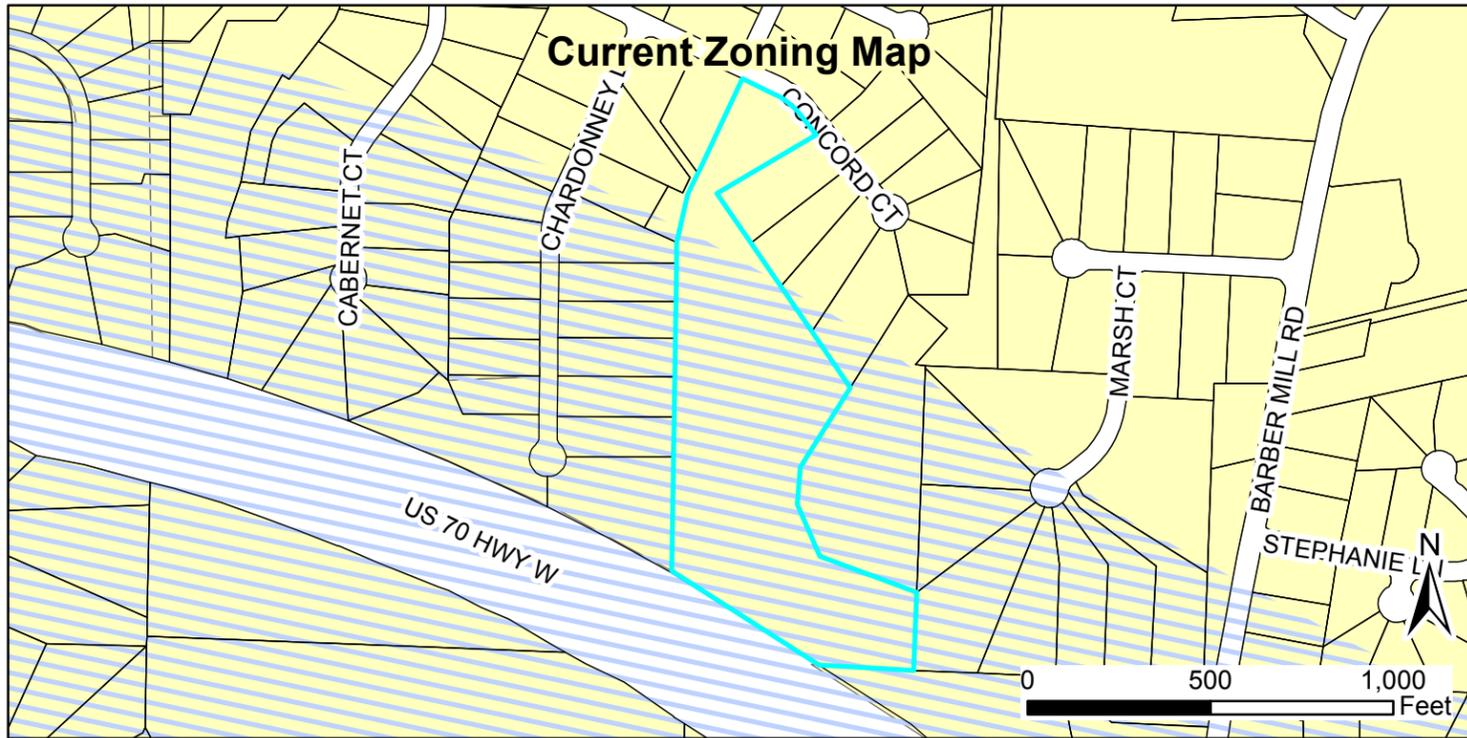


NATURE TRAIL N.T.S.

SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.:	

TRUE LINE SURVEYING, P.C.

205 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com



13-106-01-SD Hannah's Creek Lot 78 Major Subdivision
Request: Approval to add one lot to existing Hannah's Creek subdivision

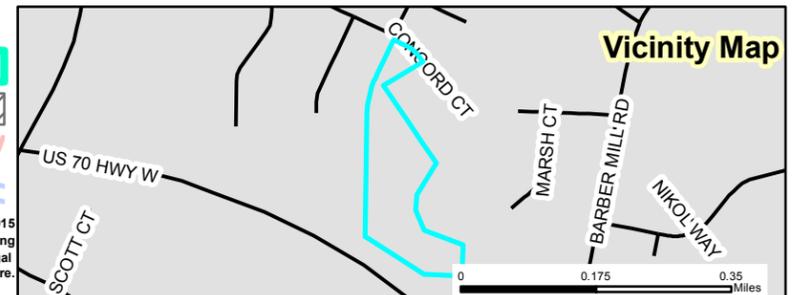
Applicant: Curk Lane
 Property Owner: Darryl D. Evans
 Parcel ID Number: 165803-21-4008
 Tag #: 05g03015i

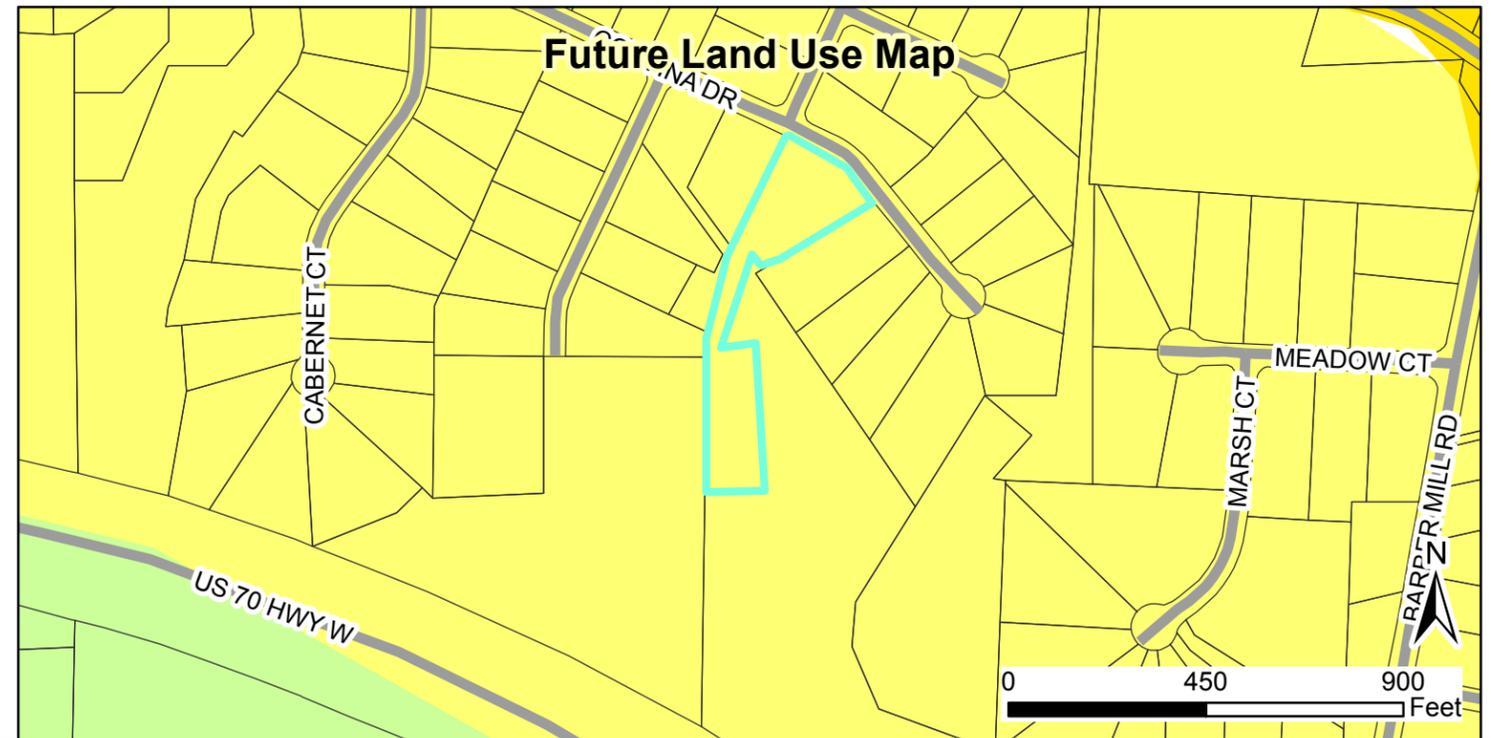
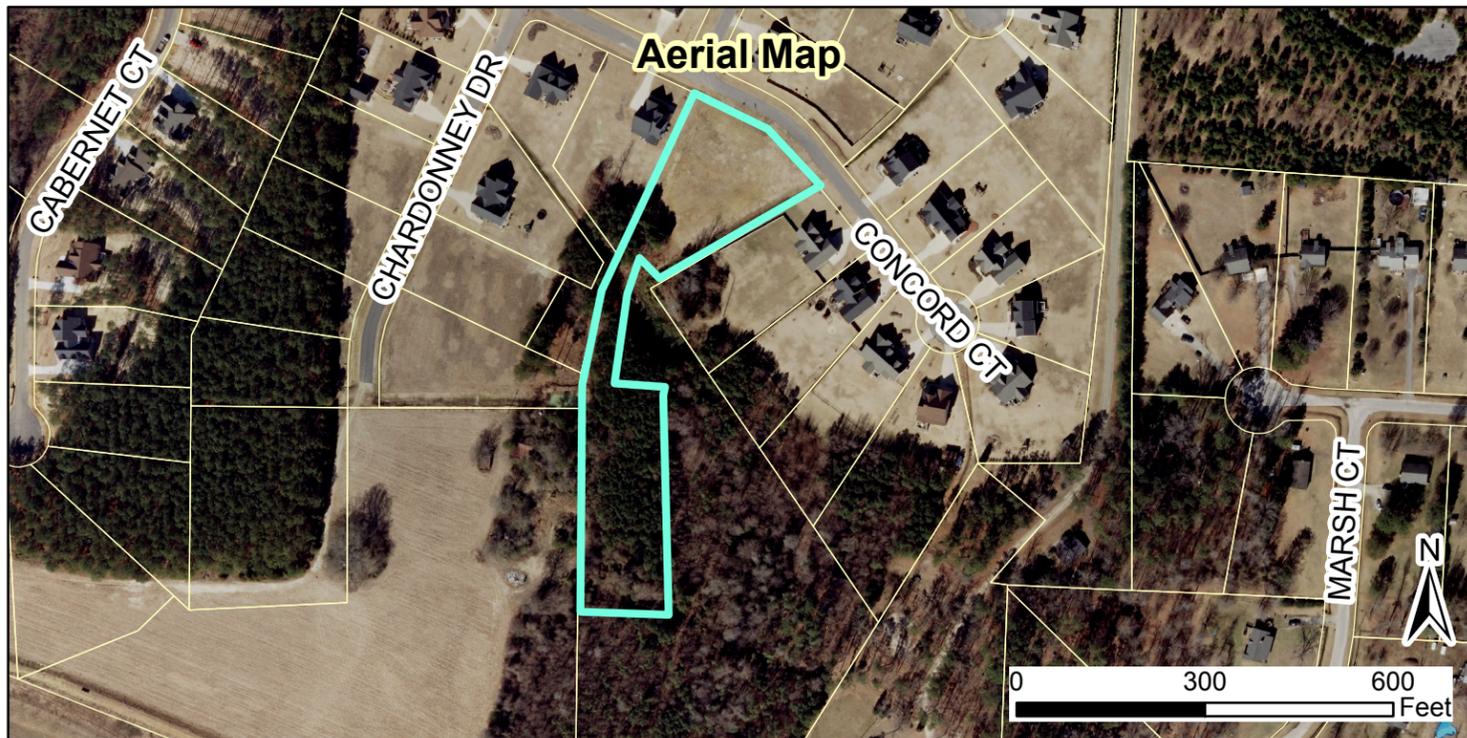
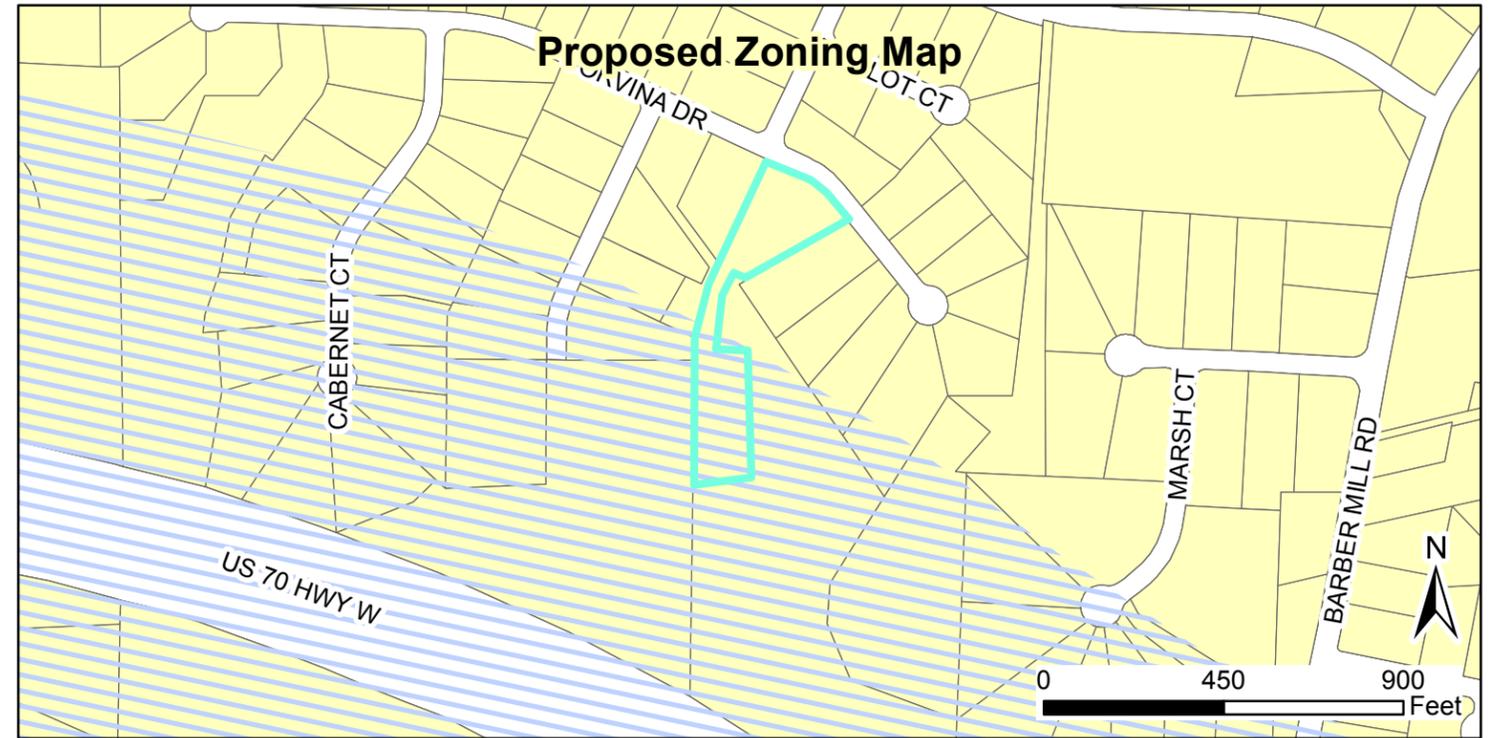
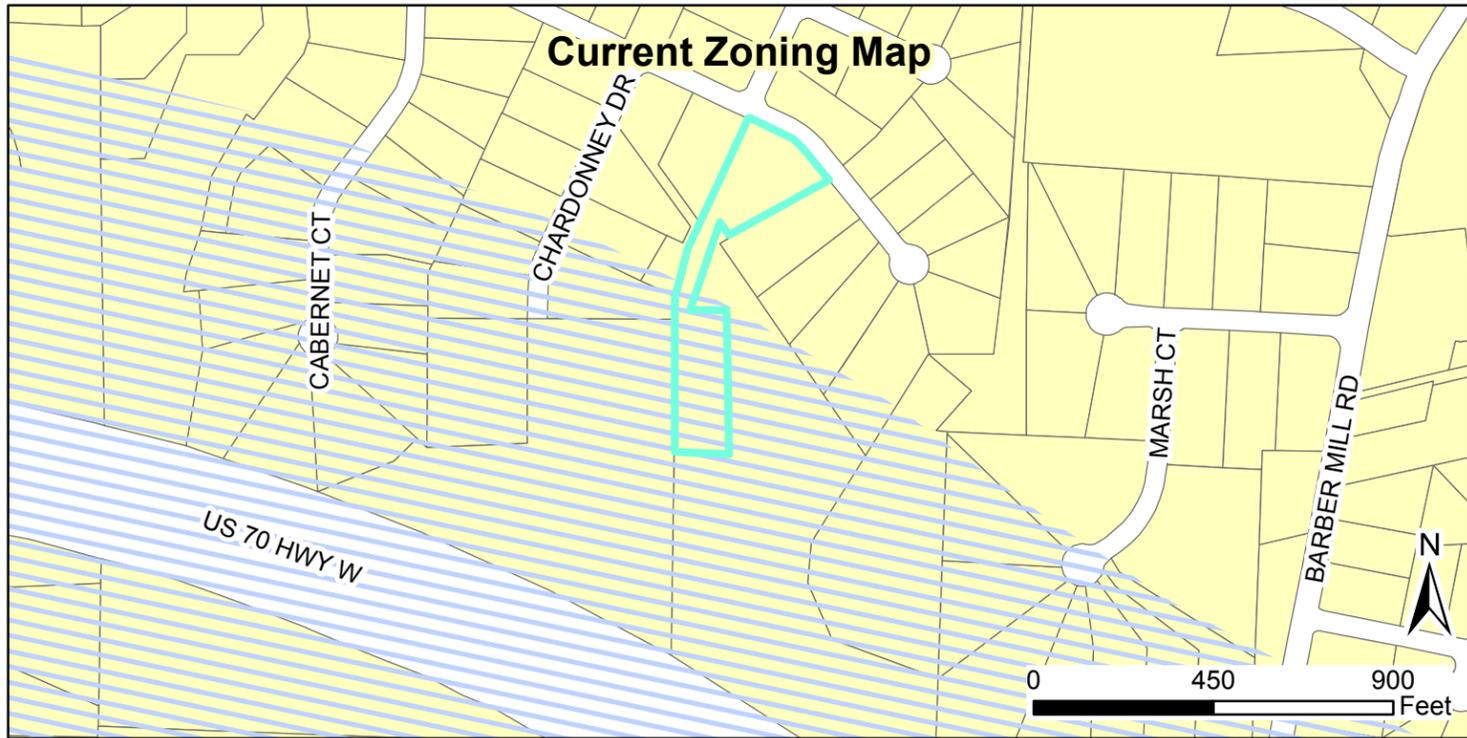


- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

10/15/2015

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



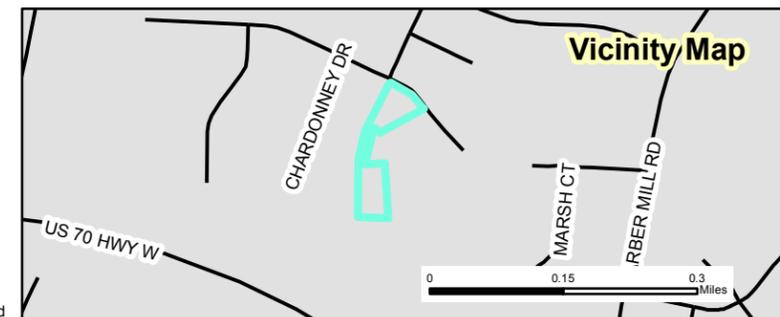


13-106-01-SD Hannah's Creek Lot 78 Major Subdivision
Request: Approval to add one lot to existing Hannah's Creek subdivision

Applicant: Curk Lane
 Property Owner: Darryl D. Evans
 Parcel ID Number: 165803-21-4008
 Tag #: 05g03015i



- Site
 - Special Use District
 - Thorough Fare Overlay
 - Scenic Highway Overlay
- 10/15/2015
 Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: 10/1/15

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Molly Herring Signature: Molly Herring

Date of Meeting: 10/14/15 Time of Meeting: 6pm

Location of Meeting: True Line Surveying + moved to Town Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

See attachment

**Lot 78 Hannahs Creek
Meeting Minutes 10/19/15**

Neighborhood meeting was held October 14, 2016, 6pm at True Line Surveying. The meeting was moved to the Hales room at The Town Center for overflow. Meeting started around 7:15pm. A list of attendance is included as a part of these minutes. The meeting was officiated by Curk Lane with comments made by Darryl Evans. Meeting started with an explanation of how Hannahs Creek Ph. 1, 2 and 3 were approved. It was stated that Hannahs Creek is a county water and individual septic lot open space subdivision with Ph. 1 approved by Johnston County and Ph. 2 approved by Johnston County. Ph. 3 approved by Town of Claytons Town Council after which the amendment to the open space and the creation of lot 78 was approved by Town of Clayton Planning prior to recordation of Ph. 3. The open space in Ph. 1 was recorded as reserve as future development because of the potential purchase of the Harris tract and the subsequent soil delineation for septic systems for the potential of Ph. 3. During the septic approval for Ph. 3 it was determined by Johnston county Environmental Health that there was enough suitable soil along the Harris tract "Ph.3" to create Lot 78. The open space was then amended to include the reserve for septic area for Lot 55 and to remove some open space along Concord Dr. to create Lot 78. Along with this plan there was open space removed from Ph. 2 and added to the lots to Old Field Subdivision which is recorded. The current plan shows Lot 78 and the revised open space as approved by the Town of Clayton Planning with the addition of nature trail connecting Concord Ct. to Chardonney Dr. After this presentation I answered question and comments from the participants.

The Questions and comments are as follows:

1. Why is open space being removed as it was advertise by the Real Estate Agent and Darryl Evans as open space and was not to be built on?

Answered by Darryl Evans: This land was never dedicated to the HOA and was recorded as reserved for future development based on final design of Ph. 3. The consent of the residents of Hannahs Creek they do not want Lot 78 created and the open space improved with a nature trail. It was stated the nature trail would invite criminal activity in the neighborhood. The residents would like to keep Lot 78 as open space and not revise to include the land that was Lot 55 because they did not understand how they could use the open space based on the revised open space plan.

Resident stated the new owner who buys Lot 78 will not be welcomed into neighborhood and will be treated as an outsider. Darryl responded that he always tried to maintain home values in Hannahs Creek by not building smaller less affordable during the recession but chose not to build until the market would sustain normal Hannahs Creek price point homes. The house plan for Lot 78 will be one of the larger house plans built in Hannahs Creek and therefore would not drop value of the neighborhood. The size, shape and house location of Lot 78 will be in keeping and in line with all other lots in Hannahs Creek.

2. How much open space was on the preliminary plan compared to Open Space on final plan?

Answered by Curk Lane: Open space required 8.5acres, Final plan shows 10.7 acres outside of riparian buffers, creeks and wetlands. Total open space dedicated on final plan 16.7 acres. The original plan for open space was to be set aside as passive recreation or to be improved as per the HOA.

3. Questions concerning Impervious surface areas.

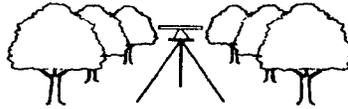
Answered by Curk Lane: The creation of Lot 78 will not change the impervious surface limit of any existing lot in Hannahs Creek.

4. Questions about Sediment control Pond.

Answered by Curk Lane: Sediment pond and erosion rules state that when the drainage area has finished construction and no sediment is being run off the sediment pond must be removed in order to revert back to natural sheet flow of surface water. The creation of Lot 78 will not affect the storm water management plan for Hannahs Creek. See attached calculations by Adams and Hodge Engineering.

5. Questions about improvements to open space promised by Realtor and or Darryl Evans.
Answered by Darryl Evans: Darryl answered the question by stating that the open space could be approved by the HOA but was not advertised as having improvements such as a playground. Residents feel misled by Realtor and Developer in stating the land shown as open space on the original preliminary plan submitted to the county could not be changed.
6. Statement made that the HOA did not currently have any funds.
Answered by Darryl Evans: HOA funds were managed by Darryl until 2 years ago and was then turned over to Kohn-ell. At the time it was turn over it had approx. \$23,000 and now has approx. \$21,000. See bank statements attached.
7. Question asked Why homeowners funds being spent to maintain open space owned by Darryl Evans and not owned by the HOA?
Answered by Darryl Evans: No land dedicated as HOA or stated as reserved for future development has been dedicated to the HOA however, land set aside as open space in Ph. 2 entrance sign easements and berm along 70 bypass have been maintained by the HOA is a benefit for the neighborhood. The land where Lot 78 will be has also been maintained by the HOA as a benefit for the neighborhood until the final plan could be approved and Darryl offered to reimburse the mowing portion of Lot 78 to the HOA.
8. Question According to covenants no new lot can be created in Hannahs Creek.
Answered by Darryl Evans and Curk Lane: The purpose of this statement is to prevent homeowners from subdividing there lots at Hannahs Creek not the creation of additional lots such as the Harris Property "Ph.3" Ph. 3 was designed leaving adequate soil to create Lot 78.
9. How can the homeowners voice their opinion to the Town of Clayton?
Answered by Curk Lane: It would be best to them to submit their own summary of the meeting and list their concerns in writing to be submitted to the Planning staff to be sent as part of the package to the Planning Board and Town Council. Also, advised to pick one or two people to speak at the public meetings representing the consent of the neighborhood.

TRUE LINE SURVEYING, P.C.



October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: October 14, 2015

Location: True Line Surveying, 205 W. Main Street Clayton

Time: 6:00 PM

Type of Application: Modification to Major Subdivision

General Description: Modification to Hannah's Creek subdivision requesting additional acres to open space and the creation of 1 additional lot.

If you have any question prior to or after this meeting, you may contact us at (919) 359-0427.

Sincerely,
Curk T. Lane

True Line Surveying

William Greiner & Tammy Greiner
54 Merlot Court
Clayton, NC 27520

William C. Hartley & Teresa C. Hartley
20 Chardonnay Drive
Clayton, NC 27520

Lee A. Hartman & Tera G. Hartman
234 Corvina Drive
Clayton, NC 27520

John J. Hicks & Connie J. Hicks
24 Vinyard Drive
Clayton, NC 27520

Thomas L. Hunter & Rebecca S. Hunter
36 Cabernet Court
Clayton, NC 27520

Kevin W. Ingram & Melissa A. Ingram
59 Chardonnay Drive
Clayton, NC 27520

Joseph W. Jackson & Misty Joe Jackson
87 Concord Court
Clayton, NC 27520

Jay W. Johnson & Malinda J. Johnson
54 Vinyard Drive
Clayton, NC 27520

Brian A. Kapusta & Sarah B. Kapusta
78 Vinyard Drive
Clayton, NC 27520

Christopher LaTurno & Lisa LaTurno
74 Chardonnay Drive
Clayton, NC 27520

Gerald D. Lee & William G. Smart
61 Merlot Court
Clayton, NC 27520

Brian S. Lipscomb & Amanda L.
150 Corvina Drive
Clayton, NC 27520

Henry C. Marcum & Tabitha S. Marcum
70 Merlot Court
Clayton, NC 27520

Charles McCann & Karen L. McCann
170 Corvina Drive
Clayton, NC 27520

Glenn McDowell & Kelly McDowell
58 Cabernet Court
Clayton, NC 27520

Donald Jeremy McLean & Alana H.
96 Chardonnay Drive
Clayton, NC 27520

Robert Miles & Rhonda Pelech
69 Chardonnay Drive
Clayton, NC 27520

David G. Miller & Lynda E. Miller
39 Cabernet Court
Clayton, NC 27520

Michael Mullins & Jody Mullins
231 Corvina Drive
Clayton, NC 27520

Daniel M. Nunes & Holley M. Nunes
220 Corvina Drive
Clayton, NC 27520

Matthew J. O'Connor & Holly E.
33 Vinyard Drive
Clayton, NC 27520

Keith Pagano & Katherine Pagano
66 Concord Court
Clayton, NC 27520

Jeremy Sabo & Lauren Sabo
188 Corvina Drive
Clayton, NC 27520

Lonnie Linwood Sawyer
120 Chardonnay Drive
Clayton, NC 27520

Vincent J. Scavone & Kimberly A.
14 Merlot Court
Clayton, NC 27520

Bradley T. Schoonover & Rachel A.
116 Chardonnay Drive
Clayton, NC 27520

Daniel Schott & Ariana Schott
76 Cabernet Court
Clayton, NC 27520

Scott Joel Smith
102 Cabernet Court
Clayton, NC 27520

Joseph Spivey & Amanda Spivey
84 Corvina Drive
Clayton, NC 27520

Robert Stephenson & Carrie
121 Cabernet Court
Clayton, NC 27520

Bennett E. Strickland & Aileen A.
86 Concord Court
Clayton, NC 27520

Allen Surratt II & Amanda Surratt
91 Chardonnay Drive
Clayton, NC 27520

Michael Tuccelli & Sarah Tuccelli
219 Corvina Drive
Clayton, NC 27520

John P. Tuttle Jr. & Diana W. Tuttle
95 Cabernet Court
Clayton, NC 27520

Matthew E. Vaughn & Marisa M. Vaughn
90 Cabernet Court
Clayton, NC 27520

Carl Vincent & Wanda Vincent
160 Corvina Drive
Clayton, NC 27520

Steve Warren & Angela Warren
65 Concord Court
Clayton, NC 27520

Alfred Whitlow Jr.
106 Corvina Drive
Clayton, NC 27520

David and Connie Atwood

148 Chardonney Dr.

Clayton, NC 27520

Wanda C. Grullon

123 Chardonney Dr.

Clayton, NC 27520

D. David Allison, Jr. & Deborah L. Allison
121 Concord Court
Clayton, NC 27520

Lars G. Andersson & Carla J. Andersson
86 Chardonnay Drive
Clayton, NC 27520

Mary Baker
228 Corvina Drive
Clayton, NC 27520

Frederick K. Bangert & Kathy J. Bangert
9 Cabernet Court
Clayton, NC 27520

Bruce D. Beavers & Teresa L. Beavers
105 Concord Court
Clayton, NC 27520

Michael G. Beavers & Mable S. Beavers
42 Chardonnay Drive
Clayton, NC 27520

Robert E. Blackman Jr. & Melinda W.
73 Merlot Court
Clayton, NC 27520

Jeremy Brewer & Paula Brewer
235 Corvina Drive
Clayton, NC 27520

Marcus Burrell & Myra Burrell
23 Chardonnay Drive
Clayton, NC 27520

Joshua Carlisle & Laura Carlisle
30 Corvina Drive
Clayton, NC 27520

James Carroll & Tammy Carroll
140 Corvina Drive
Clayton, NC 27520

Keith B. Connolly & Kimberly L. Connolly
101 Vinyard Drive
Clayton, NC 27520

George D. Craig Jr. & Edith B. Craig
23 Cabernet Court
Clayton, NC 27520

Thomasine C. Dade
73 Cabernet Court
Clayton, NC 27520

Johnny H. Daughtridge III & Ashley T.
117 Cabernet Court
Clayton, NC 27520

Timothy Donehoo & Levana Miller
58 Chardonnay Drive
Clayton, NC 27520

James M. Dubovec & Kristen A.
181 Corvina Drive
Clayton, NC 27520

Matthew Dupree & Emily Dupree
118 Cabernet Court
Clayton, NC 27520

Jonathan Ellis
62 Corvina Drive
Clayton, NC 27520

Sean P. Elmore & Erin L. Elmore
128 Corvina Drive
Clayton, NC 27520

Emmanuel Eslabon & Carmela Eslabon
31 Merlot Court
Clayton, NC 27520

Ronald L. Evans & Kathleen V. Evans
106 Concord Court
Clayton, NC 27520

Susan Fikes
77 Merlot Court
Clayton, NC 27520

John P. Fleming & Raquel W. Fleming
17 Corvina Drive
Clayton, NC 27520

James W. Flockhart Jr. & Suzanne M.
53 Cabernet Court
Clayton, NC 27520

Alan Flowers
112 Cabernet Court
Clayton, NC 27520

David R. Ford & Heather H. Ford
117 Concord Court
Clayton, NC 27520

Gerald K. Ford & Sharon S. Ford
116 Concord Court
Clayton, NC 27520

Gary A. Furer & Deborah J. Furer
31 Cabernet Court
Clayton, NC 27520

Julian Gomez & Kristy L. Gomez
107 Cabernet Court
Clayton, NC 27520

See attachment

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: True Line Surveying

Location/Date: _____

	NAME	ADDRESS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

Attendance Roster
10/14/15

1. Bruce Beavers	105 Concord Ct., Clayton
2. Frederick & Kathy Bangert	9 Cabernet Ct., Clayton
3. Michael Beavers	42 Chardonney Dr., Clayton
4. Sue Beavers	42 Chardonney Dr., Clayton
5. Teresa Beavers	105 Concord Ct., Clayton
6. Gerald Lee	61 Merlot Ct., Clayton
7. Susan Fikes	77 Merlot Ct., Clayton
8. Keith Connolly	101 Vinyard Dr., Clayton
9. David G. Miller	39 Cabernet Ct., Clayton
10. Manny & Carmela Eslabon	31 Merlot Ct., Clayton
11. Tabitha Marcum	70 Merlot Ct.
12. Dave & Connie Atwood	148 Chardonney Dr., Clayton
13. Jim Dubovec	181 Corvina Dr., Clayton
14. Brian Lipscomb	150 Corvina Dr., Clayton
15. Carl & Wanda Vincent	160 Corvina Dr., Clayton
16. Robert & Carrie Stephenson	121 Cabernet Ct., Clayton
17. Jeremy Brewer	235 Corvina Dr., Clayton
18. Lee Hartman	234 Corvina Dr., Clayton
19. John Fleming	17 Corvina Dr., Clayton
20. Thomasine Dade	73 Cabernet Ct., Clayton
21. Angela Warren	65 Concord Ct., Clayton
22. Steve Warren	65 Concord Ct., Clayton
23. Gerald Ford	116 Concord Ct., Clayton
24. Misty Joe Jackson	87 Concord Ct., Clayton
25. Bennett & Aileen Strickland	86 Concord Ct., Clayton
26. Henry Marcum	70 Merlot Ct., Clayton
27. Katherine Pagano	66 Concord Ct., Clayton
28. Joshua Carlisle	30 Corvina Dr., Clayton
29. Melinda Johnson	54 Vinyard Dr., Clayton
30. Jay Johnson	54 Vinyard Dr., Clayton
31. James Lipscomb	328 E. Main st., Clayton
32. Jay McLeod	Town of Clayton
33. Joseph Hamer	425 S. Lombard St., Clayton



October 13, 2015

HANNAH'S CREEK
Lot 78
Darryl D Evans, Inc
425 Indian Camp Road
Clayton, NC

Subject: HANNAH'S CREEK
LOT 78

Dear Mr. Evans,

As requested I have evaluate the pre vs post stormwater calculations to determine if the proposed Lot 78 would affect downstream flow. Lot 78 is less than 1.5ac and only 3.7% of the total 40.1 ac watershed, which is less than 10% and considered insignificant.

Also, the attached calculations show that the addition of Lot 78 would increase the impervious area at the shown point of interest by only 0.3% and the overall imperviousness for this drainage area would remain under the required 12%. See attached watershed map.

I have also sized three culverts that need to be installed under the proposed nature trail. See attached calculations.

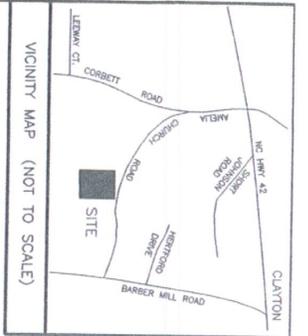
If you have any questions or comments, please give me a call at 919-369-1938 or email to andrew@adamsandhodge.com .

Sincerely,

Andrew W Hodge, PE



10/13/2015



PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES

OLD FIELD SUBDIVISION

HANNAHS CREEK SUBDIVISION

FOR
DARRYL D. EVANS, INC.
CLAYTON TOWNSHIP, JOHNSTON COUNTY
NORTH CAROLINA
OCTOBER 1, 2015

OPEN SPACE REVISION PLAT



OPEN SPACE CALCULATIONS

AREA IN TRACT	84,838 AC
OPEN SPACE REQUIRED	8,484 AC
10% OF TRACT MUST BE DEDICATED TO OPEN SPACE THAT SHALL BE LOCATED OUTSIDE RIPARIAN BUFFERS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS AND WETLANDS DOES NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT.	
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE	1,287 AC
AREA BEING ADDED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE	0,787 AC
OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS	5,997 AC
OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS	10,733 AC
TOTAL OPEN SPACE DEDICATED	16,730 AC

DEDICATED OPEN SPACE SHOWN IN HEAVY LINES
PROPOSED NATURE TRAIL 1900+/- FT

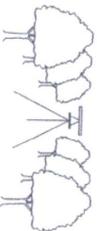
NUMBER OF LOTS EXISTING: 77
NUMBER OF LOTS PROPOSED: 78
NUMBER OF LOTS UNDER REVIEW: 1
TOTAL NUMBER OF LOTS: 156
TOTAL SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF

THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW LOT TO THE SUBDIVISION AND REMOVES 0.787 ACRES FROM THE SURFACE AREA OF THE SUBDIVISION TO THE WEST. THE SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR PLAT ZONING.



MINIMUM BUILDING SETBACKS		MINIMUM BUILDING SETBACKS	
ZONING: A-R		ZONING: R-E	
FRONT	20 FEET	FRONT	21 FEET
REAR	5 FEET	REAR	9 FEET
		SIDE	18 FEET

DESIGNED BY:	
CHECKED BY:	
DRAWN BY:	
DATE:	
SCALE:	
JOB NO.:	



TRUE LINE SURVEYING, P.C.

205 WEST MAIN STREET
CLAYTON, N.C. 27520
TELEPHONE: (919) 359-0427
FAX: (919) 359-0428
www.truelinesurveying.com

Hudducks Creek

10/8/15

Total Drainage Area @ POI = 40.1 ac
Lot 78

Impervious Area

of lot contributing

Phase 1+2 = 21 @ 4288 SF/lot = 90,048

Phase 3 = 10.5 @ 3775 SF/lot = 39,638

129,686 SF

Streets

Merlot	420
Vineyard	290
Estward	620
Chardonnay	1310
Cosvina	830

3470' * 20' = 69,400 SF

Total Imp. area to POI = 199,086 SF
or
4.57 ac

Percent

Imp area = $\frac{4.57 \text{ ac}}{40.1 \text{ ac}} = 11.4\%$

Impervious

Hannahs Creek

10/8/15

Adding Lot 78 to Watershed

This would add 4,288 SF to the impervious area.

$$\begin{array}{r} \text{Now} \\ 179,086 \end{array} + 4288 = \begin{array}{r} \text{Proposed} \\ 203,374 \text{ SF} \\ \text{or} \\ 4.67 \text{ ac} \end{array}$$

Proposed

$$\begin{array}{l} \text{Imp Area} = \frac{4.67 \text{ ac}}{40.1 \text{ ac}} = 11.7\% \\ \text{Total area} = 40.1 \text{ ac} \end{array}$$

Therefore adding lot 78 would only add 0.3% to the total impervious area, and the proposed impervious area is less than the allowed 12%.

HANNAH'S CREEK

Culvert

1



Determine Composite "C" value:

	Area in acres (A)	"C" value for area	A*C
1	0.32	0.35	0.11
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
Total	0.32		0.11
Composite "C" value:			0.35

Intensity

(I)

2 yr	4.6
10 yr	6.21
25 yr	7.21

Discharge (Q=CIA)

2 yr	0.5
10 yr	0.7
25 yr	0.8

Determine Pipe Size Where:

Q 2yr =	0.5
Q 10yr =	0.7
Q 25yr =	0.8

MAX. ELEVATIONS

Upper Inv:=	
Lower Inv:=	
Length:=	

n=	0.013
Slope=	0.50%

D2=	7
D10=	7
D25=	8

CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 15 in Acceptable
 HW/D10= less than 0.5

HANNAH'S CREEK

Culvert

2

Determine Composite "C" value:

	Area in acres (A)	"C" value for area	A*C
1	4.41	0.35	1.54
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
Total	4.41		1.54
Composite "C" value:			0.35

Intensity

(I)

2 yr	4.6
10 yr	6.21
25 yr	7.21

Discharge (Q=CIA)

2 yr	7.1
10 yr	9.6
25 yr	11.1

Determine Pipe Size Where:

MAX. ELEVATIONS

Q 2yr =	7.1	Upper Inv:=
Q 10yr =	9.6	Lower Inv:=
Q 25yr =	11.1	Length:=
D2=	18	
D10=	20	
D25=	21	

n= 0.013
Slope= 0.50%

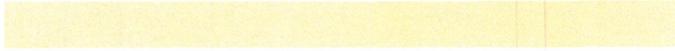
CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 24 in **Acceptable**
HW/D10= 0.81

HANNAH'S CREEK

Culvert

3



Determine Composite "C" value:

	Area in acres (A)	"C" value for area	A*C
1	0.34	0.35	0.12
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
Total	0.34		0.12
Composite "C" value:			0.35

Intensity (I)

2 yr	4.6
10 yr	6.21
25 yr	7.21

Discharge (Q=CIA)

2 yr	0.5
10 yr	0.7
25 yr	0.9

Determine Pipe Size Where:

Q 2yr =	0.5	Upper Inv:=
Q 10yr =	0.7	Lower Inv:=
Q 25yr =	0.9	Length:=
D2=	0	
D10=	0	
D25=	0	

MAX. ELEVATIONS

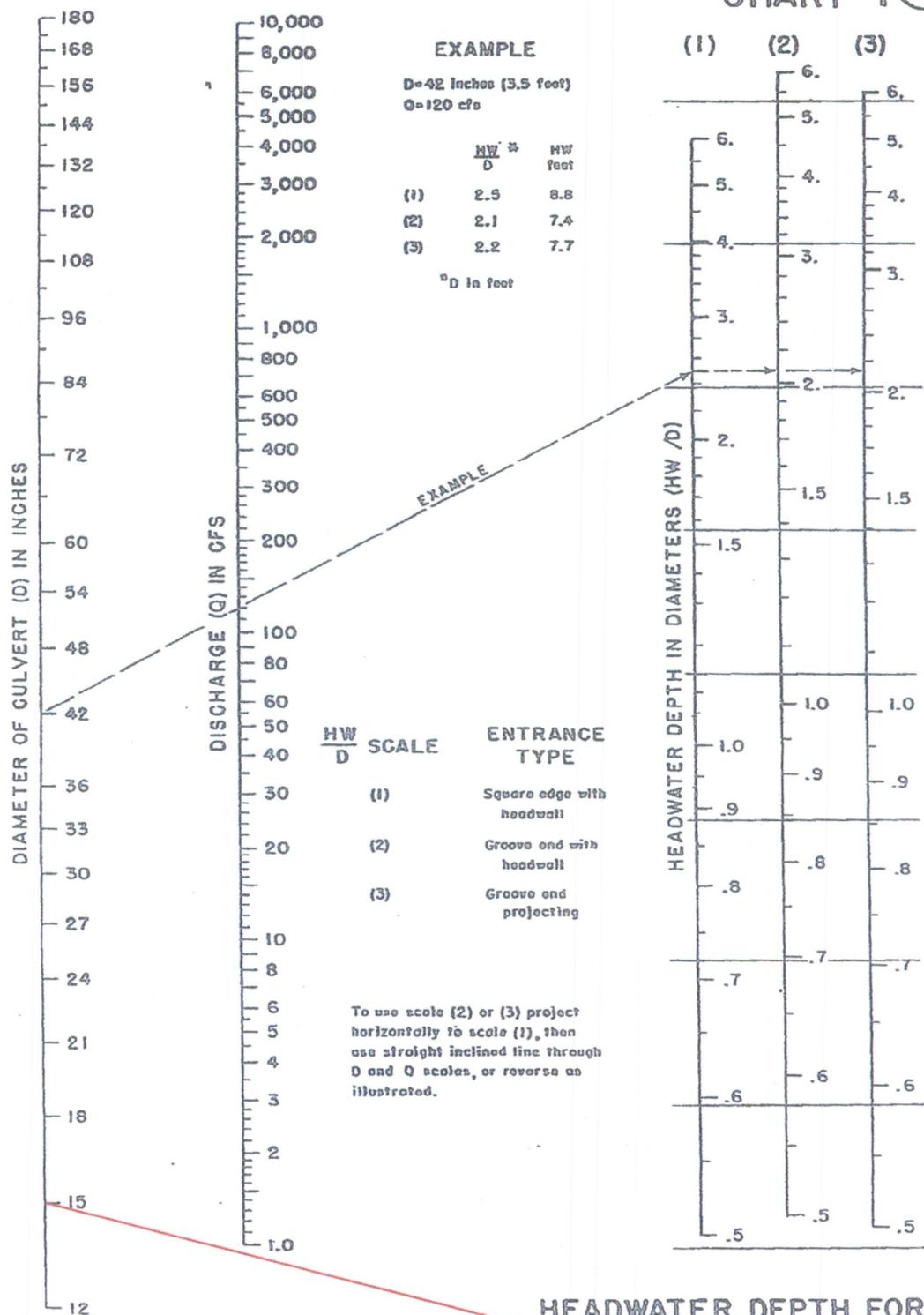
n=
Slope= 0.50%

CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 15 in **Acceptable**
HW/D10= less than 0.5

CULVERT 1

CHART 1



Q10 = 0.70 cfs
15" RCP
HW10/D < 0.5

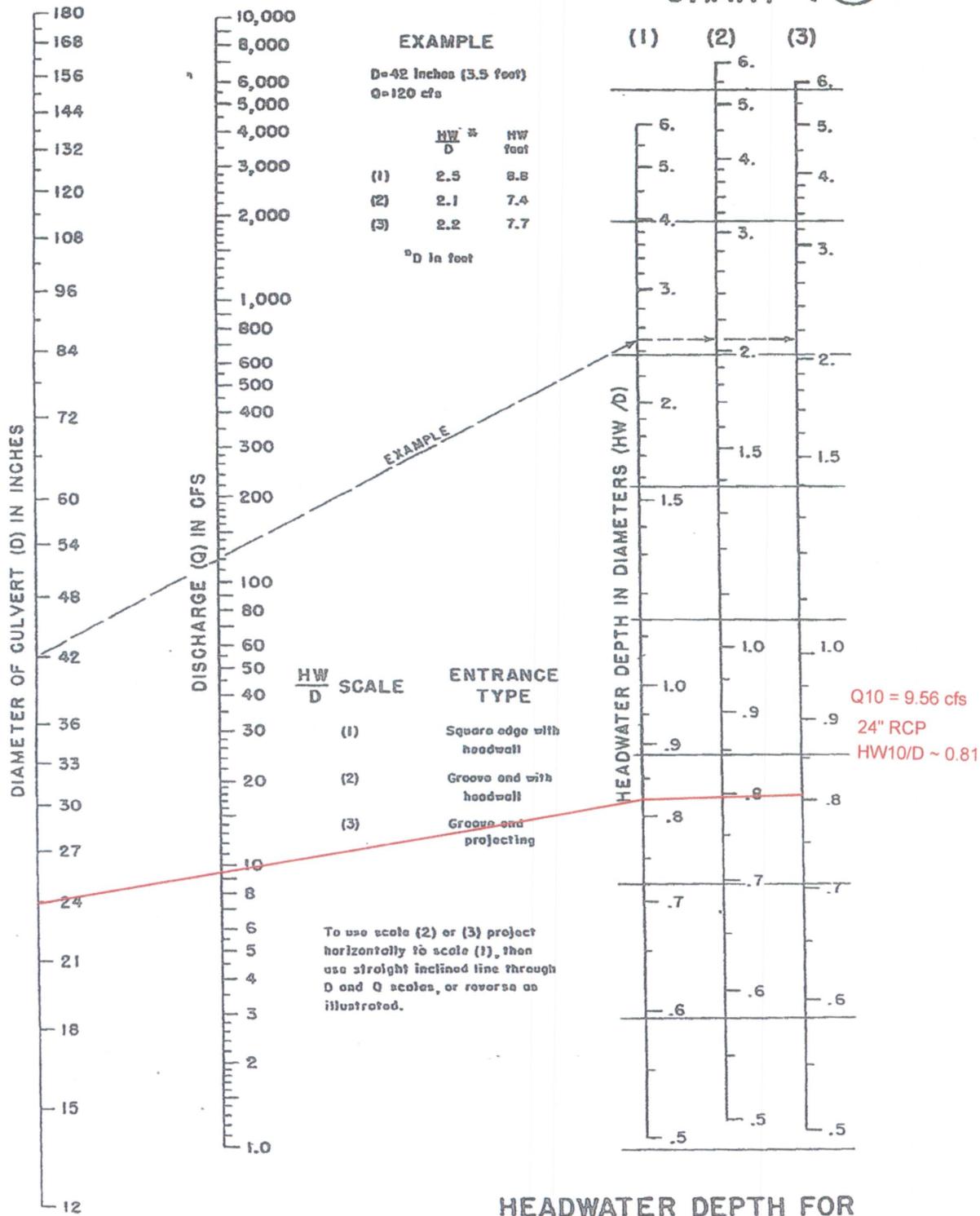
HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS WITH INLET CONTROL

HEADWATER SCALES 2&3
REVISED MAY 1964

BUREAU OF PUBLIC ROADS JAN. 1963

CULVERT 2

CHART 1 O



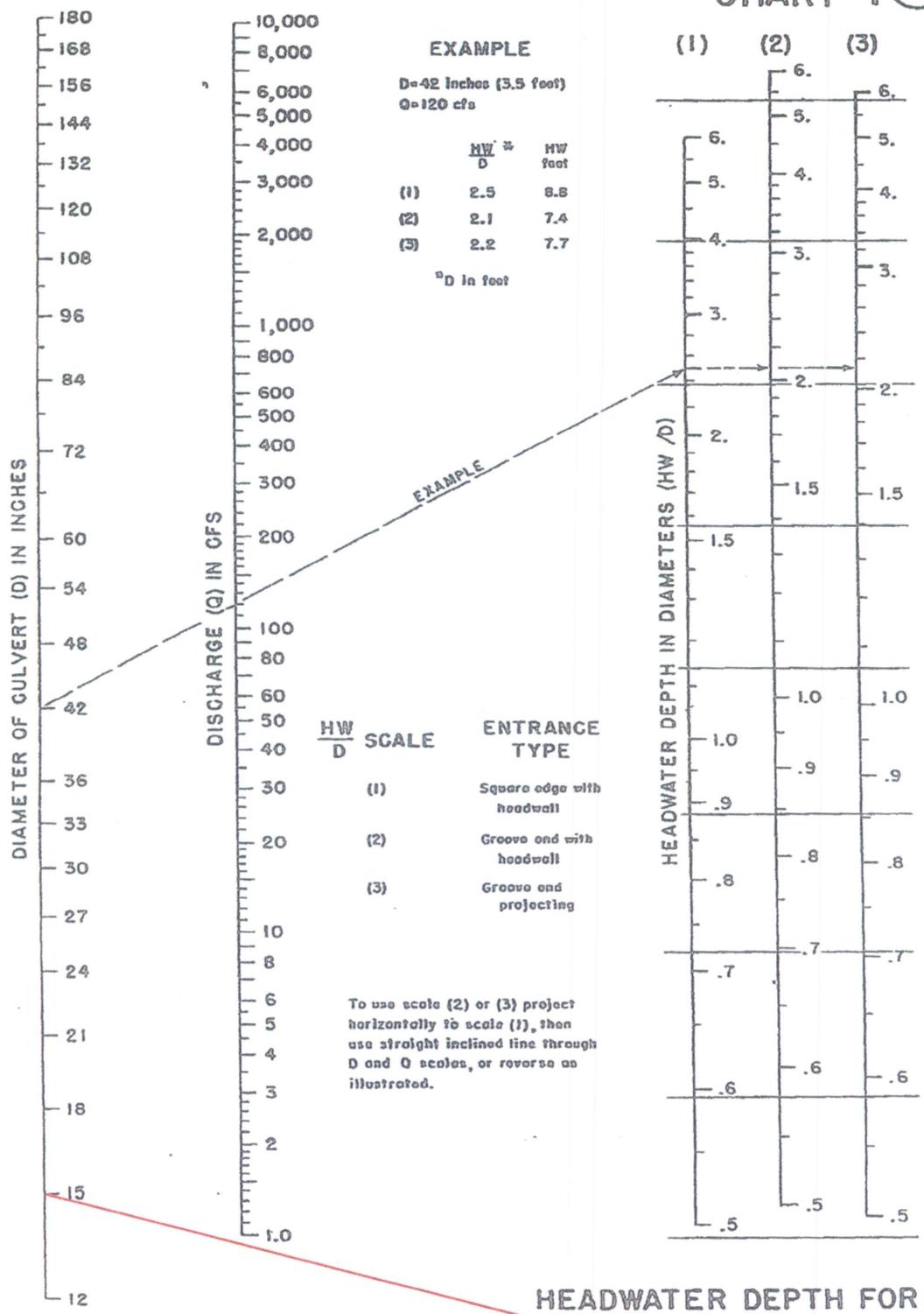
**HEADWATER DEPTH FOR
 CONCRETE PIPE CULVERTS
 WITH INLET CONTROL**

HEADWATER SCALES 2&3
 REVISED MAY 1964

BUREAU OF PUBLIC ROADS JAN 1963

CULVERT 3

CHART 1



EXAMPLE

D=42 inches (3.5 feet)
Q=120 cfs

	HW/D	HW feet
(1)	2.5	8.8
(2)	2.1	7.4
(3)	2.2	7.7

^aD in feet

HW/D	SCALE	ENTRANCE TYPE
(1)		Square edge with headwall
(2)		Groove and with headwall
(3)		Groove and projecting

To use scale (2) or (3) project horizontally to scale (1), then use straight inclined line through D and Q scales, or reverse as illustrated.

Q10 = 0.74 cfs
15" RCP
HW10/D < 0.5

HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS WITH INLET CONTROL

HEADWATER SCALES 283
REVISED MAY 1964

BUREAU OF PUBLIC ROADS JAN. 1963

Hannabus Creek

Culvert #1 - 15"

$$DA = 560' \times 25' = 14,000 \text{ SF}$$

0.35

or
0.32 ac

$$Q_{10} = C \cdot A' = 0.70 \text{ cfs}$$

6.21

Culvert #2 - 24"

$$DA = 4.41 \text{ ac}$$

0.35

4.41

$$Q_{10} = C \cdot A' = 9.56 \text{ cfs}$$

6.21

Culvert #3 - 15" Pipe

$$DA = 600' \times 25' = 15,000 \text{ SF}$$

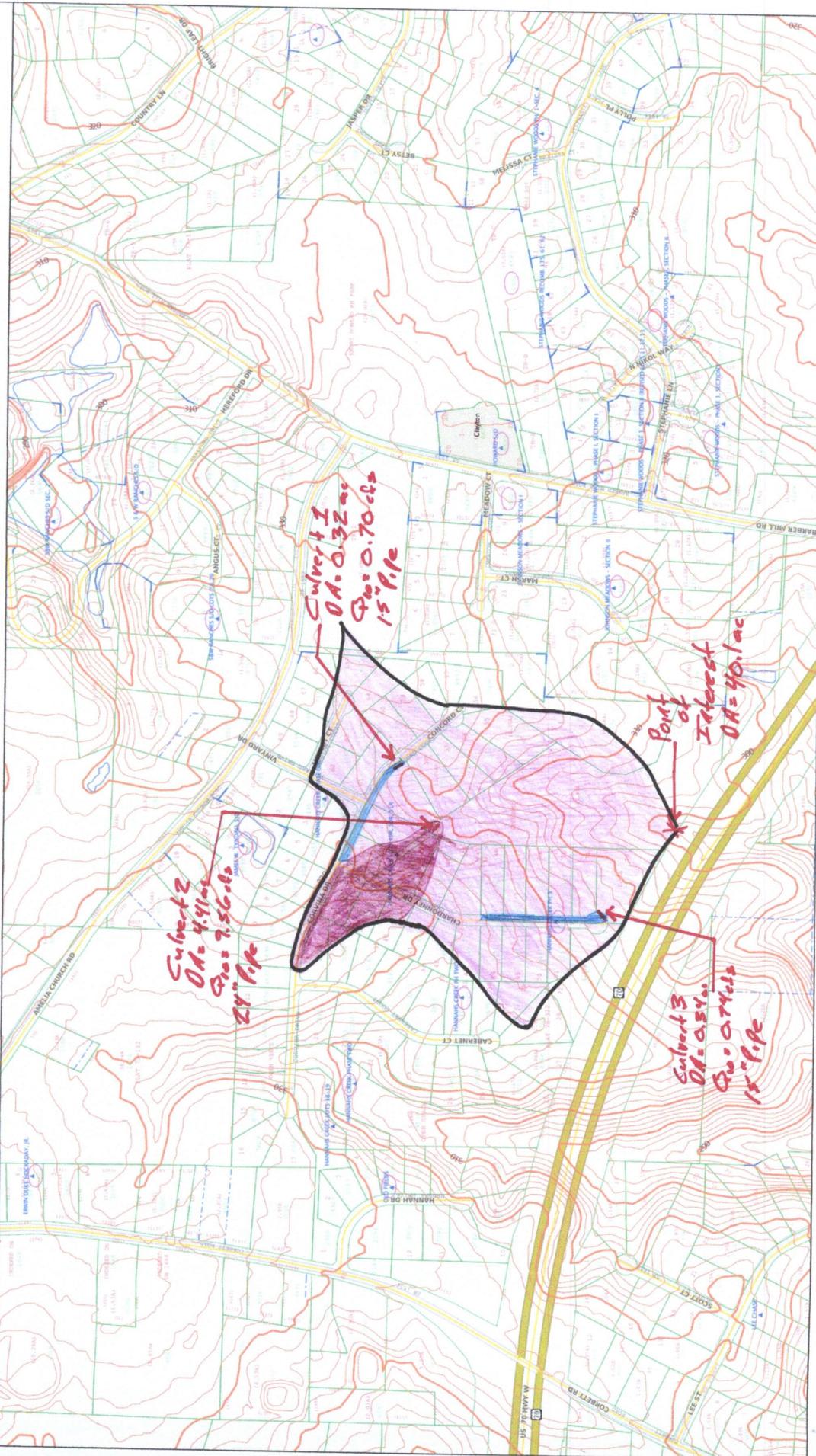
or

0.34 ac

$$Q_{10} = C \cdot A' = 0.74 \text{ cfs}$$

6.21

*** DISCLAIMER ***
Johnston County assumes no legal responsibility for the information represented here.



Scale: 1:2400 - 1 in. = 200 feet

(The scale is only accurate when printed landscape on a 22 x 34 size sheet with no page scaling.)



P.O. Box 5809, Cary, NC 27512



Last statement: January 31, 2013
 This statement: February 28, 2013
 Total days in statement period: 28

868 MO 5 ##003912
 HANNAH'S CREEK HOMEOWNERS ASSOC INC
 425 INDIAN CAMP ROAD
 SMITHFIELD NC 27577-8048

Page 1
 0041003906
 (5)

Direct inquiries to:
 919 550 2050

VantageSouth Bank
 315 E Main Street
 Clayton, NC 27520

THANK YOU FOR BANKING WITH US!

Business NOW

Account number	0041003906	Beginning balance	\$20,791.31
Enclosures	5	Total additions	3,120.82
Low balance	\$20,741.31	Total subtractions	544.61
Average balance	\$21,532.66	Ending balance	\$23,367.52
Avg collected balance	\$21,284.00		
Interest paid year to date	\$1.55		

CHECKS

Number	Date	Amount	Number	Date	Amount
1093	02-04	50.00	1095	02-22	44.61
1094	02-13	450.00			

CREDITS

Date	Description	Additions
02-12	Deposit	1,440.00
02-26	Deposit	1,680.00
02-28	Interest Credit	0.82

DAILY BALANCES

Date	Amount	Date	Amount	Date	Amount
01-31	20,791.31	02-13	21,731.31	02-28	23,367.52
02-04	20,741.31	02-22	21,686.70		
02-12	22,181.31	02-26	23,366.70		

HANNAH'S CREEK HOMEOWNERS ASSOC INC
February 28, 2013

Page 2
0041003906

INTEREST INFORMATION

Annual percentage yield earned 0.05%
Interest-bearing days 28
Average balance for APY \$21,284.09
Interest earned \$0.82

OVERDRAFT/RETURN ITEM FEES

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00

Thank you for banking with VantageSouth Bank

2:17 PM

03/13/13

Hannah's Creek Homeowners Association, Inc.
Reconciliation Detail
 1060 - Checking Account, Period Ending 02/28/2013

Type	Date	Num	Name	Clr	Amount	Balance
Beginning Balance						20,791.31
Cleared Transactions						
Checks and Payments - 3 Items						
Check	1/31/2013	1093	Bulldog Express	X	-50.00	-50.00
Check	2/8/2013	1094	Barefoot and Associ...	X	-450.00	-500.00
Check	2/19/2013	1095	Progress Energy	X	-44.61	-544.61
Total Checks and Payments					<u>-544.61</u>	<u>-544.61</u>
Deposits and Credits - 3 Items						
Deposit	2/12/2013			X	1,440.00	1,440.00
Deposit	2/26/2013			X	1,680.00	3,120.00
Deposit	2/28/2013			X	0.82	3,120.82
Total Deposits and Credits					<u>3,120.82</u>	<u>3,120.82</u>
Total Cleared Transactions					<u>2,576.21</u>	<u>2,576.21</u>
Cleared Balance					2,576.21	23,367.52
Register Balance as of 02/28/2013					2,576.21	23,367.52
New Transactions						
Checks and Payments - 1 item						
Check	3/5/2013	1096	Barefoot and Associ...		-450.00	-450.00
Total Checks and Payments					<u>-450.00</u>	<u>-450.00</u>
Deposits and Credits - 1 item						
Deposit	3/6/2013				480.00	480.00
Total Deposits and Credits					<u>480.00</u>	<u>480.00</u>
Total New Transactions					<u>30.00</u>	<u>30.00</u>
Ending Balance					<u>2,806.21</u>	<u>23,397.52</u>



John D. Adams

& COMPANY, CPAs, PLLC

1266 Benson Road, PO Box 529 • Garner, North Carolina 27529
(919) 779-2020 • Fax (919) 772-5810

July 18, 2012

Hannah's Creek Homeowners Association, I
425 Indian Camp Road
Smithfield, NC 27577-8048

Hannah's Creek Homeowners Association, I:

We have prepared and enclosed the original and one copy of your 2011 corporate income tax returns.

Each original return should be dated, signed, and filed in accordance with the filing instructions. A pre-addressed envelope is provided for your convenience. The copy should be retained for your files.

We recommend that you send these returns to the taxing authorities by certified mail with a request for a return receipt. Please retain the receipt as proof of timely filing.

We would like to take this opportunity to thank you again for allowing us to serve you. Please call if you have any questions or if we may assist you further.

Cordially yours,

Jonathan D. Adams, CPA

2011 TAX RETURN FILING INSTRUCTIONS

U.S. HOMEOWNERS ASSOCIATION INCOME TAX RETURN

FOR THE YEAR ENDING
June 30, 2012

Prepared for	Hannah's Creek Homeowners Association, I 425 Indian Camp Road Smithfield, NC 27577-8048
Prepared by	John D. Adams & Company, CPAs, PLLC P.O. Box 529 Garner, NC 27529
To be signed and dated by	The appropriate corporate officer(s).
Amount of tax	Total tax \$ 0 Less: payments and credits \$ 0 Plus: other amount \$ 0 Plus: interest and penalties \$ 0 No pmt required \$
Overpayment	Credited to your estimated tax \$ 0 Other amount \$ 0 Refunded to you \$ 0
Make check payable to	Not applicable
Mail tax return and check (if applicable) to	Department of the Treasury Internal Revenue Service Center Cincinnati, OH 45999-0012
Return must be mailed on or before	September 17, 2012
Special Instructions	

**U.S. Income Tax Return
for Homeowners Associations**

2011

For calendar year 2011 or tax year beginning **July 1, 2011**, and ending **June 30, 2012**

TYPE OR PRINT	Name Hannah's Creek Homeowners Association, I	Employer identification number 20-5580280
	Number, street, and room or suite no. If a P.O. box, see instructions. 425 Indian Camp Road	Date association formed 08/24/2006
	City or town, state, and ZIP code Smithfield, NC 27577-8048	

Check if: (1) Final return (2) Name change (3) Address change (4) Amended return

A	Check type of homeowners association: <input type="checkbox"/> Condominium management association <input checked="" type="checkbox"/> Residential real estate association <input type="checkbox"/> Timeshare association		
B	Total exempt function income. Must meet 60% gross income test See Statement 1	B	12,059.
C	Total expenditures made for purposes described in 90% expenditure test See Statement 2	C	8,820.
D	Association's total expenditures for the tax year	D	8,820.
E	Tax-exempt interest received or accrued during the tax year	E	0.

Gross Income (excluding exempt function income)

1	Dividends	1	
2	Taxable interest	2	
3	Gross rents	3	
4	Gross royalties	4	
5	Capital gain net income (attach Schedule D (Form 1120))	5	
6	Net gain or (loss) from Form 4797, Part II, line 17 (attach Form 4797)	6	
7	Other income (excluding exempt function income) (attach schedule)	7	
8	Gross income (excluding exempt function income). Add lines 1 through 7	8	0.

Deductions (directly connected to the production of gross income, excluding exempt function income)

9	Salaries and wages	9	
10	Repairs and maintenance	10	
11	Rents	11	
12	Taxes and licenses	12	
13	Interest	13	
14	Depreciation (attach Form 4562)	14	
15	Other deductions (attach schedule)	15	
16	Total deductions. Add lines 9 through 15	16	0.
17	Taxable income before specific deduction of \$100. Subtract line 16 from line 8	17	0.
18	Specific deduction of \$100	18	\$100.00

Tax and Payments

19	Taxable income. Subtract line 18 from line 17	19	<100.>		
20	Enter 30% of line 19. (Timeshare associations, enter 32% of line 19.)	20	0.		
21	Tax credits	21			
22	Total tax. Subtract line 21 from line 20. See instructions for recapture of certain credits	22	0.		
23	a 2010 overpayment credited to 2011 23a				
	b 2011 estimated tax payments 23b			c Total 23c	0.
	d Tax deposited with Form 7004 23d				
	e Credit for tax paid on undistributed capital gains (attach Form 2439) 23e				
	f Credit for federal tax paid on fuels (attach Form 4136) 23f				
	g Add lines 23c through 23f 23g				0.
24	Amount owed. Subtract line 23g from line 22 (see instructions)	24			
25	Overpayment. Subtract line 22 from line 23g	25			
26	Enter amount of line 25 you want Credited to 2012 estimated tax <input type="checkbox"/> Refunded <input type="checkbox"/>	26			

Under penalties of perjury, I declare that I have examined this return, including accompanying schedules and statements, and to the best of my knowledge and belief, it is true, correct, and complete. Declaration of preparer (other than taxpayer) is based on all information of which preparer has any knowledge.

Sign Here Signature of officer _____ Date _____ Title _____

May the IRS discuss this return with the preparer shown below (see instr.)?
 Yes No

Paid Preparer's Use Only	Print/Type preparer's name Jonathan D. Adams, CPA	Preparer's signature Jonathan D. Adams, C	Date 07/18/12	Check if self-employed <input type="checkbox"/>	PTIN P00020624
	Firm's name John D. Adams & Company, CPAs, PLLC	Firm's EIN 56-1951327			
	Firm's address P.O. Box 529 Garner, NC 27529	Phone no. (919) 779-2020			

Form 1120-H	Exempt Function Income	Statement	1
Description		Amount	
HOA Membership Dues		12,059.	
Total to Form 1120-H, Item B		12,059.	

Form 1120-H	EXPENDITURES DESCRIBED IN 90% TEST	Statement	2
Description		Amount	
Accounting and legal		575.	
Insurance		491.	
Office supplies		50.	
Repairs and maintenance		7,359.	
Utilities		345.	
Total to Form 1120-H, Item C		8,820.	

COPY

CenturyLink Webmail

darryldevansinc@embarqmail.com

RE: Hannah's Creek HOA Info

From : Leslee Loggans <lesleeloggans@johnadamscpa.com>

Thu, Oct 15, 2015 10:14 AM

Subject : RE: Hannah's Creek HOA Info

1 attachment

To : CenturyLink Customer <darryldevansinc@embarqmail.com>

Because it is a fiscal year end the tax returns are always a year behind.

So, like for the tax year ended 6/30/12, we do the tax return for 2011. The 2012 tax return would be for the tax year ended 6/30/13, which the HOA company should have handled.

Leslee B. Loggans, CPA

John D. Adams & Company, CPAs, PLLC

1266 Benson Road, PO Box 529

Garner, NC 27529

Phone (919) 779-2020

Fax (919) 772-5810

Email lesleeloggans@johnadamscpa.comPlease visit our website at www.johnadamscpa.com

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From: CenturyLink Customer [mailto:darryldevansinc@embarqmail.com]

Sent: Thursday, October 15, 2015 9:45 AM

To: Leslee Loggans <lesleeloggans@johnadamscpa.com>

Subject: Re: Hannah's Creek HOA Info

Darryl said should there be one for 2012 , this one says 2011 so should we have one more?

From: "Leslee Loggans" <lesleeloggans@johnadamscpa.com>

To: "Darryl D. Evans, Inc (email)" <darryldevansinc@embarqmail.com>

Sent: Thursday, October 15, 2015 9:34:40 AM

Subject: Hannah's Creek HOA Info

ShareFile Attachments

Title	Size
2011 6-30-12 FORM 1120H HANNAHS CREEK HOA.PDF	195.4 KB
2013 02-28 1060 Bank Rec (lbi).pdf	80.6 KB

[Download Attachments](#) Leslee Loggans uses ShareFile to share documents securely. [Learn More.](#)

Click on the "Download Attachments" to get the documents.

If you have any issues or need anything else just give me a call.

Thanks

Leslee B. Loggans, CPA

John D. Adams & Company, CPAs, PLLC

1266 Benson Road, PO Box 529

Garner, NC 27529

Phone (919) 779-2020

Fax (919) 772-5810

Email lesleeloggans@johnadamscpa.comPlease visit our website at www.johnadamscpa.com

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CenturyLink Webmail

darryldevansinc@embarqmail.com

Fwd: Hannah's Creek-Accounting Information

From : CenturyLink Customer
<darryldevansinc@embarqmail.com>

Fri, Oct 16, 2015 08:24 AM

📎 2 attachments

Subject : Fwd: Hannah's Creek-Accounting Information

To : Joseph Hamer <jth@mandwlawyers.com>

Cc : James H Lipscomb <james@hometownerealty.com>

FYI

Looks like there is less now than when we turned everything over.

From: "Kristin Hoffman" <kristin@kohnell.com>

To: darryldevansinc@embarqmail.com, "James HTR Account" <James@myHTR.com>

Sent: Thursday, October 15, 2015 12:39:53 PM

Subject: Hannah's Creek-Accounting Information

Darryl and James,

The current accounts for Hannah's Creek is at this time is:

Operating \$16,674.91

Reserve: \$3,765.98

Attached are the first financials when we started managing Hannah's Creek showing \$23,000 in March of 2013.

Once I start on the budget for Hannah's Creek I will send you a copy of the budget.

*Thank you,
Kristin Hoffman*

Kohn-Ell

Business Management Services, LLC

104 N. Fayetteville Street

Clayton, NC 27520

Office-919 856 1844, ext. 4010 F- 919 571 8290

As a reminder, please remember that in accordance with N.C.G.S. 55A (Non-Profit

9:27 PM

04/21/13

Accrual Basis

Hannah's Creek Homeowners Association, Inc.
Balance Sheet
As of March 31, 2013

	<u>Mar 31, 13</u>
ASSETS	
Current Assets	
Checking/Savings	
North State Bank	
Operating	23,356.59
Total North State Bank	<u>23,356.59</u>
Total Checking/Savings	23,356.59
Accounts Receivable	
A/R - Trade	480.00
Total Accounts Receivable	<u>480.00</u>
Total Current Assets	<u>23,836.59</u>
TOTAL ASSETS	<u><u>23,836.59</u></u>
LIABILITIES & EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
Accounts Payable	75.00
Total Accounts Payable	<u>75.00</u>
Total Current Liabilities	<u>75.00</u>
Total Liabilities	75.00
Equity	
Retained Earning	12,227.42
Retained Earnings-setup by QB	13,142.57
Net Income	-1,608.40
Total Equity	<u>23,761.59</u>
TOTAL LIABILITIES & EQUITY	<u><u>23,836.59</u></u>

9:26 PM
04/21/13
Accrual Basis

Hannah's Creek Homeowners Association, Inc.
Profit & Loss YTD Comparison
March 2013

	<u>Mar 13</u>	<u>Jan - Mar 13</u>
Ordinary Income/Expense		
Expense		
Association Expenses		
Administrative Expenses		
Management Fees	75.00	75.00
Postage/Mailings/Copies	0.00	50.00
Total Administrative Expenses	<u>75.00</u>	<u>125.00</u>
Common Areas Expenses		
Grounds Maintenance Contract	450.00	1,350.00
Utilities		
Electric	40.93	134.95
Total Utilities	<u>40.93</u>	<u>134.95</u>
Total Common Areas Expenses	<u>490.93</u>	<u>1,484.95</u>
Total Association Expenses	<u>565.93</u>	<u>1,609.95</u>
Total Expense	<u>565.93</u>	<u>1,609.95</u>
Net Ordinary Income	-565.93	-1,609.95
Other Income/Expense		
Other Income		
Interest Income	0.00	1.55
Total Other Income	<u>0.00</u>	<u>1.55</u>
Net Other Income	<u>0.00</u>	<u>1.55</u>
Net Income	<u><u>-565.93</u></u>	<u><u>-1,608.40</u></u>

9:25 PM
04/21/13

Hannah's Creek Homeowners Association, Inc.
Check Detail

March 2013

Type	Num	Date	Name	Memo	Account	Paid Amount
Check	1096	3/6/2013	Barefoot and Associates, I...		Checking Account	
TOTAL					Grounds Maintenance Contract	-450.00
						-450.00
Check	1097	3/14/2013	Progress Energy		Checking Account	
TOTAL					Electric	-40.93
						-40.93

9:24 PM
04/21/13

Hannah's Creek Homeowners Association, Inc.
Customer Balance Summary
As of March 31, 2013

	<u>Mar 31, 13</u>
Lot 62 New Homeowners	240.00
Lot 9 James David and Tammy Carroll	240.00
TOTAL	<u>480.00</u>

9:23 PM

04/21/13

Hannah's Creek Homeowners Association, Inc.
Reconciliation Detail
Operating, Period Ending 03/31/2013

Type	Date	Num	Name	Clr	Amount	Balance
Beginning Balance						0.00
Cleared Transactions						
Deposits and Credits - 1 item						
Transfer	3/28/2013			X	23,356.59	23,356.59
Total Deposits and Credits					<u>23,356.59</u>	<u>23,356.59</u>
Total Cleared Transactions					<u>23,356.59</u>	<u>23,356.59</u>
Cleared Balance					<u>23,356.59</u>	<u>23,356.59</u>
Register Balance as of 03/31/2013					23,356.59	23,356.59
New Transactions						
Deposits and Credits - 1 item						
Deposit	4/2/2013				240.00	240.00
Total Deposits and Credits					<u>240.00</u>	<u>240.00</u>
Total New Transactions					<u>240.00</u>	<u>240.00</u>
Ending Balance					<u><u>23,596.59</u></u>	<u><u>23,596.59</u></u>

9:22 PM

04/21/13

Hannah's Creek Homeowners Association, Inc.
Reconciliation Detail
Checking Account, Period Ending 03/31/2013

Type	Date	Num	Name	Clr	Amount	Balance
Beginning Balance						23,367.52
Cleared Transactions						
Checks and Payments - 3 items						
Check	3/6/2013	1096	Barefoot and Associates, Inc.	X	-450.00	-450.00
Check	3/14/2013	1097	Progress Energy	X	-40.93	-490.93
Transfer	3/28/2013			X	-23,356.59	-23,847.52
Total Checks and Payments					-23,847.52	-23,847.52
Deposits and Credits - 1 item						
Deposit	3/6/2013			X	480.00	480.00
Total Deposits and Credits					480.00	480.00
Total Cleared Transactions					-23,367.52	-23,367.52
Cleared Balance					-23,367.52	0.00
Register Balance as of 03/31/2013					-23,367.52	0.00
Ending Balance					<u>-23,367.52</u>	<u>0.00</u>



NORTH STATE BANK



VOICE RESPONSE 1-877-357-2265 • TOLL FREE (877) 807-9668 • Web Site www.northstatebank.com

*****AUTO**5-DIGIT 27609
230 0.6270 AV 0.360 2 1 68
HANNAHS CREEK HOMEOWNERS ASSOCIATION INC
OPERATING ACCOUNT
C/O KOHN-ELL ASSOCIATION MANAGEMENT
205 W MILLBROOK ROAD STE 210
RALEIGH NC 27609-4492



Date 3/29/13 Page 1
Account Number Ending 3949
Enclosures 1

---- CHECKING ACCOUNTS ----

HOMEOWNERS CHECKING		Number of Enclosures	1
Account Number	Ending 3949	OPERATING ACCOUNT	
Previous Balance	.00	Statement Dates	3/25/13 thru 3/31/13
1 Deposits/Credits	23,356.59	Days in the statement period	7
Checks/Debits	.00	Average Ledger	13,346
Monthly Service Fee	.00	Average Collected	0
Interest Paid	.00		
Ending Balance	23,356.59		

Deposits and Additions		
Date	Description	Amount
3/28	DDA REGULAR DEPOSIT	23,356.59

Daily Balance Information

Date	Balance	Date	Balance
3/25	.00	3/28	23,356.59

Remote Deposit	Credit
Kolm-El Association HANNAHS CREEK HOMEOWNERS ASSOCIATION 4515 Falls of Neuse Road, Suite 175 Raleigh, NC 27609 918661844	Date: 3/28/2013 Items: 1 Amount: \$23,356.59 Batch ID: 72978160 Account ID: 11296 729853 Acct Num: 12123949

Amount \$23,356.59 Date 3/28/2013



P.O. Box 5809, Cary, NC 27512

Last statement: February 28, 2013
This statement: March 31, 2013
Total days in statement period: 31

868 MO 4 ##003875
HANNAH'S CREEK HOMEOWNERS ASSOC INC
425 INDIAN CAMP ROAD
SMITHFIELD NC 27577-8048

Page 1
0041003906
(4)

Direct inquiries to:
919 550 2050

VantageSouth Bank
315 E Main Street
Clayton, NC 27520

THANK YOU FOR BANKING WITH US!

** Closed Account - Final Statement

Business NOW

Account number	0041003906	Beginning balance	\$23,367.52
Enclosures	4	Total additions	480.00
Low balance	\$0.00	Total subtractions	23,847.52
Average balance	\$0.00	Ending balance	\$0.00
Avg collected balance	\$0.00		
Interest paid year to date	\$1.55		

CHECKS

Number	Date	Amount	Number	Date	Amount
1096	03-11	450.00	1097	03-19	40.93

DEBITS

Date	Description	Subtractions
03-21	Checking Withdrawal	23,356.59

CREDITS

Date	Description	Additions
03-06	Deposit	480.00

HANNAH'S CREEK HOMEOWNERS ASSOC INC
March 31, 2013

Page 2
0041003906

DAILY BALANCES

<u>Date</u>	<u>Amount</u>	<u>Date</u>	<u>Amount</u>	<u>Date</u>	<u>Amount</u>
02-28	23,367.52	03-11	23,397.52	03-21	0.00
03-06	23,847.52	03-19	23,356.59		

INTEREST INFORMATION

Annual percentage yield earned	0.05%
Interest-bearing days	20
Average balance for APY	\$23,450.43
Interest earned	\$0.64

Interest for 2013 to be reported to the Internal Revenue Service on your tax return is \$1.55.

OVERDRAFT/RETURN ITEM FEES

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00

Thank you for banking with VantageSouth Bank

DISPOSIT TRUST
 HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC.
 2580 CHESTERFIELD ROAD
 GAITHERSBURG, MD 20878-4011

DATE: 3-6-13

DATE	DESCRIPTION	AMOUNT	BALANCE
3/6/13	MEMBER DUES	480.00	480.00

MEMBER DUES \$ 480.00

⑆0531122756 041003906⑆ 44

3/6/2013 \$480.00

1096

HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC.

ORIENT STAR BANK
 CLAYTON, MD
 362263

PAID TO THE ORDER OF: Emerald and Associates, Inc. \$ 450.00

Four Hundred Fifty and 00/100 DOLLARS

Emerald and Associates, Inc.
 2580 Chesterfield Road
 Gaithersburg MD 20878, MD 918-804-8564

MEMO

⑆0531122756 041003906⑆

1096 3/11/2013 \$450.00

1097

HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC.

ORIENT STAR BANK
 CLAYTON, MD
 362263

PAID TO THE ORDER OF: Progress Energy \$ 40.93

Forty and 93/100 DOLLARS

Progress Energy
 P.O. Box 2541
 Raleigh NC 27602

MEMO

⑆0531122756 041003906⑆

1097 3/19/2013 \$40.93

Hannahs Creek

Owner/Developer: Darryl D. Evans Inc.

Surveyor: True Line Surveying

Tax ID #: 05G03058E, 05G03058H, 05G03013D, 05G03062

Locational Data: Amelia Church Road (SR 1552) approximately ¼ of a mile northwest of its intersection with Barber Mill Road (SR 1555) in Clayton Township. The proposed subdivision is served by the Clayton Fire Department and the Clayton Rescue Squad.

Site Data: 76.27 acres, lots 68, (maximum allowed: 114), water service will be provided by Johnston County Public Utilities and lots will be served by individual septic tanks, open space provided: 13.784 acres, open space required: 7.627 acres, traffic count: 500, property owners notified: 6.

Upon a motion by Mr. Schulz, seconded by Mr. Browder, and carried by unanimous vote of 7-0, the Johnston County Planning Board granted preliminary approval at their March 15, 2005 meeting based upon the following the conditions and requirements.

Conditions and Requirements

[Planning Board]

1. The right of way dedication along Amelia Church Road can be reduced to 15 feet.
2. Proposed lots 44, 45, and 46 shall not be marketed until such time as the Harris property is purchased and proposed street D is extended.

[Planning]

3. Metes and bounds
4. Certifications
5. Entrance sign and street signs
6. Street name approval
7. Complete improvements or provide performance guarantee
8. All lots access internal street
9. Cul de sac lots shall have 40' of road frontage
10. Temporary turnaround shall be added to the end of proposed street D
11. Any development of the Harris will required Planning Board approval

[Environmental Health]

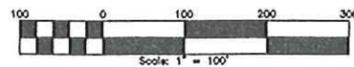
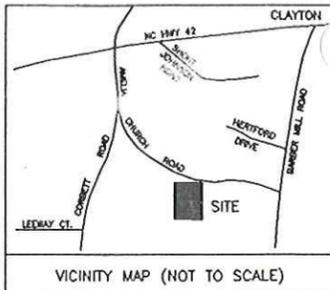
12. Approval of all lots for onsite sewage disposal or statement for each unapproved lot

[NCDOT]

13. A driveway permit and subdivision design approval must be obtained prior to construction
14. All design aspects of the plans shall comply with the current NCDOT Standard Specifications for Roads and Structures, NCDOT Subdivision Roads Minimum Construction Standards, and Policy on Street and Driveway Access to North Carolina Highways
15. It will be determined at the time the driveway permit application is submitted if any road improvements will be required
16. A left turn lane may be required on SR 1552 for the subdivision's main entrance or at an offsite location affected by the subdivision

[Public Utilities]

17. Approval of water system
18. Soil Erosion and Sedimentation Control Plan required
19. Stormwater Compliance



PRELIMINARY PLAT OF
HANNAHS CREEK
 FOR
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 FEBRUARY 21, 2005

N/F
 FRANCES O. AIKEN
 DB 741 PG 049
 PIN 1658-12-2479

SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.:	

TRUE LINE SURVEYING, P.C.

205 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com

SUBMISSION SITE DATA

AREA IN TRACT	3322330 SF	76.270 AC
LINEAR FEET IN STREETS	4817 LF	5.715 AC
AREA IN RIGHT-OF-WAY	248804 SF	5.715 AC
NUMBER OF LOTS PROPOSED	68	
AREA IN LOTS	2231943 SF	51.238 AC
AVERAGE LOT SIZE	0.754 AC	
AREA IN OPEN SPACE INSIDE WETLANDS AND RIPARIAN BUFFERS	264497 SF	6.072 AC
AREA IN OPEN SPACE OUTSIDE WETLANDS AND RIPARIAN BUFFERS	335921 SF	7.712 AC
OPEN SPACE REQUIRED	7.627 AC	

NO 100 YEAR FEMA FLOOD ON THIS PROPERTY. FEMA FIRM PANEL NO. 370138 02050

PARENT TRACT DEEDS: DB 2785 PG 475
 DB 2789 PG 773
 DB 741 PG 049

NC PIN NO. 1658-21-3239
 1658-11-0895
 1658-12-2479

OWNER: DARRYL D. EVANS, INC.
 425 INDIAN CAMP ROAD
 SMITHFIELD, N.C. 27577

PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES OR SALES

N/F
 TONIA LYNN COUNCIL
 DB 1691 PG 205
 PIN 1658-21-8400

APPROVED

N/F
 SANDRA H. BRANDT
 DB 1802 PG 230
 PIN 1658-21-5032

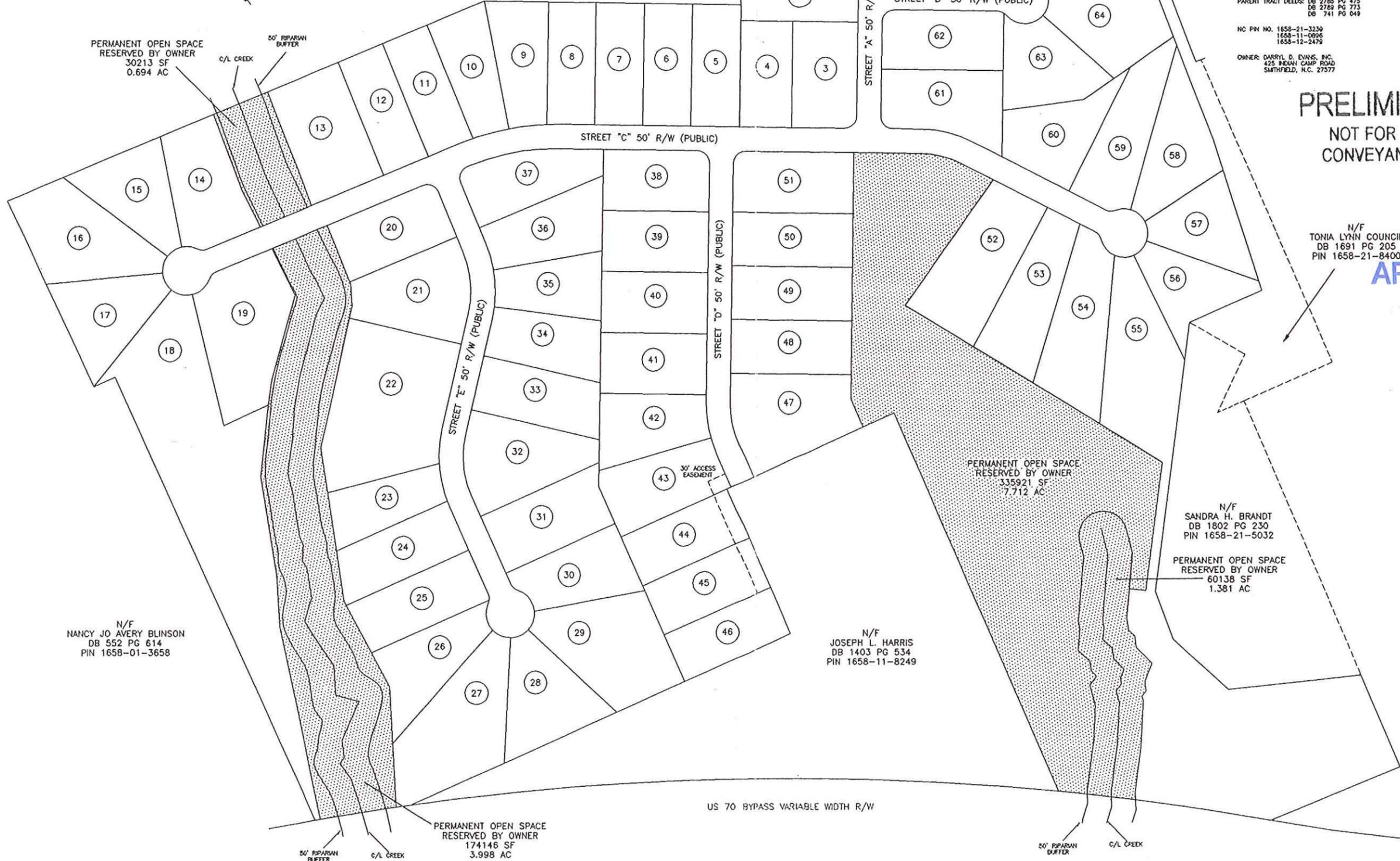
PERMANENT OPEN SPACE
 RESERVED BY OWNER
 60138 SF
 1.381 AC

N/F
 JOSEPH L. HARRIS
 DB 1403 PG 534
 PIN 1658-11-8249

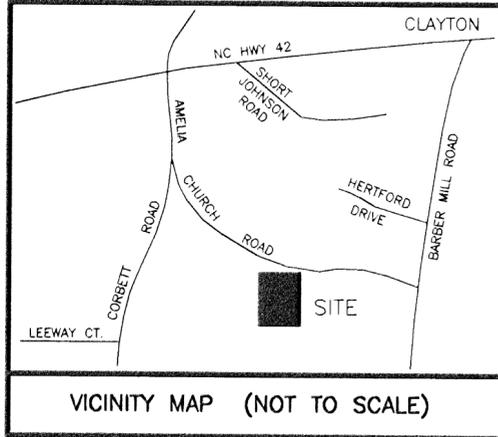
N/F
 NANCY JO AVERY BLINSON
 DB 552 PG 614
 PIN 1658-01-3658

PERMANENT OPEN SPACE
 RESERVED BY OWNER
 174146 SF
 3.998 AC

PERMANENT OPEN SPACE
 RESERVED BY OWNER
 335921 SF
 7.712 AC



US 70 BYPASS VARIABLE WIDTH R/W



NUMBER	DIRECTION	DISTANCE
L1	S20°58'12"W	12.20'
L2	S20°58'12"W	3.67'
L3	S58°03'34"E	98.83'
L4	N03°13'40"E	15.35'
L5	N71°58'39"W	53.99'
L6	S77°50'29"E	25.56'
L7	N03°08'21"E	29.91'
L8	S03°13'40"W	21.78'
L9	N11°59'18"E	164.38'
L10	S86°02'33"E	19.98'
L11	N01°04'51"E	56.99'
L12	N64°35'24"W	50.00'
L13	N25°24'36"E	50.01'
L14	S25°24'36"W	86.35'
L15	S64°35'24"E	50.00'
L16	S64°35'24"E	54.23'
L17	S38°31'18"E	21.48'
L18	N38°31'18"W	34.41'
L19	N25°24'36"E	10.00'
L20	N31°56'26"E	54.65'
L21	S31°56'26"W	54.65'
L22	N41°34'04"E	21.79'
L23	N41°34'04"E	46.75'

NUMBER	DIRECTION	DISTANCE
L25	S25°24'36"W	37.99'

THIS PLAT IS BEING RECORDED IN 3 SHEETS. SEE SHEET 1 OF 3 FOR SUBDIVISION NOTES, CHARTS AND SIGNATURES AND SEE SHEET 3 OF 3 FOR SUBDIVISION CONTINUATION.

FINAL PLAT OF
HANNAHS CREEK
PHASE ONE
 FOR
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 MAY 4, 2006
SHEET 2 OF 3

REVISED: MAY 4, 2006 TO ADD 25' LANDSCAPE EASEMENT AND CHANGE LOTS 49-51

NOTE: 15' R/W DEDICATION ALONG AMELIA CHURCH ROAD

NOTE: L5-L7 ARE TIE LINES ONLY

CONTROL CORNER NC GRID COORDINATES N 682518.4533 E 2152960.4854

N/F SANDRA H. BRANDT DB 2885 PG 463 PIN 1658-21-8400

NOTE: L9-L10 ARE TIE LINES ONLY

CONTROL CORNER NC GRID COORDINATES N 681899.6841 E 2152925.5892

THIS PLAT PERSEDES PLAT RECORDED IN PB 68 PG 42-44. SEE PB 68 PG 42-44 FOR ORIGINAL PLAT SIGNATURES.

NCGS VRS DERIVED BY GPS

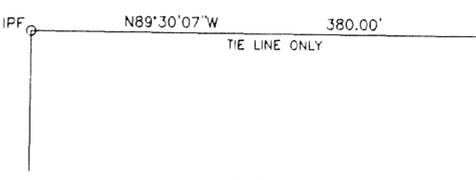
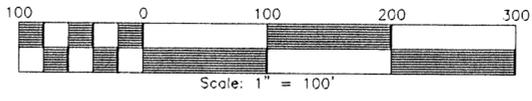
VICINITY MAP (NOT TO SCALE)

N/F DARRYL D. EVANS, INC. DB 2885 PG 463 DB 2892 PG 805 RESERVED FOR FUTURE DEVELOPMENT

NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	2120.00	248.30	S53°22'06"E	248.16
C2	2120.00	93.83	S60°39'47"E	93.82
C3	2120.00	37.39	S62°26'10"E	37.39
C4	1287.90	72.63	S62°58'35"E	72.62
C5	1287.90	110.21	S67°02'36"E	110.18
C6	1287.90	113.26	S72°00'51"E	113.22
C7	25.00	38.69	S76°16'22"W	34.94
C8	475.00	54.14	S28°40'31"W	54.11
C9	25.00	39.27	S19°35'24"E	35.36
C10	25.00	21.03	S88°41'05"E	20.41
C11	50.00	46.52	S86°07'28"E	44.86
C12	50.00	40.01	S36°32'44"E	38.95
C13	50.00	48.63	S14°14'19"W	46.73
C14	50.00	62.12	S77°41'32"W	58.20
C15	50.00	43.91	N41°33'28"W	42.51
C16	25.00	21.03	N40°29'42"W	20.41
C17	25.00	39.27	S70°24'36"W	35.36
C18	25.00	39.27	S19°35'24"E	35.36
C19	255.00	116.02	S51°33'21"E	115.02
C20	25.00	21.03	S62°36'59"E	20.41
C21	50.00	53.84	S55°51'57"E	51.27
C22	50.00	40.01	S02°05'49"E	38.95
C23	50.00	49.71	S49°18'35"W	47.69
C24	50.00	40.01	N79°17'01"W	38.95
C25	50.00	57.62	N23°20'46"W	54.48
C26	25.00	21.03	N14°25'36"W	20.41
C27	205.00	93.27	N51°33'21"W	92.47
C28	25.00	39.27	S70°24'36"W	35.36
C29	25.00	39.27	N19°35'24"W	35.36
C30	25.00	39.27	N70°24'36"E	35.36
C31	525.00	59.84	N28°40'31"E	59.81
C32	25.00	38.69	N12°23'30"W	34.94
C33	475.00	11.05	N65°15'22"W	11.05
C34	525.00	11.05	S65°11'34"E	11.05



N/F DARRYL D. EVANS, INC. DB 2885 PG 463 DB 2892 PG 805 RESERVED FOR FUTURE DEVELOPMENT



MATCH TO SHEET 3 OF 3

STATE OF NORTH CAROLINA, JOHNSTON COUNTY

THIS INSTRUMENT WAS PRESENTED FOR REGISTRATION AND RECORDING THIS 8 DAY OF May 2006 AT 11:42:55 AM

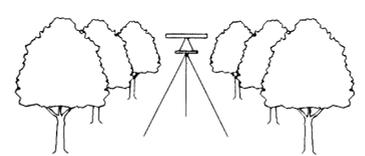
CRAIG OLIVE BY Sonna Stallings REGISTER OF DEEDS DEPUTY REG. OF DEEDS RECORDED IN PB 68 PG 232

STATE OF NORTH CAROLINA, JOHNSTON COUNTY I, CURK T. LANE, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 2573, PAGE 673, ETC.); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK 2573, PAGE 673; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 4 DAY OF May, A.D., 2006

CURK T. LANE
 LAND SURVEYOR
 L-3990
 LICENSE NUMBER

SURVEYED BY:	JONES
DRAWN BY:	MIKE
CHECKED BY:	CURK
DRAWING NAME:	PH1RECORDB.DWG
SURVEY DATE:	12-10-05
JOB NO.:	247.049

TRUE LINE SURVEYING, P.C.



205 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

March 4, 2014

Curk Lane
True Line Surveying
205 W Main Street
Clayton, NC 27520

Re: MSD 2014-07 Hannah's Creek Subdivision Minor Modification

Dear Mr. Lane,

On February 18, 2014, the Planning Director approved the above referenced modification to the previously approved subdivision (Hannah's Creek Phase 1) subject to the following conditions of approval:

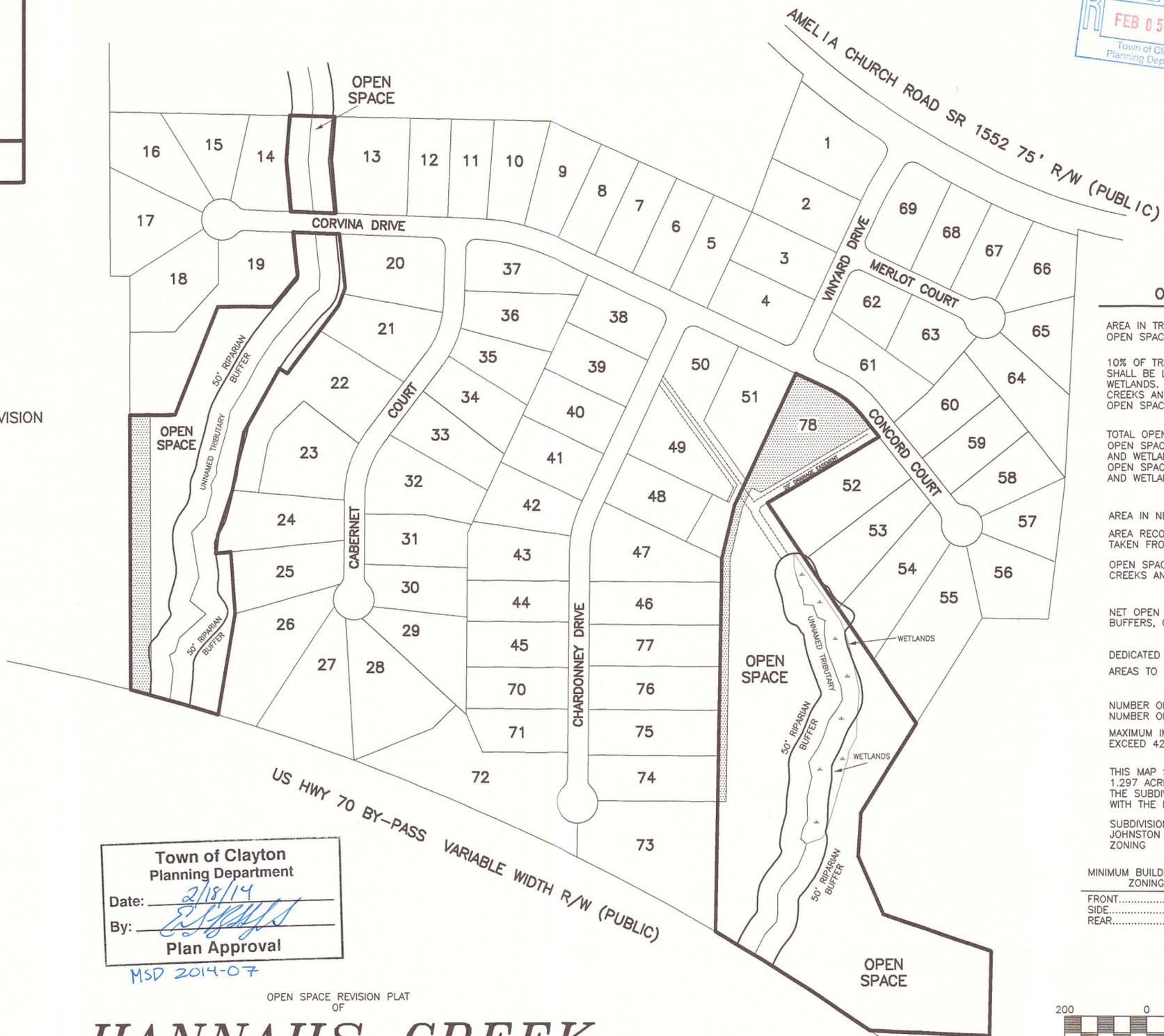
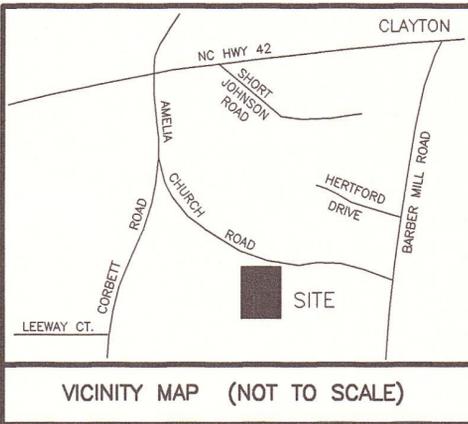
1. The development of the site is limited to the site design and uses approved by the Planning Director (plans with stamped approval dated 2/18/14). Modifications of the approved plans shall require additional review and approval, subject to requirements of the Unified Development Code.

Thank you for your cooperation in the review and approval process for this development. If you should have any questions regarding this matter please feel free to contact the Planning Department.

Sincerely,

Emily Beddingfield, AICP
Town Planner

cc: Beth Franson, GIS Analyst



OPEN SPACE CALCULATIONS

AREA IN TRACT.....84.836 AC
 OPEN SPACE REQUIRED.....8.484 AC

10% OF TRACT MUST BE DEDICATED TO OPEN SPACE. THAT 10% SHALL BE LOCATED OUTSIDE OF RIPARIAN BUFFERS, CREEKS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS DO NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT

TOTAL OPEN SPACE DEDICATED.....18.303 AC
 OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....5.997 AC
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....12.306 AC

AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE.....1.297 AC
 AREA RECOMBINED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE.....0.767 AC
 OPEN SPACE REMAINING OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....10.242 AC

NET OPEN SPACE REMAINING OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....1.758 AC

DEDICATED OPEN SPACE SHOWN IN HEAVY LINES
 AREAS TO NEW LOT 78 AND OLD FIELD SUBDIVISION ARE HATCHED

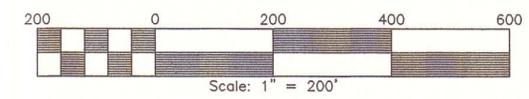
NUMBER OF LOTS EXISTING.....77
 NUMBER OF LOTS PROPOSED.....78
 MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF

THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1.297 ACRE LOT (LOT 78) AND REMOVES 0.767 ACRES FROM THE SUBDIVISION'S EXISTING OPEN SPACE TO BE RECOMBINED WITH THE FUTURE OLD FIELD SUBDIVISION TO THE WEST.

SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR AR ZONING

MINIMUM BUILDING SETBACKS ZONING: A-R	MINIMUM BUILDING SETBACKS ZONING: R-E
FRONT.....20 FEET	FRONT.....21 FEET
SIDE.....5 FEET	SIDE.....9 FEET
REAR.....5 FEET	REAR.....18 FEET

FILE COPY



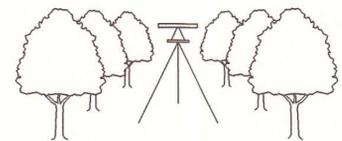
PRELIMINARY PLAT
 NOT FOR RECORDATION
 CONVEYANCES OR SALES

Town of Clayton
 Planning Department
 Date: 2/18/14
 By: [Signature]
 Plan Approval
 MSD 2014-07

OPEN SPACE REVISION PLAT
 OF
**HANNAHS CREEK
 SUBDIVISION**
 FOR
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 DECEMBER 15, 2013
 REVISED 2-4-14: TOWN COMMENTS

SURVEYED BY:
 DRAWN BY:
 CHECKED BY:
 DRAWING NAME:
 SURVEY DATE:
 JOB NO.

TRUE LINE SURVEYING, P.C.



205 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com

Jay McLeod

From: Keith Pagano <keithpagano@aol.com>
Sent: Monday, October 19, 2015 1:04 PM
To: Jay McLeod
Subject: Hannah's Creek Community plea
Attachments: Hannahs Creek Community Letter_10192015_final.pdf; HC petition.pdf; True Line Meeting Minutes_10142015_final2.pdf; Attachment #1 - 13-106-01-SD Hannah's Creek Application.pdf; Attachment #2 - HTR Marketing .pdf

Hi Jay,

Attached, please find the Hannah's Creek Community submission of concern in response to the Major Subdivision application submittal by Darryl D Evans Inc.

We respectfully request that you share the attached information with the Town Planning Board in preparation for the October 26, 2015 Public Hearing.

We respectfully request that James Libscomb recuse himself from this application process as we deem it to be a conflict of interest as he is an ETJ Alternate, Town Planning Board member and the listing Realtor representing homes for sale within the Hannah's Creek subdivision.

Best regards,

Hannah's Creek Community

10/19/2015

Greetings Town of Clayton Planning Board,

The neighborhood of Hannah's Creek respectfully submits the following to the Town of Clayton Planning Board (Planning Board) to be considered prior to the meeting to be held Monday, October 26, 2015 to discuss Darryl D. Evan's Major Subdivision application for the Hannah's Creek Subdivision. The following is meant to be a summary of our community's concerns regarding the application for Major Subdivision by Darryl D Evans, Inc. for the proposed Lot 78. The items presented in this letter relate to both environmental concerns regarding the prospective changes to support proposed Lot 78 as well as the verbal commitments made by Darryl D Evans, Inc. over the last decade to use the proposed Lot 78 as the common area for the community.

Many community members (especially in properties near the proposed Lot 78) have drainage and related environmental concerns regarding the proposed lot change. Some of these concerns have come to light following the meeting with True Line. The major points of contention related to this concern include:

- Many properties that border proposed lot 78, the wetlands, and "new" common area have frequent water drainage issues and are concerned this could potentially make them worse. Properties that do not border the immediate proposed lot #78 have also expressed that there are drainage issues with their properties and are concerned that the additional lot could cause additional drainage issues.
- The major subdivision application insufficiently addresses concerns with answers to important questions that are part of the Major Subdivision - Preliminary Plat Requirements checklist. Instead of providing clear answers they are instead marked as "N/A". Some examples of these questions include 31, 39, 41, 42,48, 49, 54 of the Major Subdivision application submitted by Darryl D. Evans, Inc (See Attachment #1 – Hannah's Creek Subdivision Major Subdivision application).
- Will the storm water conveyance and retention with this proposed change be adequate for pollution, sewage, and water flow control to prevent flooding and or contamination of nearby structure and properties?
- There is concern that the percolation tests were conducted at a time of unusual drought and not indicative of actual typical environment conditions experienced in our neighborhood.
- There are concerns that having a septic field so close to other property owners back yards, wetlands, and areas that experience water drainage issues that problems could results in serious environment and health concerns.

Due to the incompleteness of important questions on the form, there are concerns that there could be a negative environmental impact to the community.

Additionally, a major source of contention regarding the proposed Lot 78 is that Darry D Evans, Inc. had made commitments to the community that proposed lot #78 was a neighborhood common area that would be used as a common area for development by the HOA. Buyers through all three phases of development of Hannah's Creek were consistently told that the property in question was to be the

common area. Specifically, it was suggested that the residents of Hannah's Creek could use that property for a playground, pool, or whatever the desires of the HOA. For many buyers this was a significant selling point and led to their choice in purchasing a home in Hannah's Creek because comparable nearby neighborhoods had developed community common areas. This commitment to buyers continued even after Darryl D Evans, Inc. made plans for the proposed Lot 78. Over the years, this was reinforced by HOA Dues used to insure and maintain the property. Additionally, sales material continued to indicate the space was open space and/or permanent open space (see Attachment # 2 – Platt Maps). In many cases this commitment was made by HTR Realty, representatives of Darryl D. Evans Inc. In some cases, personal conversations with Darryl Evans were made to community members during and/or after the sales process. Although Hannah's Creek Subdivision development was delayed, it was never suggested that the community common area (now proposed lot 78) would ever be anything other than an eventual developed common area. The proposed change of status of proposed lot #78 was never communicated to the community directly or through the Home Owners Association. The HOA indicated as recently as the last community meeting that the lot was still available for future HOA development pending funding by the HOA.

In response to our concerns Darryl D. Evans, Inc. has proposed an alternate common area indicated as a "nature trail". However, the proposed area is very problematic for numerous reasons and far from a fair exchange. The proposed "nature trail" resides within a very undesirable location including wet, swampy and muddy areas. Parts of the proposed "nature trail" are classified restricted wetlands, cannot be developed, and has limited accessibility through easements mostly encompassing drainage easements and gas pipeline easements. There are additional concerns over safety, dangerous refuse that still exists in the area, and the high cost of the very limited development that could be done within that proposed common area. The proposed area does not allow any type of development beyond a dirt trail. The current lot is centrally located, convenient, ready for development, and safe and easy to secure - a far cry from the proposed common area which is exactly why it was so attractive to current and prospective buyers to the community. Lastly community members have concern over home value for a neighborhood such as ours with \$300k+ homes without an attractive common area and no potential for one in the future.

Over the years the community has waited patiently for the development of the common area despite routinely being told that we should wait for future phases of the neighborhood to be completed. After so many years the community feels deceived by Darryl D Evans Inc. and that Darryl D Evans Inc. has reneged on his commitments to the community. Additionally, the proposed lot 78 has continued to be advertised as a common area even after plans were already made to develop a house on the current common area. Hannah's Creek community has majority support for the position stated in this letter as demonstrated by a petition letter recently submitted to Darryl D Evans, Inc. and by the universal response at the True Line Neighborhood meeting. Throughout this process, and in unrelated dealings, Darryl D Evans Inc. has routinely responded to inquiries in an unhelpful, vague, callous, and dismissive manner as was plainly demonstrated at the True Line Neighborhood meeting.

With all of these factors in mind, the Hannah's Creek community feels that approval of this request by Darryl D Evans Inc. would be a detriment to the community and cause for potential environmental concerns. For the good of our community we would respectfully request that you deny Darryl D. Evans Inc.'s application for Major Subdivision.

Respectfully,

Hannah's Creek Community

True Line Meeting Minutes (submitted by Hannah's Creek Community)

Meeting held Oct 14, 2015 at 6pm in Hayes room at the Clayton Center due to insufficient space at True Line for those in attendance.

Those in attendance: Approximately 40 Hannah's Creek residents (signatures of everyone in attendance obtained by Curk Lane from True Line Surveying), Curk Lane (True Line Surveying), Darryl D. Evans (developer), Lawyer (name unknown) representing Mr. Evans, Darryl D. Evans father, James Lipscomb (realtor from Home Towne Realty), Jay McLeod (Planner from Town of Clayton), Drew Jackson (staff writer for Clayton News Star).

Purpose of Meeting: To satisfy Town of Clayton regulations placed upon Darryl D. Evans, Inc. to provide information to area residents impacted by its land use proposal. Meeting was to provide information to residents regarding the nature of the proposal, explain the application, answer questions, and solicit comments.

Topics:

1. Explanation of proposed plan to increase Hannah's Creek's from 77 Lots to 78 lots.

True Line Surveying (Curk Lane) presented Darryl D. Evans, Inc.'s proposal for adding a new proposed lot to the Hannah's Creek Subdivision. This is referred to as Lot 78 on the submitted application. Mr. Lane explained that phase 1 and phase 2 of s/d were under Johnston Co jurisdiction and that phase 3 had to be approved by Town of Clayton due to ETJ. Mr. Lane explained that proposed lot #78 was originally undeveloped due to not having enough perkable land in phases 1 and 2. Mr. Lane informed that once land was purchased and acquired for phase 3, there was enough perkable space now for proposed lot #78 to be built. Mr. Lane informed residents that the septic lines for proposed lot 78 will be in the land that was acquired in phase 3. He explained that adding proposed lot 78 would require a Major Subdivision application and approval from the Town of Clayton instead of a Minor Subdivision classification as was originally submitted.

Curk Lane and Darryl Evans explained that at the outset of developing the neighborhood, Lot 55's overall space extended substantially further back to abut up to Highway 70. At that time, Lot 55's septic was obligated to be set further back closer to Highway 70 (in relation to where Lot 55's residence now sits); however, as time has passed, that obligation is now not in effect anymore. Thus this allowed for the additional space located closer to Highway 70 (originally within Lot 55's parameters) to be changed. This change now constituted making this tract of land (formerly within Lot 55) the open and recreational use space for residents and in turn making proposed Lot 78 available for construction of a new house.

2. Land advertised and marketed as common area to residents and potential buyers.

Numerous residents in attendance stated that proposed lot 78 has always been portrayed as common area for the entire community of Hannah's Creek. Residents provided recollection of Mr. Evans and HTR realtors (James Lipscomb and Jerry Jones) personally referring to this area as the subdivision's common area during the sale of their respective homes. Residents stated that they were told by Mr.

Evans and realtors, Mr. Lipscomb and Mr. Jones, that the land could potentially have a playground built on it or that the residents could build a pool on it if they desired. Resident Joshua Carlisle (phase 1), stated that Mr. Evans told him the residents would be able to decide what they wanted to use the common area for once there were enough homes in the s/d and thus, enough HOA dues collected to use for such decision.

Resident Malinda Johnson (phase 1) introduced herself and her husband to Mr. Evans, and stated they were the first home buyers in the s/d. She asked of Mr. Evans, "Do you remember us?" to which Mr. Evans answered "yes". She stated and directed to Mr. Evans that he told her (and Jay Johnson) face to face, that the tract of land currently proposed as lot 78, was our common area and a playground would be placed on the property for resident use. She asked Mr. Evans if he remembered saying this to them. Mr. Evans shrugged his shoulders and stated "Did you get it in writing?" Mr. Evans also remarked, that he may have mentioned that in general conversation.

Resident, Misty Jackson (phase 1), stated that a plat map proposing Lot 78 was constructed on Dec 15, 2013 and informed Mr. Evans that multiple residents from phase 3, whom purchased after this date, were still being told that the tract of land was a common area for the residents of the subdivision by his representatives from HTR. When Mr. Evans was asked why this happened, he stated that was HTR's fault and he didn't know why they advertised it that way. Mr. Evans was asked directly if he informed the realtors (Mr. Lipscomb and Mr. Jones) that the tract of land was not to be a common area any longer. He replied he never informed them of this change. When asked why he didn't notify HTR, he stated "The plats are public record. They can go to Smithfield and look at them." Residents in attendance were upset by this response and many stated that it was not feasible or obligatory to remain up to date with plat changes – public record or not. Mr. Evans's veracity and candor were questioned time and again as to why what he and/or his contractors/real estate agents told residents at that time was now being changed for Mr. Evans's financial benefit.

Mr. Evans said multiple times that proposed Lot 78 was listed as reserved for future construction. When informed that some surveys and plats, that are registered, label the area as open space, he shrugged his shoulders. Mr. Evans was informed and shown a survey map that was available in the marketing mailbox at the front of s/d for potential buyers. Map showed the land to be "open space". When asked why it was advertised this way, he blamed HTR for advertising it in error. Several residents questioned time and again whether the verbal advertisement of "common area" (proposed Lot 78) as a future playground or pool was a binding contract.

As more and more residents stated they were always told the land was our common area, Mr. Evans replied multiple times "I couldn't know what might happen with that land 10 years later."

3. Proposed new open space plan presented to residents.

With the new proposed lot #78, Mr. Evans informed residents that he would be constructing a nature trail between proposed Lot 78 and Lot 52 for residents to access the proposed open space. A preliminary plat map was presented by Mr. Lane. Residents asked how the nature trail would be constructed and for more details. Mr. Evans responded it would be "natural" and that there would not

be any asphalt or concrete used in its construction due to impervious surface requirements. Residents asked for specifics for the nature trail's construction. Mr. Evans never answered. Mr. Evans informed residents that the 20 ft drainage easement would be included in the required 30 ft access to open space. Majority of proposed open space is located on opposite side of the wetlands. Mr. Evans notified he would not be constructing a bridge for residents to have access to the open space. He informed the residents they could walk through the wetlands to obtain access to proposed open space. This open space is located on the southeast of the subdivision corner abutting Hwy 70 and the Piedmont gas pipeline.

Mr. Evans informed that the open space would be deeded to the HOA after he completes the s/d.

Residents voiced concern about how the homeowners (HOA) would maintain these proposed open spaces, not knowing how wide the nature path would be in order to get mowers through and not having access to the open space, landlocked by the wetlands. Concern was also expressed over the expense of such upkeep to the HOA once it is deeded over. Malinda and Jay Johnson explained that Caterpillar, his local employer, attempted to install a similar nature path walkway on their facility grounds and quickly determined the maintenance was too much to adequately handle. The weed growth became a major problem and Caterpillar ultimately decided to cancel any further maintenance. Many residents complained the proposed nature trail Mr. Evans had planned would end up with the same results.

Residents voiced that the new proposed open space was not a fair, comparable, or suitable exchange for the land that was now advertised as the common area.

Many residents voiced concern over the open space being adjacent to wetlands and going through woods that are tick and snake infested. Concern was raised that the only flat, not waterlogged, tick or snake infested proposed open space is located on the Piedmont Natural Gas line easement and that nothing permanent would be able to be constructed there. Concern was raised that a bulk of the proposed open space is not usable space, and that Mr. Evans had proposed deeding over land that will not be able to serve its intended purpose of a recreational space for residents.

4. Reimbursement of HOA funds

Residents voiced that HOA funds had been used for years to maintain lawn and carry liability insurance for the tract of land thought to be a common area, but was always owned by Mr. Evans. Further discussion arose of how some years back the proposed Lot 78, which the residents believed to be their common area, contained large dirt piles. After a long period of time residents complained that the dirt piles needed to be removed. Mr. Evans explained he removed the dirt piles as requested by the residents and that when he turned over the maintenance of the neighborhood's entrance and the "common area" (proposed lot 78) to Kohn Ell, he ensured that it would be kept visibly nice. Mr. Evans explained he did this for the residents; however, if it were up to him he would have simply "bushwhacked" the grass twice a year which would have been less cost. Residents countered Mr. Evans' claim that keeping the proposed Lot 78 groomed and visibly nice innately helped him with selling more properties in the neighborhood. If he left the area unkempt and overgrown he would be in violation of the covenants.

Residents asked Mr. Evans if he would be reimbursing the HOA for these expenditures. Mr. Evans responded he would reimburse the HOA, but was not obligated to. This contention of not having to reimburse the funds was seconded by one of Mr. Evan's representatives. No monetary amount was discussed or agreed upon.

Resident Kathi Pagano raised the concern that the community has not received the HOA annual financials from 2006 to 2012. Mr. Evans stated that no one ever asked for them. Resident Gerald Lee stated that he had. Ms. Pagano stated she had asked in the first HOA meeting. Mr. Evans stated that we could obtain them from Kohn-Ell. Ms. Pagano replied "back to 2006?" Mr. Evans replied "yes". Ms. Pagano said "I had already asked Kohn-Ell for them and they said they do not have them prior to 2013." Mr. Evans replied "Well, I'm not an accountant."

5. Increased potential for more crime in Hannah's Creek

Mr. Evans was informed that homes adjacent to the gravel road side of s/d have been accessed from the rear and broken into due to the ease of access from the gravel road. It was also notified that car break-ins and theft increased when the 70 bypass was constructed due to ease of access. Concern was raised that adding a nature trail that runs directly behind the homes on Chardonney Drive and Concord Court could potentially increase ease of access for crime to occur.

6. Homeowner Valuation Impact

Residents expressed that the land was advertised as a common area and enticed sells. Many residents claimed they purchased their specific lot based on this information. Concern was raised that home values could decrease with this land being taken away and used to build a new home instead. Resident Kathi Pagano requested of Mr. Evans to provide a homeowner valuation impact study from an entity with no ties to him. Mr. Evans did not give an answer as to whether he would provide this.

7. Drainage Easement

There was discussion regarding water backing up and not flowing well in drainage easement between Lot 52 and proposed Lot 78. Concern was raised regarding how the water will flow once the retention pond is filled at the completion of construction.

There was a discussion regarding 20 ft drainage easement between Lots 46 and 47. One concern raised was that the storm runoff would be directed to the proposed septic field for proposed Lot 78 which runs alongside the proposed nature trail. Questions were raised concerning sanitation and if this would create more standing water. Concern was raised about how this would impact the proposed accessibility and use of the proposed trail and access to proposed open space.

8. Impervious Surface

A question was raised regarding the impervious surface for each lot. Mr. Lane and Mr. Evans explained that each lot was allotted 4,288 square feet of impervious surface. Mr. Lane and Mr. Evans assured those in attendance that the new lot in question at proposed Lot 78 would not affect the current

impervious surface amount and that each lot would still remain at 4,288 square feet.

Resident Malinda Johnson asked if Mr. Evans would be open to residents making a fair offer to purchase proposed Lot 78. Ms. Johnson explained this offer was something that she just thought of and it would have to be agreed upon by the residents, but to hypothetically mitigate the current situation, she posed the question to Mr. Evans. Mr. Evans responded he would have to think about that. Mr. Evans was asked how much the lot would be in price. Mr. Evans responded he would have think about that and get back with residents at a later time.

9. Maintenance of proposed open spaces

Questions were raised regarding who is obligated to maintain these spaces. Land is currently owned by developer and not HOA. Many residents were mistakenly under the impression that proposed Lot 78 and other open spaces (entrance to Hannah's Creek) were already deeded over and owned by the HOA. Mr. Evans explained this was not true and his company was the owner. Residents countered that they should no longer, currently and prospectively, be funding any maintenance of these spaces. Mr. Evans gave no response and no resolution was obtained at this time.

10. Minutes

Resident Misty Jackson asked who was taking the minutes and Mr. Lane, who was presenting the meeting stated he would take care of the minutes. Jay McLeod said he was keeping notes. The residents were informed that the minutes would be available.

11. Petition

Darryl D Evans was asked if he received a copy of the Petition in the private meeting he had with HTR, James Libscomb and two (2) HOA Board Members and he confirmed receipt of the Petition.

I have received a copy of the Hannah's Creek, Clayton NC Petition

Sharon Lockamy
Town of Clayton

9/22/15
Date

Kristen Hoffman
Kohn-Ell

9/22/15
Date

Nancy House
Johnston County Environmental Public Utilities

9/22/15
Date

Michelle Sullivan
Johnston County ~~Planning and Zoning~~
ENVIRONMENTAL

22 Sept 2015
Date

Dianne Spence
Home Towne Realty

9-22-15
Date

AT THE TRUE LINE MEETING 10/14/15
DARRYL D EVANS STATED HE
RECEIVED A COPY OF THE
HANNAH'S CREEK PETITION

Sept 14, 2015

Hannah's Creek Subdivision, Clayton NC Petition

We the undersigned and resident of Hannah's creek would like to halt any building development of the common area (green space between Concord Ct and Corvina Ct, aka lot #78) until the subdivision community residents have full disclosure from builder / developer, Darryl D. Evans, regarding the following:

1) Why/how our HOA dues have been spent on the common area to :

A) maintain (mowing, seeding etc)

B) carry liability insurance

The builder / developer, Darryl D Evans, intends to build a home in the common area (lot #78) so why have the residents been paying expenses to maintain it?

2) How water (rain and spring) will be redirected if the retention pond is closed in the wooded space of the common area. We want to ensure that the new water flow direction does not affect the community homes or the Piedmont gas pipeline.

3) How the septic lines permitted by Johnston County for a specific number of bedroom dwelling is in contradiction with builder/developer's, Darryl D. Evans, actual bedroom, dwelling build and marketing material and MLS.

We want the opportunity for a proper HOA meeting with the builder, Darryl D Evans and Kohn-El Management Company present to address and rectify the issues above. Additionally, we want the opportunity to voice and vote on the common area (lot #78) development.

We intend this petition to reach:

Johnston County

Town of Clayton

Piedmont Gas

Darryl D Evans

North Carolina Licensing Board for General Contractors

Home Towne Realty

Local Media

1. Keith Dyer
Name

Date 9/14/15

66 Concord Ct Clayton NC 27520
Address

2. Melinda
Name

Date 9/14/15

54 Vineyard Drive
Address

3. Angela Warner
Name

Date 9/14/15

65 Concord Ct Clayton NC 27520
Address

4. John + Raquel Fleming
Name

Date 9/14/15

17 Corvina Dr. Clayton N.C. 27520
Address

5. Bennett Strickland
Aileen Strickland
Name

Date 9/14/15

86 Concord Court
Address

6. Jody + Mike Mullins
Name

Date 9/14/15

231 Corvina Dr.
Address

7. Keith + Kim Connolly
Name

Date 9-14-15

101 Vineyard Dr
Address

8. Vincent + Kim Scavone
Name

Date 9/14/15

14 Merlot Ct
Address

9. Eun Elmore
Name

Date 9/14/15

128 Corvina Dr
Address

10. Wendy Vant
Name 160 Corvina Drive

Date 9-14-15

Address _____

11. Karen McCann
Name _____

Date 9/14/15

170 Corvina
Address _____

12. Lauren Sabo
Name _____

Date 9/14/15

188 Corvina Dr.
Address _____

13. Paula Bm
Name _____

Date 9/14/15

235 Corvina Dr.
Address _____

14. Lee Stanton
Name _____

Date 9/14/15

234 Corvina Dr.
Address _____

15. Marybeth Baker
Name

Date 9-14-15

228 Corvina Dr
Address

16. Glenn and Kelly McDowell
Name

Date 9-15-15

58 Cabernet Ct, Clayton NC
Address

17. Suzanne & James Flockhart
Name

Date 9/15/15

53 Cabernet Ct. Clayton
Address

18. Bill & Tammy Greiner
Name

Date 9/15/15

GERALD LEE
Address 54 Merlot Ct. -

19. Robert & Melinda Blackman
Name

Date 9/15/15

73 Merlot Ct.
Address

20. Holly E. O'Connor
Name

Date 9-15-15

33 Vineyard Drive, Clayton, NC 27520
Address

21. Bonnie Hicks
Name

Date 9/15/15

24 Vineyard Dr.
Address

22. 30 Corving Dr
Name

Date 9/15/15

JOSHUA CARLISLE *J. Carlisle*
Address

23. Rachel Schoonover
Name

Date 9/15/15

116 Chardonney Dr
Address

24. Dave Allison *D. Allison*
Name

Date 9-15-15

121 Concord Ct
Address

25. Will - Hartl
Name

Date 9-15-15

20 CHARDONNAY
Address

26. Melissa Ingram
Name

Date 9/15/15

59 Chardoney Dr.
Address

27. Misty and Jody Jackson
Name

Date 9/15/15

87 Concord Ct Clayton NC
Address

28. Jamese & Tammy Cudell
Name

Date 9/15/15

140 Cervina drive, Clayton NC
Address

29. Scott Smith
Name

Date 9/15/15

102 Cabernet Ct,
Address

30. Sarah Kapusta
Name

Date 9-15-15

78 Vineyard Drive
Address

31. Kisty Gomez
Name

Date 9-15-15

107 Cabernet Ct
Address

32. Brian Lipiec
Name Michael J. Lipiec

Date 9/15/15
9/15/15

150 CORINA DR.
Address

33. Kathleen Evans
Name

Date 9/15/15

106 Concord Court
Address

34. Brad Schconover
Name

Date 9/15/15

116 Chardonney DR
Address

35. Kevin and Melissa Ingram
Name Kevin Ingram

Date 9/15/15

59 Chardanney Dr.
Address

36. Levana Dorenos
Name Levana Dorenos

Date 9-15-15

55 Chardanney Dr
Address

37. Jonathan Ellis
Name Jonathan Ellis

Date 9/15/15

62 Corvina Dr Clayton, NC 27520
Address

38. A B
Name

Date 9/15/15

105 Concord Ct Clayton, NC 27520
Address

39. Diana & John Tuttle
Name

Date 9/15/15

95 Cabernet Clayton
Address

40. EMMANUEL AND CARMELA ESLABON
Name Emeslabon

Date 9/15/15

31 MERLOT CT. CLAYTON NC 27520
Address

41. Lars & Carla Andersson
Name 86 Chardonnay Drive

Date 9/15/15

Address

42. Henry Marcus + Tabitha Marcus
Name

Date 9-15-15

70 Merlot Ct Clayton Ne 27520
Address

43. Sue + Michael Beavers
Name

Date 9-15-15

42 Chardonnay Drive Clayton NC 27520
Address

44. David Miller Lynda Miller
Name

Date 9/15/15

39 Cabernet Ct Clayton, NC 27520
Address

45. Lisa Laturno
Name

Date 9-15-15

74 Chardonney
Address

46. Robert B. Stephenson
Name

Date 9-15-15

121 Cabernet Ct, Clayton NC 27520
Address

47. Rhonda Miles ~~_____~~
Name

Date 9-15-2015

69 Chardonney Drive
Address

48. Anara Schott
Name 76 Cabernet Ct.

Date 9-16-2015

~~_____~~
Address

49. Ashley Daughtnap ~~_____~~
Name 117 Cabernet Ct.

Date 09/16/2015

Address

50. KARI SAWYER
Name 150 CHARDONNEY

Date 9-16-15

Address _____

51. Susan Fikes (Susan Fikes)
Name _____

Date 9/16/15

77 Merlot Court
Address _____

52. Alan Flowers
Name _____

Date 9-16-15

112 Cabernet Ct
Address _____

Frederick Bangert Kathy Bangert
53. Frederick Bangert Kathy Bangert
Name _____

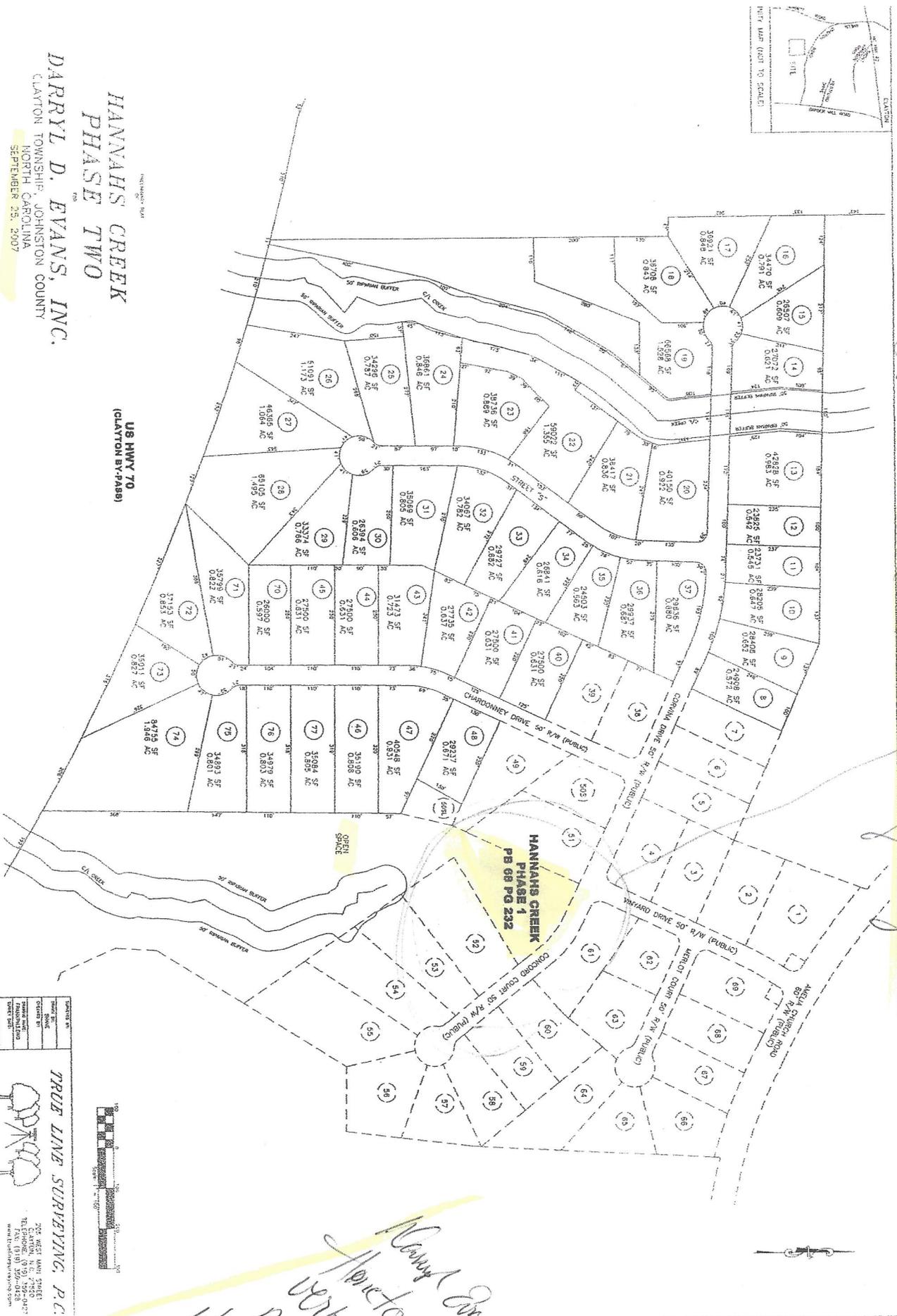
Date 9-17-15

9 Cabernet Court
Address _____

54. _____
Name _____

Date _____

Address _____



See attached by articles for plans

**HANNAHS CREEK
PHASE TWO**
DARRYL D. EVANS, INC.
CLAYTON TOWNSHIP, JOHNSTON COUNTY
NORTH CAROLINA
SEPTEMBER 25, 2007

US HWY 70
(CLAYTON BY-PASS)

PROJECT NO.	207-02-0285
DATE	09/25/07
CLIENT	DARRYL D. EVANS, INC.
PROJECT NAME	HANNAHS CREEK PHASE TWO
PROJECT ADDRESS	207 WEST MAIN STREET CLAYTON, NC 27009
CONTACT	DARRYL D. EVANS PHONE: (919) 350-0428 FAX: (919) 350-0428 WWW.DDEINC.COM

TRIPLE LINE SURVEYING, P.C.

207 WEST MAIN STREET
CLAYTON, NC 27009
PHONE: (919) 350-0428
FAX: (919) 350-0428
WWW.DDEINC.COM



*Many owners of
Aurora Realty
Vertically told
Residents this
New "Common
Area" will
be a world
of playground
for our future
residents*

5/10/2010

Hannah's Creek HOA
Amelia Church Rd. Clayton, NC
ATTN: Darryl D Evans
919-795-1515

Mr. Evans,

This is the proposal for a yearly maintenance contract at the Hannah's Creek Community. This agreement is to include the both sides of the entrance and the common area at the "T" intersection. It will be a 12 month agreement with a monthly charge of \$490.00 or \$5,880.00 annually.

Services included;

Turf Areas:

- Mow/Trim/Edge/Blow Weekly during the active growing season (roughly 32 times)
- 2 Applications of Pre & Post Emergence to control troublesome weeds (Spring & Fall)
- 4 Applications of fertilizer to improve health and appearance

Bed Areas:

- Round up / Weed control
- Prune Shrubbery as needed in island beds around signs only

Thank you for allowing Barefoot & Associates the opportunity to provide you with this estimate. Please feel free to contact us if you have any questions.

Best Regards,

Harry N. Wilson III
Sales Associate
Barefoot & Associates, Inc.
919-934-3554

-----Original Message-----

From: Keith Pagano <keithpagano@aol.com>

To: jwmcleod <jwmcleod@townofclaytonnc.org>

Sent: Mon, Oct 19, 2015 4:42 pm

Subject: Proposed Lot 78, Hannah's Creek Lot 52 submitting questions and concerns for Oct 26 Hearing

Katherine Pagano

66 Concord Court (Lot #52, Phase 1)

Clayton, NC 27520

October 19, 2015

Town of Clayton

111 East Second Street

Post Office Box 879

Clayton, NC 27528

Attn : Jay McLeod

Re: Major Subdivision Application by True Line Surveying for Darryl D. Evans for proposed lot #78 in Hannah's Creek Subdivision, Clayton, NC

Dear Jay McLeod,

With regard to the above referenced subject matter and the attached, I want to share concern and input to the Planning Board for consideration and review at the October 26, 2015 Public Hearing.

There are inherent water drainage issues that occur from the north side of Merlot Court, to the east side of Vinyard Dr and carry through to Concord Ct. The 20' drainage easement that sits between lot 52 and Proposed lot 78 is always wet and marshy even when it is not raining. When it rains the water flow can easily get to 5' wide and 24 to 30" deep in this drainage easement. There is a huge sediment / retention pond that sits directly behind lot #52 and historically full of water and loaded with cat tail vegetation. Once that sediment / retention pond is filled by the developer, it will take some time for the topography to settle and the natural water flow re-establish itself. How can any perk or storm water evaluation occur for proposed Lot #78 when the abutting environment is knowingly going to change as soon as the sediment / retention pond is filled.

The proposed Lot 78 hand out (showing walking trail and septic layout) in the True Line Meeting on 10/14 is not the same map that is submitted in the Oct 1, 2015 application. The major subdivision application was made available after the True Line Meeting on 10/14 so here are some questions with regard to the application:

Section:

Required information:

6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed is not checked off.

11. Wastewater allocation request OR verification of wastewater allocation is marked N/A - How come?

Section:

Major Subdivision - Preliminary Plat Requirements Checklist

- Item 11 – Why is this section marked as N/A?

-Item 11 Within Town Limits of ETJ appears to be checked N/A but the actual check mark does not appear in the box allocated. Isn't Hannah's Creek in the ETJ?

-Item 11 - Sewer provider is not stated

-Item 11 -impervious for overall development and lot is not indicated

Item 11- Maximum allowable impervious is not shown

- Item 11 – Existing use vs proposed use not provided sufficiently and is misleading.

- The last plat map (dated Feb 21, 2005) of the application does not represent the current open space boundaries nor its characteristics.

-The wetlands are depicted in an area that differ from the recorded Plat.

-.Lot 55 is not accurately depicted plat map dated Feb 21, 2005. This lot was changed prior to the official recording of Phase 1 and should have no direct correlation/decision on Phase 3 or the newly proposed Lot 78.

- Lot 78 does not indicate septic layout or proposed community area changes.

-Item 19 – There is insufficient information of existing and proposed rights-of-way, easements, and public use areas. Existing clear land “common” areas have been replaced by a combination of wetlands, heavily wooded areas, non-buildable land, or areas not accessible to the community.

- Item 29 – Location, purpose, and dimensions of non-residential areas are not spelled out appropriately and therefore, do not designate responsible parties.

-Item 31 – Proposed stormwater retention/detention features and dimensions are not reflected. This is an area of known water drainage/retention problem areas that also is near a protected wetland and a current retention pond.

- Item 38 and 39, 40. – No information on landscaping shared.

- Item 41 – There are no details regarding the topography, but the application (and the presentation provided by True Line Surveying proposes swapping out clear, open land with combined land consisting of wetlands, heavily wooded, gas line easements and low lying drainage easement areas.

- Item 42 – Missing information on water/sewer and pipeline gas infrastructure easements.

- Item 49 – Missing existing and proposed changes to drainage structures. There is currently a retention pond in the drainage easement closest to protected wetlands.

-Item 51 – Missing existing and proposed easements for the plan presented by True Line on 10/14. Again, the application does not match the proposal presented in the meeting on 10/14.

-Item 54 – Missing storm water management system information in an area that contains a retention/detention pond next to wetlands that have a history of drainage issues.

As mentioned above, the plat maps presented in the application are not accurate for the current existing neighborhood. Also, the proposed plat changes proposed for Lot #78 and the new neighborhood common areas do not represent what True Line/Darryl D. Evans Inc presented during the 10/14 meeting.

There is a page omitted from the packet in the “Town of Clayton Subdivision Approval Sub 08-01 Granted” section. It is page 2 of 4.

Can the Town confirm with the following department if a determination of stream buffer was applied for:

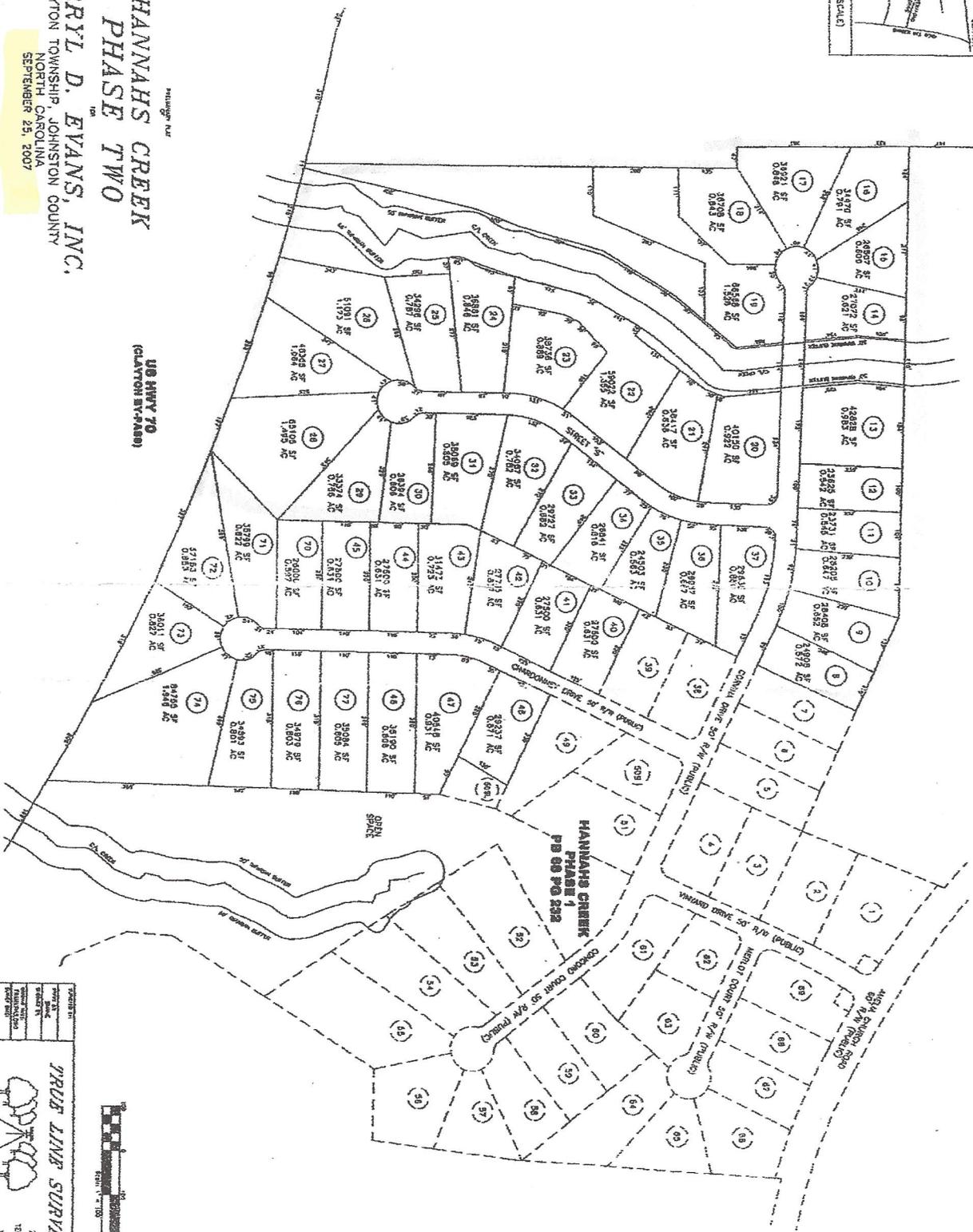
James R. Graham Jr.
Environmental Specialist
Raleigh Regional Office
NCDENR-Division of Water Resources
3800 Barrett Drive
Raleigh, NC 27609
(919) 791-4256

James.Graham@ncdenr.gov

Thanking you in advance for taking the time to thoroughly review all the questions and concerns.

Best regards,

Katherine Pagano



HANNAHS CREEK PHASE TWO
 DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 SEPTEMBER 25, 2007

US HWY 70
 (CLAYTON BY-PASS)

TRUB LANE SURVEYING, P.C.

205 WEST MAIN STREET
 CLAYTON, NC 27925
 TEL: (757) 236-4427
 FAX: (757) 236-4428
 www.trublanesurveying.com





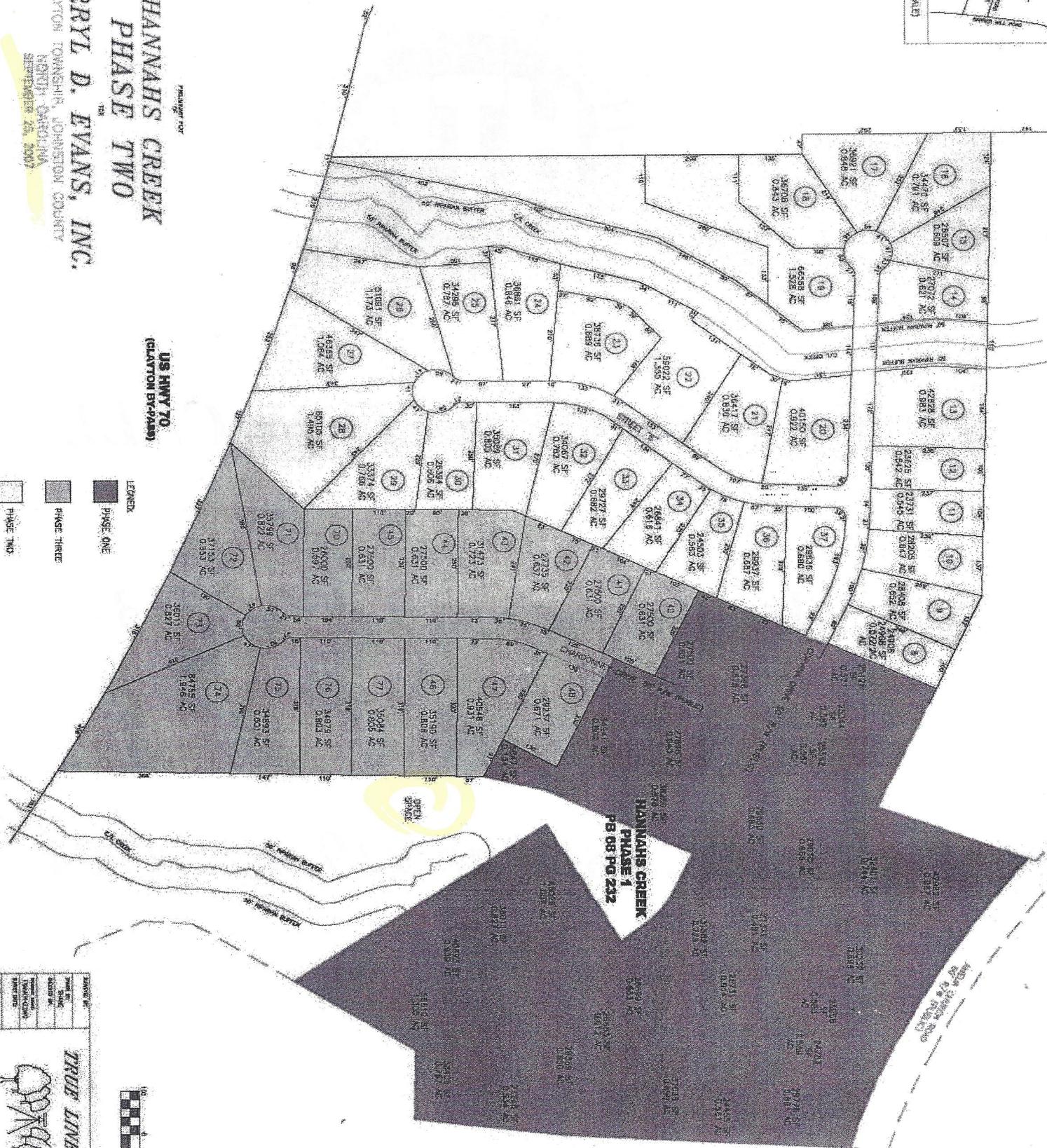
HANNAHS CREEK PHASE TWO

DARRYL D. EVANS, INC.

CLAYTON TOWNSHIP, JOHNSON COUNTY
NORTH CAROLINA
SEPTEMBER 28, 2007

**US HWY 70
(CLAYTON BY-PASS)**

- LENDER
- PHASE ONE
- PHASE THREE
- PHASE TWO



**HANNAHS CREEK
PHASE 1
PB 08 PG 232**



TRADE LINE SURVEYING, P.C.

200 WEST MAIN STREET
CLAYTON, N.C. 27925
TELEPHONE: (919) 338-
FAX: (919) 338-
WWW.TLSURV.COM

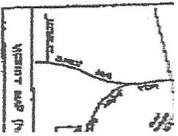
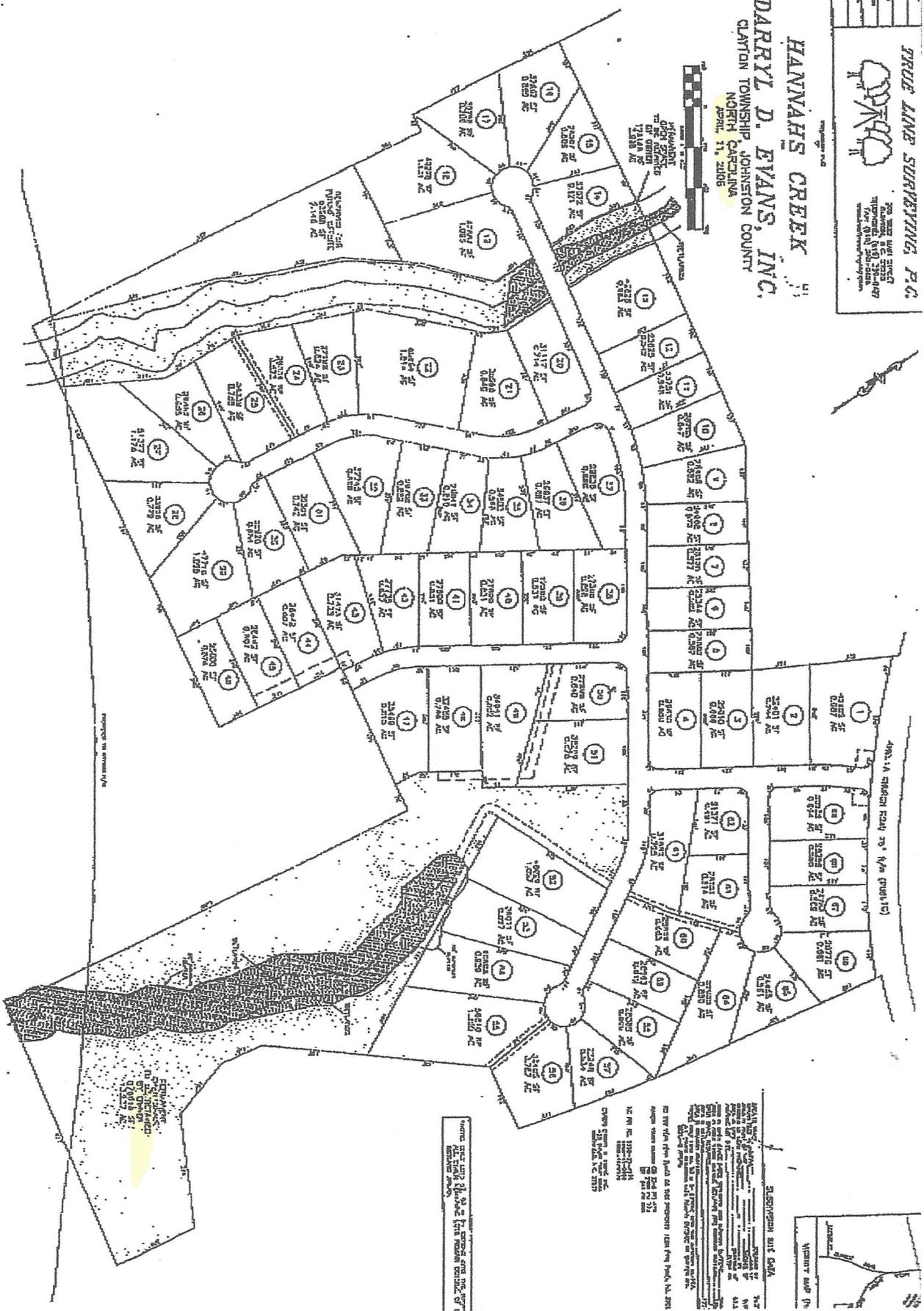
TRUE LINE SURVEYING, P.C.

200 WEST MAIN STREET
 WASHINGTON, D.C. 20004-47
 TEL: 202-331-3344
 WWW.TRUELINESURVEYING.COM

HANNAH'S CREEK

DARRYL D. EVANS, INC.

CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 APRIL 11, 2008



DISPOSITIONS AND DATA

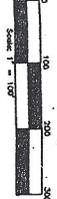
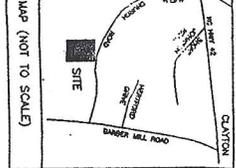
ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED AND THE BUYER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NO PART OF THIS PLAT IS TO BE CONSIDERED VALID UNLESS IT IS ACCOMPANIED BY THE ORIGINAL SURVEY INSTRUMENT AND THE ORIGINAL SURVEY RECORDS.

DATE OF SURVEY: APRIL 11, 2008

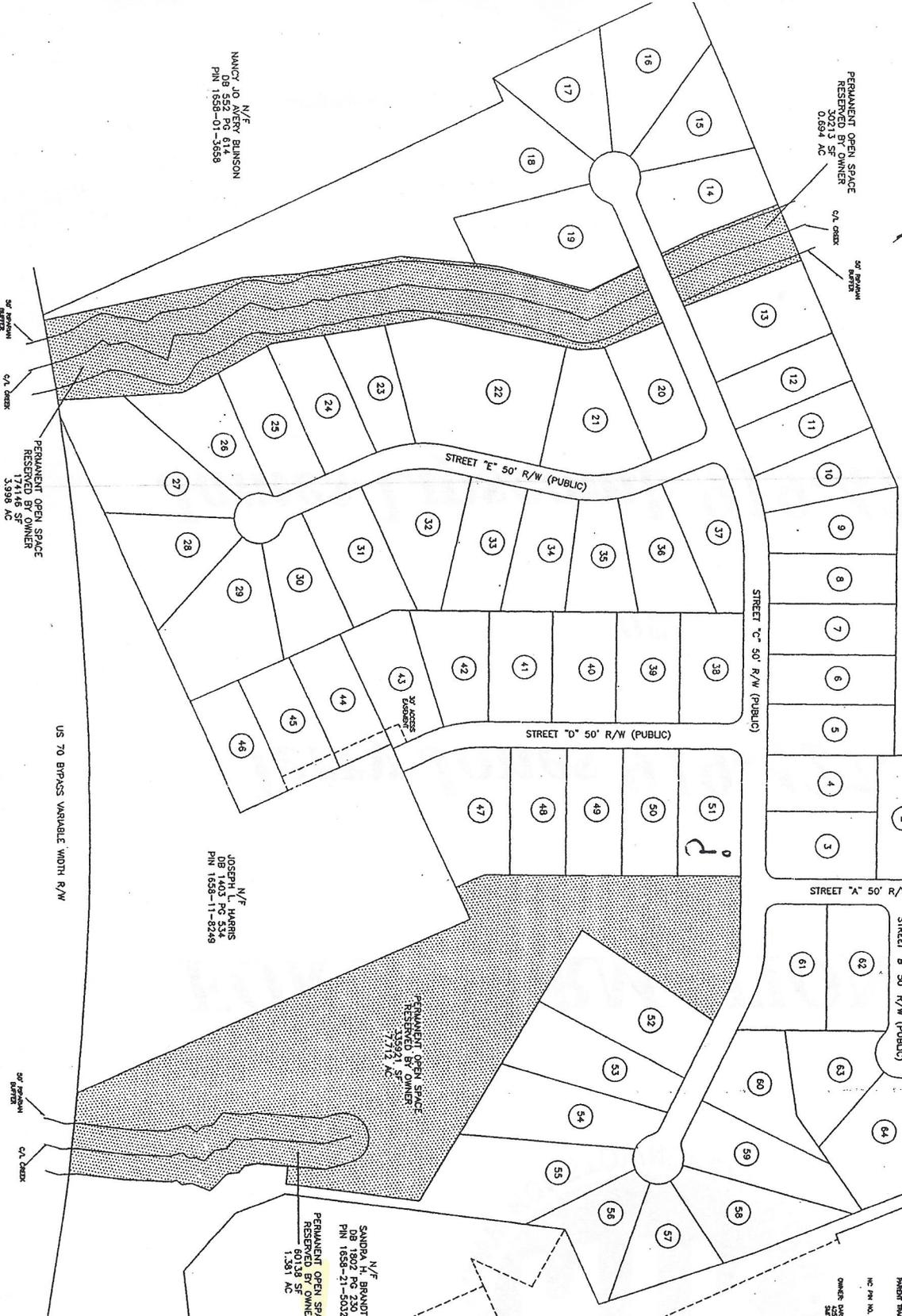
BY: DARRYL D. EVANS, INC.

NOTICE: THE YELLOW SHADING IS FOR THE PURPOSE OF IDENTIFYING THE LOTS TO BE CONVEYED TO THE BUYER BY DEED.



HANNAHS CREEK
DARRYL D. EVANS, INC.
 CLAYTON TOWNSHIP, JOHNSTON COUNTY
 NORTH CAROLINA
 FEBRUARY 21, 2005

N/E
 FRANCES O. AIKEN
 DB 741 PG 049
 PIN 1658-12-2479



N/E
 NANCY JO AVERY BLANSON
 DB 552 PG 614
 PIN 1658-01-3658

N/E
 JOSEPH L. HARRIS
 DB 741 PG 049
 PIN 1658-11-8249

N/E
 SANDRA H. BRANDT
 DB 1802 PG 230
 PIN 1658-21-5032

N/E
 TONIA LYNN COUNCIL
 DB 1691 PG 205
 PIN 1658-21-8400

PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES OR SALES

DATE OF PLAT	
DATE OF RECORDATION	
DATE OF DEED	
DATE OF SALE	

TRUE LINE SURVEYING, P.C.

206 WEST MAIN STREET
 CLAYTON, N.C. 27520
 TELEPHONE: (919) 359-0427
 FAX: (919) 359-0428
 www.truelinesurveying.com

SUBMISSION SITE DATA

AREA IN TOTAL STRIPS	782.0 AC
AREA IN TOTAL STRIPS	5,318 AC
AREA IN TOTAL STRIPS	237,000 AC
AREA IN TOTAL STRIPS	51,238 AC
AREA IN TOTAL STRIPS	16,447 AC
AREA IN TOTAL STRIPS	1,273 AC

NO 100' WIDE STRIP ALONG ON THIS PROPERTY FROM PLOT 56 AND 57 TO THE 5500'

PERMIT PLAT DEEDS: DB 2728 PG 277
 DB 741 PG 048

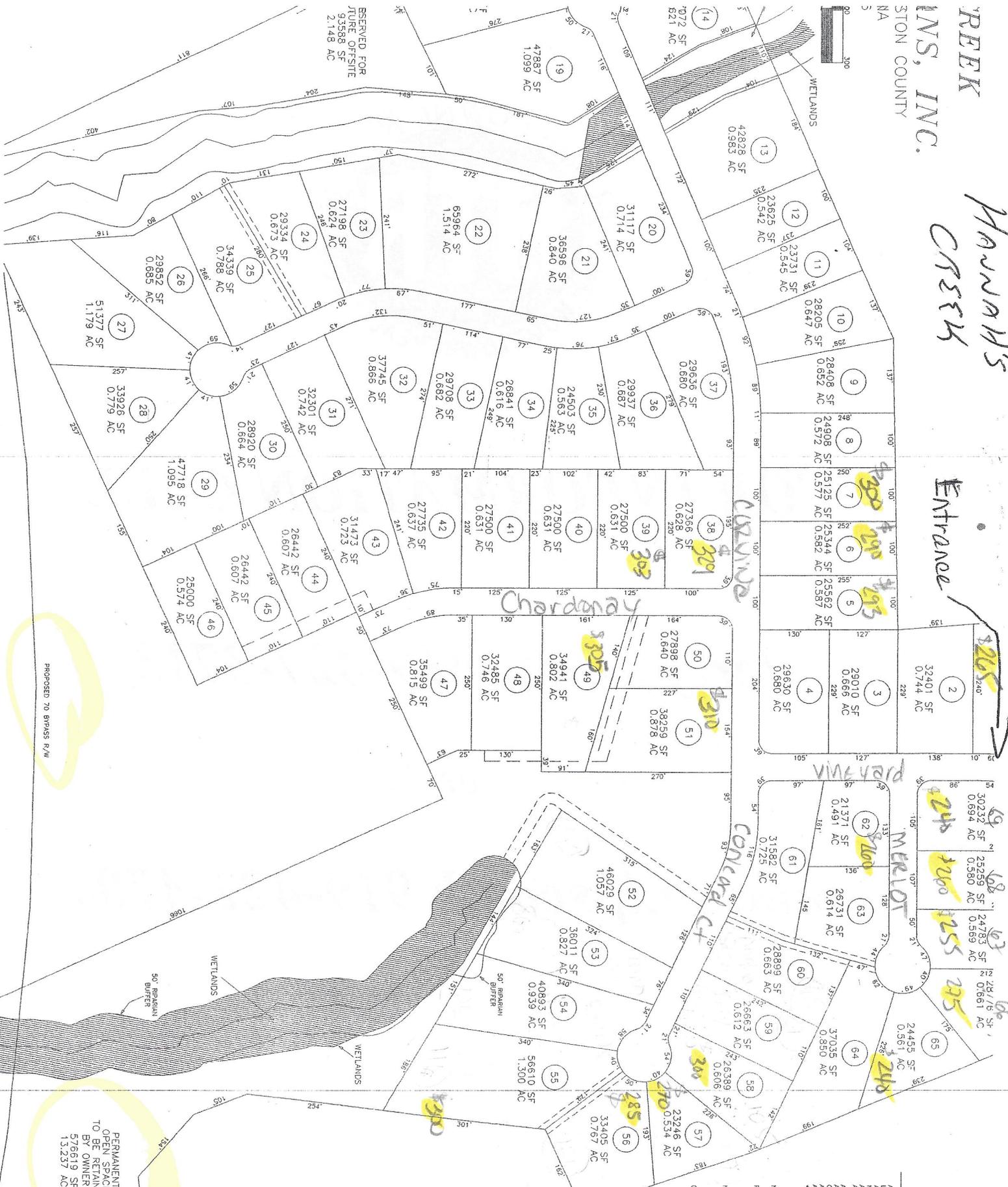
MC PIN NO. 1658-21-3239
 1658-21-3239
 1658-12-2479

OWNER: DARRYL D. EVANS, INC.
 206 WEST MAIN STREET
 CLAYTON, N.C. 27520

REEK INS, INC.
STON COUNTY, NA

Handwritten: **MANUAL'S CROSS**

Handwritten: **Entrance**



RESERVED FOR
FUTURE OFFSITE
33588 SF
2.148 AC



PROPOSED 70 BYPASS R/W

PERMANENT
OPEN SPACE
TO BE RETAINED
BY OWNER
576619 SF
13.237 AC

*NOTE: ONLY LOTS
ALL OTHER
WETLAND AREAS

AREA IN TRACT
LINEAR FEET IN STREETS
AREA IN RIGHT OF WAY
AREA IN RIGHT OF WAY
AREA IN LOTS
AVERAGE LOT SIZE
AREA IN OPEN SPACE INSIDE
AREA IN OPEN SPACE OUTSIDE
AREA IN WETLANDS
AREA IN RIPARIAN BUFFERS
ALL OTHER REMAINING
WETLAND AREAS

NO 100 YEAR FEMA FLOOD
PRESENT TRACT DEPTH: 08
08
08

HP PIN NO. 1858-21-0273
1858-1-0699
1858-12-2474

OWNER: DARREN D. BURNS
425 MIDLAND CAMP
SMITHFIELD, N.C. 2

James Lipscomb 919-422-4704

or

Jerry Jones 919-427-3713

FOR INFORMATION CALL



Hi Jay,

Thanks for your explanation and assistance. It is greatly appreciated. Per your request, the community will be submitting information today for the Town Planning meeting on 10/26. Kathi Pagano has provided the package to you via email.

However, I will not be able to attend the 10/26 meeting and would like to submit my own comments/concerns in reference to the application dated 10/1/2015 that was submitted by True Line Surveying and Darryl D. Evans, Inc. The comments/concerns are specific to my residence, Lot # 60.

Attached is information that I would like to be submitted to the Clayton Town board for review as it relates to my Lot # 60 and the concerns with the presently submitted application. There are three attachments/packages provided:

- 1) Cover Letter
- 2) Letter Concerning Application
- 3) Major Subdivision application submitted on 10/1/2015.

Can you let me know if this will be included as review for the Clayton Town board?

Thanks in advance for your correspondence.

Thanks,

Steve Warren

65 Concord Ct
Clayton, NC 27520
Lot #60
(919) 333-2318 (m)
(919) 550-9353 (h)

P.S. – Copies of these attachments are being hand delivered to the Town office today.

Steve Warren
65 Concord Ct
Clayton, NC 27520
October 19, 2015

Mr. McLeod
Planner
Town of Clayton
111 East Second Street
PO Box 879
Clayton, NC 27528

Dear Mr. McLeod:

I am writing you in reference to the Major Subdivision application submitted by True Line Surveying on behalf of Darryl D. Evans, Inc. on 10/1/2015. The application is attached to this email as Attachment #1 for reference. Due to prior plans that cannot be changed, I will be unable to attend the 10/26 Planning Board meeting where this subject will be discussed. As such, I wanted to provide feedback on the application/proposal that is under consideration from the board. Please provide this letter to the Board for review prior to the 10/26 Planning Board.

As a precursor to the feedback/concerns below, I would like to state that my wife and I were one of the original buyers in the Hannah's Creek subdivision and reside in Lot #60 diagonally across from the proposed lot #78. Our lot has had water drainage issues (as well as septic line misrepresentation) that were not fully disclosed during the sales/closing of our property. These include the discovery of old drainage/sewage pipe buried on lots 52, 60, 61 and proposed new lot #78 that was broken during the construction of drainage easements for Phase 1 of the Hannah's Creek Subdivision. Additionally, a sink hole was discovered on lot 64 directly leading to the old terracotta pipe that was through my property (Lot #60).

As a result of the above mentioned, I have concerns with the application of proposed lot #78 and how it will affect existing water issues for not only the land on proposed lot #78, but the current drainage issues experienced in the community and specific to the drainage easement between lots 60, 61, 63, and 64. In reviewing the application submitted by True Line and Darryl D. Evans, it does not appear that the application has been submitted with all complete and/or relevant information. Below are the items requested in the application, but do not appear to be addressed.

- 1) The following checklist items in the application are not complete and/or incomplete:
 - a. Item 11 – Why is this section marked as N/A?
 - b. Item 11 - Sewer provider is not provided.
 - c. Item 11 – Existing use vs proposed use not provided sufficiently and is misleading.
 - i. The last plat map of the application does not reflect the current open space boundaries nor its characteristics.
 - ii. Lot 55 is falsely represented on the last page. This lot was changed prior to the official recording of Phase 1 and should have no direct correlation/decision on Phase 3 or the newly proposed Lot 78.
 - iii. Lot 78 does not indicate septic plan or proposed community area changes.
 - iv. The wet land areas are depicted differently on the two plat maps enclosed in the application.
 - v. Proposed Plat in application is not what was presented by True Line during the public meeting on 10/14.
 - d. Item 19 – There is inadequate information of existing and proposed rights-of-way, easements, and public use areas. Existing clear land “common” areas have been replaced by a combination of wetlands, heavily wooded areas, non-buildable land, or areas not accessible to the community.
 - e. Item 29 – Location, purpose, and dimensions of non-residential areas are not identified appropriately and thus do not designate responsible parties.
 - f. Item 31 – Proposed stormwater retention/detention features and dimensions are not reflected. This is an area of known water drainage/retention problem areas that also is near a protected wetland and a current retention pond.
 - g. Item 38 and 39, 40. – No information on landscaping provided.
 - h. Item 41 – There are no details regarding the topography, but the application (and the presentation provided by True Line Surveying proposes swapping out clear, open land with combined land consisting of wetlands, heavily wooded, gas line easements and low lying drainage easement areas.
 - i. Item 42 – Missing information on water/sewer and pipeline gas infrastructure easements.
 - j. Item 49 – Missing existing and proposed changes to drainage structures. There is currently a retention pond in the drainage easement closest to protected wetlands.
 - k. Item 51 – Missing existing and proposed easements for the plan presented by True Line on 10/14. Again, the application does not match the proposal presented in the meeting on 10/14.

Mr. McLeod
October 19, 2015
Page 3

1. Item 54 – Missing storm water management system information in an area that contains a retention/detention pond next to wetlands that have a history of drainage issues.
- 2) As mentioned in parts of item 1, the plat maps presented in the application are not accurate for the current existing neighborhood. Additionally, the proposed plat changes proposed for Lot #78 and the new neighborhood common areas do not represent what True Line/Darryl D. Evans Inc presented during the 10/14 meeting.
- 3) There is a page missing from the packet in the “Town of Clayton Subdivision Approval Sub 08-01 Granted” section. It is page 3 of 4.

Please advice on the next steps to address the concerns mentioned in this correspondence.

Sincerely,

Steve Warren

From: [Keith Pagano](#)
To: darryldevansinc@embarqmail.com
Cc: joshc@viewfusion.com; [Jay McLeod](#)
Subject: Fwd: Message To Darryl Evans on Proposal
Date: Friday, November 13, 2015 11:02:39 AM

Hi Darryl,

The proposal that you left in my mailbox was forwarded to Josh as you requested. Please see below.

-----Original Message-----

From: Joshua Carlisle <joshc@viewfusion.com>
To: Keith Pagano <keithpagano@aol.com>;
Sent: Thu, Nov 12, 2015 11:46 pm
Subject: Message To Darryl Evans on Proposal

Kathi,

Please forward this to Mr. Evans at your convenience.

Thanks!

Josh Carlisle

Mr. Evans,

I wanted to provide you some additional feedback regarding the latest proposal for the common area that was discussed at the on-site November 3rd meeting with some of the Hannah's Creek community residents as well as James Lipscomb and Andrew Hodge (of Adams and Hodge Engineering). Although Kathi is still the main point of contact for our community's efforts in this dispute, I felt that I should respond personally since we talked for a good bit on exploring some additional options.

I think those of us who participated in the meeting felt that the initial discussion surrounding the use of lot 73 itself was going to have more substance than simply including a few more feet of drainage easement essentially at the "trail head" of the original proposed nature trail. Needless to say that first proposal was not met upon positively by the community. As was mentioned several times the community is and will continue to be open to equitable exchanges for what we feel we may loose with the proposed lot 78 application. An equitable exchange would be a space of similar size that does not have any building restrictions, is accessible, and is safe.

As I mentioned from the beginning, my personal opinions then and now doesn't carry any more weight than any other community member. However, since I was the one that started exploring other options with you, I felt I should volunteer for collecting the feedback from others in the community. Over the last week, and since you sent the formal proposal to Kathi, I've collected feedback from many members of the community (some who were present and others who were not). Quite honestly this matter has become quite a source of stress and time consumption for all the parties involved. I really have been hopeful to see an equitable arrangement for the community so that we could all move past this. With that in mind we made very serious consideration of this offer and took quite a bit of time to hash out the details and really make sure this was the right thing for the community and generally satisfied our goals for our community. On first pass, I thought that the clearing of land behind lot 73 might meet the criteria of an equitable exchange. However, upon further consideration, discussions and analysis of the details of the full proposal, we unfortunately find that this will not be the case.

Some of the following reasons were identified:

- Based on conversations with many members of the community, visibility is very important. Visibility provides a level of security and safety to the area. On first pass with the property being within line of site to both nearby houses and partially Chardonney Drive it seemed that although the location is less than ideal, it may possibly be “enough”. Unfortunately, there is nothing to prevent homeowners from building privacy barriers such as fences and large trees to provide them privacy from the common area. This would lead the common area to once again be a secluded section of land hidden from view from both houses and the road leading to safety concerns – the same kind of concerns that were had for the nature trail. With this proposed area (behind lot 73), it would allow for the common area to be almost surrounded with a wood line, abutting the wetlands with the only open side facing the Piedmont gas pipeline easement and the highway 70 bypass with no direct line of sight from a neighborhood road or any houses.
- Many residents feel strongly that there isn’t enough information regarding that area around the creek/wetlands to make a true determination on the usability of the proposed space behind lot 73. Additionally, existing permits are outdated, expired, or seemingly unobtainable. The NC DWQ determined the existing buffer to be valid from March 3, 2005 through March 3, 2010. Being that the government agencies responsible for the information and validation has changed hands from state, to county, and in some cases to township, we would like to see an official updated buffer determination. With the eventual opening of the Concord Ct. easement pond, which currently holds a significant amount of rain water the dynamics of the region could potentially change significantly with a lot more water going through it. Also, we have noticed that the drainage easement sitting between Lot 46 and 47 (on Chadonney Drive) has been revamped/regraded and banks north at the tail east end. This is in opposition to the 5/14/2014 recorded plat map of Phase Three in which the tail east end of the drainage easement banks south. What is the reason for the easement being recorded one way and developed another? We would also like to know if the drainage easement between lot 73 and the Piedmont gas pipeline is designed, graded and established in its final flow pattern. The true buffer size and classification (once that is really determined as it should be) could make the land completely unusable for any kind of common area development. This could potentially lead to liability for the **community** in regard to this property and additionally prevent future development by the HOA. Quite simply, your response “we’ve done this before” isn’t enough of an assurance for the community.
- Even with inclusion of a small strip of land from lot 73 (mostly a drainage easement) accessibility still makes use of both drainage easements and the gas pipeline. A required buffer goes through this area in addition to a utility easement. You informed us during the meeting that none of our use has been requested or approved by Piedmont Gas which makes any proposal for any kind of use or improvement on that gas pipeline area suspect. Others still have valid concerns that a simple raised path will not be enough to provide adequate accessibility and want to see something more significant. The wording in the written offer of “passable access” is ambiguous at best.
- Without exception, every resident I discussed this with was objectionable to using funds due back to the HOA for upkeep and maintenance of your property over the years (originally believed to be HOA property) to cover the cost of clearing the land. They felt this was simply not fair, nor appropriate. Especially with the additional costs of pulling and installing lighting to improve safety, something we would not have to do for a common area accessed from the road with coverage by existing street lighting.
- Lastly, and probably legally most problematic is listing the Homeowners Association as the “promisor” of this legal document. As part of your written proposal, you are seeking protections that could potentially open up the entire HOA to future legal costs in any future dispute and essentially providing immunity for you in anything remotely related. You must have some concerns in this regard or you

wouldn't have placed such a clause in your proposal. There is great concern with how the community will be left once development is complete and if the HOA or homeowners will be left with a large bill after the next wet season or in coming years. A poorly thought out common area only adds to that liability. Finally, and most importantly, every member of the community is aware that you essentially still retain control of the HOA in the form of a majority vote making it very questionable whether it's appropriate for the HOA to be any promisor of any legal agreement due to that inherent conflict of interest. This is all reinforced by the fact that an HOA meeting regarding this dispute was requested back in September and still has not been scheduled and the management company you appointed for some inexplicable reason advised our board that they should not become involved. With all of this in mind we strongly feel that at this time the HOA of Hannah's Creek is not in any position to sign any legal documents regarding this dispute.

I honestly do appreciate the candid discussion and exploring options. Unfortunately, in this case it just doesn't meet the community's goal for an equitable exchange.

This common area is a real concern for many in the community and based on our petition, a majority. Just like our elected government, many in the community are relying on those of us with some extra time and flexibility to fight for what we believe was promised to us for the common good of the neighborhood. Please don't be deceived about our commitment when you only see 8 or 9 residents at a meeting held mid-day during the week in the pouring rain as you seemed to believe based on your comments. With only a few normal exceptions this community as a whole is united in this regard. It goes beyond simple values of homes, despite what your appraiser may say. If there is no inherent value in a developed common area (whether that is something as simple as a park with a playground or something as developed as a pool) then you would not have developers building them as center pieces to their communities, as selling points. They would simply build more houses. To say there is no value in this to our community is ludicrous. We have a heart for our community, we want a place where we can come together for community events, where our children can play together, and all the other advantages it holds for the entire lifetime of this community – especially a community at our price point. We feel we've been very patient for many years with you regarding this, giving you flexibility and understanding during the economy's downturn.

Although you might get this impression, we don't begrudge you for wanting to make money, many of us are business owners and know the challenges of business and the drive to take advantage of opportunities for profit when they arise, but we also understand the value in sticking through with commitments to customers despite changing circumstances – that too is good for business in many ways. You built us a beautiful community and it's attracted some wonderful residents. We just want that keystone – the capstone – that is the community area. Please put yourselves in our shoes, put yourselves in the shoes of what you would want to do for your own community, and do the right thing by providing us that common area our community's residents deserve.

Sincerely,

Joshua Carlisle



4/6/05
CORK
Daf

Michael F. Easley, Governor

William G. Ross Jr., Secretary
North Carolina Department of Environment and Natural Resources

Alan W. Klimek, P.E. Director
Division of Water Quality

March 3, 2005

DWQ EXP# 05-0322
Johnston County

Daryl Evans
Daryl Evans Bld. Inc.
425 Indian Camp
Smithfield, NC 27577

Subject Property: **Hannah's Creek**
UT to Swift Creek [03-04-02, 27-43-11, C NSW (nutrient sensitive)]

On-Site Determination for Applicability to the Neuse River Riparian Area Protection Rules (15A NCAC 2B .0233)-EXPRESS REVIEW PROGRAM

Dear Mr. Evans:

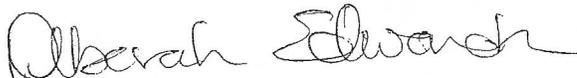
On March 2, 2005, at your request I conducted an on-site determination to review one feature located on the subject property for applicability to the Neuse Buffer Rules (15A NCAC 2B .0233). The feature is labeled as "A" on the attached maps initialed by me on March 3, 2005.

The Division of Water Quality (DWQ) has determined that the feature labeled as "A" on the attached maps is subject to the Neuse Buffer Rule, the origin of feature A has been delineated and flagged in the field with red flagging. This stream feature and its associated buffers should be identified on any future plans for this property. The owner (or future owners) should notify the DWQ (and other relevant agencies) of this decision in any future correspondences concerning this property. This on-site determination shall expire five (5) years from the date of this letter.

Landowners or affected parties that dispute a determination made by the DWQ or Delegated Local Authority that a surface water exists and that it is subject to the buffer rule may request a determination by the Director. A request for a determination by the Director shall be referred to the Director in writing c/o John Dorney, DWQ Wetlands/401 Unit, 2321 Crabtree Blvd., Raleigh, NC 27604-2260. Individuals that dispute a determination by the DWQ or Delegated Local Authority that "exempts" a surface water from the buffer rule may ask for an adjudicatory hearing. You must act within 60 days of the date that you receive this letter. Applicants are hereby notified that the 60-day statutory appeal time does not start until the affected party (including downstream and adjacent landowners) is notified of this decision. DWQ recommends that the applicant conduct this notification in order to be certain that third party appeals are made in a timely manner. To ask for a hearing, send a written petition, which conforms to Chapter 150B of the North Carolina General Statutes to the Office of Administrative Hearings, 6714 Mail Service Center, Raleigh, N.C. 27699-6714. This determination is final and binding unless you ask for a hearing within 60 days.

This letter only addresses the applicability to the buffer rules and does not approve any activity within the buffers. Nor does this letter approve any activity within Waters of the United States or Waters of the State. If you have any additional questions or require additional information please call Deborah Edwards at (919) 733-9502.

Sincerely,

fw, 
Alan W. Klimek, P.E.

AWK/dae

Attachments: Johnston County Soil Survey map
USGS Powhatan Quad map

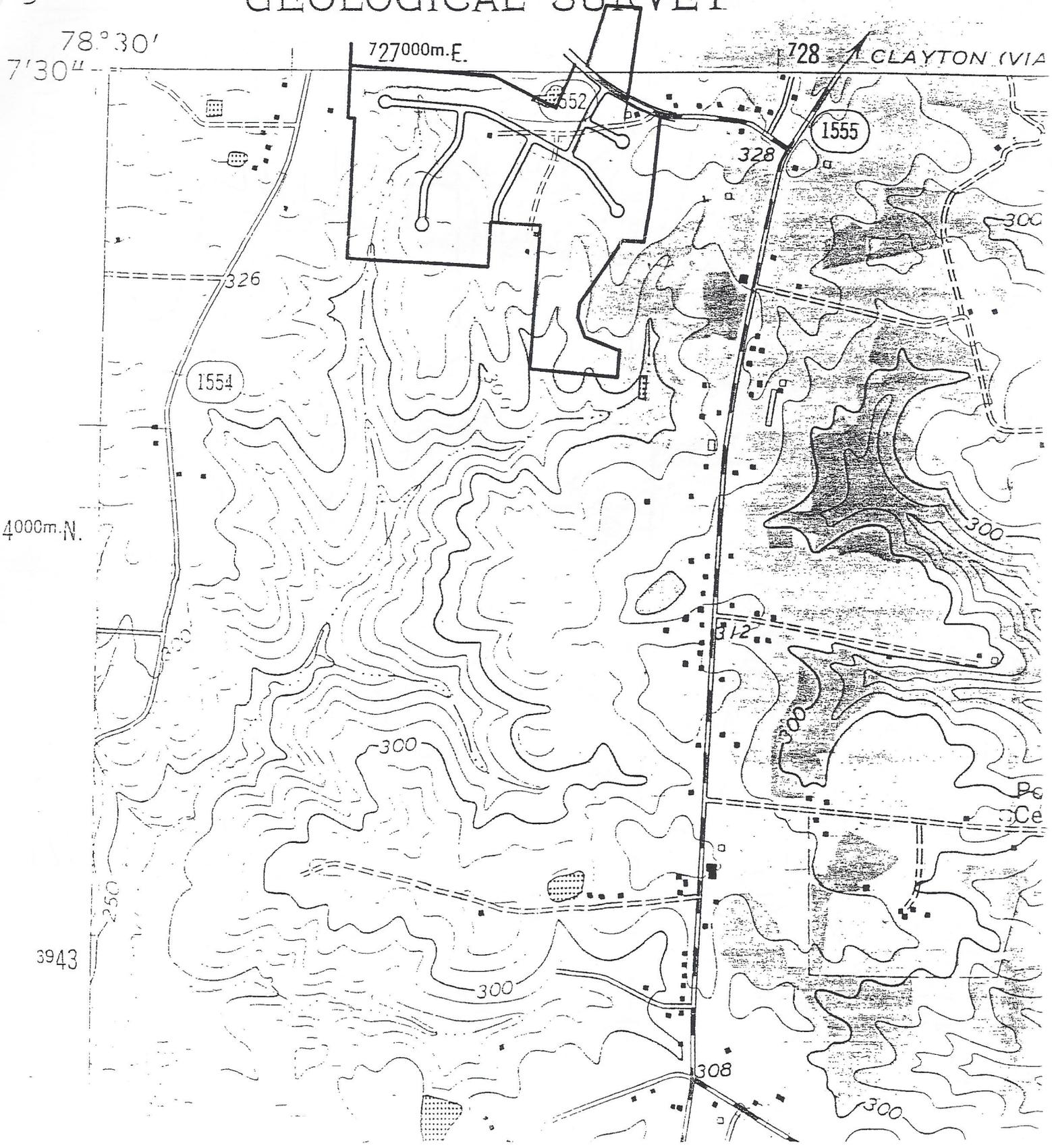
cc: DWQ Raleigh Regional Office
File Copy
Central Files
Neal Floyd-7908 Audubon Drive, Raleigh, NC 27615

Filename 050322HannahsCrk(Johnston)EXP+origin

UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY

NE
(R)

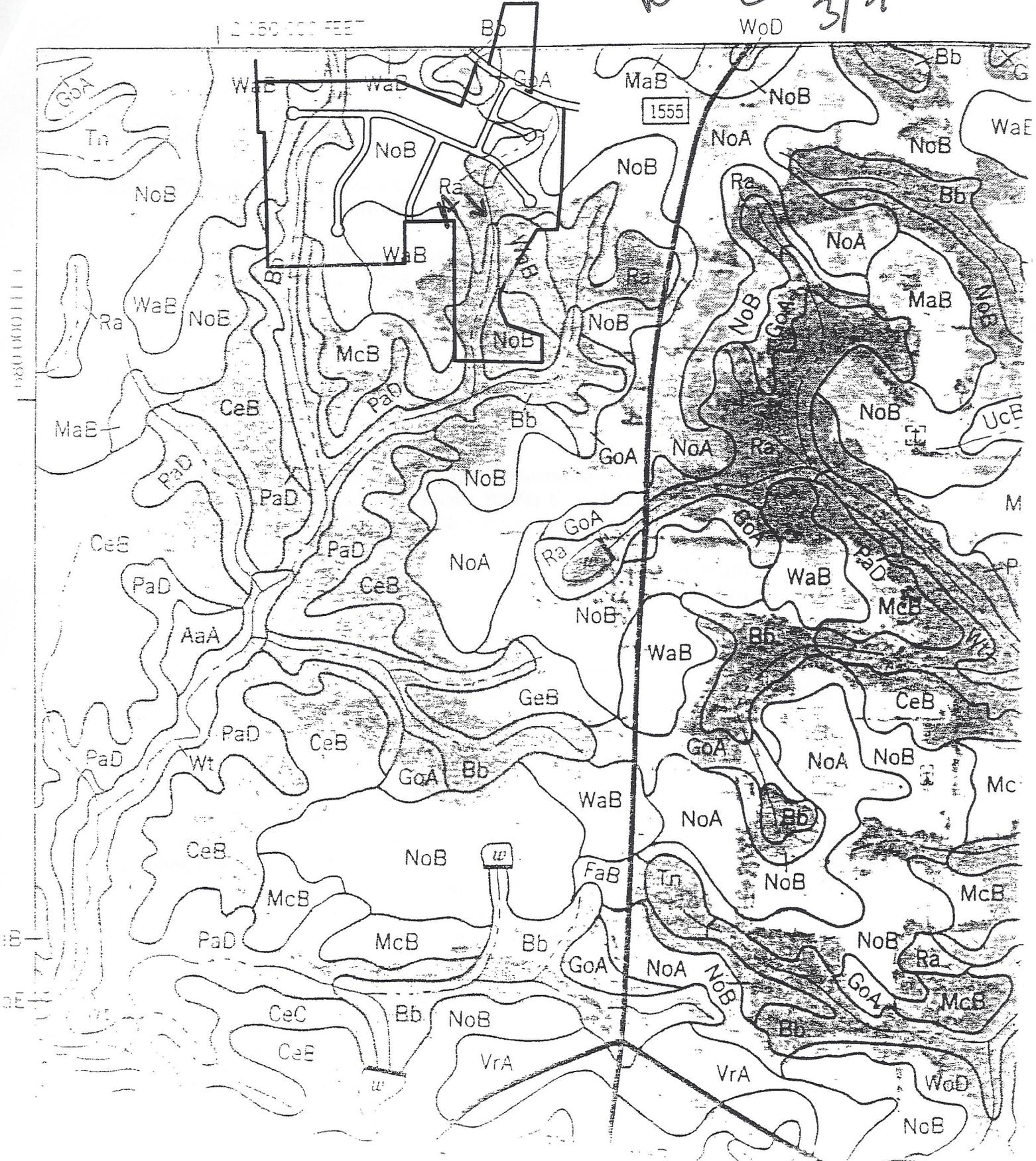
78°30'
7'30"



SOIL CONSERVATION SERVICE

Walter Edwards
3/3/05

1:250,000 FEET





Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
November 30, 2015

STAFF REPORT

Application Number: 15-56-01-SD Project Name: Rhodes Farm Major Subdivision

NC PIN / Tag #: 166700-37-5678 / 05H04037D, 1667-57-0686 / 05H04037, 166700-67-4991 / 05H04037C
Town Limits/ETJ: ETJ
Overlay: None
Applicant: Gray Wolf Development
Owner: Charles D. Rhodes Trustee
Location: Located off of Little Creek Church Road, on the corner of Peele Road and Little Creek Church Road

Public Noticing:

- Neighborhood meeting November 10, 2015
- Sign posted November 8, 2015
- Letters mailed prior to December 24, 2015
- Newspaper ad published prior to December 24, 2015

REQUEST: Conventional subdivision with 41 single family detached homes.



SITE DATA:

Acreage: 51.32 acres
Existing Use: Vacant

ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate	Vacant
South	Residential-Estate	Vacant, Single-Family Homes
East	Residential-Estate	Single-Family Homes
West	Residential-Estate	Vacant

DEVELOPMENT DATA:

Proposed Uses: Single-Family Homes
Buildings: 40 dwelling units
Density/Intensity: .77 dwelling units per acre
Number of Stories: Maximum height of 35 feet
Required Parking: 2 spaces per unit
Proposed Parking: 2 spaces per unit
Fire Protection: The Town of Clayton Fire Department will provide fire protection.
Access/Streets: There will be five access points, with only one functioning initially.
Water/Sewer Provider: County Water and Septic
Electric Provider: Duke Energy

STAFF ANALYSIS:

Overview

The applicant is proposing to develop 40 single-family lots on 51.92 acres of land located in an R-E zoning district off of Little Creek Church Road. The subject site includes three separate parcels that will be recombined to create the development tract. There is currently an existing single-family home located on the subject parcels, and the lot on which this home is located upon will be recombined with Lot 26. The mail kiosk for the development will be located in an area deeded to the Homeowner's Association.

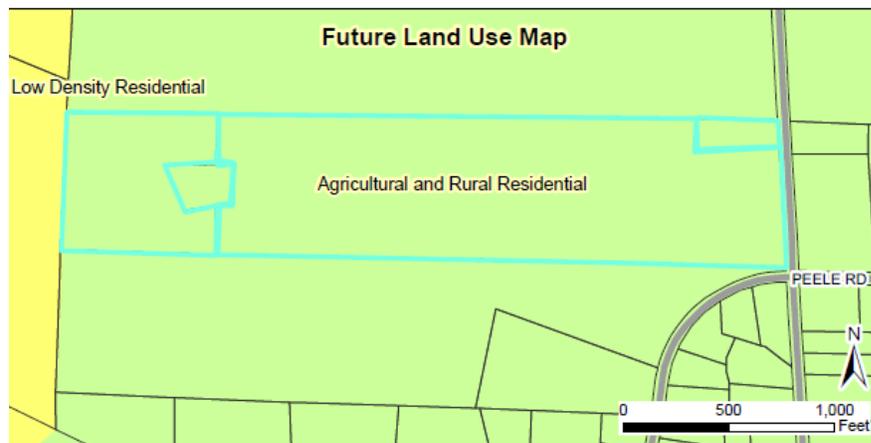
Overall, the average size of the lots will be 1.29 acres, with a minimum size of 30,000 square feet which meets the minimum lot size requirement when public water (provided by Johnston County) and septic systems are utilized.

Because it is part of an R-E zoning district, the minimum dwelling unit size will be 1,400 square feet. The subdivision will have five access points, one a main access off of Little Creek Church Road and the other four in the form of stub-outs connecting to adjacent properties to the north and south.

Consistency with Adopted Plans

- **2040 Comprehensive Plan**

The 2040 Comprehensive Plan designates these parcels, as the majority of the surrounding parcels, as “Agricultural Residential”. The proposed development is consistent with what the 2040 Comprehensive Plan envisions for these parcels, and the surrounding parcels. The intent of the “Agricultural Residential” designation is to maintain the rural character in areas of Clayton. The proposed development’s low density of 0.77 units/acre fulfills this intent.



- **Unified Development Code**

The proposed development is generally consistent with the requirements of the Unified Development Code (UDC). The applicant is requesting two waivers from the requirements to build sidewalks and provide curb-and-gutter roadways. The sidewalk waiver includes the internal roads and the sidewalk along Little Creek Church Road frontage.

Compatibility with Surrounding Land Uses

The properties surrounding the subject parcel are primarily vacant, with some single-family residences. The low density of the proposed development makes it compatible with these surrounding land uses.

Landscaping and Buffering

The applicant will provide one street tree per lot, as required by Town of Clayton’s Unified Development Code. The applicant is also proposing a Class “A” landscaping buffer along Little Creek Church Road, which is consistent with the UDC.

Recreation and Open Space

This is a conventional subdivision, so the applicant will be paying fee-in-lieu for recreation.

Environmental

A total of 0.217 acres, located along the western most portion of the proposed development, is located in the 100 Year Flood Zone. The only lot affected by this is Lot 26 which is to be recombined with the lot of the existing

single-family residence on the parcels. While Lot 26 will have an existing single-family residence located on it after the recombination, no further development activity is proposed to occur.

Access/Streets

There are five proposed access points to the subdivision. The main access will be located off of Little Creek Church Road. The other four access points will be provided in the form of stub-outs at the ends of “Street C” and “Street F”, connecting to the properties to the north and south of the proposed development. These stub-outs will be utilized in event that the adjacent parcels are developed in the future.

The applicant is proposing to construct a swale/ditch roadway system with no curb and gutter, as the proposed streets will not connect to any existing curb-and-gutter (Little Creek Church Rd is a ditch-and-swale section). Planning staff is recommending fee-in-lieu for all sidewalks. (§155.602(B)(2)(b)).

Multi-Modal Access

No sidewalks are proposed in the development, and no sidewalks will be provided along Little Creek Church Road either. The applicant is requesting to pay fee-in-lieu instead of providing sidewalks based on the following code criteria:

- Within the development, main road coming from Little Creek Church Rd, §155.602(B)(2)(b)4.A.
- Within the development, stub-outs to adjacent parcels, §155.602(B)(2)(b)4.B.
- Along Little Creek Church Rd, §155.602(B)(2)(b)3.

Garbage / Recycling

Residents will contract individually for service (outside of Town Limits).

Waivers/Deviations/Variations from Code Requirements

The applicant is requesting a ditch/swale road due to the rural characteristics of the proposed development, and that it will connect to Little Creek Church Road, which also lacks curb-and-gutter. The applicant is also requesting a waiver (fee-in-lieu) from 155.602(H)(1) requiring sidewalks be installed throughout the development due to the lack of curb & gutter.

CONSIDERATIONS:

- The applicant is requesting Preliminary Subdivision Plat approval for a 41 single-family residential subdivision.
- The applicant is requesting waivers from:
 - Providing curb-and-gutter streets.
 - Providing sidewalk along Little Creek Church Road.
 - Providing internal sidewalks, both along the main road and secondary stub-outs.
- This plan is subject to final approval by Town Council.

FINDINGS:

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS:

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. Following Board approvals, three copies of the final Preliminary Subdivision Plan meeting the requirements of the Conditions of Approval shall be submitted to the Planning Department for final approval. The conditions of approval shall be recorded on the plans before final approval is granted.
2. All development fees shall be paid prior to final plat recordation.
3. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications shall require additional approvals pursuant to Section 155.706 of the Unified Development Code.
4. All signs shall require review/approval pursuant to UDC Section 155.713.
5. A homeowners' association document (if applicable) shall be reviewed by staff and recorded prior to final plats. Such document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.
6. The landscaping buffer along Little Creek Church Road shall be installed prior to the issuance of any Certificate of Occupancy.
7. Recreation fees shall be paid as fee-in-lieu, prior to plat recordation.

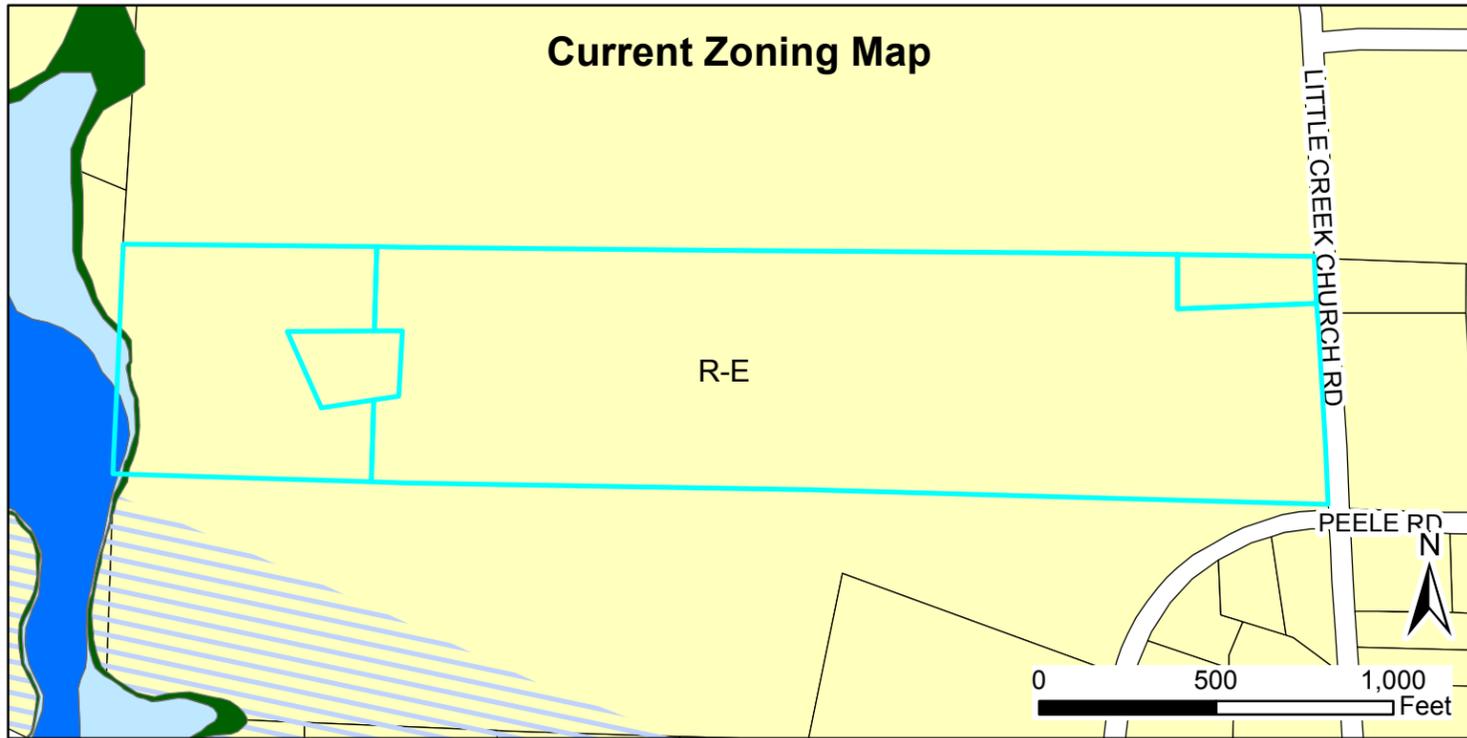
STAFF RECOMMENDATION:

Staff is recommending approval with conditions of the proposed preliminary subdivision plat of the subject parcel.

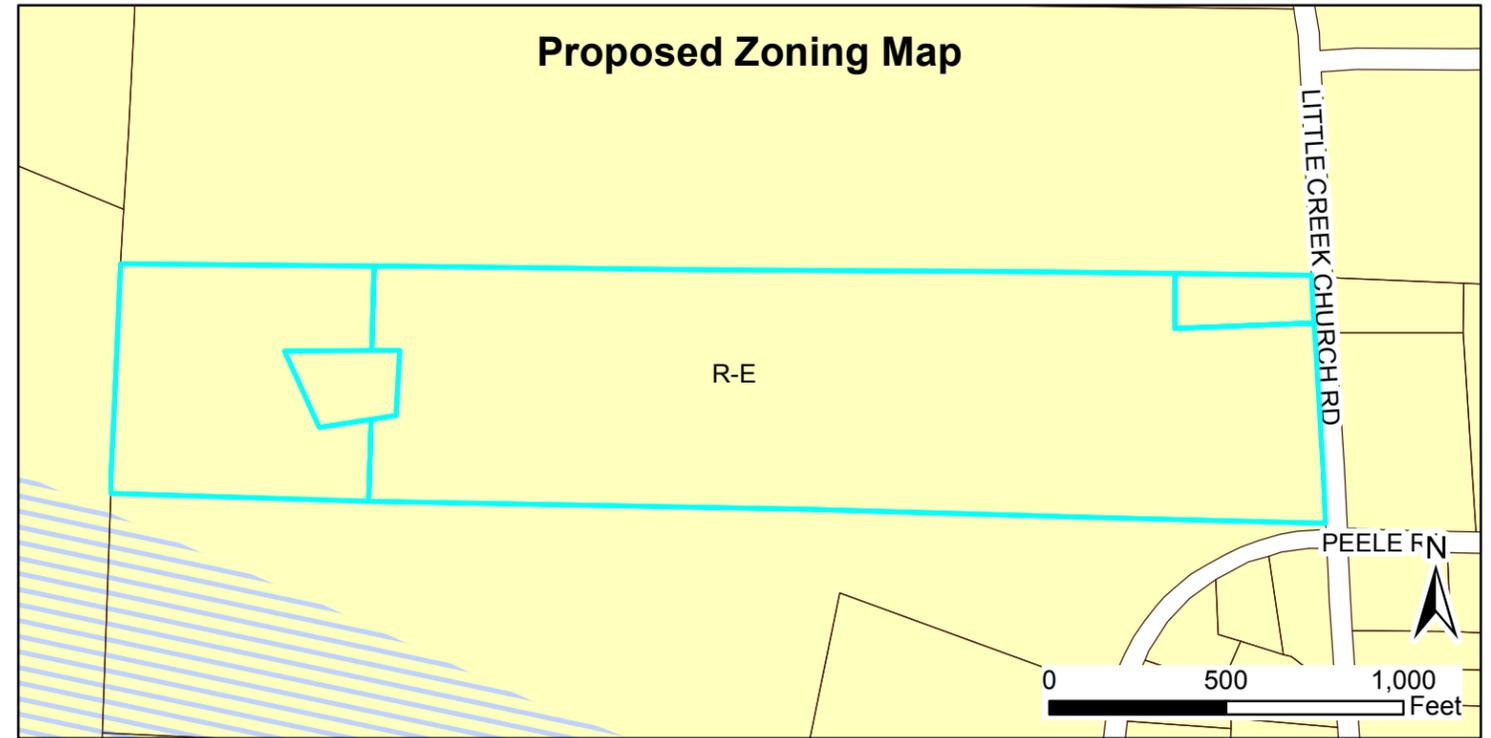
ATTACHMENTS:

- 1.) Staff report
- 2.) Maps
- 3.) Application
- 4.) Waiver Requests
- 5.) Neighborhood Meeting Materials
- 6.) Preliminary subdivision plan

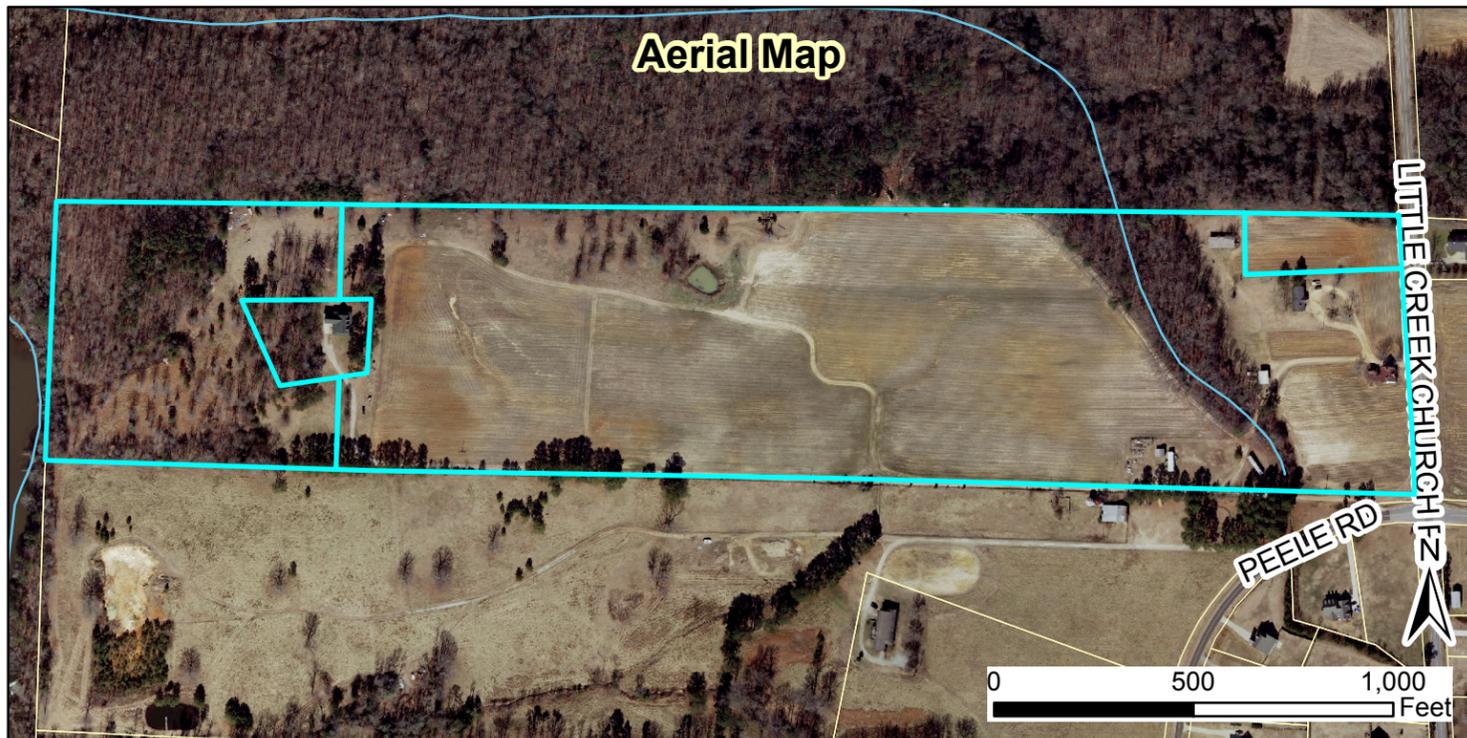
Current Zoning Map



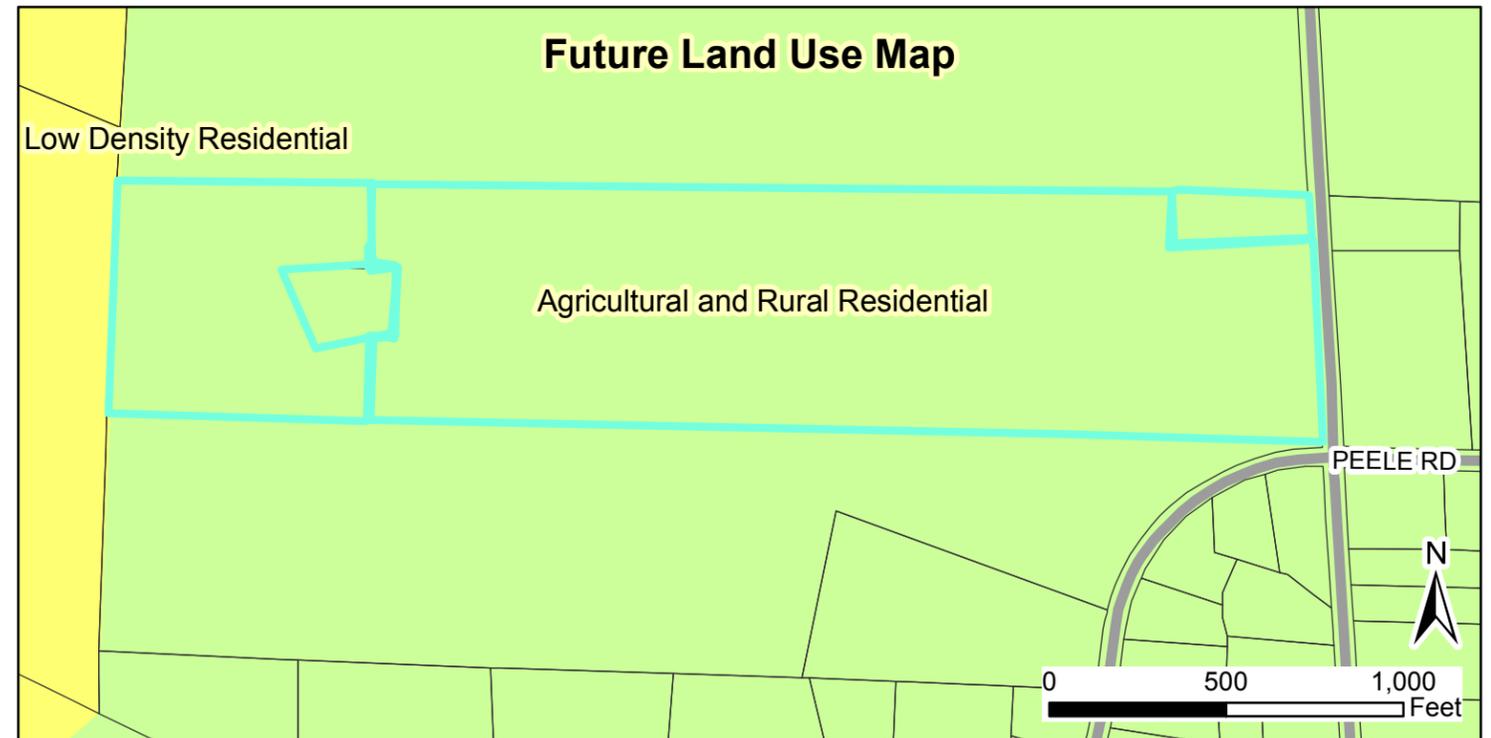
Proposed Zoning Map



Aerial Map



Future Land Use Map



15-56-01-SD Rhodes Farm Major Subdivision

Request: Develop 41 single-family lots on 51.32 acres of land

Applicant: Gray Wolf Development

Property Owner: Charles D. Rhodes Trustee

Parcel ID Numbers: 166700-37-5678, 1667-57-0686, 166700-67-4991

Tag #: 05H04037D, 05H04037, 05H04037C



- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

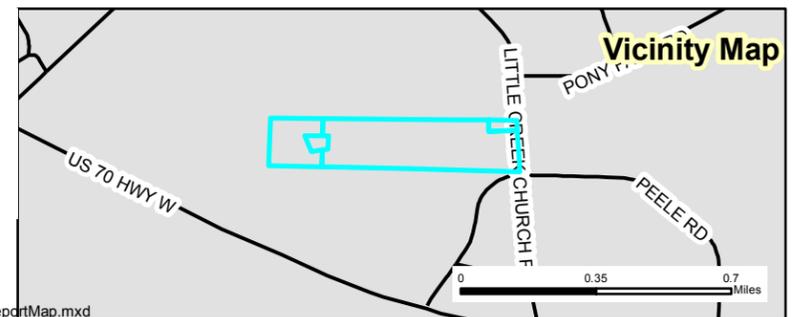
10/28/15

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

Document Path: O:\PLANNING\SUBDIVISIONS\MAJOR SUBDIVISIONS\2015\15-56-01-SD Rhodes Farm Major Subdivision\Maps\StaffReportMap.mxd

Vicinity Map





TOWN OF CLAYTON

Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified

See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
See §155.706(N) for information on minor and major modifications.
See UDC Article 6 for Subdivision Standards.

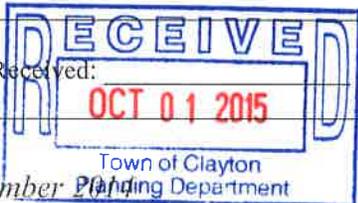
SITE INFORMATION

New Major Subdivision
Conventional: Open Space: Modification to Approved Preliminary Plat
Major: _____ Minor:
 New Subdivision Master Plan

Name of Project: Rhodes Farm Subdivision Acreage of Property: 51.32 Acres
Tag #: 05H04037D, 05H04037, 05H04037C NC PIN: 166700-37-5678, 1667-57-0686, 166700-67-4991
Location: West side of NCSR 1563 (Little Creek Church Road) Near the intersection with NCSR 1571
Number of Lots (existing): 0 (Proposed) 41 Min Lot Size: 30,000 SF
Zoning District: R-E Electric Provider: Duke Progress
Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)
Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: OCT 01 2015 Amount Paid: \$605.00 File Number: 15-56-01-SD



PROPERTY OWNER INFORMATION

Name: Charlie D. Rhodes Trustee

Mailing Address: 836 Peele Road, Clayton NC 27520

Phone Number: _____

Fax: _____

Email Address: _____

APPLICANT INFORMATION

Applicant: Gray Wolf Development

Mailing Address: 104 Airport Industrial Drive, Clayton, NC 27520

Phone Number: 919-760-1056

Fax: _____

Contact Person: Wade Corbett and Dan Simmons

Email Address: wcorbett@graywolfdevelopmentnc.com & dan.simmons@trcivil.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9-24-2015</u>	<input checked="" type="checkbox"/>				
2. Completed Application	<input checked="" type="checkbox"/>				
3. Review Fee	<input checked="" type="checkbox"/>				
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>				
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
10. Road Name Application <i>Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

~~The subdivision meets all the requirements of the Unified Development Code with the exception of sidewalks and curb and gutter which we are requesting an exemption.~~

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

~~The property will be developed as a rural subdivision which is in harmony with the surrounding area.~~

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

~~The addition of 41 residential lots will not have an adverse affect on the adjoining roadways and roadways are being extended to the adjoining properties to allow for future inter connection. Due to the rural characteristic and low density of the development it will not endanger the environment, public health, safety, or the general welfare.~~

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

~~The subdivision as proposed does not adversely affect the general plan for orderly growth and development of the town and is consistent with the planning policies of the town.~~

Project Name: Rhodes Farm Subdivision

Dan Simmons
Print Name


Signature of Applicant

10-1-2015
Date

NEIGHBORHOOD MEETING INFORMATION

NOTE: Neighborhood meetings are not required for developments that are part of an approved Planned Development Master Plan.

Purpose:

The purpose of the neighborhood meeting shall be to inform the neighborhood of the nature of the proposed land use and development features, answer questions, respond to concerns, and solicit comments.

Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

Meeting Time & Location:

The meeting must be held no earlier than 6:00 pm Monday through Friday, and must be held in a location generally accessible to residents within close proximity of the request.

Meeting Notice Mailing requirements:

1. The applicant must contact all adjacent property owners via first class mailing (see sample letter).
2. The mailing must include all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the subject property. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property.
3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the neighborhood meeting.

Information provided to Planning Department:

Alert the Planning Department when the date, location, and time are determined. Planning staff may attend the neighborhood meeting to answer process/code questions.

Return the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board meeting in electronic or hard copy format:

- Neighborhood Meeting Summary Form
- Copy of the letter mailed
- Mailing list
- Attendance roster
- Stamped, addressed, empty envelopes with no return address, using the same addresses as used for the neighborhood meeting notification. *This for a public notice of the public hearing mailed by the Town – thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.*

ADJACENT PROPERTY OWNERS LIST

Project Name: Rhodes Farm Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H04036C	Doris M. Matthews	5850 Northshore Dr. Hixson, Tn. 37343
05H04038W	Doris M. Matthews	5850 Northshore Dr. Hixson, Tn. 37343
05105006Z	Harvey lee & Janet Moss	4804 Little Creek Church Rd. Clayton, NC 27520
05105052C	Janet P. & Harvey L. Moss	4804 Little Creek Church Rd. Clayton, NC 27520
05H04022	James L. Jr. & Cindy B. Peele	3913 Robin Lane, Clayton, NC 27520
05H04020B	Carolina Packers Inc.	PO Drawer 1109, Smithfield, NC 27577

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.

To be completed by the applicant:	Yes	N/A	Staff:
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each : Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	✓		
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Total Number of Lots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Number of lots per acre (density)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Electric Provider	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Water Provider (or indicate if well)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<ul style="list-style-type: none"> - Sewer Provider (or indicate if septic) - Impervious (existing and proposed, square feet and %) – provide impervious for overall development and per lot - Maximum allowed impervious - Existing Use - Proposed Use 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot __".	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private" and labeled with easement type.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
24. Width and type of any buffers and easements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
25. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
26. Proposed streets are labeled, named and dimensioned. Correct street cross	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<p>section detail provided. Label street type based on definitions in §155.602(D). If streets are private:</p> <ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." <p>Street names must be approved by Town of Clayton via a Road Name Application.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Identify proposed traffic control signs and striping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p>29. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.)</p> <ul style="list-style-type: none"> - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided: "The Resource Conservation Area shown hereon is provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity per the standards of the Unified Development Code"</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
31. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and bicycle racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Show how streets are connected to property lines ("stub-out" streets) to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
35. Location of clustered mailboxes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
36. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
LANDSCAPING PLAN SHEET (See §155.402 for Landscaping Requirements)			
37. Show location, width, and type of all landscape buffers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>38. Provide a plant list summary table which includes:</p> <ul style="list-style-type: none"> - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. If common landscaped areas are provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
species must be used).			
40. Location, species, and caliper of any existing trees that will remain on site. If used to meet planting requirements, make note of what requirements are fulfilled by the preserved trees.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
44. Label adjacent property acreage, owners, and zoning districts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
45. Label subject parcel property owner, acreage, and zoning.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
46. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
47. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
49. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Location of all existing and proposed fire hydrants.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
53. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
55. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
56. Any other information considered by either the applicant or the Town to be pertinent to the review.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Signed by Applicant:



Date: 10-1-15



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: RHODES FARM S/D **Address or PIN #:** 166700-37-5678, 1667-57-0686, 166700-67-4991

AGENT/APPLICANT INFORMATION:

Gray Wolf Development
 (Name - type, print clearly)

104 Airport Industrial Drive Suite 101
 (Address)
Clayton, NC 27520
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

All permit applications, code exceptions, and
meetings related to the subdivision of my property

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Charlie D. Rhodes
 (Name - type, print clearly)

Charlie D. Rhodes
 (Owner's Signature)

836 Peele Road
 (Address)

Clayton, NC 27520
 (City, State, Zip)

STATE OF NC
 COUNTY OF Johnston

Sworn and subscribed before me Jacqueline S. Mitchell a Notary Public for the above State and County, this the 29 day of Sept, 2015.

SEAL

Jacqueline S. Mitchell
 Notary Public

My Commission Expires:

7/11/18
 Page 14 of 17



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

ROAD NAME APPROVAL APPLICATION

Road name applications are for public street signs (blades) that are located within the Town limits. Once the public street names have been approved, the applicant must submit a written request to the Town of Clayton Public Works Department identifying the approved blades and their installation location(s). The Public Works Department will order and install the blades along with any required regulatory signage. The applicant will be invoiced for the total cost of the blades, one-half the cost of sign posts and one man hour of labor per sign post.

SITE INFORMATION

Name of Project: Rhodes Farm Subdivision Acreage of Property: 51.32 Acres
Tax ID #: 05H04037D, 05H04037, 05H04037C NC PIN: 166700-37-5678, 1667-57-0686, 166700-67-4991
Deed Book: 552, 1726 Deed Page(s): 375, 758
Location:
On Little Creek Church Road
Nearest Intersecting Roads: Little Church Road and Peele Road
Township: Clayton

PROPERTY OWNER INFORMATION

Name: Charlie D. Rhodes Trustee
Mailing Address: 836 Peele Road, Clayton, NC
Phone Number: _____ Fax: _____
Email Address: _____

APPLICANT INFORMATION

Applicant: Gray Wolf Development
Mailing Address: 104 Airport Industrial Drive Suite 101, Clayton, NC 27520
Phone Number: 919-934-7788 Fax: _____
Contact Person: Dan Simmons dan.simmons@trcivil.com
Email Address: _____

FOR OFFICE USE ONLY

Date Received: _____ Amount Paid: _____ File Number: _____

ROAD NAME GUIDELINES SUPPLEMENTAL INFORMATION

The following guidelines must be followed. Please note that the Town of Clayton reserves the right to not approve any street name that is deemed inappropriate or fails to meet the guidelines.

- No street names duplicate or sound similar to existing road names.
- None of the streets are names after individuals.
- Street names have been limited to 14 characters or less.
- No compass directions are included in the street names (north, south, east, west).
- Punctuation marks are not used in the street names (e.g. periods, hyphens, apostrophes, etc.).
- Double suffixes have been avoided (e.g. Deer Path Lane).
- All names have acceptable suffixes (e.g. Street, Drive, Court, Lane, etc.). *Please see the Town of Clayton's approved list of suffixes (attached).*
- Names that are difficult to pronounce have been avoided.

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

Please submit twice as many road names as needed with highest priority names listed first, written exactly as they should appear on the sign. The Town of Clayton Planning Department will coordinate with the Johnston County Planning Department for joint approval of street names. The Town of Clayton Planning Department will provide the applicant the final approval of street names. Approved street names are reserved for one year.

Road Name	Suffix
<i>Ex.: Willow</i>	<i>Lane</i>
1. HIGHLAND RHODES	DRIVE
2. RHODES POND	DRIVE
3. RHODES	BLUFF
4. LOGAN'S	WAY
5. MACIE'S	RIDGE
6. EMMA'S	WAY
7. SPENCER'S	DRIVE
8.	
9.	
10.	

Road Name	Suffix
11.	
12.	
13.	
14.	
15.	
16.	
17.	
18.	
19.	
20.	
21.	

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton Planning Department for street names. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

DAN SIMMONS
Print Name


Signature of Applicant

10-1-15
Date

Rhodes Farm Subdivision

Waivers Requested:

1. Sec. 155.601 H. Curb and Gutter – We respectfully request a waiver for this requirement due to the rural characteristics of the proposed subdivision and the neighborhood. There aren't any curb and gutter installed on the streets in this neighborhood.
2. Sec. 155.601 G. Sidewalks – Constructing sidewalks on streets without curb and gutter is not very practical since NCDOT will not maintain the sidewalks and any sidewalks would have to be constructed behind the ditches if the waiver requested above is granted.

Considerations:

1. The granting of these waivers will not be detrimental to the public safety, health' or welfare or injurious to other property or improvements in the neighborhood in which the property is located. There is no other streets with curb and gutter in the neighborhood and no like infrastructure to connect to.
2. The conditions upon which the requests for the waivers are based are unique to the property for which the waiver is sought and are not generally applicable to other property. If this property were in an urban setting and receiving town services (water, sewer, and street maintenance by the Town of Clayton) these requirements would be appropriate but considering the rural neighborhood we feel it is not appropriate.
3. A hardship would be place on this developer if he were to comply with the strict requirements of the code because you would be putting an urban development in a rural setting.
4. The purpose of these waivers is not based on financial consideration but based on creating a development that is in harmony with the surrounding neighborhood.

Stormwater Management Statement

Project Name: Rhodes Farm Subdivision
Project Address: 4805 Little Creek Church Road
Clayton, NC 27520

Developer: Gray Wolf Development, LLC
Mailing Address: 104 Airport Industrial Drive
Clayton, NC 27520

Telephone: 919-760-1056

Email: Wade@wadecorbett.com

Existing Site

The site is an existing 51.32 Acre tract that is currently utilized as farm land. The site is bordered on the east by Little Creek Church Road and is located within the Town of Clayton ETJ. The following are additional site information:

Watershed: Part of the Swift Creek watershed. Site is not located in a protected watershed district.
Flood: 0.217 Acres along the western property line is located in a flood zone according to FEMA map 370139 1667 dated December 2, 2005.
Soils: Contains sandy loam to loamy clay soils.
Land Use: Farming

Proposed Development

The subdivision is a proposed 41-lot single family subdivision with the following development improvements:

Houses: Anticipated to range from 1,600 sf to 3,000 sf
Roads: 4,400 LF of 22' paved roadway with sideline ditches to meet NCDOT Standards
Sidewalks: There will be no sidewalks.
Utilities: Public water will be supplied by Johnston County and sewer by on-site septic systems.

Open Space: There will be no open space provided and a payment in lieu of will be made.

The proposed subdivision is being developed with the water system being turned over to Johnston County and the roads being turned over to NCDOT.

The site has 5,621 sf of existing impervious area.

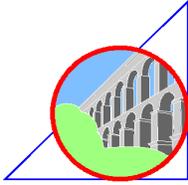
Impervious area Calculations – Proposed

The following are the proposed impervious areas:

Houses (roof, patios, driveways and accessory building):	5,000 sf x 41 lots = 205,000 sf
Roads:	106,457 sf
Total Impervious Area	311,457 sf or 7.15 ac.
% Impervious	13.89%

Stormwater Impacts from Proposed Development

The site is a very small percentage of the total drainage basin for Swift Creek therefore the impact to the downstream properties will be negligible. As the site is less than 15% impervious no peak flow attenuation is required and calculating the TN export for the property using method 1 is 2.47 lbs/yr.



TRIANGLE CIVILWORKS, P.A.

211 TYLER DRIVE
SMITHFIELD, N.C. 27577
Phone or Fax: (919) 209-9955

October 28, 2015

James L Jr. & Cindy Peele
3913 Robin Lane
Clayton, NC 27520

Reference: Rhodes Farm Subdivision

Dear Clayton Area Property Owner,

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Date of Meeting: November 10, 2015

Location: The Clayton Center – York Room

Time: 6:00 pm

Type of Application: Major Subdivision

General Description: Gray Wolf Development is constructing a residential subdivision as shown on the attached plan.

If you have any questions prior to or after this meeting, you may contact us at **(919) 209-9955**.

Sincerely,

Dan Simmons
Vice President
Triangle Civilworks, PA

Cc: Clayton Planning Department

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: OCTOBER 27, 2015

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

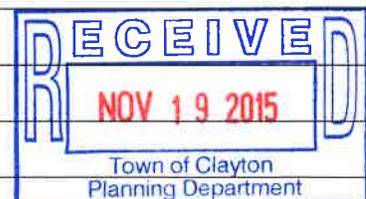
Printed Name: DAN SIMMONS Signature: 

Date of Meeting: 11-10-15 Time of Meeting: 6:00 PM

Location of Meeting: TOWN HALL YORK ROOM

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

MR. & MRS MOSS WANTED TO SEE THE PROJECT LAYOUT. I REVIEWED THE PROJECT WITH THEM AND THEY HAD NO OBJECTION TO THE SUBDIVISION BEING LOCATED ACROSS THE STREET FROM THEIR HOME.



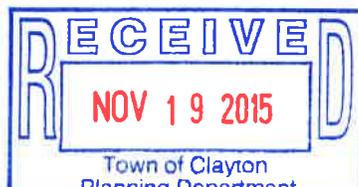
Please write clearly (or submit a typed summary), and use additional sheets if necessary.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: GRAY WOLF DEVELOPMENT

Location/Date: TOWN HALL , YORK ROOM

	NAME	ADDRESS
1	Harvey Mass	4804 Little Ck. Ch. Rd.
2	Jan Mass	Clayton, NC 27520
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		



PRELIMINARY PLAT

RHODES FARM MANOR SUBDIV PRELIMINARY PLAT

15130

OWNER:

GRAY WOLF DEVELOPMENT, LLC
104 AIRPORT INDUSTRIAL DR
CLAYTON NC 27520

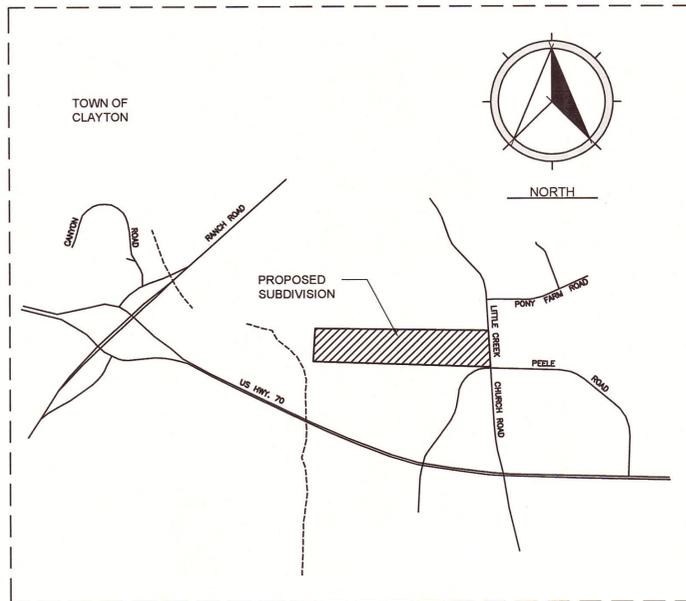
SITE ADDRESS:

4805 LITTLE CREEK CH RD
CLAYTON NC 27520

CLIENT:

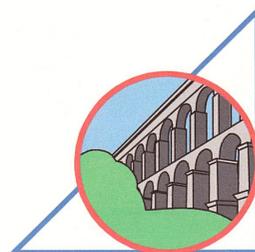
GRAY WOLF DEVELOPMENT, LLC
104 AIRPORT INDUSTRIAL DR
CLAYTON NC 27520

OCTOBER 2015



VICINITY MAP

ISS. NO.	DESCRIPTION	DATE



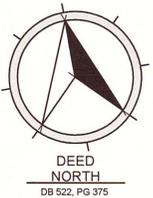
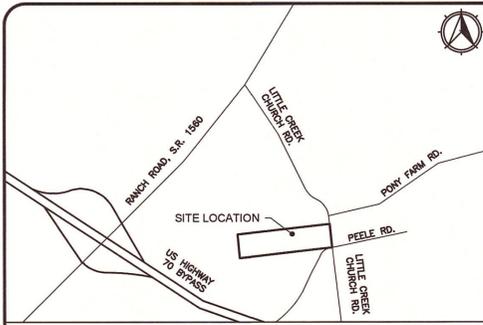
**TRIANGLE
CIVILWORKS**

PROFESSIONAL ASSOCIATION
NCBELS NO. C-2603
211 TYLER DRIVE
SMITHFIELD, NC 27577
919-209-9955



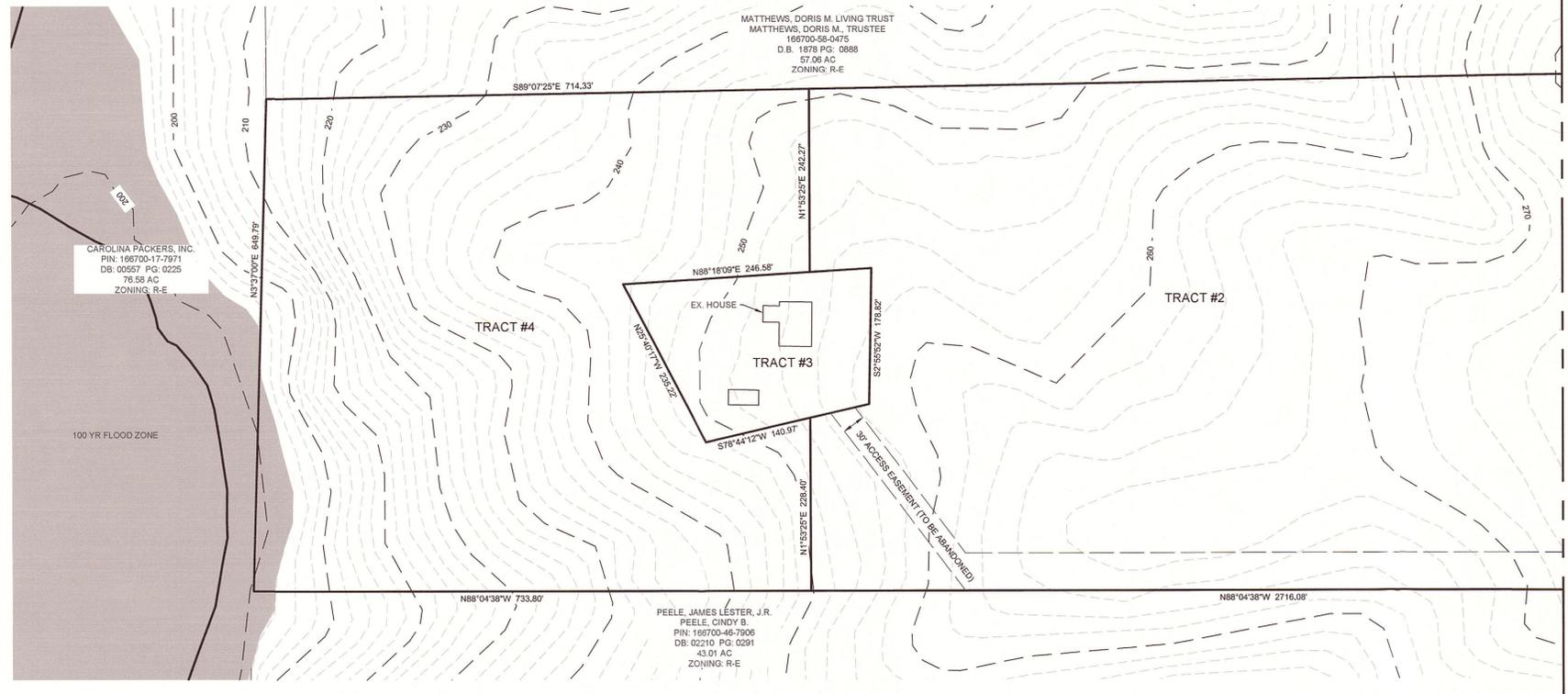
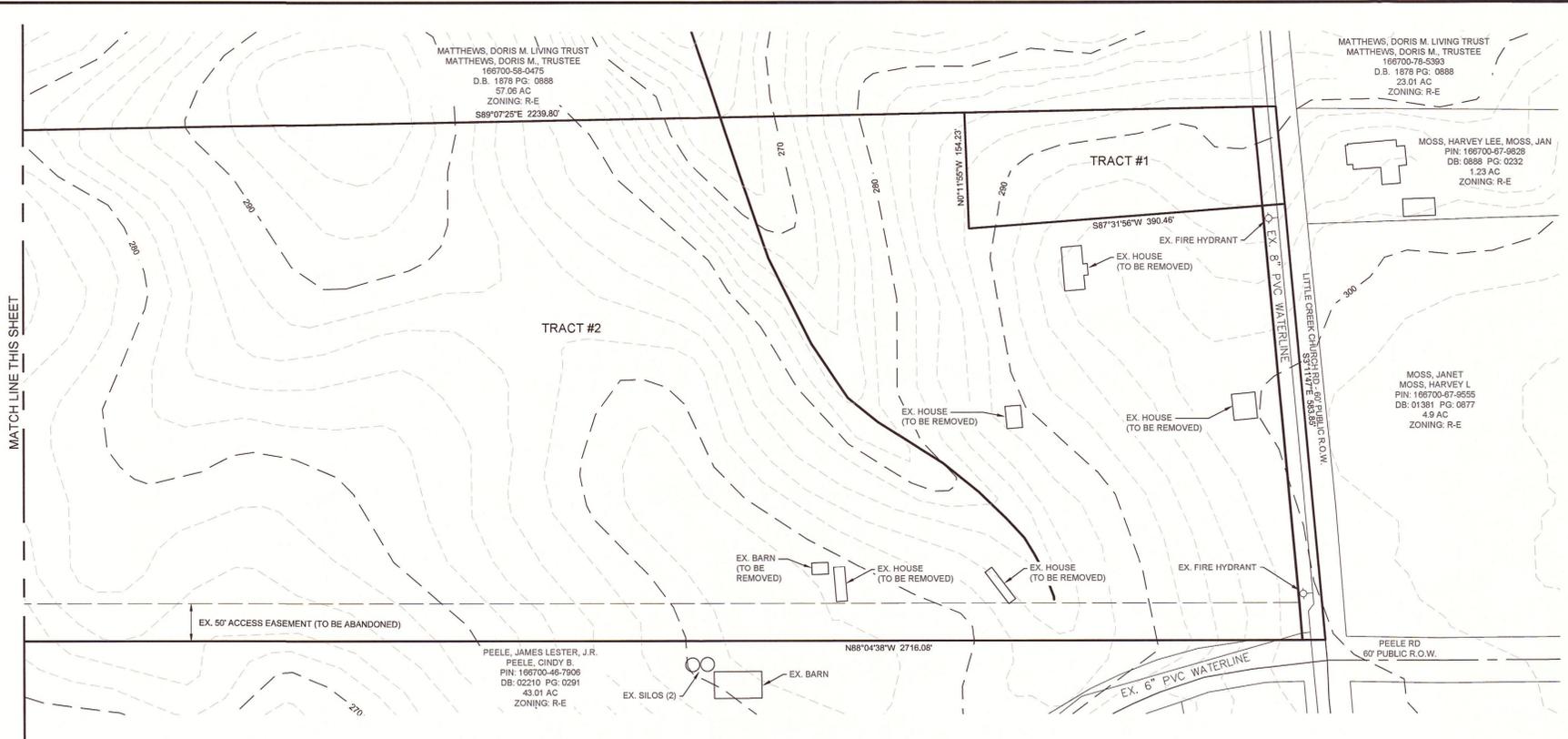
PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION

10/01/15



DEVELOPMENT TRACT SUMMARY

- TRACT 1**
OWNER: JANICE RHODES SOHN
1615 FIRE DEPARTMENT ROAD
CLAYTON, NC 27527
PIN: 166700 67-4991
AREA: 1.27 ACRES
- TRACT 2**
OWNER: EDWARD W. RHODES ESTATE
c/o CHARLIE RHODES
836 PEELE ROAD
CLAYTON, NC 27520
PIN: 166700 57-686
AREA: 39.97 ACRES
- TRACT 3**
OWNER: CHARLIE D. RHODES AND
BONNIE J. RHODES LIFE ESTATE
836 PEELE ROAD
CLAYTON, NC 27520
PIN: 166700 37-9658
AREA: 1.25 ACRES
- TRACT 4**
OWNER: CHARLIE D. AND BONNIE J. RHODES
836 PEELE ROAD
CLAYTON, NC 27520
PIN: 166700 37-5678
AREA: 10.0 ACRES



- NOTES
- NO NCGS MONUMENTS FOUND WITHIN 2000 FEET OF PROPERTY.
 - TRACTS 1, 2, AND 4 ARE TO BE RECOMBINED TO CREATE DEVELOPMENT TRACT.



DESIGNED:	DCS	PROJECT DATE:	OCTOBER 2015
DRAWN:	RAJ	PROJECT NO.:	15130
CHECKED:	DCS	DWG FILE NAME:	1 Existing Conditions.dwg
PROJ. ENG.:		REV. NO.:	

REV. NO.	DESCRIPTIONS



TRIANGLE CIVILWORKS
PROFESSIONAL ASSOCIATION
NCBELS NO. C-2903
211 TYLER DRIVE
SMITHFIELD, NC 27577
919-209-9955

**RHODES FARM MANOR SUBDIV
PRELIMINARY PLAT**

SITE ADDRESS
4805 LITTLE CREEK CH RD
CLAYTON NC 27520

EXISTING CONDITIONS

1"=100'

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION

10/01/15

SHEET NO.
1
OF: 3

SUBDIVISION DATA

- GROSS TRACT AREA: 2,261,645 SF (51.92 AC)
- TAG#: 05H04037 05H04037C 05H04037A 05H04037D
- DEVELOPER: GRAY WOLF DEVELOPMENT, LLC, 104 AIRPORT INDUSTRIAL DR. CLAYTON, NC 27520
- TOWNSHIP: CLAYTON
- TOWN LIMITS: NONE
- ET: CLAYTON
- ZONING DISTRICT: R-E
- OVERLAY DISTRICT: N/A
- WATERSHED PROTECTION OVERLAY: N/A
- AREA IN RESOURCE CONSERVATION AREAS: 0.0 AC
- ANNEXATION NUMBER: N/A
- FEMA DESIGNATED FLOODPLAIN: FIRM # 3720166700J
- AREA IN FEMA DESIGNATED FLOODPLAIN: 0.217 ACRES
- ELECTRIC PROVIDER: DUKE PROGRESS ENERGY
- WATER PROVIDER: JOHNSTON COUNTY
- SEWER COLLECTION: VIA INDIVIDUAL SEPTIC SYSTEM
- EXISTING USE: AGRICULTURAL/RESIDENTIAL
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL

LOT SUMMARY:

TOTAL LOTS PROVIDED: 40
 DENSITY PROVIDED: 0.77 UNITS / AC (1.5 UNITS / AC MAX.)
 1.29 AC

AVG. LOT SIZE: 30,000 SF (0.69 AC) (# 25)
 SMALLEST LOT SIZE: 471,146 SF (12.06 AC) (# 26)
 LARGEST LOT: 30,000 SF
 MINIMUM LOT SIZE: 100 FT
 MINIMUM LOT WIDTH: 35 FT
 MAXIMUM BUILDING HEIGHT: 1,400 SF
 MINIMUM DWELLING UNIT SIZE: 35%

SETBACKS

FRONT: 35'
 STREET SIDE: 25'
 SIDE INTERIOR: 15'
 REAR: 30'
 LITTLE CREEK CHURCH RD: 70'

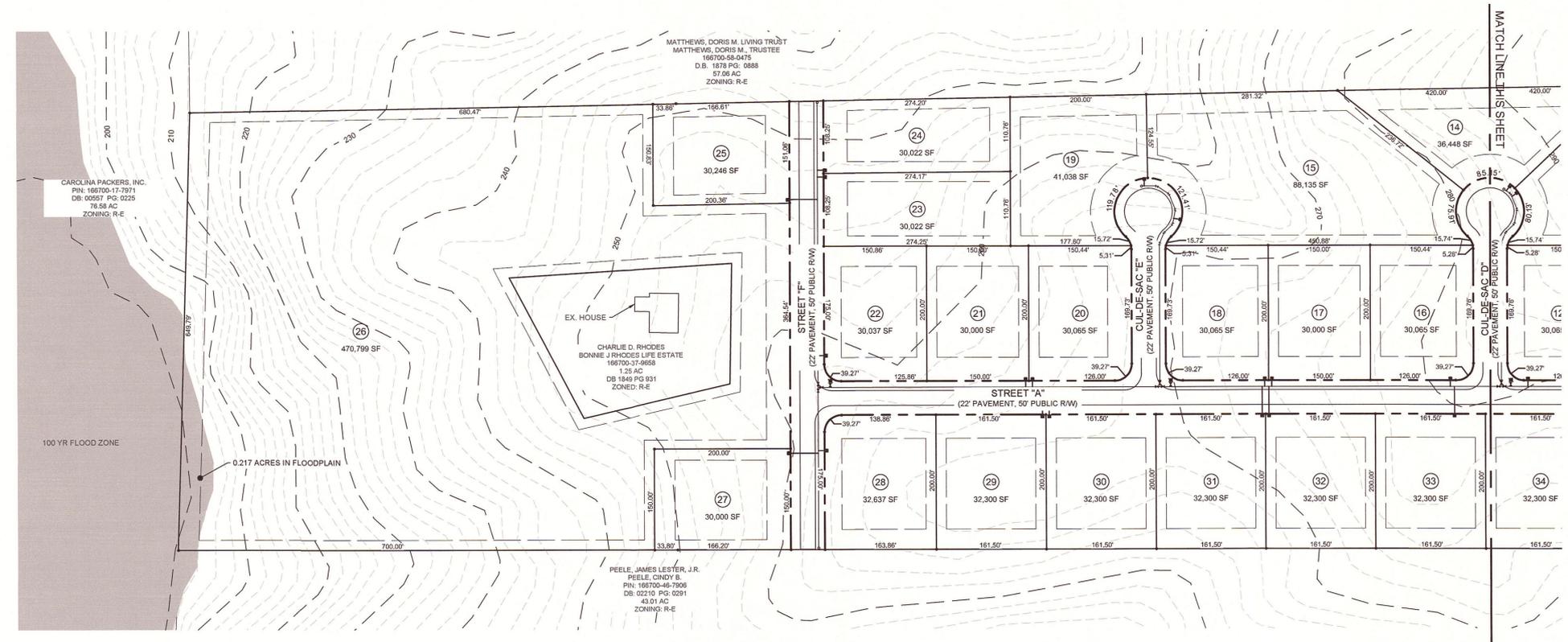
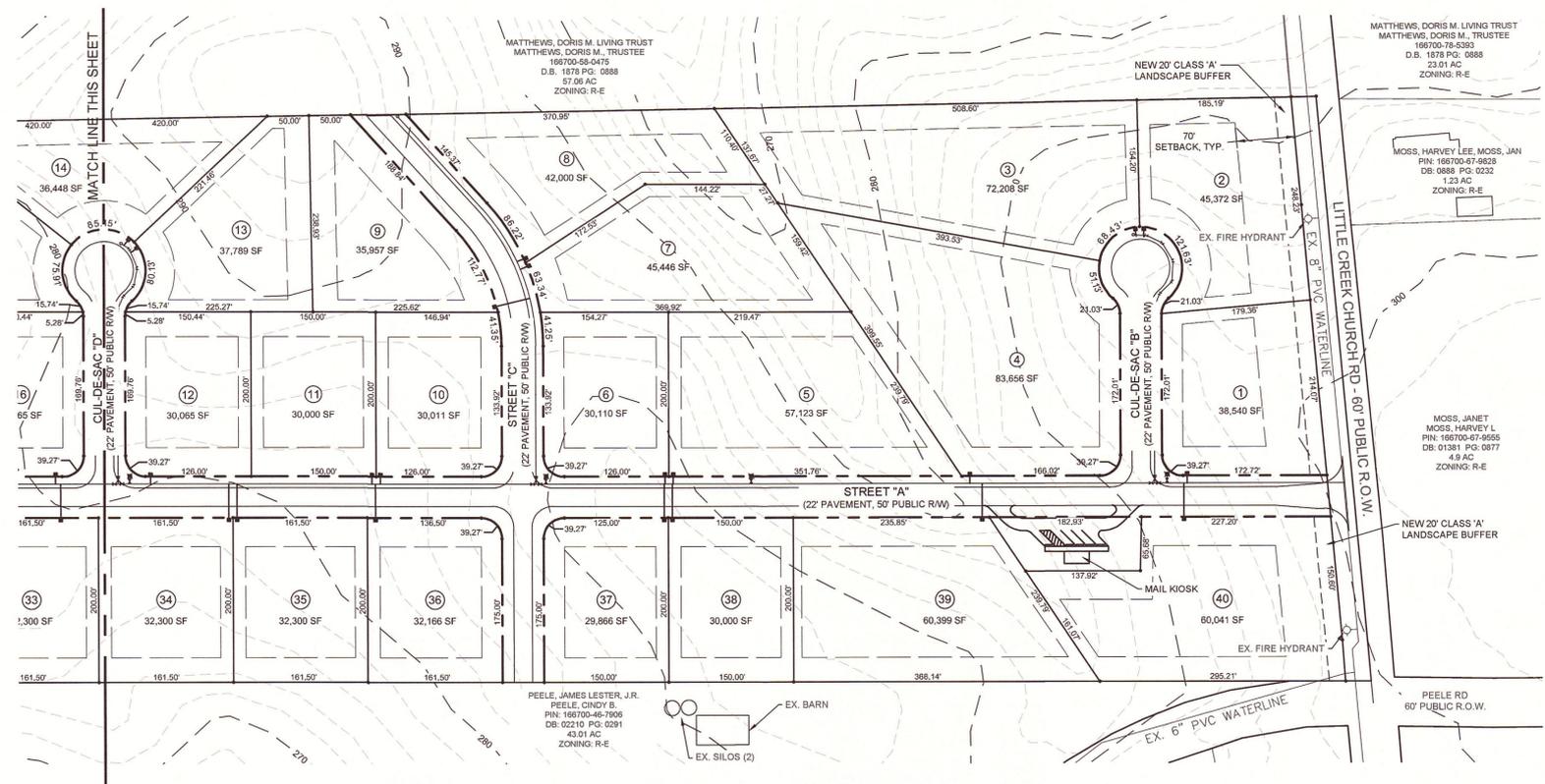
IMPERVIOUS AREA SUMMARY

EXISTING IMPERVIOUS AREA: 20,980 SF (0.49 AC)
 MAXIMUM IMPERVIOUS AREA ALLOWED (50%) (IMPERVIOUS AREA ALLOWED w/ NO ADDT) (STORMWATER MGMT CONTROL - 15%): 1,130,822 SF (25.96 AC)
 PROPOSED TOTAL IMPERVIOUS AREA: 339,247 SF (7.97 AC)

AREA IN ROADS: 107,564 SF (2.53 AC)
 AREA IN MAIL KIOSK: 5,153 SF (0.12 AC)
 TOTAL AREA IN LOTS: 226,530 SF (5.32 AC)
 MAXIMUM IMPERVIOUS AREA PER LOT: 5,525 SF

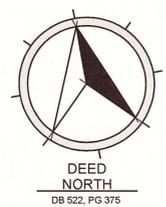
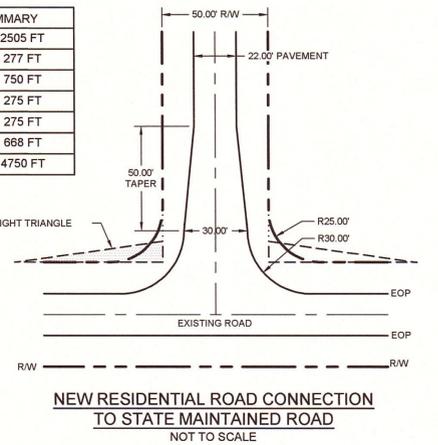
NOTES

- NO NCGS MONUMENTS FOUND WITHIN 2000 FEET OF PROPERTY.
- TRACTS 1, 2, AND 4 ARE TO BE RECOMBINED TO CREATE DEVELOPMENT TRACT.
- STREET TREES WILL BE REQUIRED AT A RATE OF ONE PER LOT.
- ALL STREETS WITHIN THE SUBDIVISION MUST MEET NCDOT STANDARDS AND SPECIFICATIONS AND BE ACCEPTED FOR DEDICATION BY NCDOT.
- LOT 26 WILL BE COMBINED WITH THE EXISTING CHARLIE D RHODES PARCEL.
- MAIL KIOSK TO BE A SEPARATE PARCEL DEEDED TO THE HOMEOWNERS ASSOC.



STREET SUMMARY

STREET "A"	2505 FT
CUL-DE SAC "B"	277 FT
STREET "C"	750 FT
CUL-DE SAC "D"	275 FT
CUL-DE SAC "E"	275 FT
STREET "F"	688 FT
	4750 FT



DESIGNED: RAJ	PROJECT DATE: OCTOBER 2015	
DRAWN: RAJ	PROJECT NO. 15130	
CHECKED: DCS	DWG FILE NAME: 2 Subdivision Plan.dwg	
PROJ. ENG:		
REV. NO.	DESCRIPTIONS	REVISIONS



TRIANGLE CIVILWORKS
 PROFESSIONAL ASSOCIATION
 NCBELS NO. C-2603
 211 TYLER DRIVE
 SMITHFIELD, NC 27577
 919-209-9955

RHODES FARM MANOR SUBDIV PRELIMINARY PLAT

SITE ADDRESS
 4805 LITTLE CREEK CH RD
 CLAYTON NC 27520

SUBDIVISION PLAN

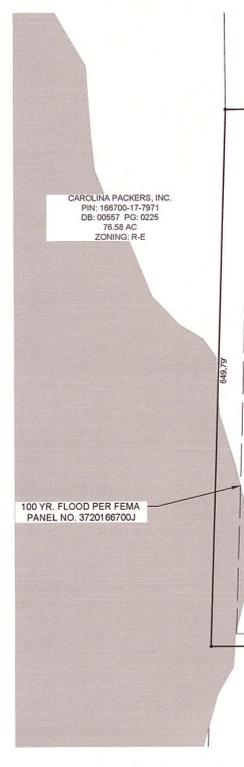
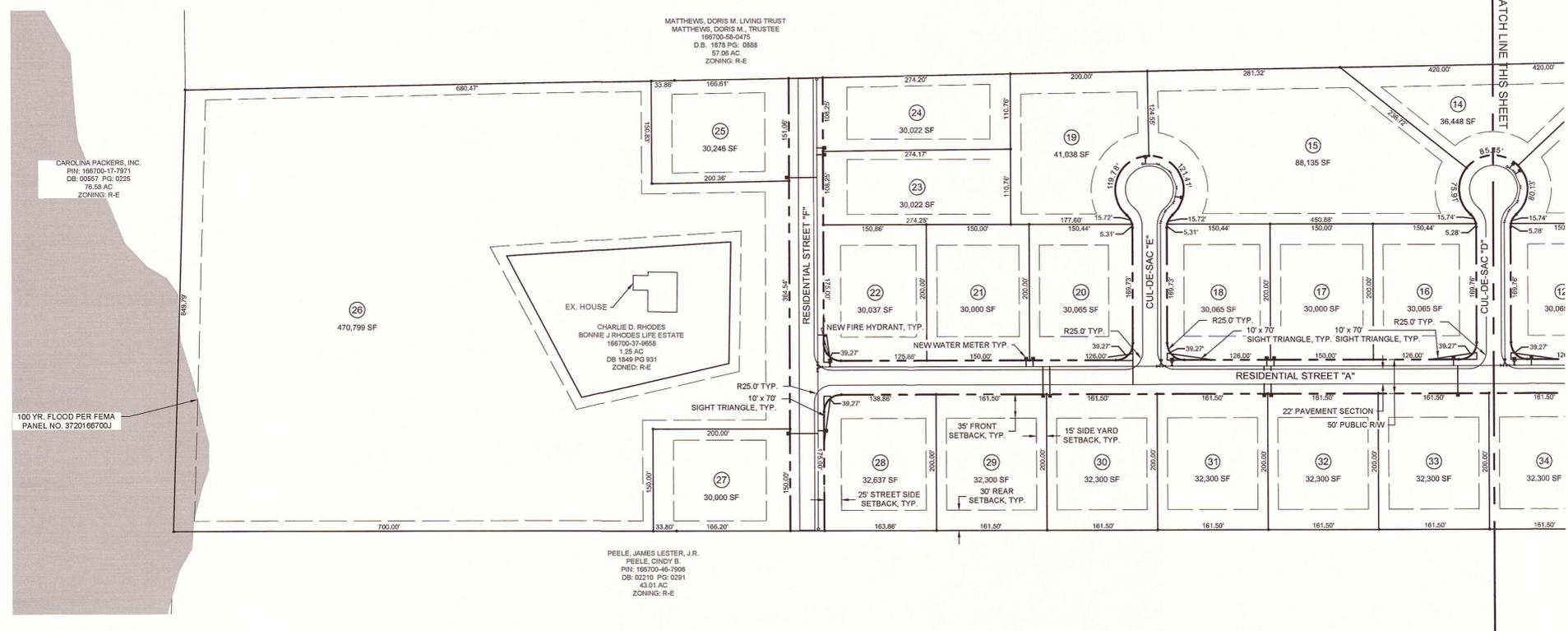
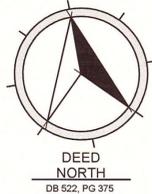
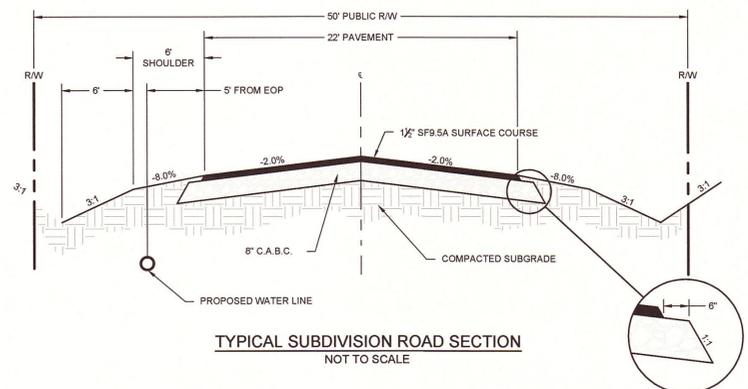
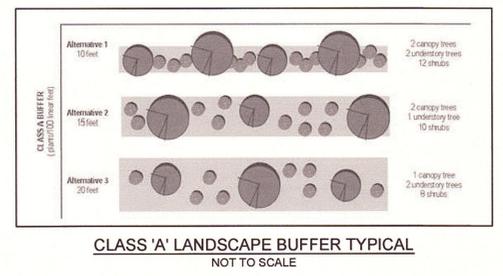
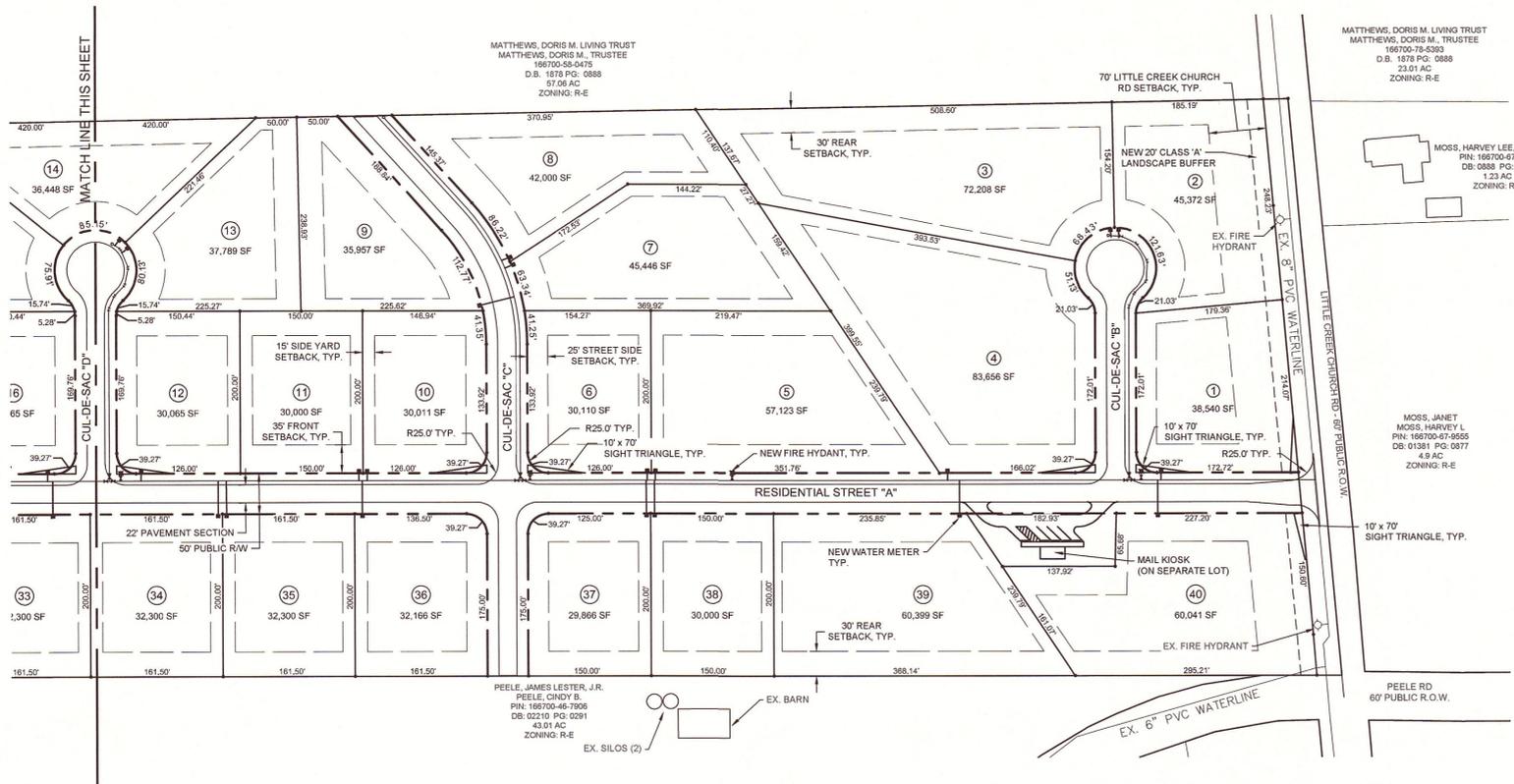
1"=100'

PRELIMINARY NOT RELEASED FOR CONSTRUCTION

10/01/15

SHEET NO. **2**

OF: 3



DESIGNED:	PROJECT DATE: OCTOBER 2015
DRAWN:	PROJECT NO. .15130
CHECKED:	DWG FILE NAME: 3 Engineering Plans.dwg
PROJ. ENG.:	REV. NO.

REV. NO.	DESCRIPTIONS



RHODES FARM MANOR SUBDIV PRELIMINARY PLAT

SITE ADDRESS
4805 LITTLE CREEK CH RD
CLAYTON NC 27520

PRELIMINARY ENGINEERING PLAN

1"=100'

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION

10/01/15

SHEET NO.
3

OF: 3



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

November 30, 2015

STAFF REPORT

Application Number: 15-45-03-SUP

Project Name: Hocutt Baptist Church Western Parking Special Use Permit

NC PIN / Tag #: 165916-83-9670/05023001A, 165916-93-0614/05023002A, 165916-93-0710/05023003A, 165916-93-1726/05023003A
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Green Engineering, PLLC
Owner: Hocutt Baptist Church
Location: 250, 214, 210 South Roberson Street

Public Noticing:

- Neighborhood meeting October 29, 2015
- Sign posted prior to November 20, 2015
- Newspaper ad prior to December 24, 2015

REQUEST: The applicant is requesting a Special Use Permit to use the subject parcels as a parking lot for Hocutt Baptist Church.

SITE DATA:

Acreage: .7847 Acres
Existing Use: Single-Family Residences/Vacant



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-8 (R-8) & Residential-8-Special Use District (R-8 SUD)	Single-Family Residences
South	Office-Institutional (O-I)	Single-Family Residences, Church
East	Neighborhood-Business (B-2)	Church, Residential
West	Residential-8 (R-8)	Single-Family Residences



DEVELOPMENT DATA:

Proposed Uses: Parking Lot
 Buildings: 0
 Fire Protection: Town of Clayton
 Electric Provider: Town of Clayton

STAFF ANALYSIS:

Overview

The applicant is requesting a special use permit in order to develop the subject parcels to be used as a parking lot for Hocutt Baptist Church. These parcels were recently rezoned to Office-Institutional-Special Use District (O-I-SUD). The proposed use would add additional parking for the church during all services. The applicant has also submitted a Major Site Plan application for the parking lot, which is running concurrently with this Special Use Request.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**

The 2040 Comprehensive Plan designates this parcel of land as “Downtown Residential”. The majority of the surrounding land is also designated as “Downtown Residential”, with the properties to the east designated as “Downtown Core”. The proposed request is partially compatible with the Future Land Use Map, in that it is residential supportive and adjacent to the Downtown Core. The parking lot is part of a greater plan by Hocutt Baptist Church to redevelop and expand the church’s campus. While this use needs to be limited so that it does not encroach further into the “Downtown Residential” areas, it is consistent with the current developmental trend.

- **Unified Development Code**

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC).

Background & History

In 2015, Town Council approved the rezoning request of the subject parcels from Residential-8 (R-8) to Office-Institutional-Special Use District (O-I-SUD). This makes these parcels able to be developed for uses supporting the Office-Institutional use of the Church.

Over the past two years, Hocutt Baptist Church has razed the residential buildings that were on these four parcels, in anticipation of creating a parking lot to support their main campus. Hocutt Church is an urban church, and has been on its present site for a long time. Churches in these conditions, and with expanding parishioner base, are often hard-pressed to find adequate parking to support their growth. While town staff understands the need for additional parking, the existing residential neighborhood needs to be buffered and protected from further encroachment.

Associated Site Plan

The applicant is requesting Major Site Plan approval (15-42-02-SP) running concurrently with this request. The proposed parking lot will have two access points, one located off of West Horne Street and the other located off of West Second Street. The parking lot will consist of a total of 58 parking spaces, and the applicant will be adding in a 5’ concrete sidewalk along South Roberson Street, East Second Street, and West Horne Street. The applicant will also be adding a 10’ landscaping buffer located along the northern property line in order to provide screening from the residentially zoned parcels to the north.

Recreation and Open Space

N/A

Environmental

N/A

Signs

The applicant has not submitted any proposed signage for the subject property. All signs will be reviewed separately through the Planning Department and will be required to adhere to UDC requirements. A location for signage has been identified on the corner of the lot in an appropriate location.

Architecture

N/A

Waivers/Deviations/Variations from Code Requirements

None

FINDINGS

When considering a Special Use Permit application, the Town Council shall consider specific Findings of Fact. A Special Use which fails to meet any of these Findings shall be deemed adverse to the public interest and shall not be approved. The applicant has adequately addressed the Findings of Fact expressly established by Chapter 155.711(l) of the UDC, and these Findings are accepted as part of the completed application.

CONSIDERATIONS:

- The Town Council approves Special Use Permits. The Planning Board shall make a recommendation to the Town Council.
- This Special Use Permit, if approved, will be governed by the associated Site Plan (15-45-02-SP).

RECOMMENDATION:

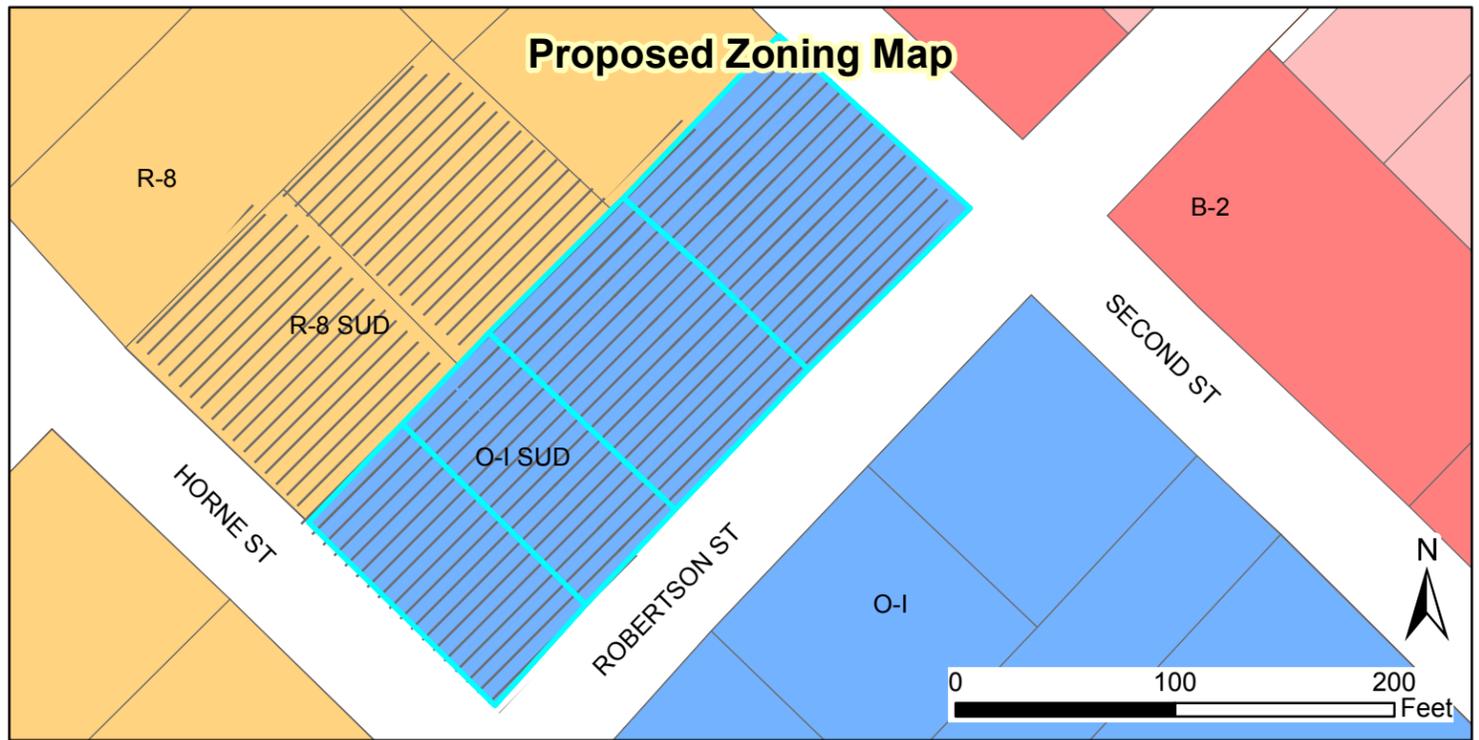
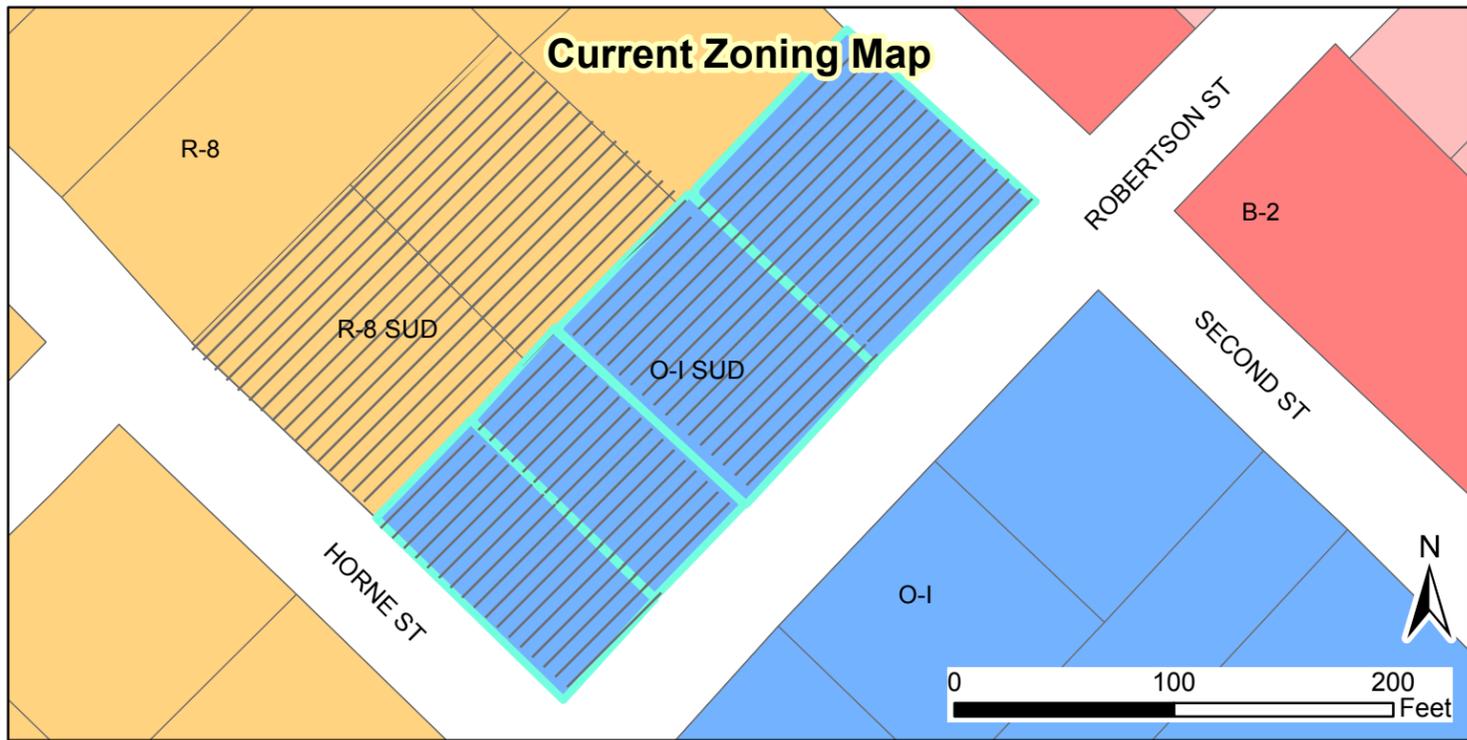
Staff is recommending that the above referenced Special Use Permit (15-45-03-SUP) be approved with the following conditions:

1. The development of the site is limited to the site design and uses approved by the Planning Board. Modifications to the approved site plan shall require review and approval in accordance with Section 155.707 of the Unified Development Code.
2. Following Board approvals, three copies of the Final Site Plan, Landscape Plan and Architectural Elevations meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.

3. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy. All site improvements shall be installed prior to the site inspection.
 4. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
 5. Development fees shall be paid to the Town prior to issuance of any building permits.
 6. All signage for the site shall require a sign permit and shall comply with requirements of the Unified Development Code.
-

ATTACHMENTS:

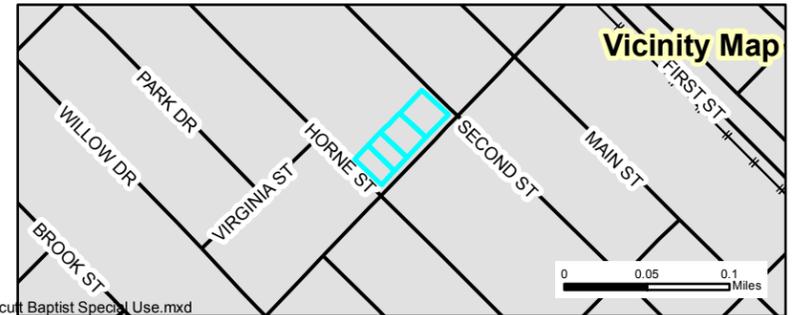
- 1) Staff Report Map
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Associated Site Plan, 15-45-02-SP



15-45-03-SUP Hocutt Baptist Western Parking Special Use
Request: Special Use approval to develop the subject parcels into a parking lot for Hocutt Baptist Church
 Applicant: Green Engineering
 Property Owner: Hocutt Baptist Church
 Parcel ID Numbers: 165916-83-9670, 165916-93-0614, 1655916-93-0710, 165916-93-1726
 Tag #s: 05023001A, 05023001, 05023002, 05023003



11/19/15
 Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



PROPERTY OWNER INFORMATION

Name: HOGUTT BAPTIST CHURCH
 Mailing Address: 314 W. HORNET ST CLAYTON NC 27520
 Phone Number: 919-553-9897 Fax: _____
 Email Address: _____

APPLICANT INFORMATION

Applicant: GREEN ENGINEERING, PLLC - SEAN P. HEIN
 Mailing Address: 303 GOLDSBORO ST E. WILSON NC 27093
 Phone Number: 252-237-5365 Fax: _____
 Contact Person: SEAN P. HEIN M: 252-230-2576
 Email Address: S.hein@greeneng.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Conditional Use Permit (CUP) application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$400)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
3. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
6. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. If applicant is concurrently applying for site plan approval, a copy of the proposed site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
9. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements included in this packet</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
10. Set of stamped, addressed envelopes using the adjacent property owners list	May be provided at time of submittal OR no later than 25 days prior to the Town Council meeting.				
11. Neighborhood meeting summary form (9 copies) <i>Form is included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

Note: More information may be requested by the Planning Department depending on the project

REQUIRED FINDINGS OF FACT

Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

THE SITE IS A PARKING AREA FOR AN EXISTING CHURCH. THE PARKING WILL BE WELL SUPPLIED. IT IS TO SERVE AN EXISTING USE.

2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

THIS SITE IS BEING DEVELOPED WITH TOWN STANDARDS AND REGULATIONS

3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

THIS SITE WILL BE BUFFERED AND IS A TRANSITION ALONG ROBERTSON FROM O&I TO RESIDENTIAL

4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

THIS SITE MEETS THE PLANS AND POLICIES OF THE TOWN

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

FOUR RESIDENTIAL PROPERTIES FRONTING ON ROBERTSON
BEING USED AS A PARKING AREA TO SERVE ADJACENT CHURCH.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to approve the subject Special Use Permit. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

SEAN P. HEIM
Print Name


Signature of Applicant

9-28-2015
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: HOCUTT BAPTIST CHURCH WESTERN PARKING

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05023042	HOCUTT BAPTIST CHURCH	314 W. HORNE ST
05023005	" "	
05019027	" "	
05019028	" "	
05018036	" "	
05019025	NEW TRINITY MISSIONARY BAPTIST	115 ROBERTSON ST
05023028	" "	
05023049	RAYMOND E. LEE	2117 SHOTWELL ROAD
05023004	RODNEY LYNCH	411 W. 2ND ST
05024006	JEFFREY A. CANTRELL	12873 DARNICK CT BRISTOL VA 20136
05024005	BRYAN E. BELVIN	PO BOX 746 Clayton 27528
05020048C	TOWN OF Clayton	PO BOX 879 Clayton 27520

October 29, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of:

A Site Plan and
A Special Use Permit

These have been filed with the Town of Clayton, on behalf of Hocutt Baptist Church, for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain the application, answer questions, and solicit comment.

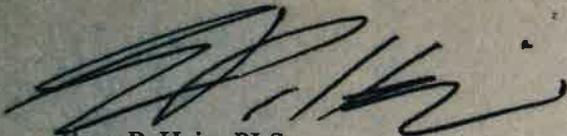
Meeting Date: November 10, 2015 at 7:00 pm

**Meeting Location: Chapel (Old Sanctuary) at Hocutt Baptist Church
314 W. Horne St. Clayton, NC 27520**

The purpose for these Applications is for a new parking lot to be built for the use of Hocutt Baptist Church. This parking lot will be paved and will include lighting and landscaping meeting Town of Clayton's ordinances.

Please see the enclosed map that shows the subject property. If you have any questions prior to the meeting, you may contact Sean P. Hein with Green Engineering, PLLC at 252-237-5365.

Sincerely,



Sean P. Hein, PLS

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: HOCUTT BAPTIST CHURCH WESTERN PARKING

Application: SITE PLAN & SPECIAL USE PERMIT

Location/Date: 314 W. HORNE ST, CLAYTON

	NAME	ADDRESS
1	SEAN P. HEM	303 GOLDSBORO ST P. WILSON
2	Steve Roy	76 Hillsdale Dr Clayton, NC
3	Robin Smith	2005 Olive Tree Ln Clayton NC.
4		
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20		

From: [Sean Hein](#)
To: [Jay McLeod](#)
Subject: Fwd: Sign-up Sheet
Date: Monday, November 23, 2015 8:54:16 AM
Attachments: [ATT00001.htm](#)
[SKM_C454e15112308420.pdf](#)
[ATT00002.htm](#)

Jay,

Enclosed is the meeting roster. Mr. Smith is a deacon from the Missionary Baptist Church next door. He said he just wanted to see what we were doing. We showed him the parking lot plan, spoke briefly about hopeful future plans. Pastor Steve of Hocutt told him that his church would be welcome to use our parking lot anytime we were not. He did not express any concerns.

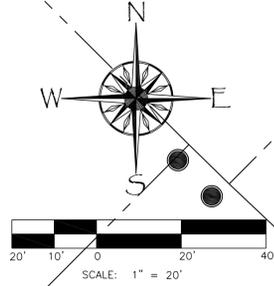
Thank you,

Sean P Hein, PLS, CFS
Green Engineering, PLLC

Begin forwarded message:

From: Penny Glover <p.glover@greeneng.com>
Date: November 23, 2015 at 8:43:35 AM EST
To: Sean Hein <s.hein@greeneng.com>
Subject: Sign-up Sheet

Penny B. Glover



RODNEY LYNCH
PIN: 165916-93-1921
D.B. 4399-18
Z: R-8 (VACANT)

CHAD ANTHONY KERNER
PIN: 165916-93-0844
D.B. 2633-823
Z: R-8 (PENDING O&I)

CHAD ANTHONY KERNER
PIN: 165916-83-9608
D.B. 2633-823
Z: R-8 (PENDING O&I)

BRYAN E BELVIN
PIN: 165916-83-8581
D.B. 4011-207
Z: R-8

NEW TRINITY MISSIONARY
BAPTIST CHURCH
PIN: 165916-93-2835
D.B. 974-789
Z: B-2

CLEO L BARBOUR LIFE EST
& HOCUTT BAPTIST
CHURCH
PIN: 165916-93-2635
D.B. 4036-991
Z: R-6 (PENDING O&I)

HOCUTT BAPTIST
CHURCH
PIN: 165916-93-1567
D.B. 4036-991
Z: R-6 (PENDING O&I)

HOCUTT BAPTIST
CHURCH
PIN: 165916-93-2442
Z: R-6 (PENDING O&I)

- NOTES:**
- Contractor shall contact utility locator service to verify all subsurface utilities prior to and digging or construction on the site. Contractor shall be responsible for any damage resulting from his activities.
 - Plant material on this site must be installed in conformance with the general planting notes and details on this plan.
 - All sod to be Rebel Fescue IV, Turf Gem, Lesco or equal. All seed to be Rebel Fescue IV, Turf Gem, Lesco or equal @ 6 lbs. per 1000 s.f. Seed to the limits of disturbance.
 - All mulch shall be double ground pine bark mulch to a depth of 4".
 - All above ground electrical transformers, dumpsters, and backflow prevention valve/hot boxes shall be screened from view while maintaining required access to local code standards and requirements.
 - Do not change plans without permission from Architect or Owner. Notify Architect of any discrepancies on the plan.
 - Landscape contractor shall provide design build irrigation proposal to the owner for project areas to be specified by the owner.
 - Contractor shall provide 6" PVC sleeves under streets and drive aisles for irrigation lines.

SCOPE OF WORK:
Furnish all labor, materials, and equipment required or indicated by the drawings and specifications to complete the work including installation of all trees, shrubs, groundcover, annuals, seed, sod and mulch.

MATERIALS AND WORK:
The selection of all materials and the execution of all work required under the contract shall be subject to approval by the owner. The owner shall have the right to reject and all materials and any and all work, which in his opinion, does not meet the requirements of the contract.

PLANT MATERIALS:
All plant materials shall be nursery grown, freshly dug in the field, naturally shaped, well branched, fully foliated when in leaf with fully developed root systems. Trees must be self supporting, with straight trunks and leaders in tact. All plants must be free of disease, insect infestation or their eggs and shall have been grown in climatic conditions similar to those of the project site.

PLANT SIZE:
Specified sizes indicates the minimum allowable size at planting. Where container and height/spreads are indicated for a single species, both size requirements shall be met. When only plant height or spread are indicated, container size shall be based on AAN standards.

ORGANIC MATTER:
Aged manure, compost or pine bark fines, at the option of the contractor, material shall be air dried, finely shredded and suitable for horticultural purposes and shall contain no more than 35% moisture content by weight.

PINE BARK MULCH:
All pine bark mulch shall be clean, double ground, fine textured nugget mulch with minimal amounts of sapwood content.

TURF AREAS:
Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.

ILLUSIONS FENCE # 2010

Post Cap Options:

- New England V308E
- Flat V308E
- French Gothic V308E
- Ball V308E
- Contour V308E
- Cocoon V308E
- Teardrop V308E
- Solar V308E
- Release Solar V308E

Post Options:

- 5" x 5" - .140 wall
- 5" x 5" x H.D. - .250 wall
- Majestic- 8" x 8" - .250 wall

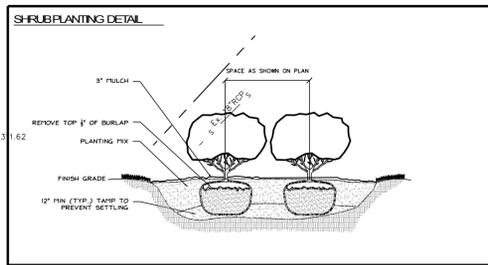
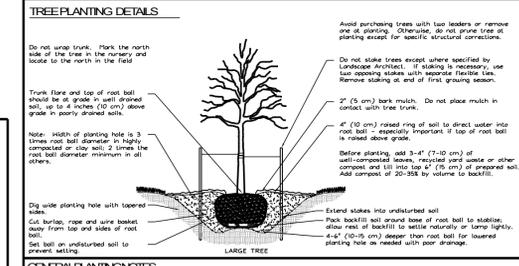
STYLE # V3215SQ-6

DESCRIPTION Solid T & G w/Square Lattice Top 6"x8"

NOTES:

- ALL ILLUSIONS VINYL FENCES ARE ASTM F964-09 COMPLIANT
- Available in Mix 'N' Match color variations
- Includes metal reinforcement in bottom rail

WWW.ILLUSIONSFENCE.COM



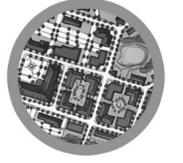
KEY	BOTANICAL NAME	COMMON NAME	HEIGHT/SIZE	ROOT	QTY.	COMMENTS
WO	Quercus phellos	Willow Oak	Min 2.5' Cal	B&B	6	
AE	Ulmus parvifolia 'Emer II' Allee	Allee Elm	Min 2.5' Cal	B&B	8	
CE	Ulmus parvifolia	Chinese Elm	Min 2.5' Cal	B&B	6	
NRS	Ilex 'Nellie R Stevens'	Nellie R Stevens Holly	8' HT	B&B	6	
DIV	Cornus Cousa	Dogwood	Min 1.5' Cal	B&B	3	
LP	Loropetalum chinensis var. Ruby	Loropetalum	MIN 30" HT	Cont.	22	
DBH	Ilex cornuta 'Dwarf Burford'	Dwarf burford Holly	MIN 30" HT	Cont.	15	
CH	Ilex cornuta 'Carissa'	Carissa Holly	24" SP	Cont.	48	
IH	Rhaphiolepis indica	Indian Hawthorn	18" SP	Cont.	18	
JB	Berberis thunbergii Royal Burgundy	Berberis	18" SP	Cont.	18	

BIORETENTION PLANTS						
BN	Betula Nigra	River Birch	MIN 2.5' CAL	Cont.	1	
AB	Callisarpa americana	American Beautyberry	18" SP	Cont.	1	
WM	Morrelia cerifera	Wax Myrtle	18" SP	Cont.	1	
WB	Ilex verticillata	Winterberry	18" SP	Cont.	1	
I	Sorghastrum nutans	Indiangrass		Cont.	2	
G	Solidago canadensis	Goldenrod		Cont.	1	
BS	Amsonia tabernaemontana	Fringed blue star		Cont.	1	

STREET PROTECTIVE YARD	
6 SHADE TREES REQUIRED	6 SHADE TREES PROVIDED
7 SHADE TREES REQUIRED	7 SHADE TREES PROVIDED

BIORETENTION PLANTING	
400 STEM/ACRE	900 SF/.02 ACRES
8 STEMS REQUIRED	30 SHRUBS PROVIDED
9 STEMS PROVIDED	36 SHRUBS PROVIDED

CLASS C BUFFER	
6 SHADE TREES REQUIRED	9 UNDERSTORY TREES PROVIDED
7 SHADE TREES PROVIDED	9 UNDERSTORY TREES PROVIDED



REVISIONS:

LANDSCAPE PLAN
HOCUTT BAPTIST CHURCH
314 West Home Street
Clayton, North Carolina 27520

SCALE: 1" = 20'
DRAWN BY: T.M.T.
PROJECT # 15123
DATE: 11/19/2015

1 SHEET

PRELIMINARY
NOT FOR CONSTRUCTION



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
November 30, 2015

STAFF REPORT

Application Number: 15-45-02-SP

Project Name: Hocutt Baptist Church Western Parking Major Site Plan

NC PIN / Tag #: 165916-83-9670/05023001A, 165916-93-0614/05023002A, 165916-93-0710/05023003A, 165916-93-1726/05023003A
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Green Engineering, PLLC
Owner: Hocutt Baptist Church
Location: 250, 214, 210 South Roberson Street

Public Noticing:

- Neighborhood meeting October 29, 2015
- Sign posted prior to November 20, 2015

REQUEST: The applicant is requesting approval to develop the subject parcels into a parking lot to be used by Hocutt Baptist Church. The request is running concurrently with Special Use Permit (15-45-03-SUP) requesting to develop a parking lot on the subject parcels.

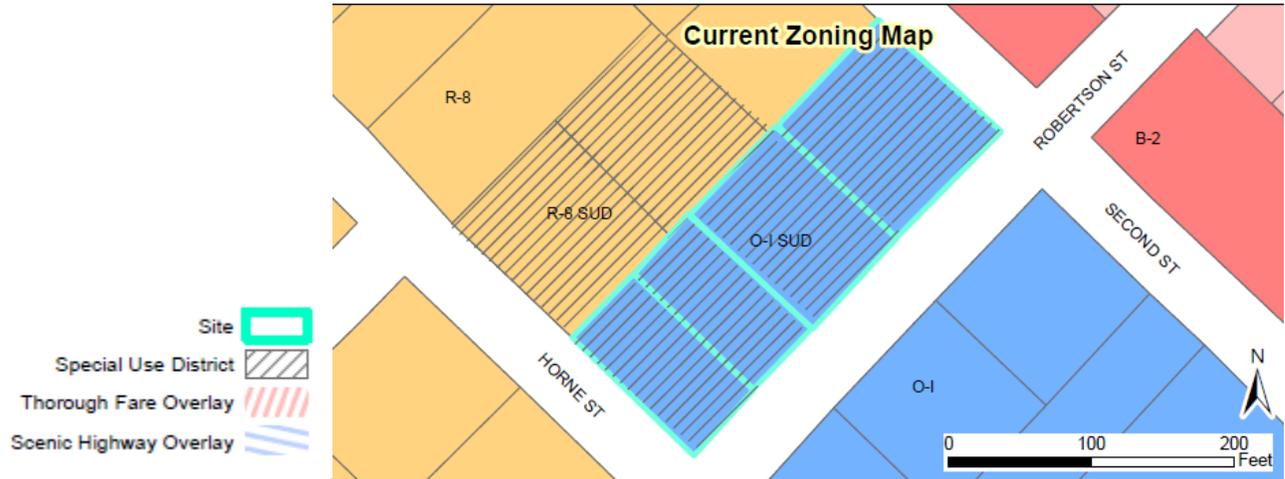
SITE DATA:

Acreage: .7847 Acres
Existing Use: Vacant



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-8 (R-8) & Residential-8-Special Use District (R-8 SUD)	Single-Family Residences
South	Office-Institutional (O-I)	Single-Family Residences, Church
East	Neighborhood-Business (B-2)	Commercial
West	Residential-8 (R-8)	Single-Family Residences



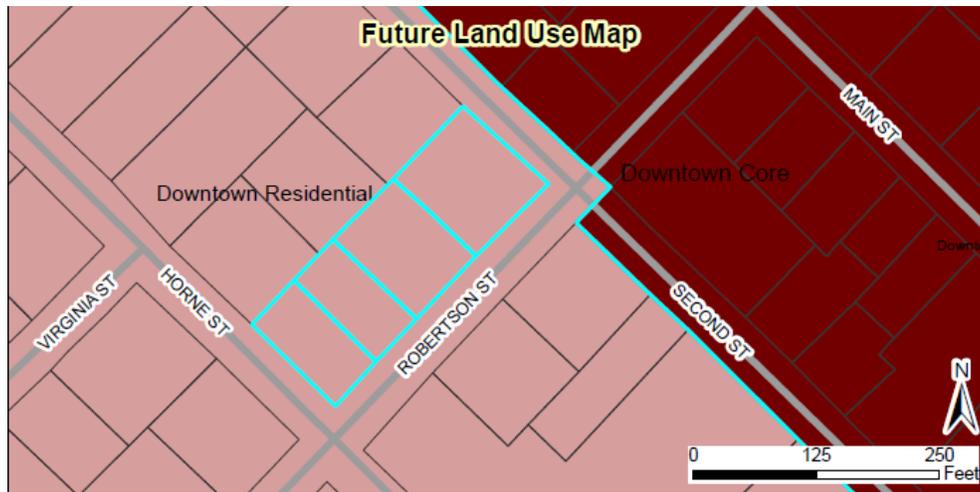
DEVELOPMENT DATA:

Proposed Uses: Parking Lot
 Buildings: 0 Buildings
 Proposed Parking: 58 spaces
 Fire Protection: Town of Clayton
 Access/Streets: Two driveways; one off of West Horne Street and the other off of East Second Street
 Water/Sewer Provider: Town of Clayton
 Electric Provider: Town of Clayton

STAFF ANALYSIS:

Overview

The applicant is requesting major site plan approval to develop a parking lot on the subject parcels to be used by Hocutt Baptist Church. This parking lot will consist of 58 total parking spaces. This request is running concurrently with a Special Use Permit application (15-45-03-SUP) to permit the proposed use of the subject parcels. Upon successful approval, the four parcels will need to be recombined prior to the beginning of construction.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**
 - The 2040 Comprehensive Plan designates this parcel of land as “Downtown Residential”. The majority of the surrounding land is also designated as “Downtown Residential”, with the properties to the east designated as “Downtown Core”. The proposed request is partially compatible with the Future Land Use Map, in that it is residential supportive and adjacent to the Downtown Core. The parking lot is part of a greater plan by Hocutt Baptist Church to redevelop and expand the church’s campus. While this use needs to be limited so that it does not encroach further into the “Downtown Residential” areas, it is consistent with the current developmental trend.
- **Unified Development Code**
 - The proposed development is consistent and meets the applicable requirements of the Unified Development Code (UDC).

Background & History

In 2015, Town Council approved the rezoning request of the subject parcels from Residential-8 (R-8) to Office-Institutional-Special Use District (O-I-SUD). This makes these parcels able to be developed for uses supporting the Office-Institutional use of the Church.

Over the past two years, Hocutt Baptist Church has razed the residential buildings that were on these four parcels, in anticipation of creating a parking lot to support their main campus. Hocutt Church is an urban church, and has been on its present site for a long time. Churches in these conditions, and with expanding parishioner base, are often hard-pressed to find adequate parking to support their growth. While town staff understands the need for additional parking, the existing residential neighborhood needs to be buffered and protected from further encroachment.

Landscaping and Buffering

The applicant meets all UDC landscaping requirements. The applicant is proposing a Class “C” buffer along the northern portion of the property in order to provide screening for the adjacent residentially zoned parcels of land. Interior landscaping, along with landscaping along South Robertson Street, will also be provided to fulfill UDC landscaping requirements.

Environmental

N/A.

Access/Streets

The parking lot will have two driveways; one off of West Horne Street and one off of West Second Street.

Multi-Modal Access

The applicant is proposing to install a 5' concrete sidewalk along South Robertson Street, and along West Horne Street and West Second Street. Crosswalks will be provided at the intersections of South Robertson and West Horne, and South Robertson and West Second Street, in order to allow pedestrian crossing to Hocutt Baptist Church across the street.

The site should also have a mid-block (mid-parking lot) sidewalk connecting the parking lot with the sidewalk along Robertson Street.

Architecture/Design

A bioretention stormwater feature has been designed into the downhill side of the site, which will capture and treat stormwater for the parking lot. An enhanced, 20-foot Class C buffer is also provided along the side of the lot directly adjacent to residential uses and zoning. This 20-foot Class C buffer is the largest that can be required by the Town, and is provided by the applicant to help mitigate any impact a parking lot may have on the existing residential neighborhood. The portion of the site facing to the parcel to the south (that is across Horne Street) does not have a Class C buffer. Overall, the landscaping adds to the value of the project.

Waivers/Deviations/Variations from Code Requirements

This parking lot will be accessory to the primary use, which is the Hocutt Baptist Church main campus, across Robertson Street.

CONSIDERATIONS:

- Planning Board approves major site plans.
 - This Site Plan will be contingent upon approval by Town Council of the associated Special Use Permit (15-45-03-SUP).
-

FINDINGS:

The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS:

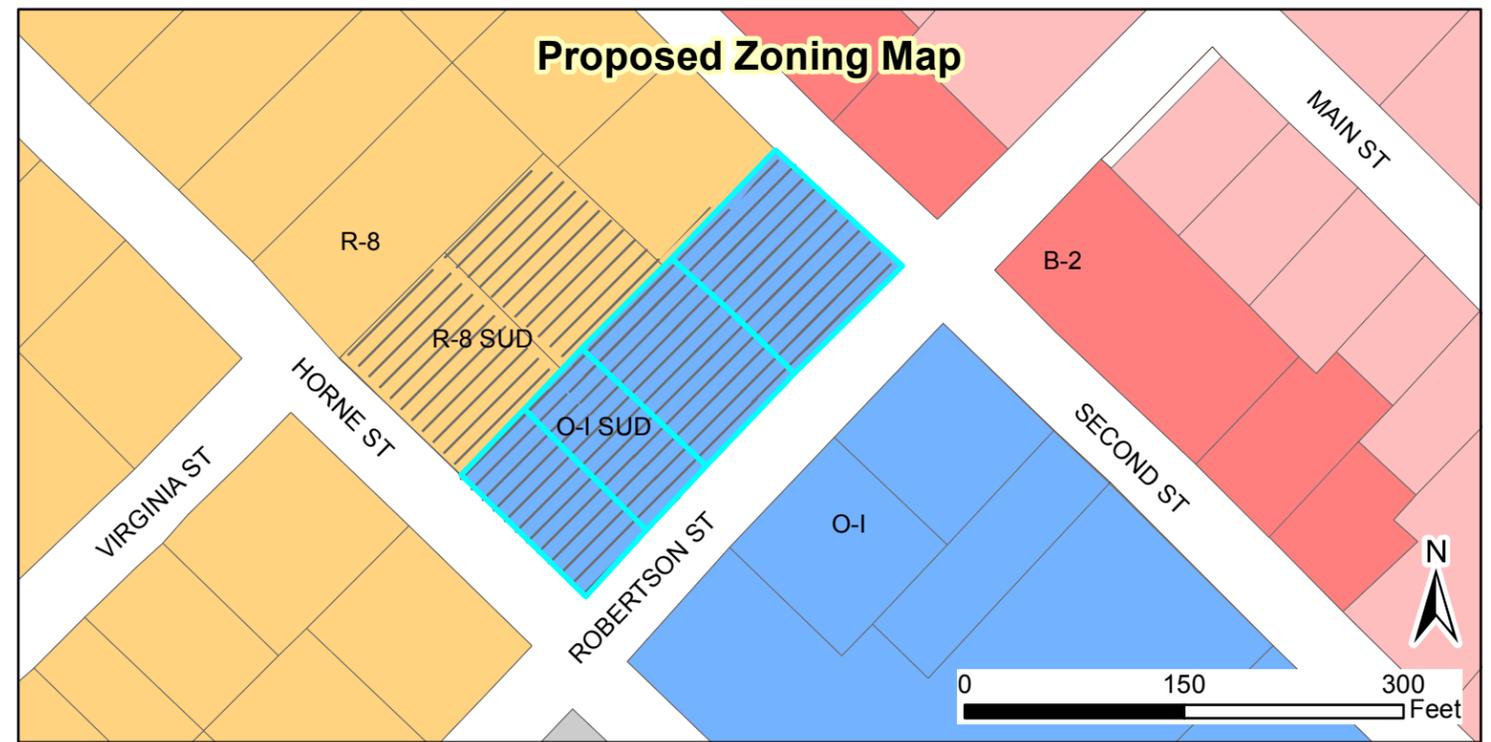
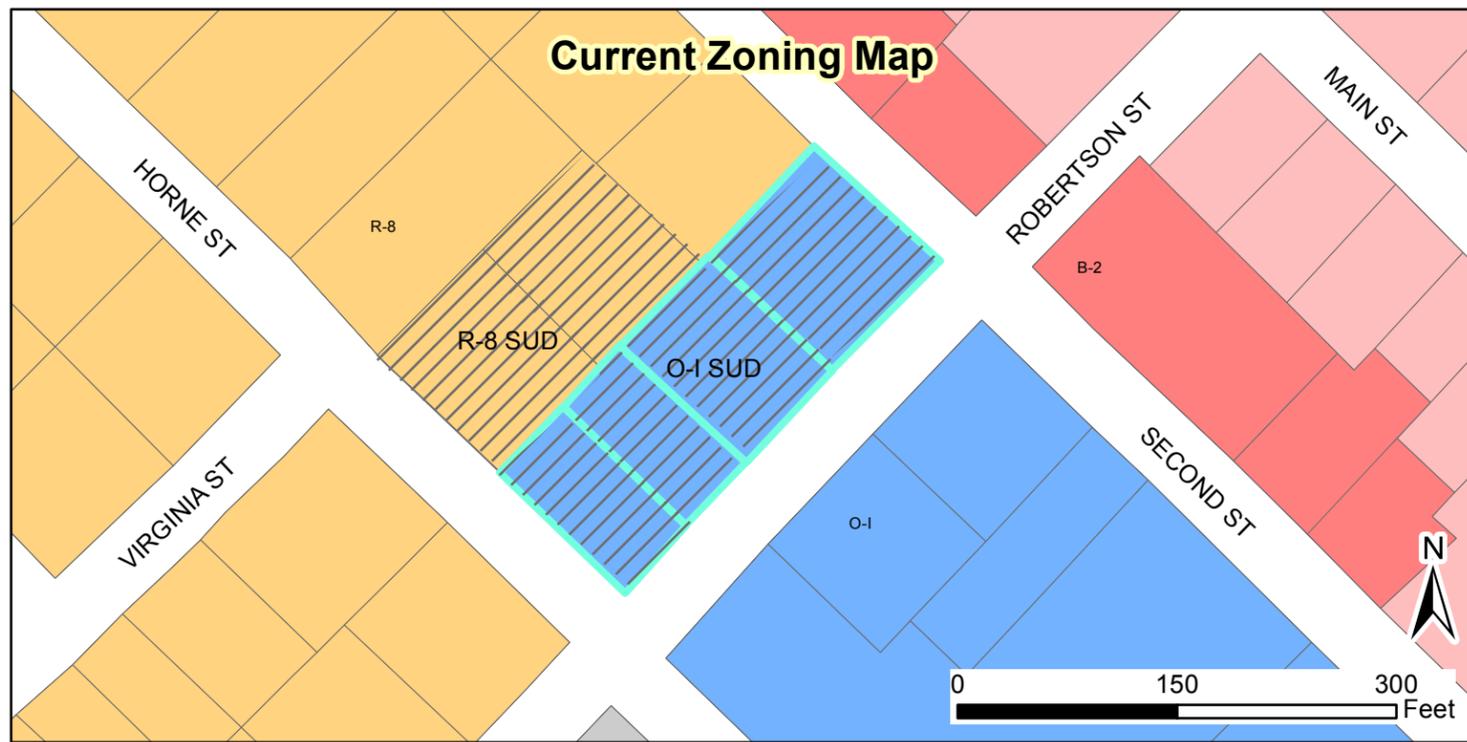
None

STAFF RECOMMENDATION:

Staff is recommending approval of the proposed Major Site Plan (15-45-02-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan

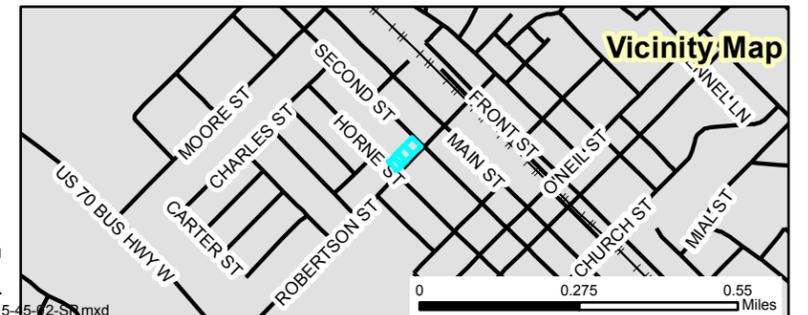


15-45-02-SP Hocutt Baptist Western Parking Major Site Plan
Request: Site Plan approval to develop the subject parcels into a parking lot for Hocutt Baptist Church.

Applicant: Green Engineering
 Property Owner: Hocutt Baptist Church
 Parcel ID Numbers: 165916-83-9670, 165916-93-0614, 165916-93-0710, 165916-93-1726
 Tag #s: 05023001A, 05023001, 05023002, 05023003



- Site
 - Special Use District
 - Thorough Fare Overlay
 - Scenic Highway Overlay
- 11/24/15
 Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



PROPERTY OWNER INFORMATION

Name: Hocutt Baptist Church

Mailing Address: 314 W. Horne St Clayton, NC 27520

Phone Number: 919-553-6650

Fax: _____

Email Address: _____

APPLICANT INFORMATION

Applicant: Green Engineering, PLLC

Mailing Address: 303 Goldsboro St E. Wilson, NC 27527

Phone Number: 252-237-5365

Fax: _____

Contact Person: Sean P. Hein, PLS

Email Address: s.hein@greeneng.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application (9 copies)	<input checked="" type="checkbox"/>				
5. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i> (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
10. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
11. Neighborhood meeting summary form (9 copies)	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Hocutt Baptist Church Address or PIN #: Multiple (See Attached Sheet)

AGENT/APPLICANT INFORMATION:

Green Engineering, PLLC (Sean P. Hein)
 (Name - type, print clearly)

303 Goldsboro St E.
 (Address)
Wilson, NC 27893
 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

Rezoning
Site Plans

Construction Documents
Permit Applications

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Hocutt Baptist Church (Pastor Steve Roy)
 (Name - type, print clearly)

314 W. Home St
 (Address)

Steve Roy
 (Owner's Signature)

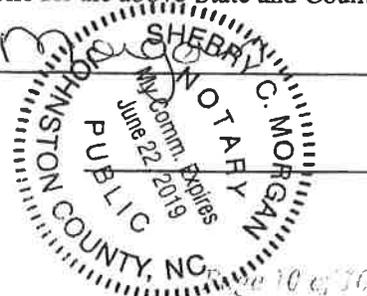
Clayton, NC 27520
 (City, State, Zip)

STATE OF North Carolina
 COUNTY OF Johnston

Sworn and subscribed before me *Sherry Morgan*, a Notary Public for the above State and County, this the 30th day of June, 2015.

SEAL

Sherry Morgan
 Notary Public
 My Commission Expires:



ADJACENT PROPERTY OWNERS LIST

Project Name: Hocutt Baptist Western Parking

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
165916-83-8581	Bryan E. Belvin	PO Box 746 Clayton NC 27528
165916-83-8508	Jefferey A. Cantrell	12873 Darnick Ct Bristow, VA 20136
165916-83-9608	Chad A. Kerner	2402 Eddystone Rd, Raleigh, NC 27612
165916-93-0844	Chad A. Kerner	" "
165916-93-1921	Rodney Lynch	411 W 2nd St, Clayton, NC 27520
165916-93-1926	Raymond & Jean Lee	2117 Shotwell Rd, Clayton, NC 27520
165916-93-2835	New Trinity Baptist Church	115 Robertson St, Clayton, NC 27520
165916-93-0247	Town of Clayton	PO Box 879 Clayton, NC 27520



TOWN OF CLAYTON

Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

PLAN REQUIREMENTS

Pursuant to Article 7, Section 155.706 of the Unified Development Code, applications requesting a public hearing or administrative approval process shall submit a plan set to the Planning Department. These plans may include Master Plan, Site Plan, Regulating Plan, Architectural Elevations, Landscape Plan, Photometric/Lighting Plan, Engineering Plans, and Survey. The plan requirements shall be based on the type of development application or approval process.

PLAN FORMAT

These standards are established to provide information pertaining to the graphic and format presentation of plans. The following is required for all types of plans, except where otherwise noted:

- All plans and architectural elevations shall be limited to 24" x 36" in size, and folded to an 8.5" x 11" format.
- Plans are to be drawn at the same engineering scale of 1" = 20'; 30'; 40'; 50'; 60' (architectural elevations and details are exempt from this requirement) with north oriented in the same direction.
- Plans may be drawn at an engineering scale of 1" = 100', if approved by the Planning Department or the Technical Review Committee (TRC).
- Architectural plans and elevations shall be drawn at an architectural scale of 1" = 3/32', 3/16', 1/8', 1/4', or 3/8'.
- All drawings, except elevations, isometric drawings, and renderings, shall be in two dimensional plan views.
- All text shall be clear and legible.
- Line weight hierarchy on all plans shall be consistent with common drafting standards.
- Multiple sheets shall be consecutively numbered (e.g. Sheet 1 of 4).
- All numerical references shall be rounded up to a maximum of two decimal points.

PLAN ELEMENTS AND GRAPHIC DATA

The following items include general and project information. This information is required to be present on all plans, except where otherwise noted.

PROVIDED			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consultant Logo Box (name, address, phone number, fax, and e-mail, if applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project/Application Name
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Type of Plan
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Signature and Professional Seal (landscape plans, architectural elevations, engineering plans, surveys)

Plan Elements and Graphic Data Continued...

PROVIDED			
YES	NO	N/A	
		✓	Revision Date
✓			Sheet Number
✓			Location Map (site plan only)
✓			Site Data
✓			North Arrow
✓			Graphic Scale (engineering or architectural graphic and written scale)

The following elements are specific to each property and application request, and shall be shown graphically on the specific plan types listed below. These graphics shall be supported by text, labeling, and dimensional information (width, length, and depth).

SURVEY

PROVIDED			
YES	NO	N/A	
			A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
✓			The existing topographical conditions of the property with a two foot contour interval.
✓			The existing streets and roadway improvements (medians, landscaping, signage, driveways, etc.) within 100 feet of project boundary.
✓			The existing structures located on the subject property.
	✓		The existing structures within 100 feet of project boundary.
	✓		The existing utilities (including inverts of pipe, rim elevations, wells and septic tanks, etc.) within 100 feet of project site.
	✓		The existing trees identified by caliper and species (if required by the Planning Department).

SITE PLAN

The items listed below are required to be delineated (in a tabular format) on the site plan:

Provided			
YES	NO	N/A	
✓			Name of project (AKA names if applicable)
✓			Parcel identification number (Tag number)
✓			Property size (acres and square feet)
✓			Property location (Town limits or ETJ);
✓			Existing/proposed zoning district;
		✓	Overlay (if applicable)

✓			Existing use
✓			Proposed use
		✓	Number of seats/students/fueling positions (if applicable)
	✓		Existing density (housing types and number of units)
		✓	Proposed density (housing types and number of units)
		✓	Existing intensity (gross floor area)
		✓	Proposed intensity (gross floor area)
		✓	Floor area ratio
		✓	Building coverage (as percentage of total site)
✓			Pervious surface area (square feet and as percentage of total site)
✓			Impervious surface area (square feet and as percentage of total site)
		✓	Building height (number of stories and in feet)
		✓	Required/proposed parking
		✓	Required/proposed accessible parking
		✓	Required loading space(s)

Other site plan elements:

YES	NO	N/A	
✓			Identify adjacent property owners, their parcel ID number, current zoning and present use.
		✓	Identify the affected area for minor amendments to previously approved projects.
		✓	Identify the location of lots, buildings and structures with finished floor elevations and applicable setbacks.
		✓	Provide boundaries of Resource Conservation Areas (see UDC Section 155.500).
✓			Provide an off-street parking and loading layout (with details, dimensions and access location). Accessible parking requirements are listed in NCSBC Volume 1C, 1999 edition.
		✓	Provide queuing details for drive-up/drive-thru facilities (if applicable).
✓			Provide the locations and dimensions of existing and proposed sidewalks.
			Provide the location and details of refuse collection areas.
		✓	Provide the location, size and orientation of signs.
		✓	Identify the location and nature of all recreational facilities and common areas (if applicable)
		✓	Identify alternative modes of transportation including school stops, pedestrian connections bicycle paths and associated racks.
		✓	Identify proposed phasing (phasing lines) of construction (if applicable).

CONCEPTUAL ENGINEERING PLANS

Note: Conceptual engineering plans are deemed preliminary in nature. Review and approval of public infrastructure construction plans is a separate process performed by Public Works Engineering Division.

Provided

YES	NO	N/A	
		✓	Identify proposed streets and roadways (public and private) with dimensions and cross sections.

✓			Identify the curve radii for all internal and external vehicular use areas.
✓			Identify access to the project.
✓			Identify proposed traffic control signs and stripping.
		✓	Identify the proposed water distribution system (including size) with location of fire hydrants and point of connection.
		✓	Identify the proposed sanitary sewer collection system (including size) and point of connection. If a municipal sewer connection is not available, please provide documentation from Johnston County Department of Environmental health that the location of septic tank and drain field is acceptable.
		✓	Provide preliminary wastewater allocation calculation.
			Identify soil erosion control measures including impoundment structures.
			Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.
✓			Identify the proposed storm water management system with location of inlets, piping and positive outfall along with the typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.

Fire Rescue (information to be shown on conceptual engineering plans)

Yes	No	N/A	
		✓	Identify fire hydrant distribution (distance of hose lay).
		✓	Identify the sprinkler connection locations and size (if applicable).
		✓	Identify fire lane designations and circulations around buildings (stripe fire lanes and show minimum stabilized access around all structures).
		✓	Identify the emergency evacuation route (access in and out of the property).
		✓	Identify fire apparatus turning radius
		✓	Verify the location of the fire hydrants is not interfering with required landscaping (must be 24" clearance of landscaping from bottom of steam fitting)
		✓	Identify the Lock/Box/Knox Box locations.
		✓	Identify placard locations for hazardous materials (if applicable).

LANDSCAPE PLAN

Provided			
Yes	No	N/A	
	✓		Provide a landscape plan identifying the location of all proposed landscaping (must be prepared by a landscape architect registered in North Carolina)
✓			Indicate the location, width and type of all required buffers.
	✓		Indicate the location, width and type of landscaping within vehicular use areas.

<input checked="" type="checkbox"/>		Indicate the location, width and type of landscaping used to screen drive-thru areas, service areas, loading areas, mechanical equipment and above ground utilities
<input checked="" type="checkbox"/>		Provide a plant list summary table which includes: 1. A planting key identifying the various planting elements. 2. The quantity of each type of plant material proposed. 3. The size, height, caliper and spacing of plant material. 4. The Botanical and common names of plant material proposed.
<input checked="" type="checkbox"/>		Verify/identify clear sight distances at project ingress/egress points
<input checked="" type="checkbox"/>		Provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor."
<input checked="" type="checkbox"/>		Provide a landscape maintenance note which states: "All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion."
<input checked="" type="checkbox"/>		Identify and list any existing plant material which will be used to satisfy landscape requirements.

LIGHTING PLAN

Provided		N/A	
Yes	No		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a lighting/photometric plan which identifies light fixture locations, height and foot candle dispersion. Foot candle dispersion shall be shown throughout the site and to the property lines.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the light source and provide a detail of the fixture.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the proposed height of the fixtures.

ARCHITECTURAL ELEVATIONS AND FLOORPLAN

Provided		N/A	
Yes	No		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide floor plans, elevations, construction materials, finishes and colors, along with type of construction of all buildings per North Carolina Building Code prepared by a professional architect registered in North Carolina.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the height and number of stories for each structure.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and screening method for all roof mounted structures or equipment.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide color chips arranged on 8 1/2" x 11" sheet(s) of paper for all proposed materials.

October 29, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of:

A Site Plan and
A Special Use Permit

These have been filed with the Town of Clayton, on behalf of Hocutt Baptist Church, for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain the application, answer questions, and solicit comment.

Meeting Date: November 10, 2015 at 7:00 pm

**Meeting Location: Chapel (Old Sanctuary) at Hocutt Baptist Church
314 W. Horne St. Clayton, NC 27520**

The purpose for these Applications is for a new parking lot to be built for the use of Hocutt Baptist Church. This parking lot will be paved and will include lighting and landscaping meeting Town of Clayton's ordinances.

Please see the enclosed map that shows the subject property. If you have any questions prior to the meeting, you may contact Sean P. Hein with Green Engineering, PLLC at 252-237-5365.

Sincerely,



Sean P. Hein, PLS

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: HOCUTT BAPTIST CHURCH WESTERN PARKING

Application: SITE PLAN & SPECIAL USE PERMIT

Location/Date: 314 W. HORNE ST, CLAYTON

	NAME	ADDRESS
1	SEAN P. HEM	303 GOLDSBORO ST P. WILSON
2	Steve Roy	76 Hillsdale Dr Clayton, NC
3	Robin Smith	2005 Olive Tree Ln Clayton NC.
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

From: [Sean Hein](#)
To: [Jay McLeod](#)
Subject: Fwd: Sign-up Sheet
Date: Monday, November 23, 2015 8:54:16 AM
Attachments: [ATT00001.htm](#)
[SKM_C454e15112308420.pdf](#)
[ATT00002.htm](#)

Jay,

Enclosed is the meeting roster. Mr. Smith is a deacon from the Missionary Baptist Church next door. He said he just wanted to see what we were doing. We showed him the parking lot plan, spoke briefly about hopeful future plans. Pastor Steve of Hocutt told him that his church would be welcome to use our parking lot anytime we were not. He did not express any concerns.

Thank you,

Sean P Hein, PLS, CFS
Green Engineering, PLLC

Begin forwarded message:

From: Penny Glover <p.glover@greeneng.com>
Date: November 23, 2015 at 8:43:35 AM EST
To: Sean Hein <s.hein@greeneng.com>
Subject: Sign-up Sheet

Penny B. Glover

HOCUTT BAPTIST CHURCH NEW WESTERN PARKING CLAYTON, NORTH CAROLINA NOVEMBER, 2015

OWNER:

HOCUTT BAPTIST
CHURCH

314 W HORNE ST
CLAYTON, NC 27520

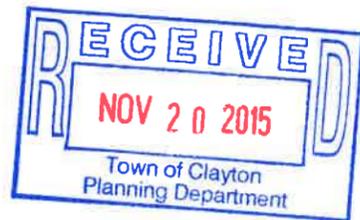


LOCATION MAP

Scale 1" = 100'

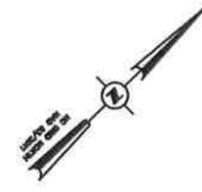
CONTENTS:

- 1 - COVER
- 2 - EXISTING CONDITIONS / DEMOLITION
- 3 - SITE PLAN
- 4 - GRADING PLAN
- 5 - EROSION CONTROL
- 6 - DETAILS
- 7 - DETAILS
- 8 - DETAILS
- L1 - LANDSCAPING



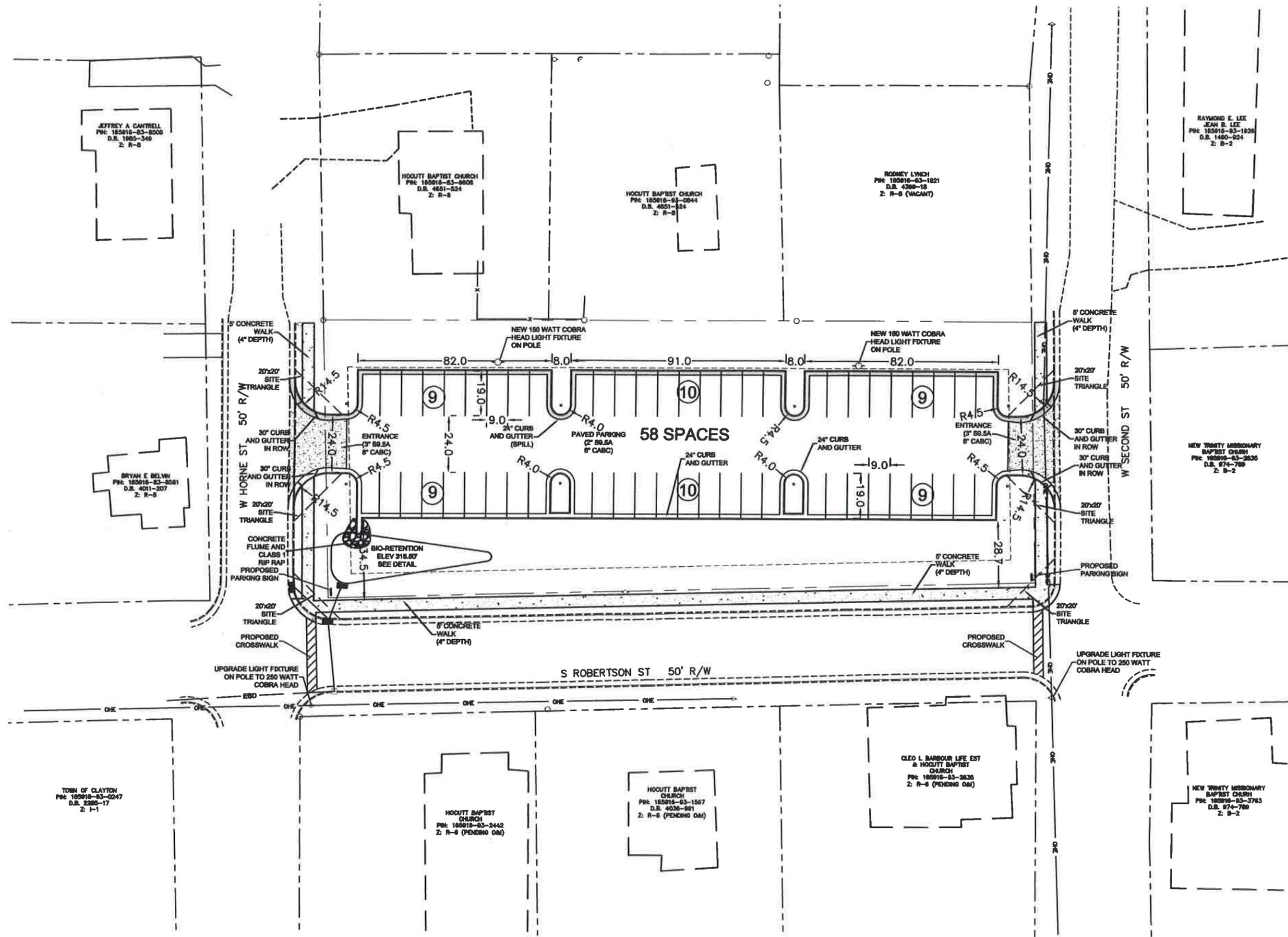
NC FIRM LICENSE: P-0115
WATER, WASTEWATER, SURVEYING
PLANNING, PROJECT MANAGEMENT

303 GOLDSBORO ST. E., P.O. BOX 609, WILSON, NC 27893
TEL 252.237.5365 FAX 252.243.7489 office@greeneng.com



SITE TABLE

LOT AREA:	0.7847 AC OR 34,183 SF	
IMPERVIOUS AREA RECAP:	EXISTING	PROPOSED
TOTAL:	8000 SF	18,985 SF
% IMPERVIOUS:	23.4 %	46.63 %
PARKING SPACES PROVIDED:	58	
ZONE:	OMI CU	
PROPOSED USE:	CHURCH (PARKING)	
PN:	185918-83-9870, 185918-83-0814, 185918-83-0770, 185918-83-1728	
PARCEL ID:	05023001A, 05023001, 05023002, 05023003	
PROPERTY ADDRESS:	210, 214, 250 S ROBERTSON ST	
OWNER:	HOCUTT BAPTIST CHURCH 314 W HORNE ST CLAYTON, NC 27520	



FOR PLAN REVIEW ONLY

GREEN ENGINEERING
 WATER, WASTEWATER, SURVEYING, PLANNING, PROJECT MANAGEMENT
 NORTH CAROLINA FIRM LICENSE: P-0115
 303 GOLDSBORO STREET EAST, P.O. BOX 609 WILSON, N.C. 27593
 TEL (252) 237-5365 FAX (252) 243-7489 OFFICE@GREENENG.COM

HOCUTT BAPTIST CHURCH
WESTERN PARKING
 CLAYTON, JOHNSTON COUNTY NORTH CAROLINA

SITE PLAN

REVISION	DATE	BY	DATE
	November 18, 2015		

CLIENT CODE: HOCUTT
 JOB NUMBER: 15072
 FIELD BOOK:
 CADFILE: 15072-BM.dwg
 ASCII FILE:
 LAST MODIFIED: 19-Nov-15
 MODIFIED BY: SPH

GRAPHIC SCALE
 0 20 40
 SCALE IN FEET

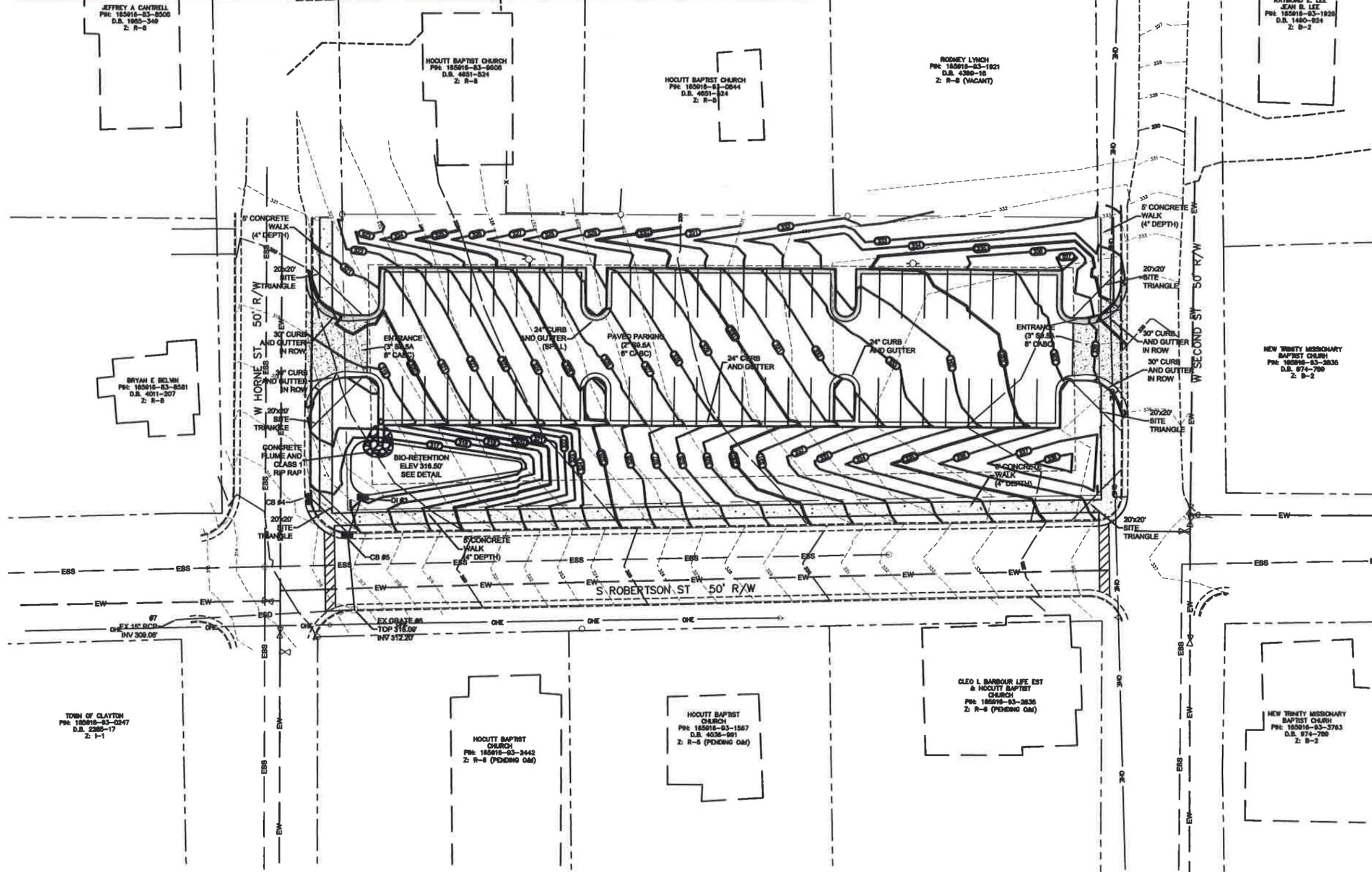
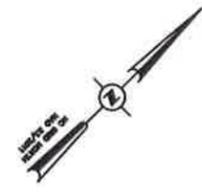
SHEET NO. 3 OF 8

10-YEAR STORM EVENT

FROM	TO	n	SYSTEM RUN	INLET AREA (ACRES)	0.013 A TOTAL AREA (ACRES)	INLET TIME (MIN)	PIPE TIME (MIN)	IC TIME OF CONC (MIN)	INTENSITY (IN/HR)	Cc RUNOFF COEFF	DSCHRG (CFS)	SLOPE (FT/FT)	D _{theo} (INCHES)	SIZE (INCHES)	VMI (FT/SEC)	LENGTH PIPE (FT)	SEGMENT TIME (MIN)	UPPER INVERT	LOWER INVERT	FROM	TO	TOP
DW3	CB#1	1		0.25	0.55	5	0.03	5.00	8.56	0.8	3.1	0.0333	8.0	18	10.8	18.0	0.03	313.00	312.40	DW3	CB#2	317.0
CB#4	CB#1	1		0.23	0.23	5	0.08	5.00	8.56	0.8	1.3	0.0050	8.3	18	4.2	29.0	0.08	312.50	312.40	CB#4	CB#2	316.8
CB#5	CB#3	2		0.28	1.08	5	0.11	5.08	8.54	0.8	8.8	0.0088	15.7	18	4.8	31.0	0.11	312.40	312.20	CB#5	CB#2	316.8
CB#6	RC#7	3		0.18	1.25	5	0.11	5.18	8.52	0.8	8.8	0.0442	11.8	18	11.1	71.0	0.11	312.20	309.56	CB#6	RC#7	

Bioretention Area Sizing Chart

BR#	Development	Area (SF)	C	Cx Area	Size (SF)	Dimensions
1	Total	24018	0.72	17365	868	17' x 60'
	Pavement	17478	0.90			
	Landscape	6540	0.25			



TOWN OF CLAYTON
P# 188918-83-0247
D.B. 2285-17
Z: I-1

BRYAN E. BOLVIN
P# 188918-83-8581
D.B. 4011-207
Z: R-8

JEFFREY A. CANTRELL
P# 188918-83-8508
D.B. 1985-349
Z: R-8

HOCUTT BAPTIST CHURCH
P# 188918-83-8608
D.B. 4051-524
Z: R-8

HOCUTT BAPTIST CHURCH
P# 188918-83-0844
D.B. 4051-524
Z: R-8

RODNEY LYNCH
P# 188918-83-1821
D.B. 4389-18
Z: R-8 (VACANT)

RAYMOND E. LEE
JEAN B. LEE
P# 188918-83-1928
D.B. 1480-524
Z: B-2

NEW TRINITY MISSIONARY
BAPTIST CHURCH
P# 188918-83-2835
D.B. 874-789
Z: B-2

CLEO L. BARBOUR LIFE EST
& HOCUTT BAPTIST
CHURCH
P# 188918-83-2835
Z: R-8 (PENDING O&M)

HOCUTT BAPTIST
CHURCH
P# 188918-83-2442
Z: R-8 (PENDING O&M)

HOCUTT BAPTIST
CHURCH
P# 188918-83-1567
D.B. 4036-891
Z: R-8 (PENDING O&M)

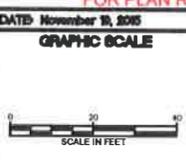
NEW TRINITY MISSIONARY
BAPTIST CHURCH
P# 188918-83-2783
D.B. 874-789
Z: B-2

GREEN ENGINEERING
WATER, WASTEWATER, SURVEYING, PLANNING, PROJECT MANAGEMENT
NORTH CAROLINA FIRM LICENSE: P-0115
303 GOLDSBORO STREET EAST, P.O. BOX 609 WILSON, N.C. 27893
TEL (252) 237-5365 FAX (252) 243-7489 OFFICE@GREENENG.COM

HOCUTT BAPTIST CHURCH
WESTERN PARKING
CLAYTON, JOHNSTON COUNTY
NORTH CAROLINA

GRADING PLAN

REVISION	DATE	BY	DATE
			November 9, 2015



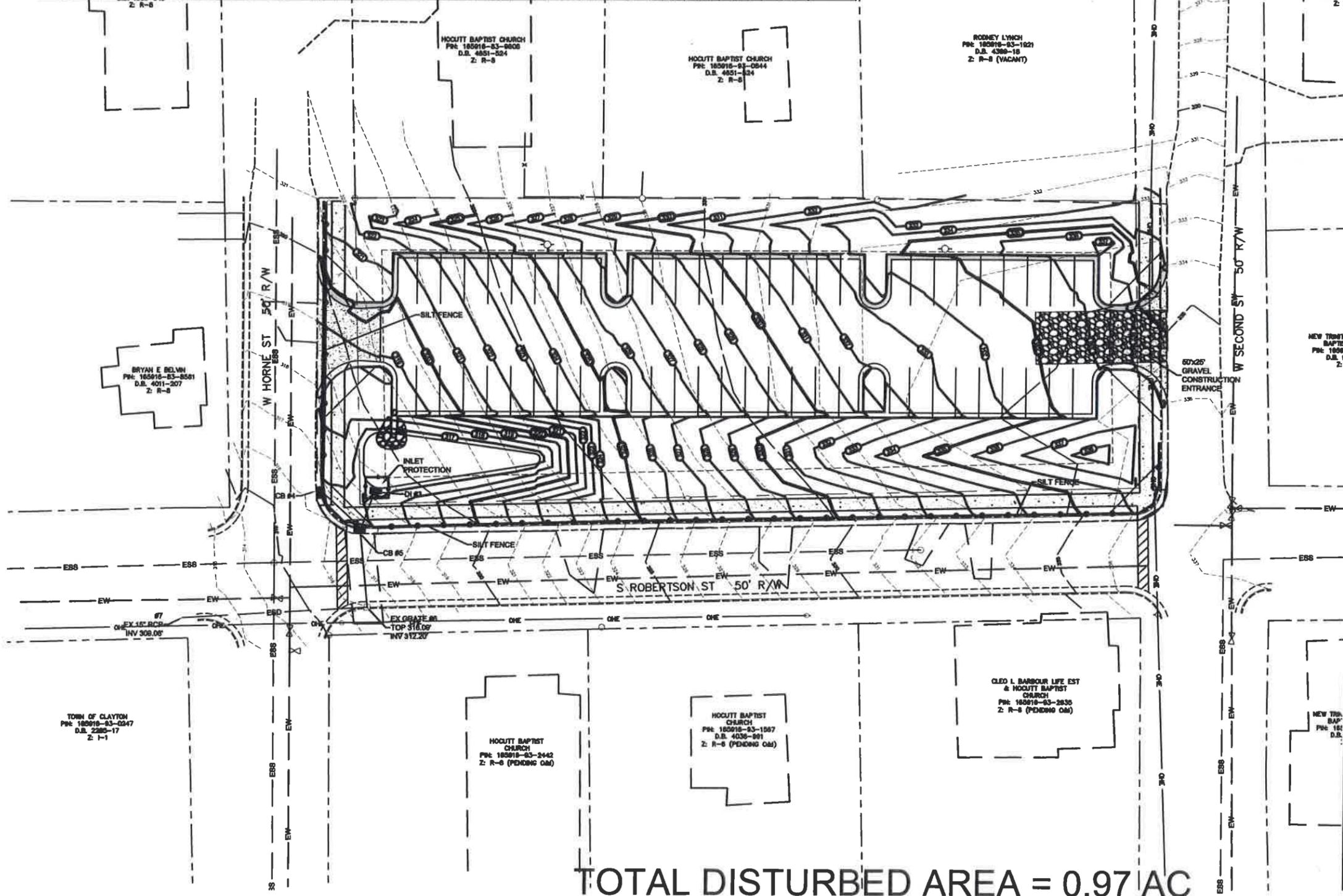
FOR PLAN REVIEW ONLY

CLIENT CODE: HOCUTT
JOB NUMBER: 15072
FIELD BOOK:
CADFILE:15072-BM.dwg
ASCII FILE:
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SHEET NO. 4 OF 8

10-YEAR STORM EVENT

FROM	TO	R#	SYSTEM RUN	INLET AREA (ACRES)	0.013 A TOTAL AREA (ACRES)	INLET TIME (MIN)	PIPE TIME (MIN)	Ic TIME OF CONC (MIN)	INTENSITY (IN/HR)	Cc RUNOFF COEFF	Q10 DSCHRG (CFS)	SLOPE (FT/FT)	Dtheo (INCHES)	SIZE (INCHES)	Vm (FT/SEC)	LENGTH PIPE (FT)	SEGMENT TIME (MIN)	UPPER INVERT	LOWER INVERT	FROM	TO	TOP (BOC)
CB#1	CB#2	1		0.15	0.15	5	0.13	5.00	6.96	0.8	0.8	0.0508	5.1	15	11.9	50.0	0.13	324.45	319.67	CB#1	CB#2	329.36
CB#2	CB#3	2		0.30	0.35	5	0.13	5.13	6.93	0.8	1.9	0.0460	7.2	15	11.2	50.0	0.13	315.87	315.62	CB#2	CB#3	328.37
CB#3	CB#4	3		0.30	0.55	5	0.04	5.26	6.90	0.8	3.0	0.0500	7.4	15	16.2	36.0	0.04	315.82	312.40	CB#3	CB#4	321.32
CB#4	CB#5	1		0.23	0.23	5	0.09	5.00	6.96	0.8	1.3	0.0500	9.3	15	3.7	20.0	0.09	312.50	312.40	CB#4	CB#5	316.8
CB#5	CB#6	4		0.28	1.06	5	0.11	5.35	6.88	0.8	5.8	0.0565	15.7	18	4.8	31.0	0.11	312.40	312.20	CB#5	CB#6	316.59
CB#6	RCP#7	5		0.19	1.25	5	0.11	5.46	6.85	0.8	6.9	0.0442	11.6	15	11.1	71.0	0.11	312.20	309.06	CB#6	RCP#7	



TOTAL DISTURBED AREA = 0.97 AC

RAYMOND JEAN B.
P# 180916-03-1480
D.B. 1480
Z: B-

- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION BY CONTACTING NORTH CAROLINA 811 (800811)
- LOCATE PROPERTY LINES, LIMITS OF DISTURBANCE, AND STOCKPILE LOCATIONS.
- INSTALL CONSTRUCTION ENTRANCES PER PLAN.
- INSTALL SILT FENCING AND SILT FENCE OUTLETS AS SHOWN ON PLANS. VEGETATION CAN BE REMOVED TO INSTALL SILT FENCE AS NEEDED.
- UPON PERMETER APPROVAL, COMMENCE TREE REMOVE AND OTHER DEMOLITION / REMOVAL ITEMS. CONTRACTOR SHALL PROPERLY DISPOSE OF MATERIAL AS APPROPRIATE.
- BEGIN GRADING AND INSTALL PIPES AS SHOWN.
- STABILIZE SLOPES AND GRADED AREAS AS SHOWN ON STABILIZATION TIMEFRAMES TABLE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES REQUIRED TO PROTECT THE EXISTING PAVEMENT FROM DAMAGE WHILE WORKING WITHIN THE PUBLIC ROAD RIGHT OF WAY. ALL PAVED AREAS WHERE EXCAVATED MATERIAL IS TO BE TEMPORARILY STORED SHALL FIRST BE COVERED WITH SCREENINGS AND ALL MATERIAL SHALL BE REMOVED FROM THE ROADWAY AT THE END OF EACH DAY. REPAIR STREET IMMEDIATELY UPON COMPLETION OF WORK IN THE STREET.
- CONTRACTOR IS RESPONSIBLE FOR CORRECTION AND REPAIRING ANY IMPROPERLY INSTALLED OR DAMAGED EROSION CONTROL DEVICE IMMEDIATELY.
- ONCE SITE WORK IS SUBSTANTIALLY COMPLETE, AND SITE HAS BEEN STABILIZED (GREATER THAN BOX GRASS GROWTH), CONTACT INSPECTORS AND REMOVE ALL TEMPORARY MEASURES.
- INSTALL PERMANENT MEASURES AND STABILIZE.

NEW TRADY BAPTIST
P# 180901
D.B. 9
Z:

NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUG. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES

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CLAYTON, JOHNSTON COUNTY
NORTH CAROLINA

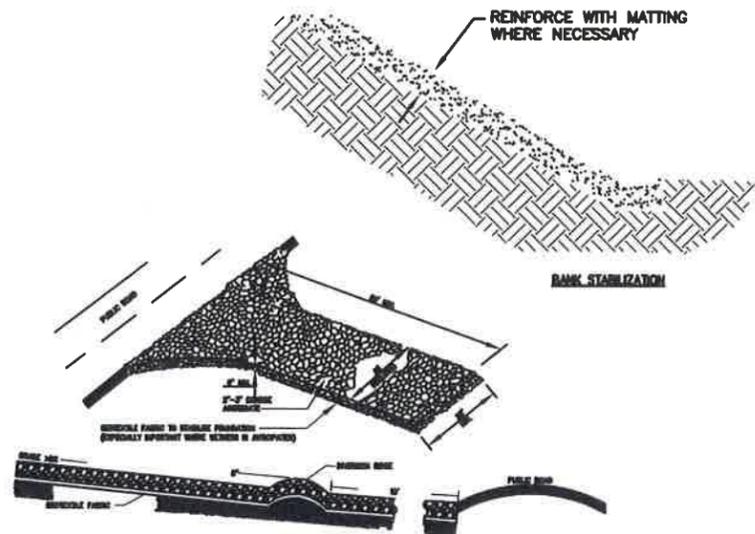
EROSION CONTROL PLAN

REVISION	DATE	BY	DATE
			November 10, 2015

GRAPHIC SCALE
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SCALE IN FEET

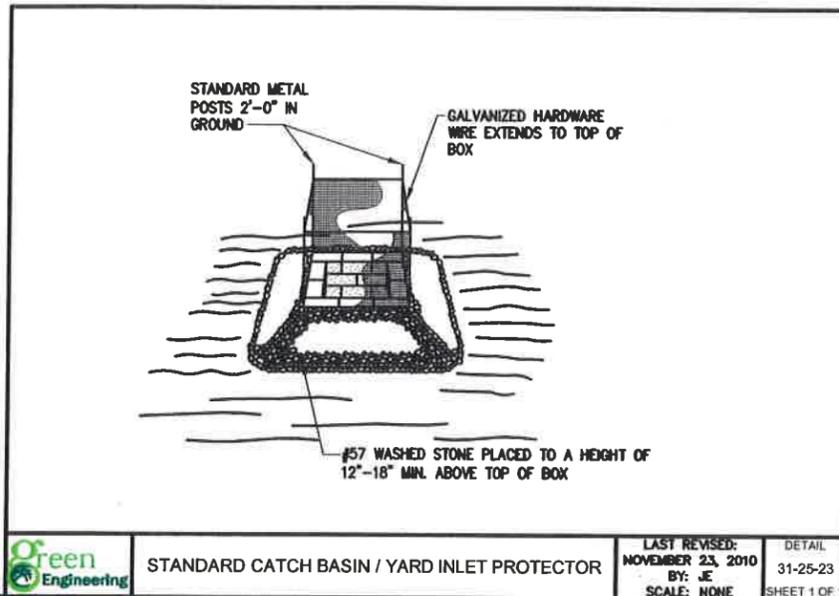
CLIENT CODE: HOCUTT
JOB NUMBER: 15072
FIELD BOOK:
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ASCII FILE:
LAST MODIFIED: 20-Nov-15
MODIFIED BY: SPH

SHEET NO. 5 OF 8



- APPLICABLE AT ALL POINTS OF BANKS & BRUSH MATS. SEE 31-25-01. PROVIDE DETAILS OF THE DEVICE AND TYPICAL DIMENSIONS BASED ON FOLLOWING:
- 1-3 MIN. COVER APPROXIMATE PER 100 POUNDS PER LINEAL FOOT
 2. BRUSH MATS SHOULD BE PLACED TO PROTECT EXPOSED AREAS TO BE PROTECTED
 3. BRUSH MATS SHOULD BE LOCATED TO PROTECT FOR EROSION PROTECTION BY ALL CONSTRUCTION ACTIVITIES
 4. MUST BE SUPPORTED BY A CONCRETE OR MASONRY WALL PERFORMING AS A BATTERY WALL OF TRAFFIC BARRIERS. PERFORM TOP SURFACING WITH GRAVEL OR ASPHALT. KEEP ROAD ON BANK. ANY SPALLS, CRACKS OR HOLES IN ROAD SHALL BE CLEANED IMMEDIATELY.

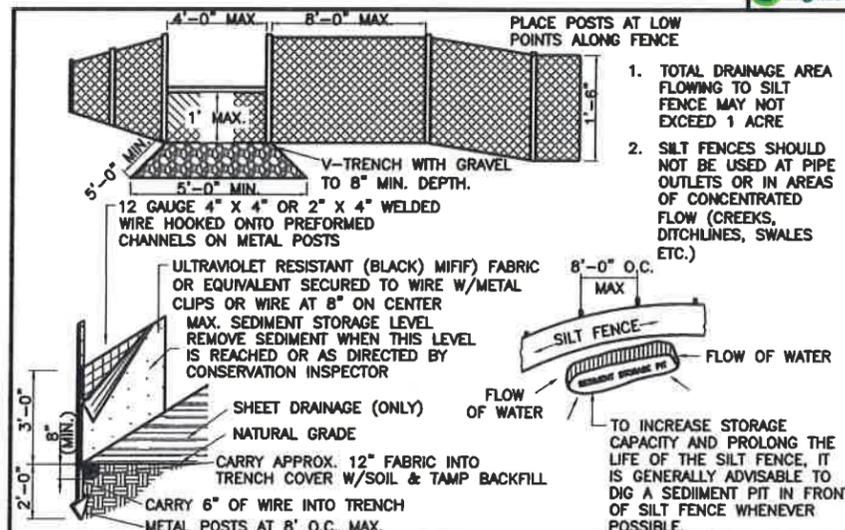
CONSTRUCTION ENTRANCE
31-25-01



STANDARD CATCH BASIN / YARD INLET PROTECTOR

LAST REVISED: NOVEMBER 23, 2010
BY: JE
SCALE: NONE

DETAIL
31-25-23
SHEET 1 OF 1



SILT FENCE DETAIL

LAST REVISED: NOVEMBER 23, 2010
BY: JE
SCALE: NONE

DETAIL
31-25-02A
SHEET 1 OF 2



SILT FENCE DETAIL

LAST REVISED: NOVEMBER 23, 2010
BY: JE
SCALE: NONE

DETAIL
31-25-02A
SHEET 2 OF 2

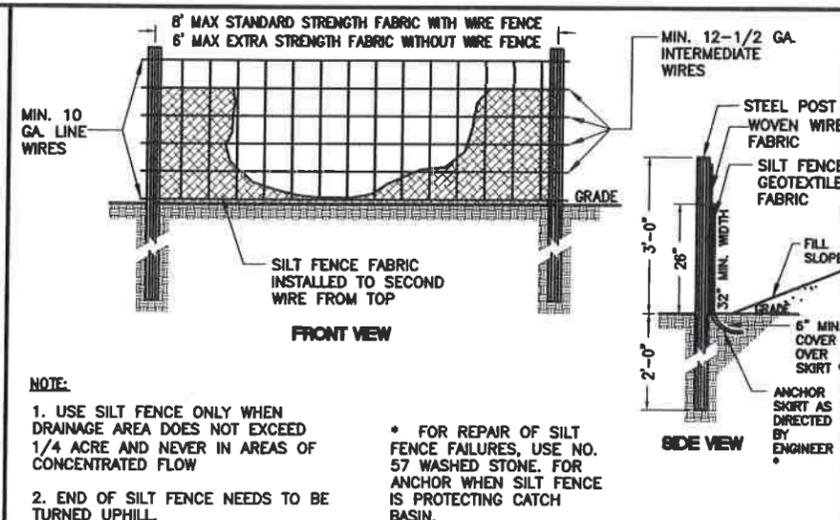


TEMPORARY SILT FENCE

LAST REVISED: NOVEMBER 23, 2010
BY: JE
SCALE: NONE

DETAIL
31-25-02
SHEET 1 OF 1

INSTALLATION:
NOTE: SEDIMENT FENCE CAPTURES SEDIMENT BY BACKING UP WATER TO ALLOW DEPOSITION. IT IS RELATIVELY INEFFECTIVE FOR FILTRATION BECAUSE IT CLOGS TOO RAPIDLY. LEH SEDIMENTATION POOL BEHIND THE FENCE IS VERY EFFECTIVE AND MAY REDUCE THE NEED FOR EXPENSIVE SEDIMENT BASINS AND TRAPS.
TO USE SEDIMENT FENCE EFFECTIVELY, PROVIDE ACCESS TO LOCATIONS WHERE SEDIMENT ACCUMULATES AND PROVIDE REINFORCED, STABILIZED OUTLETS FOR EMERGENCY OVERFLOW (SEE DETAIL).
SEDIMENT FENCE IS MOST EFFECTIVE WHEN USED IN CONJUNCTION WITH OTHER PRACTICES SUCH AS PERIMETER DIKES OR DIVERSIONS.
LOCATION:
LOCATE THE FENCE AT LEAST 10 FT. FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR CLEANOUT (SEE DETAIL).
THE FENCE LINE SHOULD BE NEARLY LEVEL THROUGH MOST OF ITS LENGTH TO IMPOUND A BROAD, TEMPORARY POOL. STABILIZED OUTLETS ARE REQUIRED FOR BYPASS FLOW, UNLESS FENCE IS DESIGNED TO RETAIN ALL RUNOFF FROM THE 10-YR STORM (SEE DETAIL).
THE FENCE LINE MAY RUN SLIGHTLY OFF LEVEL (GRADE LESS THAN 1%) IF IT TERMINATES IN A LEVEL SECTION WITH A STABILIZED OUTLET, DIVERSION, BASIN, OR SEDIMENT TRAP. THERE MUST BE NO GULLYING ALONG THE FENCE OR AT THE ENDS. SEDIMENT FENCE SHOULD NOT BE USED AS A DIVERSION.
CONSTRUCTION:
DIG A TRENCH APPROXIMATELY 8 INCHES DEEP AND 4 INCHES WIDE, OR A V-TRENCH, IN THE LINE OF THE FENCE AS SHOWN IN DETAIL.
DRIVE POSTS SECURELY, AT LEAST 18 INCHES INTO THE GROUND, ON THE DOWNSLOPE SIDE OF THE TRENCH. SPACE POSTS A MAXIMUM OF 8 FT. IF FENCE IS SUPPORTED BY WIRE, 8 FT. IF EXTRA-STRENGTH FABRIC IS USED WITHOUT SUPPORT WIRE. ADJUST SPACING TO PLACE POSTS AT LOW POINTS ALONG THE FENCE LINE.
FASTEN SUPPORT WIRE FENCE TO UPSLOPE SIDE OF POSTS, EXTENDING 6 INCHES INTO THE TRENCH AS SHOWN IN DETAIL.
ATTACH CONTINUOUS LENGTH OF FABRIC TO UPSLOPE SIDE OF POSTS. AVOID JOINTS, PARTICULARLY AT LOW POINTS IN THE FENCE LINE. WHERE JOINTS ARE NECESSARY, FASTEN FABRIC SECURELY TO SUPPORT POSTS AND OVERLAP TO THE NEXT POST.



NOTE:

1. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW
2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.

* FOR REPAIR OF SILT FENCE FAILURES, USE NO. 57 WASHED STONE. FOR ANCHOR WHEN SILT FENCE IS PROTECTING CATCH BASIN.

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HOCUTT BAPTIST CHURCH
WESTERN PARKING

CLAYTON, JOHNSTON COUNTY

NORTH CAROLINA

DETAILS

REVISION	DATE	BY	DATE



CLIENT CODE: HOCUTT
JOB NUMBER: 15072
FIELD BOOK:
CADFILE:15072-BM.dwg
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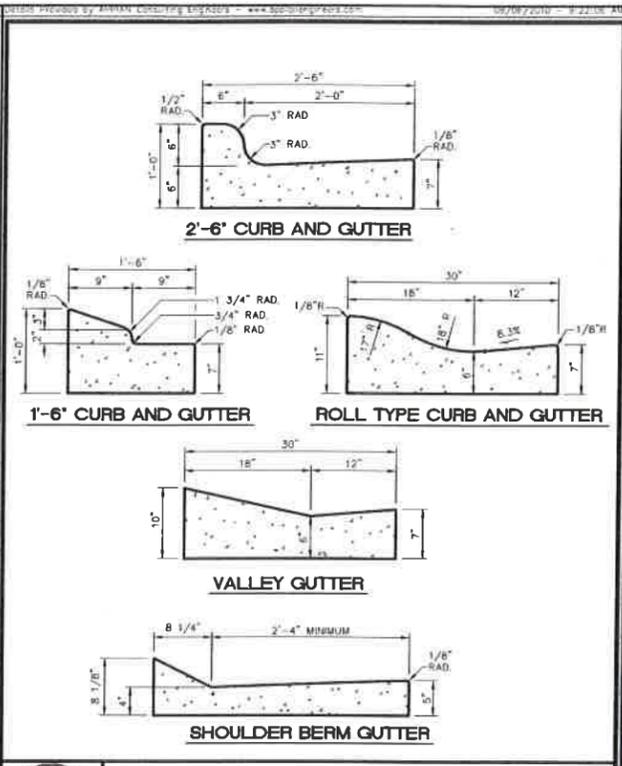
SHEET NO. 6 OF 8

Fall Permanent Seeding	August 15 - November 1
Lime	2 tons/ac
5-10-10 Fertilizer	1000 lbs/ac
0-20-0	500 lbs/ac
Unscarified Service Lespedeza	50 lbs/ac
Ky-31 Fescue	30 lbs/ac
Rye Grain	25 lbs/ac
★Straw Mulch	2 tons/ac
Fall Permanent Seeding - Centipede:	September 1 - February 28
Lime	2 tons/ac
Fertilizer (low nitrogen approved for Centipede)	(Appropriate fertilizer approved for centipede application)
Rye Grain	90 lbs/ac
Centipede Seed	15 lbs/ac (oversseeded in spring)
★Straw Mulch	2 tons/ac
Winter Temporary Cover	November 1 - February 28
Lime	2 tons/ac
10-10-10 Fertilizer	700 lbs/ac
Oats	50 lbs/ac
Rye Grain	20 lbs/ac
★Straw Mulch	2 tons/ac
Spring Permanent Seeding	March 1 - April 30
Lime	2 tons/ac
5-10-10 Fertilizer	1000 lbs/ac
0-20-0	500 lbs/ac
Scarified Service Lespedeza	50 lbs/ac
Ky-31 Fescue	30 lbs/ac
Browntop Millet	20 lbs/ac
★Straw Mulch	2 tons/ac
Spring Permanent Seeding - Centipede:	April 1 - July 15
Lime	2 tons/ac
Fertilizer (low nitrogen approved for Centipede)	(Appropriate fertilizer approved for centipede application)
Centipede Seed	90 lbs/ac
★Straw Mulch	2 tons/ac
Late Spring Permanent Seeding	March 15 - June 30
Lime	2 tons/ac
10-10-10 Fertilizer	1000 lbs/ac
0-20-0	500 lbs/ac
Scarified Service Lespedeza	40 lbs/ac
Common Bermuda Grass (hulled)	8 lbs/ac
★Straw Mulch	2 tons/ac
Summer Temporary Cover	June 30 - August 3
Lime	2 tons/ac
10-10-10 Fertilizer	700 lbs/ac
Browntop Millet	40 lbs/ac
★Straw Mulch	2 tons/ac

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

SEEDING SPECIFICATIONS

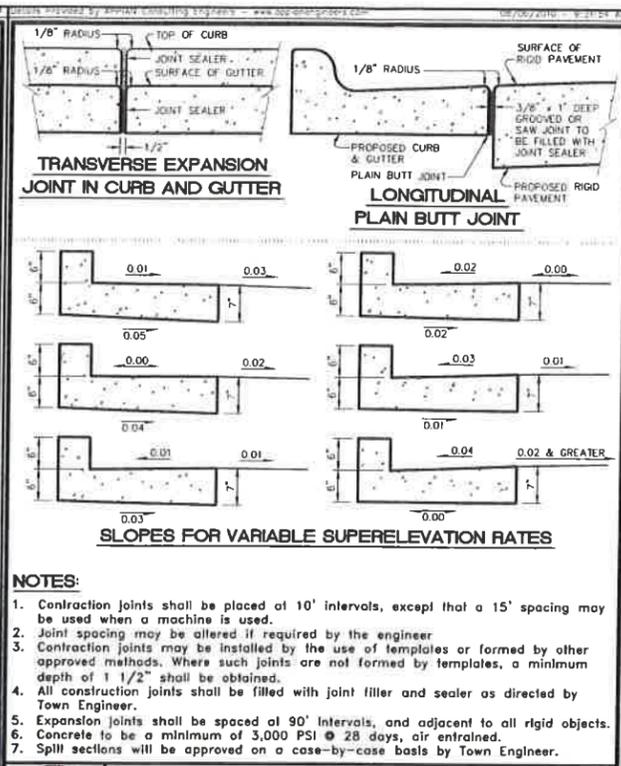
SCALE: Not To Scale
DETAIL: 405.01
REVISION DATE: July, 2010
SHEET: 1 of 1



TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

CONCRETE CURB AND GUTTER SECTIONS

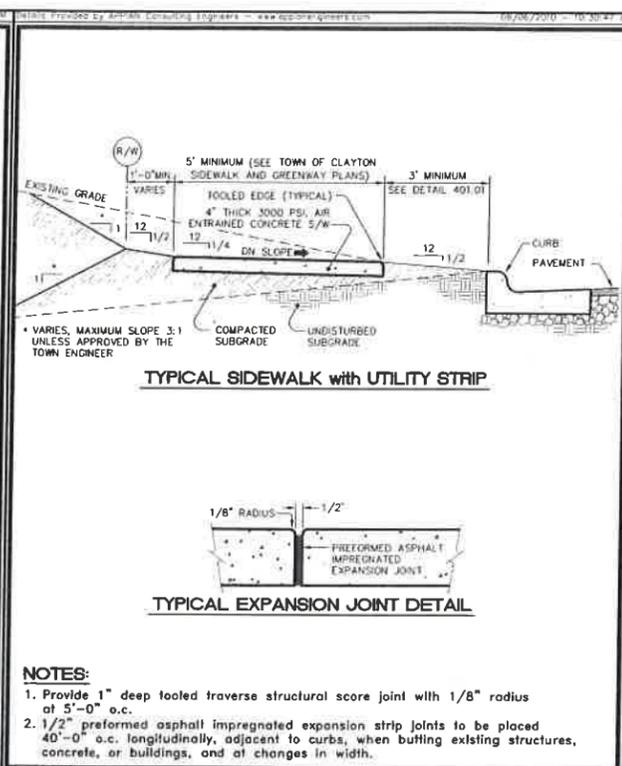
SCALE: Not To Scale
DETAIL: 402.01
REVISION DATE: July, 2010
SHEET: 1 of 2



TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

CONCRETE CURB AND GUTTER SECTIONS

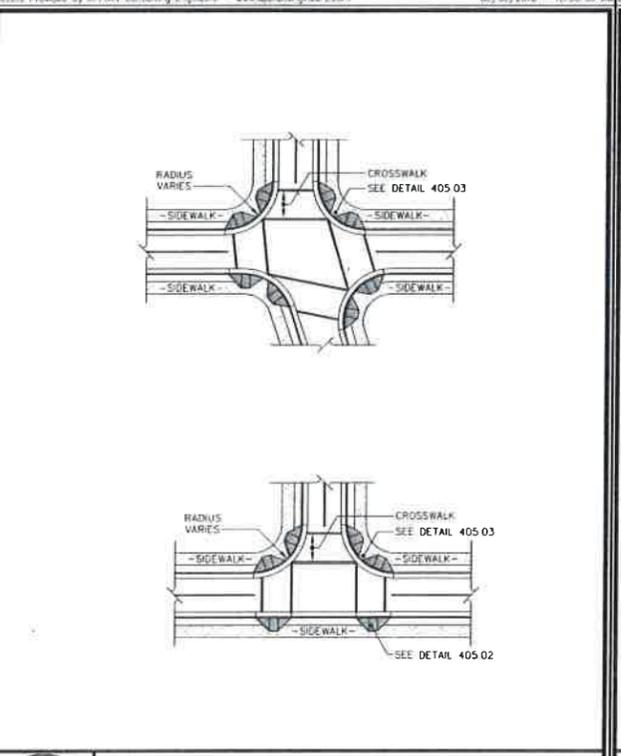
SCALE: Not To Scale
DETAIL: 402.01
REVISION DATE: July, 2010
SHEET: 2 of 2



TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

TYPICAL CONCRETE SIDEWALK AND EXPANSION JOINT DETAIL

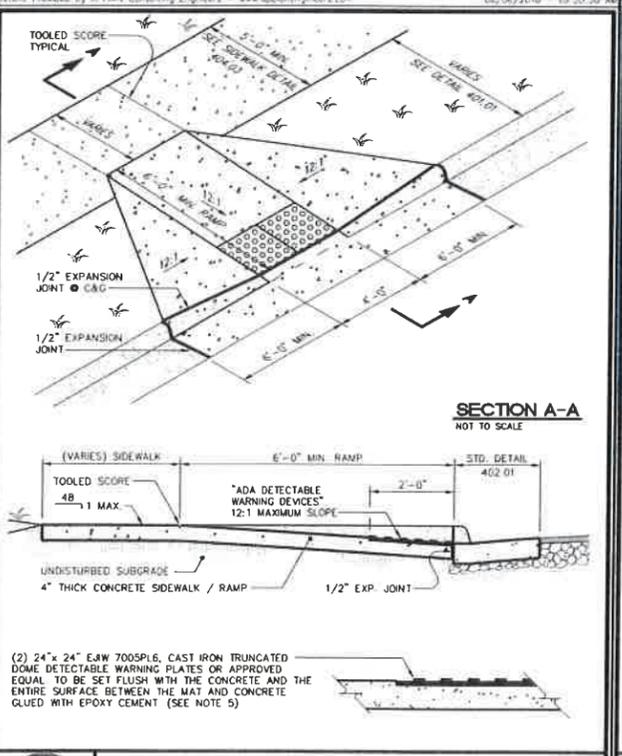
SCALE: Not To Scale
DETAIL: 404.03
REVISION DATE: July, 2010
SHEET: 1 of 1



TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

TYPICAL WHEELCHAIR RAMP SCHEMATICS

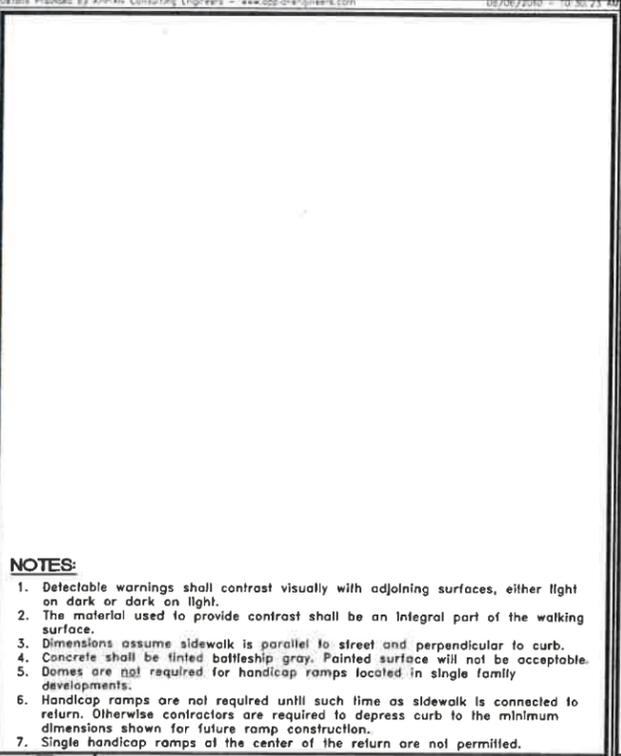
SCALE: Not To Scale
DETAIL: 405.01
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SHEET: 1 of 1



TOWN of CLAYTON
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TYPICAL WHEELCHAIR RAMP - TYPE I

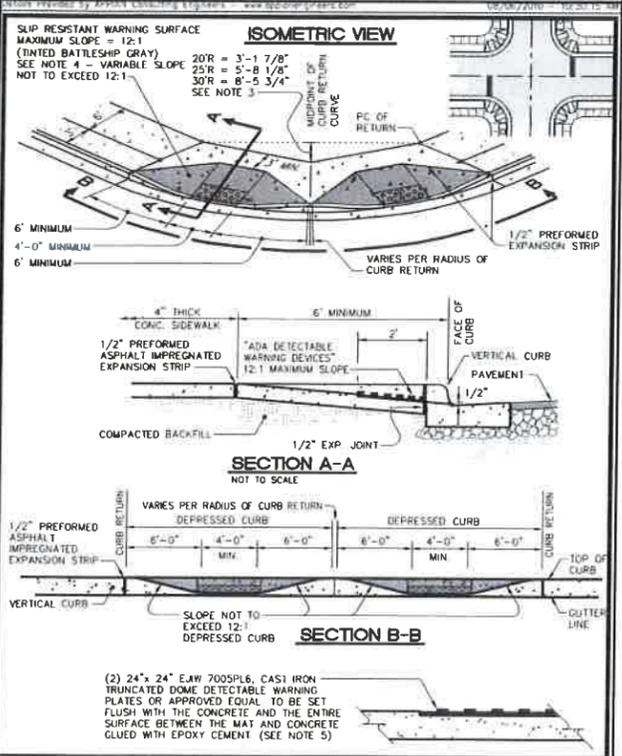
SCALE: Not To Scale
DETAIL: 403.01
REVISION DATE: July, 2010
SHEET: 1 of 2



TOWN of CLAYTON
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TYPICAL WHEELCHAIR RAMP - TYPE I

SCALE: Not To Scale
DETAIL: 403.02
REVISION DATE: July, 2010
SHEET: 2 of 2



TOWN of CLAYTON
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TYPICAL WHEELCHAIR RAMP - TYPE II

SCALE: Not To Scale
DETAIL: 403.03
REVISION DATE: July, 2010
SHEET: 1 of 1

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			November 19, 2015

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**HOCUTT BAPTIST CHURCH
WESTERN PARKING**

CLAYTON, JOHNSTON COUNTY NORTH CAROLINA

DETAILS

CLIENT CODE: HOCUTT
JOB NUMBER: 15072
FIELD BOOK:
CADFILE: 15072-BM.dwg
ASCI FILE:
LAST MODIFIED: 19-Nov-15
MODIFIED BY: SPH

SHEET NO. 7 of 8

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

PART	MANUFACTURER MODEL / Cat. No.
SADDLE (BRASS OR BRONZE FOR "C" THREADS)	FORD / 202B MUELLER / BR2B SMITH BLAIR / 325-000 SERIES (OR APPROVED EQUAL)
CORP. STOP (BRASS OR BRONZE FOR "C" THREADS)	MUELLER / H-1500B SERIES FORD / F-1000D A.Y. McDONALD / 4701T (OR APPROVED EQUAL)

NOTES:

- If 2 taps are made on each side of the main there shall be a minimum of 24" horizontal separation. Multiple taps on the same side shall have a minimum 24" horizontal separation and staggered a minimum of 1" vertically to prevent damage to the main.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

STANDARD WATER TAP DETAIL (3/4" AND 1" TAPS)

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- Contractor to place meter box in non-traffic area only.
- Meter must be level across meter connections.
- Lock setter with highfield security prod. part#93210142 & 93280148 after waterline testing is completed.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

3/4" & 1" WATER METER SERVICE DETAIL

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: JAN, 2015

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- The full length of the service trench shall be compacted in 6" layers with mechanical tamp.
- Solvent cement for pvc pipe and fittings to be ASTM D-2564.
- PVC wye, bend, lateral, & clean-out assembly must be bedded in #57 stone. Bedding and handling of service pipe must comply with Class B bedding (See bedding detail for gravity mains.)
- 6 inch service connections to manhole only, using core and a rubber boot.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

TYPICAL PVC SEWER LATERAL CLEANOUT WITH IN-LINE WYE

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- Existing mains only. - New construction must use In-Line Wye.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- Use either concrete building brick - ASTM C55, grade N, type 1 or clay brick - ASTM C32, grade MS.
- Mortar to be type M.
- Concrete pipe to be class III.
- Precast boxes to conform to latest ASTM C-913.
- Precast boxes concrete strength to be a minimum 4,000 PSI at 28 days.
- See detail 634.02 for miscellaneous notes.
- Top of precast box to be field adjusted using methods outlined in specifications.
- This detail is a representation of the minimum standards for town of Clayton combination curb opening inlet & catch basin. Refer to NCDOT Std. Details 840.00, 840.01, 840.02, 840.03, 840.45, & 840.46 for additional details and requirements.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

TYPICAL CATCH BASIN AND CURB INLET WITH HOOD

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- All pavement shall be repaired within the same week it is cut.
- See detail 511.01 for location of metallic and non-metallic tape over nonferrous pipelines.

TOWN of CLAYTON
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PAVED SURFACE REPAIR

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

NOTES:

- Elevation of existing ground water table must be shown on plans at the time of submittal for approval.
- Note that in any discrepancy between the NCDNR and Town of Clayton requirements, the more stringent of the requirements apply.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

BIORETENTION AT PARKING PERIMETER - WITH CURB

SCALE: Not To Scale
SHEET # 1 of 1
REVISION DATE: July, 2010

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com

DEVELOPMENT	AREA (SQ. FT.)	"C" FACTOR	C x AREA
PAVEMENT	23,800	0.90	21,400
GRASS	10,100	0.25	2,500
TOTALS	33,000		23,900

BIORETENTION AREA SIZE

- WITH SAND BED (5% SUM OF C x AREA) = .05 x 23,900 = 1,195 OR SAY 1,200 SQ. FT.
- WITHOUT SAND BED (7% SUM OF C x AREA) = .07 x 23,900 = 1,673 OR SAY 1,700 SQ. FT.

NOTES:

- Note that in any discrepancy between the NCDNR and Town of Clayton requirements, the more stringent of the requirements apply.

TOWN of CLAYTON
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

SIZING OF A BIORETENTION AREA

SCALE: Not To Scale
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REVISION DATE: July, 2010

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WESTERN PARKING

CLAYTON, JOHNSTON COUNTY
NORTH CAROLINA

DETAILS

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REVISION	DATE	BY	DATE: November 9, 2015

GRAPHIC SCALE

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SHEET NO. 8 OF 8

