

AGENDA
CLAYTON PLANNING BOARD MEETING

Monday, February 23, 2015

6:00 PM

TOWN COUNCIL CHAMBERS

111 E. SECOND STREET

For Information: (919) 553-5002

- I. CALL TO ORDER**
- II. ADJUSTMENTS TO THE AGENDA**
- III. ~~APPROVAL OF MINUTES FROM JANUARY 26, 2015 MEETING~~ – POSTPONED TO MARCH 23, 2015 MEETING**
- IV. REPORTS AND COMMENTS**
- V. OLD BUSINESS**

A. PDD 2014-127 Steeplechase Planned Development – Rezoning to PD-MU

This request is to rezone approximately 631 acres to PD-MU (Planned Development – Mixed Use). Current zoning districts include R-10 (Residential – 10), R-8 (Residential-8), R-E (Residential – Estate), and B-2 (Neighborhood Business). The property is located west of N. O’Neil St and Covered Bridge, east of City Road, and north of Sam’s Branch creek. Associated with PSD 2014-128.

Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.

B. PSD 2014-128 Steeplechase Planned Development: Master Plan / Preliminary Subdivision Plan (REVISED)

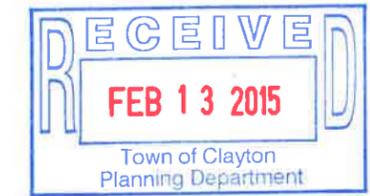
Request for Master Plan / Preliminary Subdivision Plat approval for a 631 acre, mixed use Planned Development to include a maximum of 2,500 residential units and a maximum of 25,000 square feet of commercial development. Associated with PDD 2014-127.

Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.

VI. NEW BUSINESS

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

VIII. ADJOURN



STEEPLECHASE Planned Development / Master Plan Document



Prepared for Town of Clayton
February 2015



Contents

- Neighborhood Form - Land Use Summary 1
- Public Realm - Vehicular and Pedestrian Plan 2
- Recreation and Open Space 3
- Recreation and Open Space 4
- Detached Homes - Single Family 6
- Attached Homes - Townhomes & Single Family 7
- Multi-Family - Condo / Apartments 8
- Amenity and Club 9
- Commercial Area 10
- Utilities and Stormwater Management 11
- Architectural Review Committee 12
- Phasing 12

Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

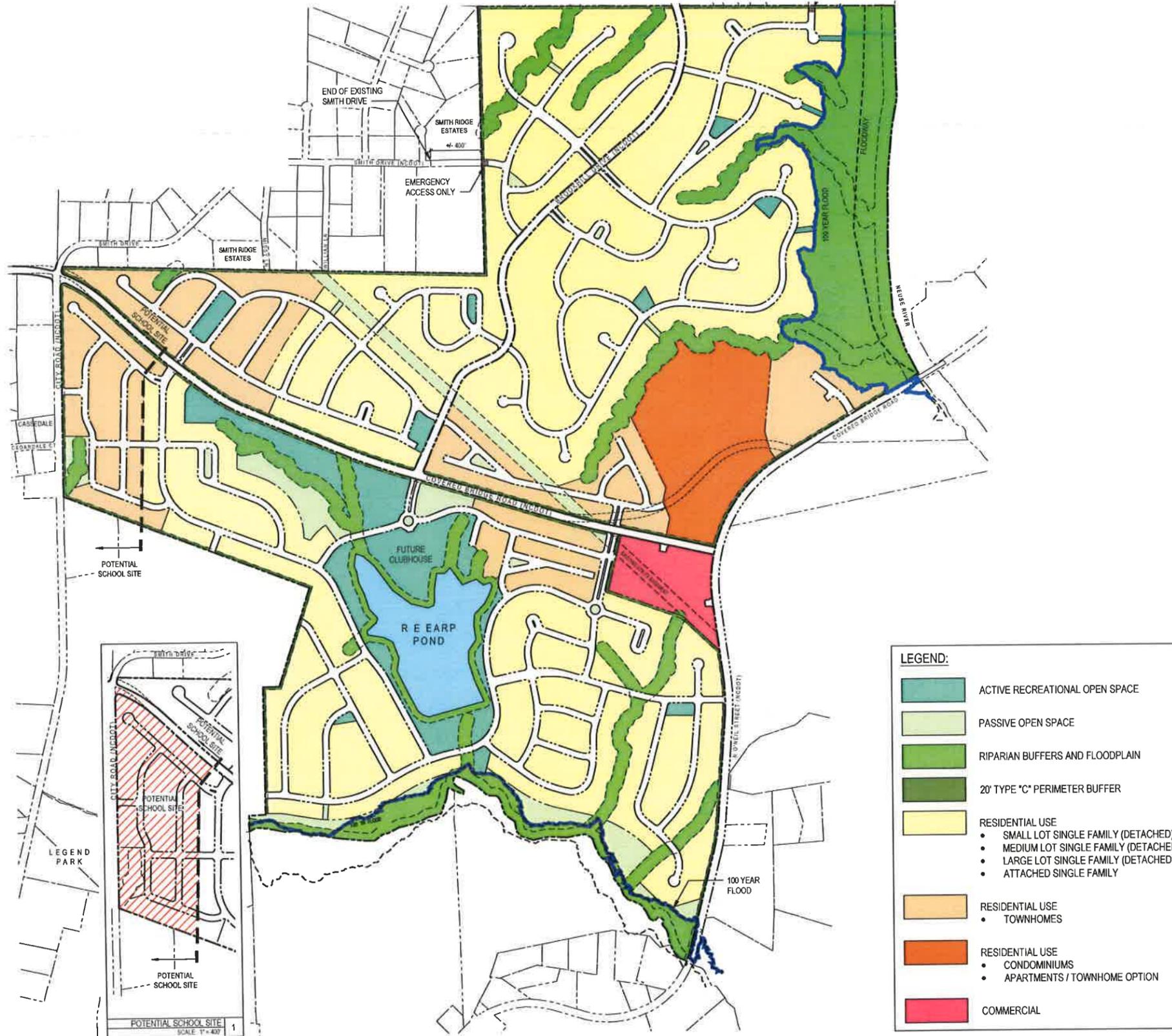
LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

| USE | ACRES | % LAND AREA |
|---|---------------|-------------|
| RCA's (Riparian Buffers, Flood Plain, Pond) | +/- 111.19 | +/- 17.62% |
| Recreation Open Space | +/- 65.08 | +/- 10.31% |
| Residential uses | +/- 444.88 | +/- 70.50% |
| Neighborhood retail | +/- 9.91 | +/- 1.57% |
| Total | 631.06 | 100% |

| SINGLE FAMILY RESIDENTIAL MINIMUM % | LOT WIDTH | % MINIMUM OF UNITS |
|-------------------------------------|-----------------|--------------------|
| Small Lot Single Family | 40' and 50' | 10% |
| Medium Lot Single Family | 50' and 60' | 10% |
| Large Lot Single Family | 60' and greater | 10% |

*Does not include Townhomes, Condos or Apartments



Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

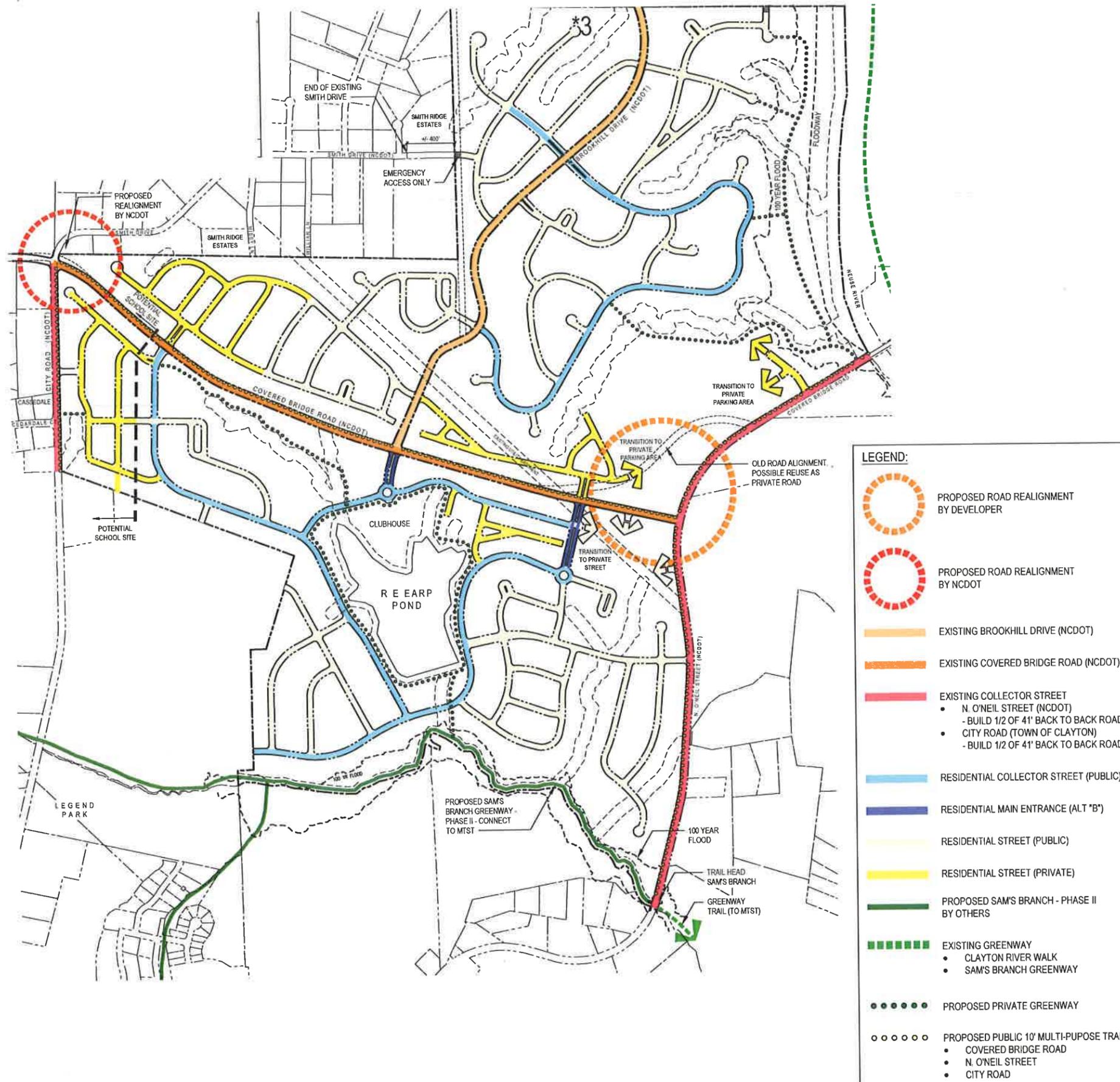
STREETS

The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets provides options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 8). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

SIDEWALKS AND STREET YARDS

Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.



Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCA's). RCA's are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCA's is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

REQUIRED RECREATION & OPEN SPACE

519.87 AC x 12.5% = 64.98 AC

REQUIRED ACTIVE RECREATION SPACE

64.98 ac x 25% = 16.245 AC

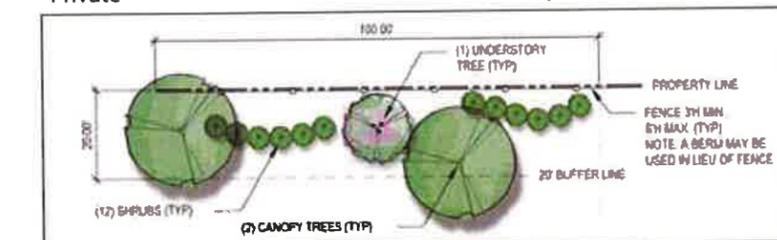
| REQUIRED CONSERVATION AREAS | ACRES | % LAND AREA (GROSS) |
|--|-------------------|---------------------|
| Flood Plain | +/- 53.78 | +/- 10.34% |
| Riparian Buffers | +/- 41.03 | +/- 7.89% |
| Pond | +/- 16.38 | +/- 3.15% |
| Total Required Conservation Areas | +/- 111.19 | +/- 21.39% |

OPEN SPACE PROVIDED

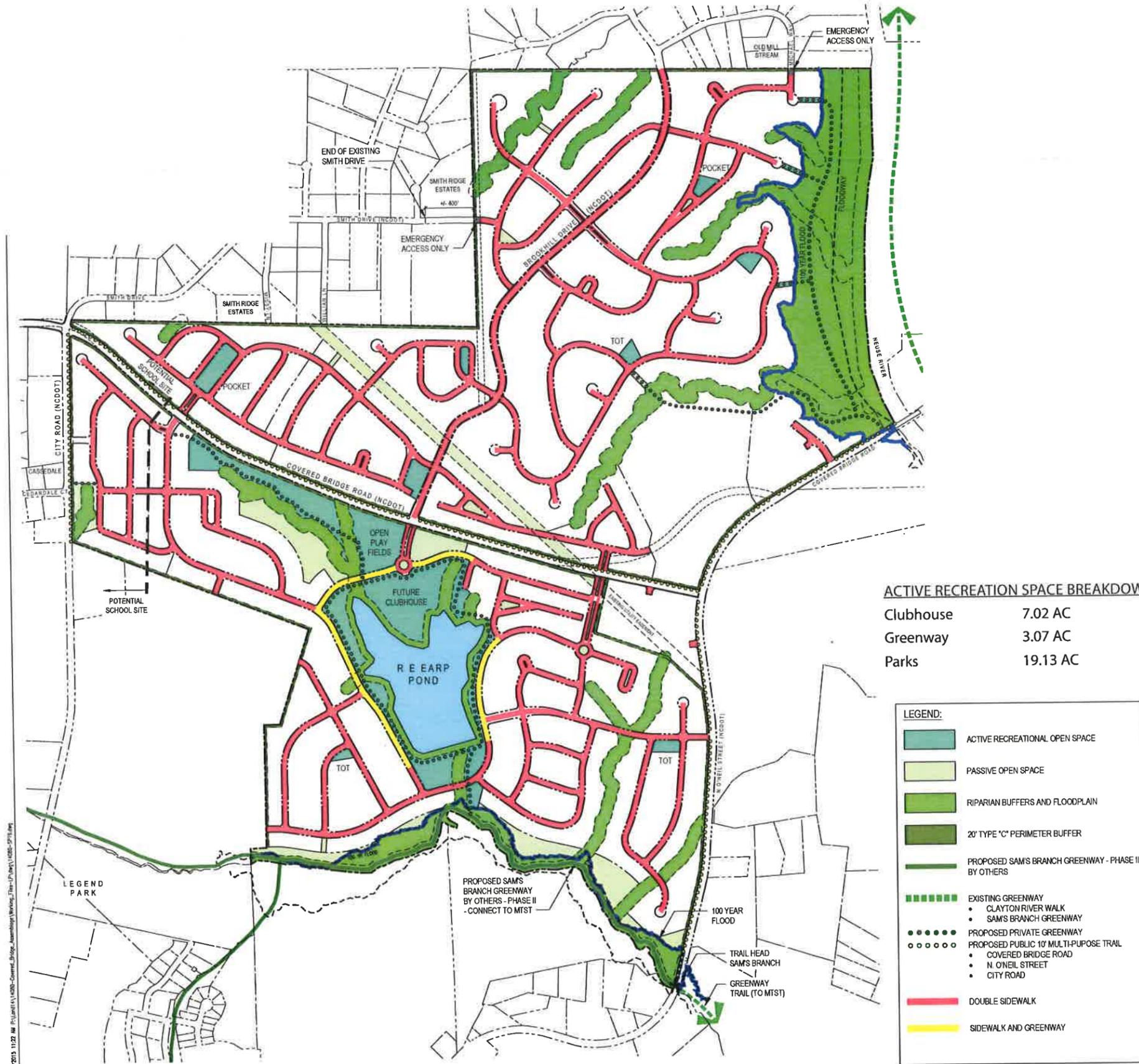
| | | |
|----------------------------------|------------------|-------------------|
| Active Recreation Space | +/- 29.22 | +/- 4.63% |
| Passive Open Space | +/- 29.83 | +/- 4.73% |
| Phase 7 | +/- 6.03 | +/- 0.96% |
| Total Open Space Provided | +/- 65.08 | +/- 10.31% |

LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

| | |
|---------|--------------------------------------|
| Public | +/- 12,700 LF (127,000 SF / 2.91 AC) |
| Private | +/- 13,400 LF (134,000 SF / 3.07 AC) |



PERIMETER LANDSCAPE BUFFER: CLASS C (typical)



Recreation and Open Space

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

ROUND-ABOUTS

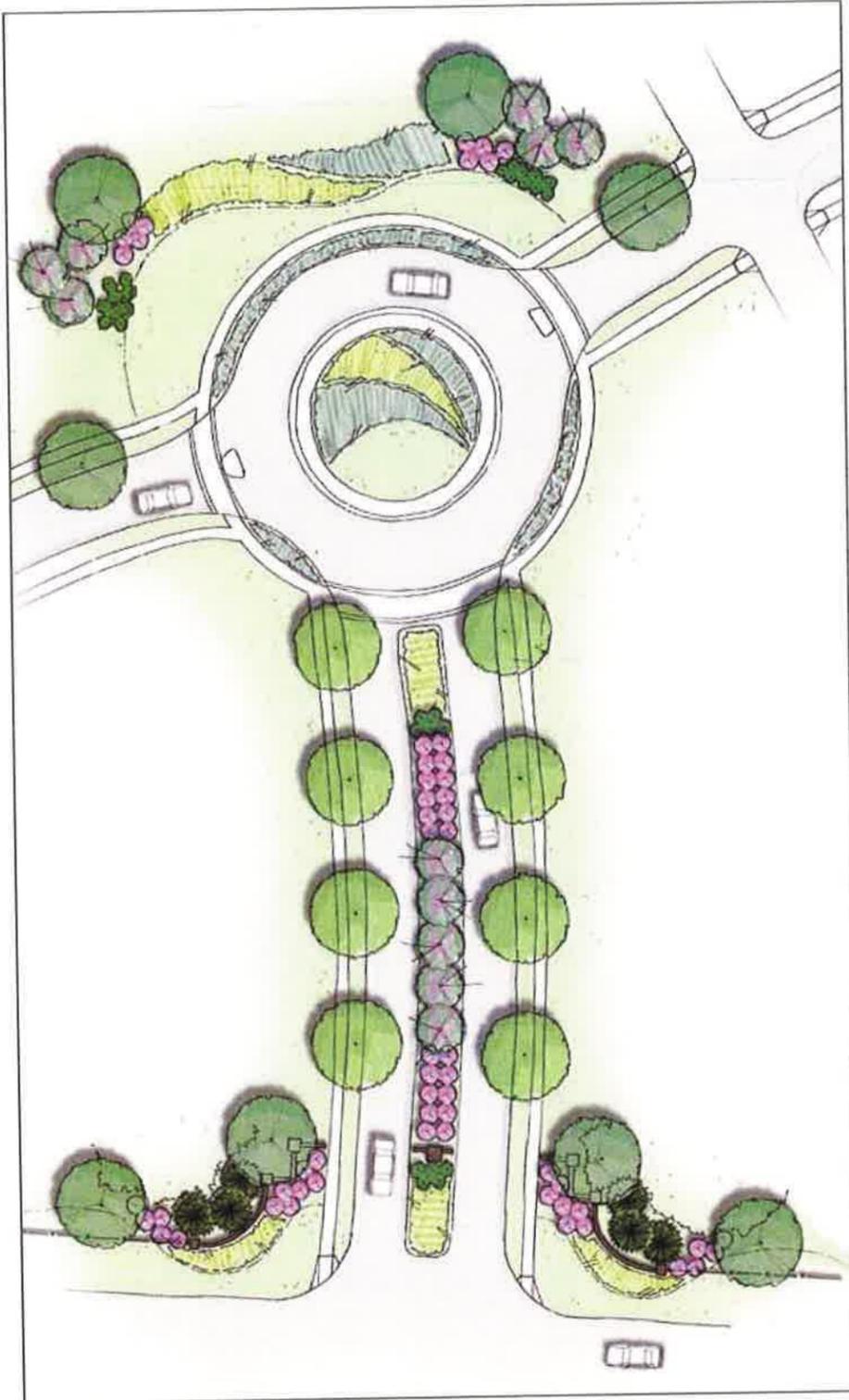
Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

GREENWAY TRAIL AND SCENIC OVERLOOK

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



ENTRY FEATURE / ROUNDABOUT (TYPICAL)

DESIGN ELEMENTS

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
 - (+/- 16) Trees
 - (+/- 75) Shrubs



GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)

DESIGN ELEMENTS

1. Trail
2. Seating



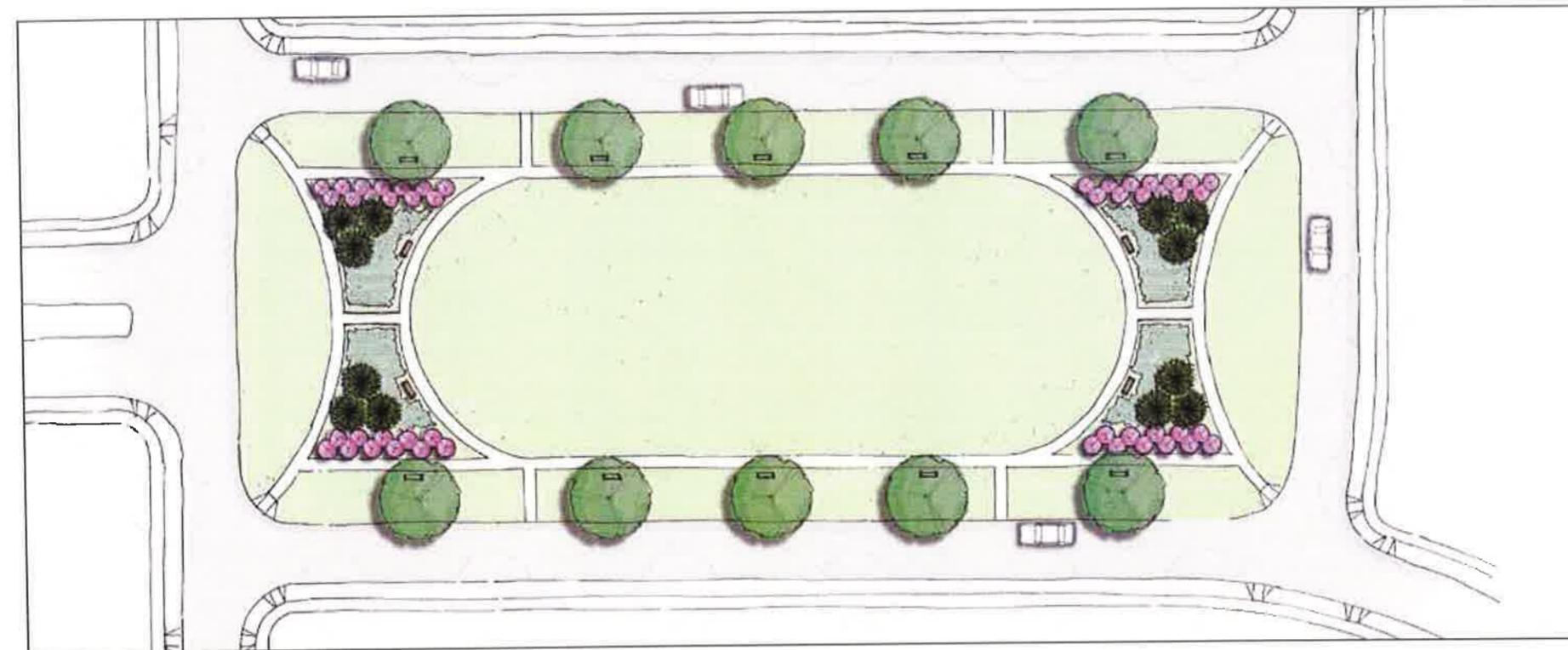
POCKET PARKS

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

"TOT LOT" (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Play Structure
3. Landscaping



POCKET PARK (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Sidewalk
3. Landscaping

Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum of 4,500 square feet. Single family homes should be clustered together throughout the community.

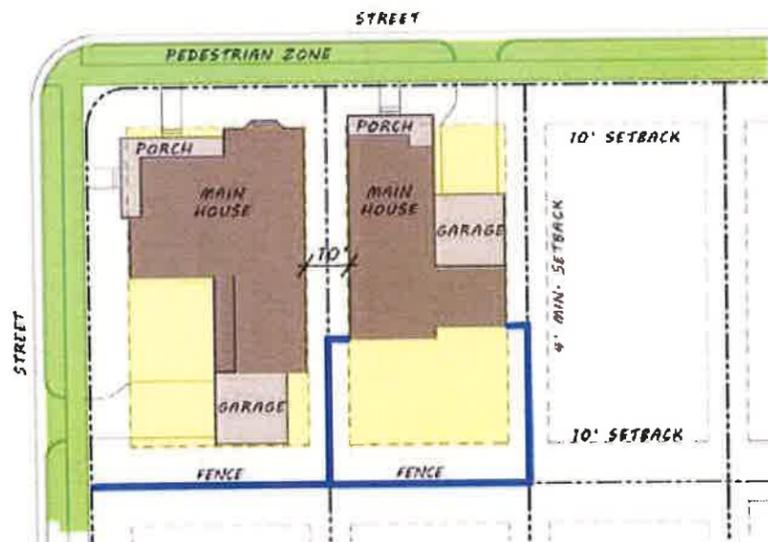
LOT STANDARDS

1. Lot standards shall be as follows:

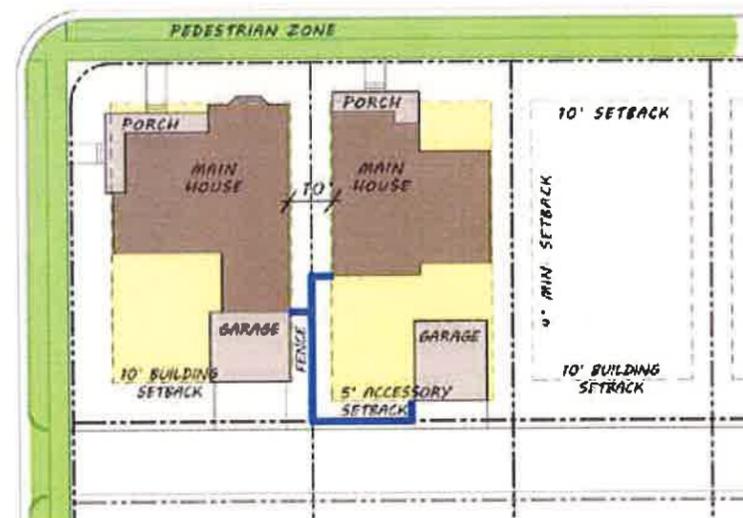
- The minimum lot size shall be 4,500 square feet and no maximum is established.
- The minimum lot width shall be 40' and no maximum is established.
- The minimum lot depth shall be 100' and no maximum is established.
- The maximum lot coverage shall be 70%
- The maximum lot impervious area shall be 75%

2. Setbacks shall be as follows:

| | |
|-------------------------------|-----|
| Front Setback - Minimum | 10' |
| Side Interior Setback | 4' |
| Side Street Setback - Minimum | 10' |
| Rear Setback - Minimum | 10' |
| Zero Lot Line Side Setback | 0' |
| Height - Maximum | 35' |
| Accessory | 5' |



Lot Type: Single Family - Street Access



Lot Type: Single Family - Alley Access

- Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
- Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.
- The buildable zone is the area defined and bounded by the setbacks on all property lines.
- A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
- Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

PERMITTED USES AND DIMENSIONAL STANDARDS

- Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and maybe alley loaded. They may also have accessory apartments and/or living spaces above.
- Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
- Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
- Fences may be located on the property line (0' setback).

- Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

- Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
- Front porches should be no less than 5' in depth and may be at grade.
- All single family detached homes will require review by the Architectural Review Committee (see page 12).



Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

LOT STANDARDS

- Minimum and maximum lot dimensions shall be as follows:
 - The minimum lot size shall be 1,000 square feet and no maximum is established.
 - The minimum lot width shall be 16' and no maximum is established.
 - The minimum lot depth shall not be established.
 - The maximum lot coverage shall be 70%
 - The maximum lot impervious area shall be 75%
- Setbacks shall be as follows:

| | |
|-------------------------------|-----|
| Front Setback - Minimum | 5' |
| Side Interior Lot Setback | 0' |
| Side Street Setback - Minimum | 5' |
| Rear Setback - Minimum | 10' |
| Zero Lot Line Side Setback | 0' |
| Height - Maximum | 45' |
| Accessory | 5' |
- Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

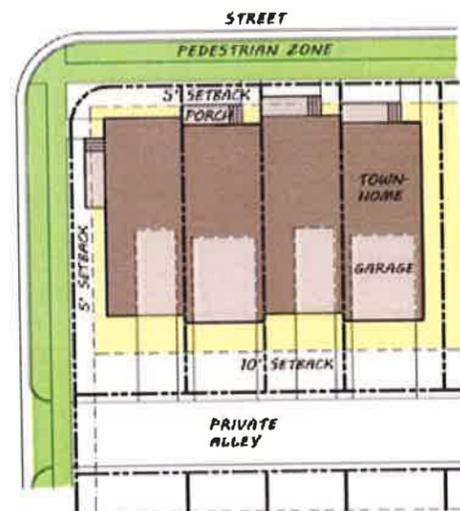
- The buildable zone is the area defined and bounded by the setbacks on all property lines.
- A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
- Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

PERMITTED USES AND DIMENSIONAL STANDARDS

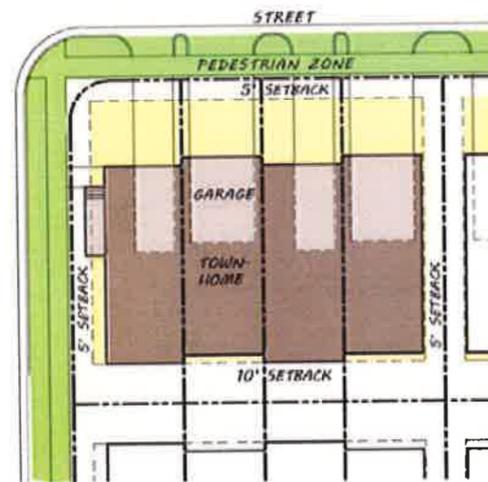
- Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and maybe be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.
- Party walls shall be fire rated in accordance with international building code.
- Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

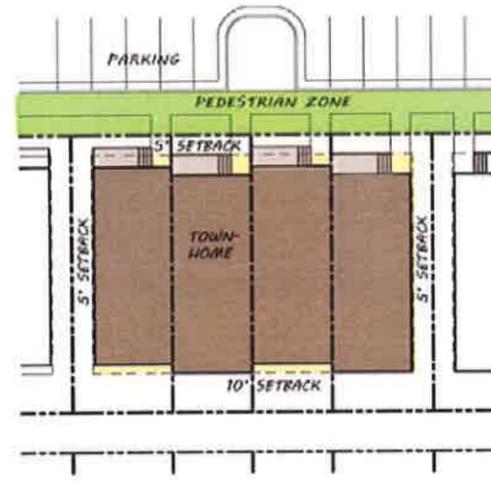
- Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee..
- All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



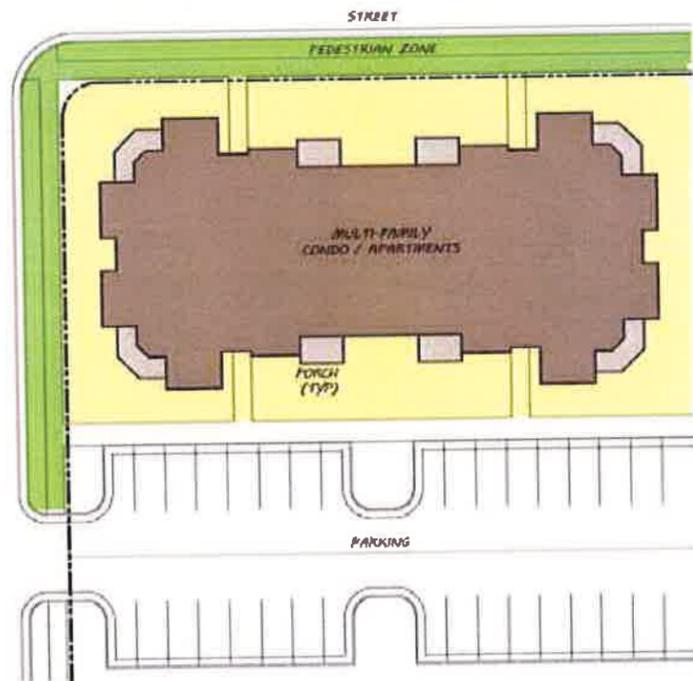
Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

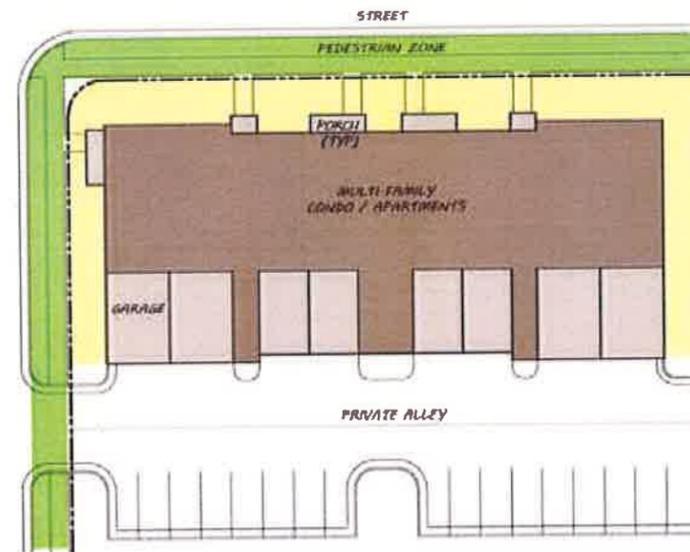
LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. There is no minimum lot size established.
 - b. There is no minimum lot width established.
 - c. There is no minimum lot depth established.
 - d. The maximum lot coverage shall be 80%
 - e. The maximum lot impervious area shall be 80%
2. Setbacks shall be as follows:

| | |
|-------------------------------|---------------------------------|
| Front Setback - Minimum | 0' |
| Side Interior Lot Setback | 5' (20' min. between buildings) |
| Side Street Setback - Minimum | 0' |
| Rear Setback - Minimum | 5' |
| Height - Maximum | 55' |



Lot Type: Multi-Family - Surface Parking



Lot Type: Multi-Family - Alley Access

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Minimum building to building separation is 20'
5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.
6. The buildable zone is the area defined and bounded by the setbacks on all property lines.
7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips
8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.
2. Party walls shall be fire rated in accordance with international building code.
3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in .

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. Balconies or porches are shall be encouraged.
3. All multi- family units will require review by the Architectural Review Committee (see page 12).



Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenway connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. There is no minimum lot size established.
- b. There is no minimum lot width established.
- c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

| | |
|-------------------------------|---------------------------------|
| Front Setback - Minimum | 15' |
| Side Interior Lot Setback | 5' (10' min. between buildings) |
| Side Street Setback - Minimum | 10' |
| Rear Setback - Minimum | 5' |
| Height - Maximum | 45' |

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Building entrances should be developed as pedestrian plazas for gatherings.

5. The buildable zone is the area defined and bounded by the setbacks on all property lines.

6. A pedestrian zone is established from the back of curb to the right of way line but may also include an area along the edge of a public space. The pedestrian zone will include minimum 5' sidewalks and planting strips along building fronts.

7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

8. Parking and service areas should be located towards the sides or rear of buildings. Where site conditions or other limiting circumstances result in a building fronting a upon a parking area, a pedestrian zone shall be provided from the back of curb to the outer edge of the sidewalk in a similar manner to that provided along a street.

9. Multi-purpose trails, outdoor seating and other spaces, i.e. docks, viewing areas, etc. maybe provided along the waterfront.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.

3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

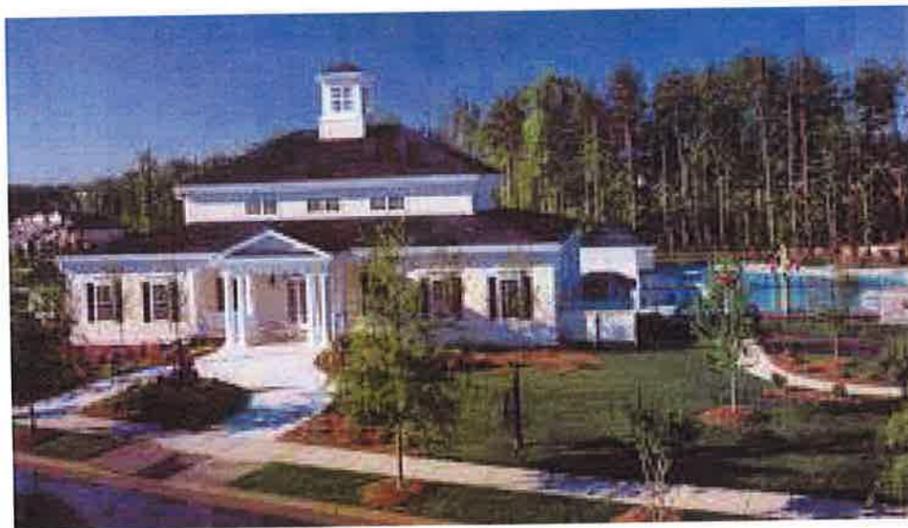
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.

5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.

2. All single community buildings will require review by the Architectural Review Committee (see page 12).



Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 6,000 square feet
 - b. The minimum lot width shall be 50'
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 75%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

| | |
|-------------------------------|-----|
| Front Setback - Minimum | 20' |
| Side Interior Lot Setback | 10' |
| Side Street Setback - Minimum | 10' |
| Rear Setback - Minimum | 20' |
| Zero Lot Line Side Setback | 0' |
| Height - Maximum | 80' |

PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).



Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.
- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)
- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.
- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.
- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.
- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

Phasing

OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251st residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

DEVELOPMENT NAME CHANGE

The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

Appendix

| | |
|---|-------------------|
| COVER | SHEET 0 |
| EXISTING CONDITIONS | SHEETS 1-3 |
| MASTER PLAN | SHEET 4 |
| PHASING PLAN | SHEET 5 |
| OPEN SPACE PLAN | SHEET 6 |
| VEHICULAR AND PEDESTRIAN PLAN | SHEET 7 |
| STREET WAIVER REQUESTS | SHEET 8 |
| SANITARY SEWER PRELIMINARY EVALUATION DETAIL | SHEET 9 |



I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH C.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS

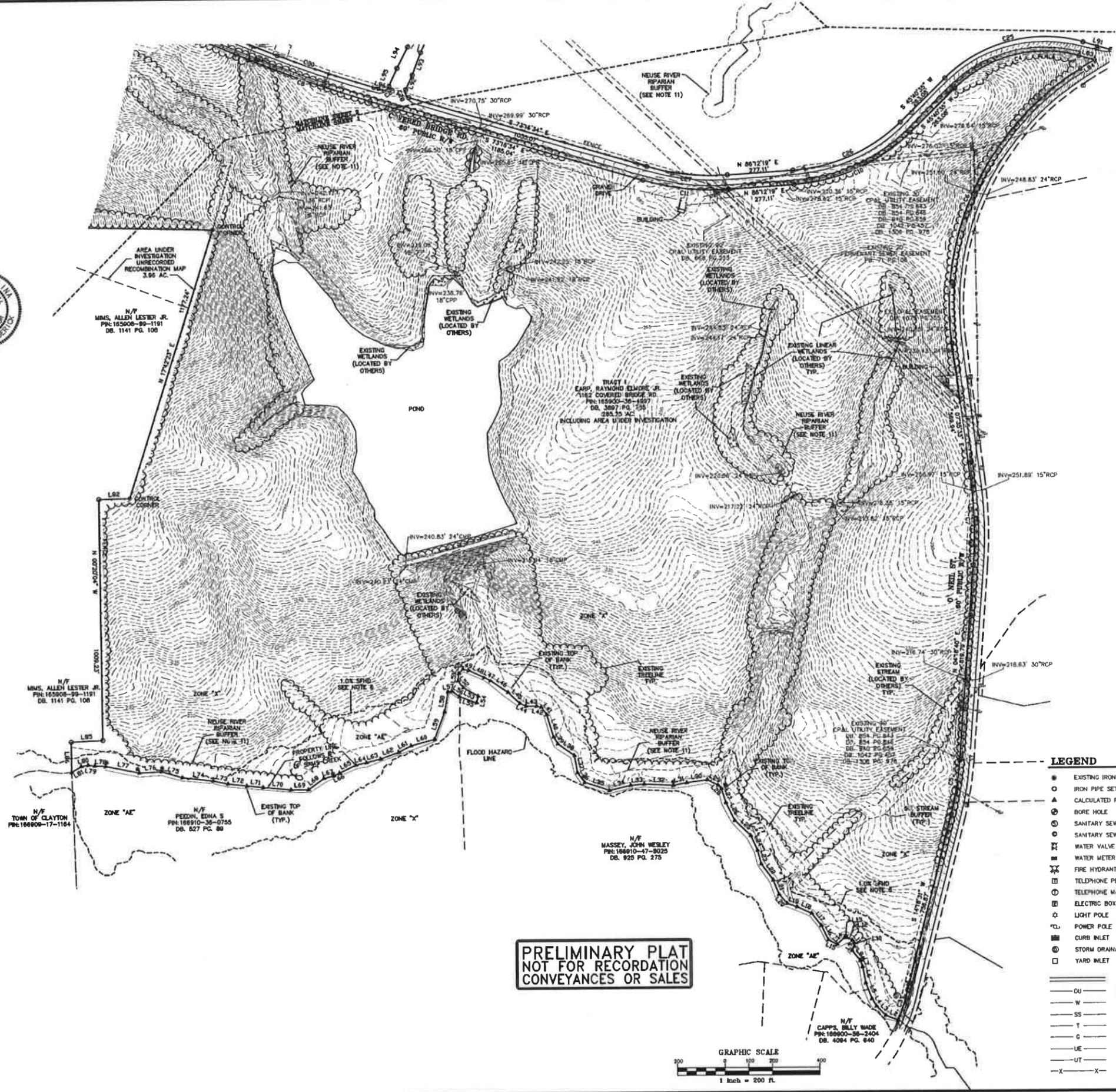
DAY OF _____ A.D. 2014.



RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: C.S. 47-30 (6)(1)(a)(1). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

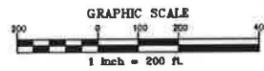
RONALD T. FREDERICK PLS L-4720



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON N.C. GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY F.E.M.A. FIRM COMMUNITY PANEL #3720160001 & 37201760001 DATED DECEMBER 2, 2005
- REFERENCES: PS. 8 PG. 73 & DB. 3097 PG. 735 OF THE JOHNSTON COUNTY REGISTRY. PLS 165900-48-8997
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER SPANIAN BUFFER MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN. THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL).

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- STORM DRAIN PIPE
- DU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE

THE JOHN R. MCADAMS
COMPANY, INC.
2806 Mackintosh Parkway
Durham, North Carolina 27715
License No. C-0208
(800) 753-6546 • McAdamsCo.com



REVISIONS:

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| | |

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKEFREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

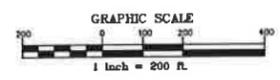
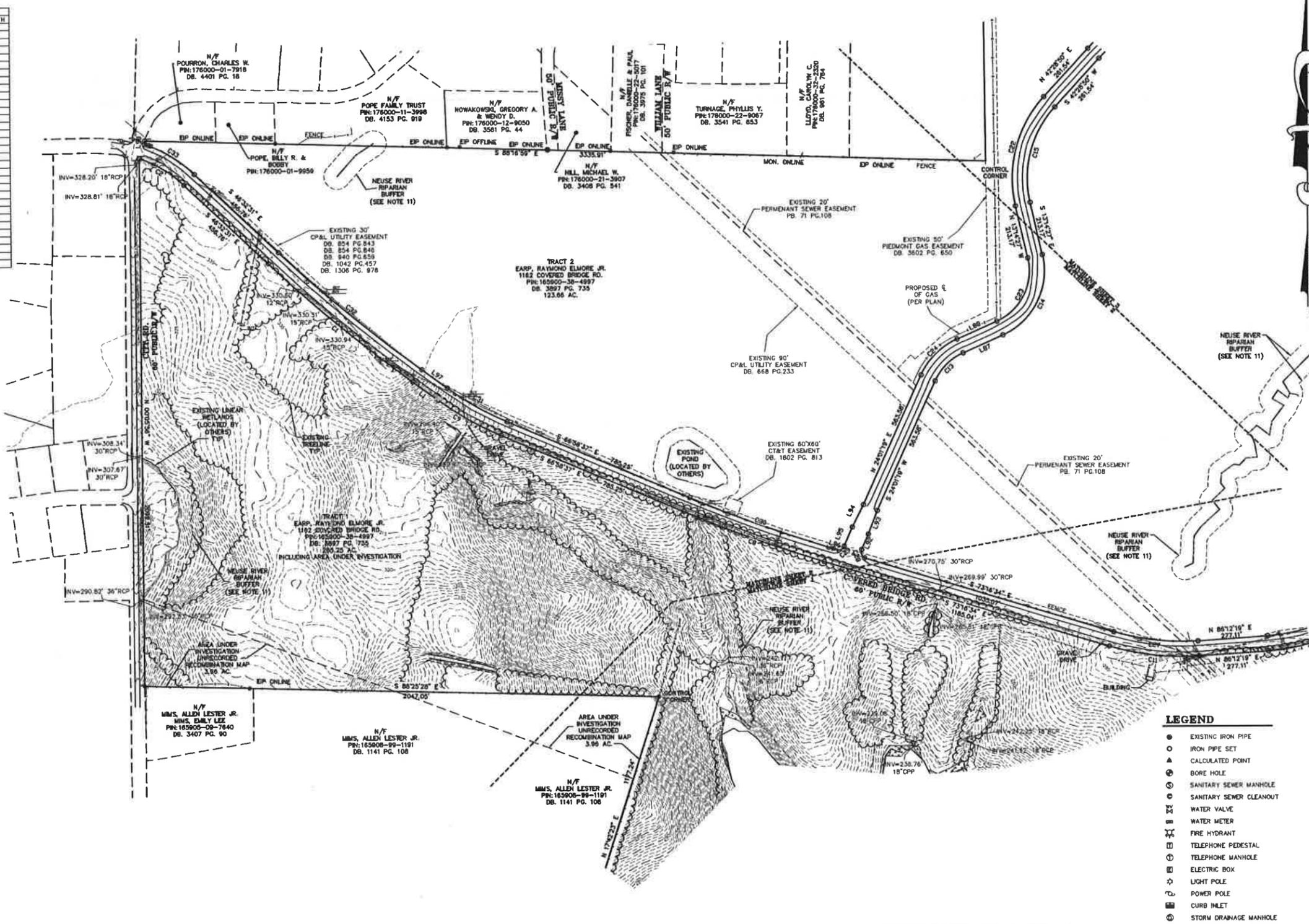
PROJECT NO. WDL14000
REVISION: WDL14000-C1
DESIGNED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 1-3
MCADAMS

GENERAL NOTES

- SEE LINE AND CURVE TABLES THIS SHEET
- SEE SHEET 1 FOR GENERAL NOTES

| CURVE | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|-------|---------|------------|---------------|--------------|
| C1 | 5053.00 | 743.38 | S 50°10'56" E | 742.88 |
| C2 | 490.00 | 288.52 | N 58°43'58" W | 205.95 |
| C3 | 1063.00 | 135.94 | N 17°33'31" E | 120.96 |
| C4 | 534.30 | 54.836 | S 73°49'23" W | 53.255 |
| C5 | 1328.00 | 225.78 | N 09°17'53" E | 225.49 |
| C6 | 1165.00 | 1341.49 | S 25°29'43" V | 1268.67 |
| C7 | 1770.00 | 367.74 | N 01°38'27" V | 367.06 |
| C8 | 3420.00 | 531.47 | S 70°08'42" E | 533.18 |
| C9 | 1250.00 | 285.98 | S 60°23'59" E | 286.35 |
| C10 | 766.00 | 541.84 | N 63°56'27" E | 530.61 |
| C11 | 1003.00 | 358.91 | S 67°32'07" E | 357.99 |
| C12 | 250.00 | 165.56 | S 44°56'36" V | 157.37 |
| C13 | 891.00 | 284.35 | N 28°29'59" E | 266.89 |
| C14 | 420.00 | 408.45 | S 14°37'12" V | 392.55 |
| C15 | 1178.00 | 158.20 | S 46°09'30" V | 150.10 |
| C16 | 1220.00 | 318.64 | N 42°24'33" E | 317.75 |
| C17 | 660.00 | 835.39 | N 18°01'21" E | 794.14 |
| C18 | 800.00 | 753.21 | N 07°16'53" E | 762.65 |
| C19 | 1178.00 | 303.10 | N 42°24'33" E | 302.25 |
| C20 | 1230.00 | 157.91 | S 46°09'30" V | 157.80 |
| C21 | 480.00 | 466.81 | S 14°37'12" V | 448.53 |
| C22 | 250.00 | 304.83 | N 63°56'27" E | 285.41 |
| C23 | 290.00 | 294.85 | S 44°56'36" V | 290.31 |
| C24 | 536.30 | 626.65 | S 73°49'23" W | 597.69 |
| C25 | 706.00 | 499.40 | N 63°56'27" E | 489.05 |
| C26 | 445.00 | 338.43 | S 63°58'07" E | 336.65 |
| C27 | 250.00 | 37.92 | S 19°28'21" E | 34.41 |
| C28 | 25.00 | 87.51 | N 58°46'23" E | 86.14 |
| C29 | 537.00 | 586.50 | S 73°49'23" W | 586.62 |
| C30 | 1190.00 | 1190.00 | S 64°22'59" E | 122.61 |
| C31 | 190.00 | 715.76 | N 50°10'56" E | 735.25 |
| C32 | 550.00 | 234.85 | N 58°43'58" W | 232.27 |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 53°42'21" W | 125.41 |
| L2 | S 68°22'48" E | 84.82 |
| L3 | S 45°00'04" E | 55.30 |
| L4 | S 31°01'56" E | 35.81 |
| L5 | S 21°35'11" E | 71.21 |
| L6 | S 10°48'32" E | 69.36 |
| L7 | S 20°18'57" E | 27.57 |
| L8 | S 30°28'40" E | 54.26 |
| L9 | S 30°18'17" E | 19.74 |
| L10 | S 03°22'08" E | 15.80 |
| L11 | S 33°52'53" E | 12.50 |
| L12 | S 63°36'45" E | 25.28 |
| L13 | S 85°23'24" E | 9.44 |
| L14 | N 48°48'30" E | 42.88 |
| L15 | S 62°17'19" E | 40.34 |
| L16 | S 25°28'06" E | 88.81 |
| L17 | S 33°23'54" E | 84.36 |
| L18 | S 65°49'20" E | 58.77 |
| L19 | S 70°20'45" E | 44.28 |
| L20 | S 41°43'41" E | 50.71 |
| L21 | S 27°10'53" E | 45.37 |
| L22 | S 38°58'10" E | 84.09 |
| L23 | S 14°45'39" E | 59.03 |
| L24 | S 24°21'23" E | 68.05 |
| L25 | S 48°14'39" E | 82.35 |
| L26 | S 38°18'39" E | 83.38 |
| L27 | S 17°41'08" E | 61.58 |
| L28 | S 43°38'40" E | 20.09 |
| L29 | S 82°50'21" E | 49.48 |
| L30 | N 82°17'56" E | 86.77 |
| L31 | N 79°17'59" E | 57.45 |
| L32 | S 87°03'50" E | 122.78 |
| L33 | N 85°03'51" E | 57.20 |
| L34 | N 77°05'51" E | 80.83 |
| L35 | S 71°14'02" E | 108.50 |
| L36 | S 35°43'08" E | 50.89 |
| L37 | S 09°25'19" E | 72.55 |
| L38 | S 84°15'50" E | 84.78 |
| L39 | S 31°02'13" E | 33.58 |
| L40 | S 16°40'18" E | 98.00 |
| L41 | S 38°01'25" E | 36.80 |
| L42 | S 77°32'10" E | 19.64 |
| L43 | S 68°22'18" E | 44.30 |
| L44 | S 63°23'18" E | 27.82 |
| L45 | S 47°04'21" E | 68.54 |
| L46 | S 55°50'55" E | 87.91 |
| L47 | S 52°48'31" E | 29.70 |
| L48 | S 85°12'19" E | 71.02 |
| L49 | S 77°48'47" E | 24.70 |
| L50 | N 45°08'00" E | 24.51 |
| L51 | N 08°22'12" E | 31.73 |
| L52 | N 82°27'00" W | 35.72 |
| L53 | N 82°36'45" W | 71.72 |
| L54 | N 13°37'28" E | 28.20 |
| L55 | S 69°33'57" E | 76.86 |
| L56 | S 54°46'32" E | 37.70 |
| L57 | N 83°42'40" E | 16.73 |
| L58 | N 10°10'08" E | 85.68 |
| L59 | N 20°09'29" E | 122.53 |
| L60 | N 75°31'08" E | 103.55 |
| L61 | N 82°7'11" E | 26.40 |
| L62 | N 70°05'53" E | 80.21 |
| L63 | N 75°47'12" E | 61.40 |
| L64 | N 77°51'09" E | 46.17 |
| L65 | N 83°46'59" E | 75.51 |
| L66 | N 64°45'20" E | 28.12 |
| L67 | N 78°28'40" E | 43.61 |
| L68 | N 53°48'52" E | 78.10 |
| L69 | S 89°26'24" E | 72.13 |
| L70 | S 84°41'21" E | 112.79 |
| L71 | S 84°03'12" E | 68.10 |
| L72 | S 83°05'53" E | 80.01 |
| L73 | S 77°52'22" E | 82.23 |
| L74 | S 83°23'43" E | 130.37 |
| L75 | S 75°28'38" E | 90.81 |
| L76 | N 87°44'54" E | 93.77 |
| L77 | S 78°45'25" E | 144.84 |
| L78 | S 86°29'45" E | 44.78 |
| L79 | S 83°27'48" E | 22.87 |
| L80 | N 75°28'30" E | 39.49 |
| L81 | N 58°40'56" E | 47.28 |
| L82 | N 88°47'08" E | 123.30 |
| L83 | S 74°10'05" E | 68.84 |
| L84 | S 58°23'00" W | 68.88 |
| L85 | N 87°30'56" E | 132.30 |
| L86 | N 00°29'04" W | 126.60 |
| L87 | S 48°56'25" W | 175.34 |
| L88 | N 85°58'55" E | 175.32 |
| L89 | S 27°17'20" E | 193.81 |
| L90 | S 26°51'53" E | 18.08 |
| L91 | S 74°10'05" E | 121.21 |
| L92 | S 24°01'09" W | 67.23 |
| L93 | S 21°09'54" W | 100.12 |
| L94 | N 26°53'04" E | 100.12 |
| L95 | N 24°01'19" E | 82.37 |
| L96 | S 77°18'54" E | 43.53 |
| L97 | N 53°48'21" W | 125.41 |
| L98 | S 05°44'14" W | 14.80 |



**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**

- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - ▲ CALCULATED POINT
 - ⊙ BORE HOLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SANITARY SEWER CLEANOUT
 - ⊙ WATER VALVE
 - ⊙ WATER METER
 - ⊙ FIRE HYDRANT
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ TELEPHONE MANHOLE
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 - ⊙ LIGHT POLE
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 - ⊙ CURB INLET
 - ⊙ STORM DRAINAGE MANHOLE
 - ⊙ YARD INLET
 - STORM DRAIN PIPE
 - OJ— OVERHEAD UTILITY LINES
 - W— WATER LINE
 - SS— SANITARY SEWER LINE
 - T— TELEPHONE LINE
 - G— GAS LINE
 - UE— UNDERGROUND ELECTRIC
 - UT— UNDERGROUND TELEPHONE
 - X— X— FENCE LINE

TECH: JOHN R. MCADAMS
COMPANY, INC.
2905 MacArthur Parkway
Durham, North Carolina 27715
(919) 486-8888
(800) 753-8686

MCADAMS

REVISIONS:

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SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKEFREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

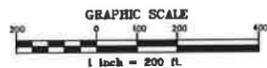
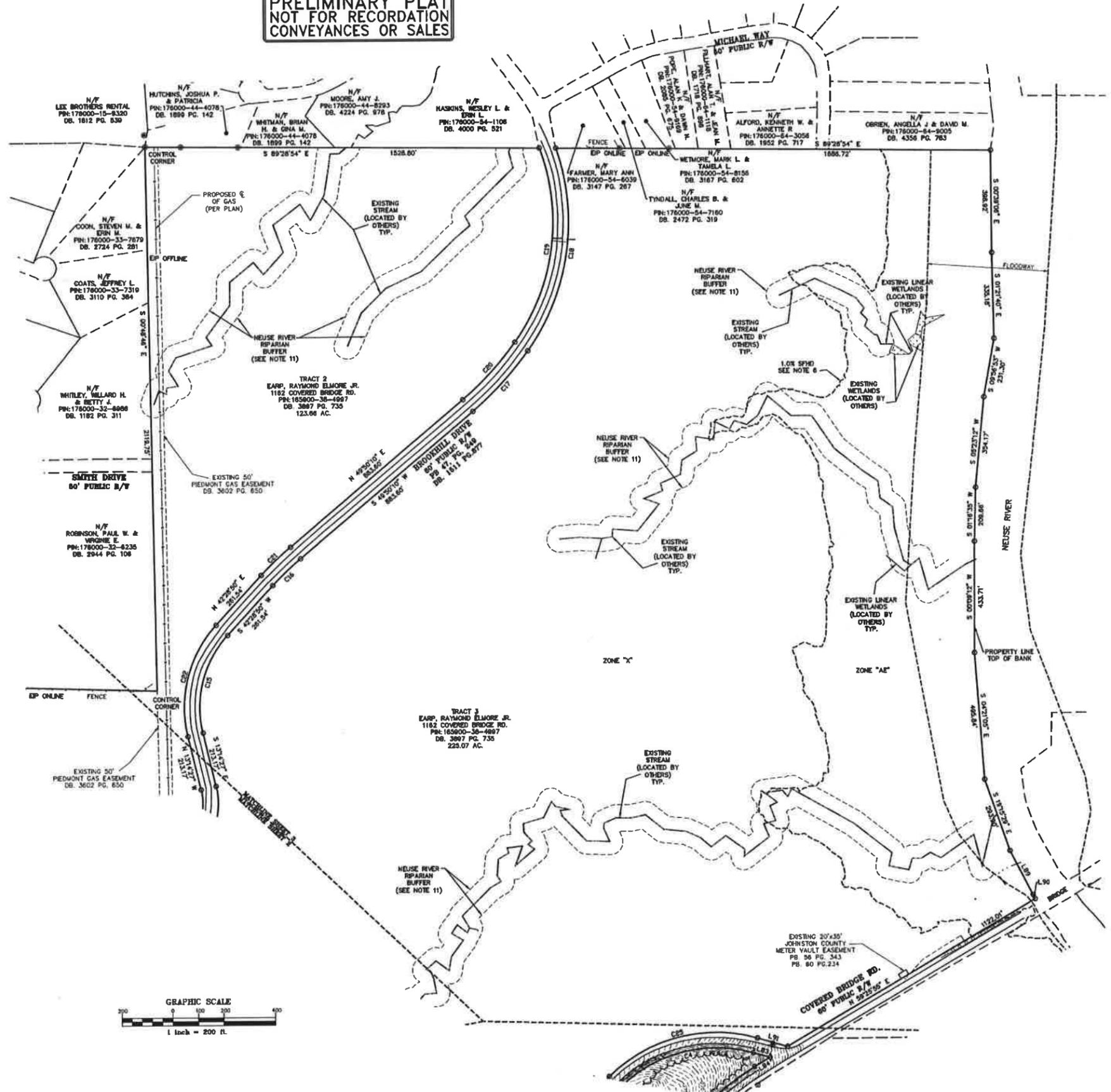
STEEPLECHASE
(EARP PROPERTY)
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

PROJECT NO. WDL-14000
DRAWING: WDL14000-C1
SHORTENED BY: RTF
SCALE: 1"=200'
DATE: 10-20-2014
SHEET NO. **2-3**

GENERAL NOTES

1. SEE SHEET 2 FOR LINE AND CURVE TABLES.
2. SEE SHEET 1 FOR GENERAL NOTES.

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
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- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- STORM DRAIN PIPE
- DU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE

NC GRID NAD 83(2011)

THE JOHN R. MCADAMS
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REVISIONS:

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| | |

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

| | |
|---------------|-------------|
| PROJECT NO. | WDL-14000 |
| PERMIT NO. | WDL14000-C1 |
| REGISTERED BY | RTF |
| DRAWN BY | JBT |
| SCALE | 1" = 200' |
| DATE | 10-29-2014 |
| SHEET NO. | 3-3 |





NOTES:
 THE CLUBHOUSE PERMIT SHALL BE REQUIRED PRIOR TO THE 251 ST BUILDING PERMIT.

| PHASE | ACRES IN AC |
|--------------|-------------------|
| 1 | +/- 5.49 |
| 2 | +/- 14.14 |
| 3 | +/- 18.55 |
| 4 | +/- 7.22 |
| 5 | +/- 30.99 |
| 6 | +/- 24.39 |
| 7 | +/- 11.13 |
| 8 | +/- 11.07 |
| 9 | +/- 17.67 |
| 10 | +/- 19.37 |
| 11 | +/- 18.62 |
| 12 | +/- 9.52 |
| 13 | +/- 13.10 |
| 14 | +/- 11.06 |
| 15 | +/- 34.64 |
| 16 | +/- 26.68 |
| 17 | +/- 12.45 |
| 18 | +/- 16.36 |
| 19 | +/- 10.78 |
| 20 | +/- 13.79 |
| 21 | +/- 19.64 |
| 22 | +/- 26.53 |
| 23 | +/- 16.57 |
| 24 | +/- 10.32 |
| 25 | +/- 7.94 |
| 26 | +/- 11.46 |
| 27 | +/- 10.26 |
| 28 | +/- 12.84 |
| 29 | +/- 9.50 |
| 30 | +/- 23.60 |
| 31 | +/- 25.11 |
| 32 | +/- 13.42 |
| 33 | +/- 27.16 |
| 34 | +/- 13.00 |
| 35 | +/- 18.63 |
| 36 | +/- 54.25 |
| FUTURE | +/- 9.89 |
| TOTAL | +/- 637.13 |

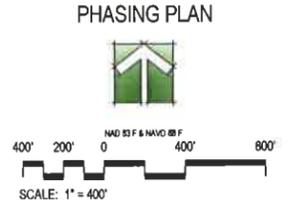
Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520

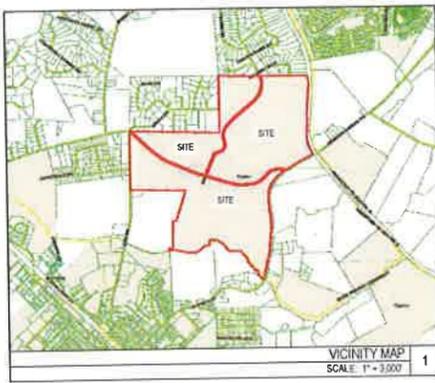


Preliminary Plat
 Review
 (Major Subdivision)
 Not for Construction

| PROJECT: | WDC-14090 | DATE: | 10/01/2014 |
|------------|--------------------------|-------|------------|
| ISSUE: | Prelim. Plat (Major Sub) | DATE: | 10/01/2014 |
| REVISIONS: | 1st Review Comments | DATE: | 10/24/2014 |
| | 2nd Review Comments | DATE: | 11/10/2014 |
| | 3rd Review Comments | DATE: | 01/07/2015 |
| | 4th Review Comments | DATE: | 01/14/2015 |
| | 5th Review Comments | DATE: | 01/20/2015 |
| | 6th Review Comments | DATE: | 02/12/2015 |

DRAWN BY: KT, SB
 CHECKED BY: KT
 CONTENT: PHASING PLAN





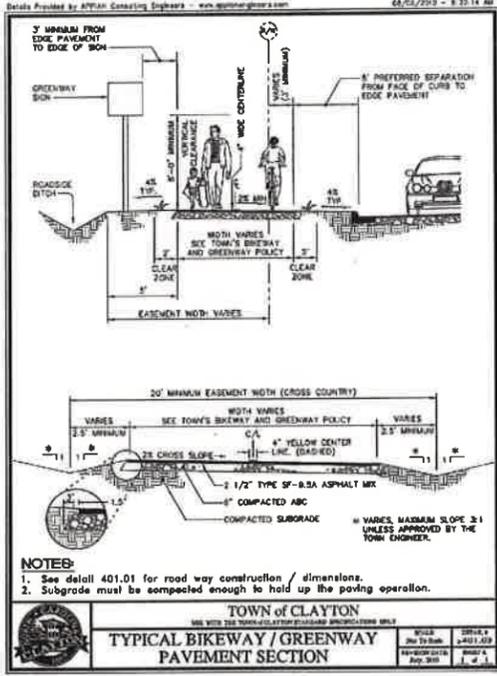
| REQUIRED ACTIVE RECREATION SPACE | | |
|---|--------------------------------------|------------|
| 64.98 ac x 25% = 16.245 AC | | |
| REQUIRED CONSERVATION AREAS | | |
| Flood Plain | +/- 53.78 | +/- 10.34% |
| Riparian Buffers | +/- 41.03 | +/- 7.89% |
| Pond | +/- 16.38 | +/- 3.15% |
| Total Required Conservation Areas | +/- 111.19 | +/- 21.39% |
| OPEN SPACE PROVIDED | | |
| Active Recreation Space | +/- 29.22 | +/- 4.63% |
| Passive Open Space | +/- 29.83 | +/- 4.73% |
| Phase 7 | +/- 6.03 | +/- 0.96% |
| Total Open Space Provided | +/- 65.08 | +/- 10.31% |
| LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS | | |
| Public | +/- 12,700 LF (127,000 SF / 2.91 AC) | |
| Private | +/- 13,400 LF (134,000 SF / 3.07 AC) | |

| ACTIVE RECREATION SPACE BREAKDOWN | |
|-----------------------------------|----------|
| Clubhouse | 7.02 AC |
| Greenway | 3.07 AC |
| Parks | 19.13 AC |

NOTES:
ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.

LEGEND:

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAM'S BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
- DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY



TOWN OF CLAYTON
TYPICAL BIKEWAY / GREENWAY PAVEMENT SECTION

NOTES:
1. See detail 401.01 for road way construction / dimensions.
2. Subgrade must be compacted enough to hold up the paving operation.

811
Know what's below. Call before you dig.

SCALE: 1" = 40'

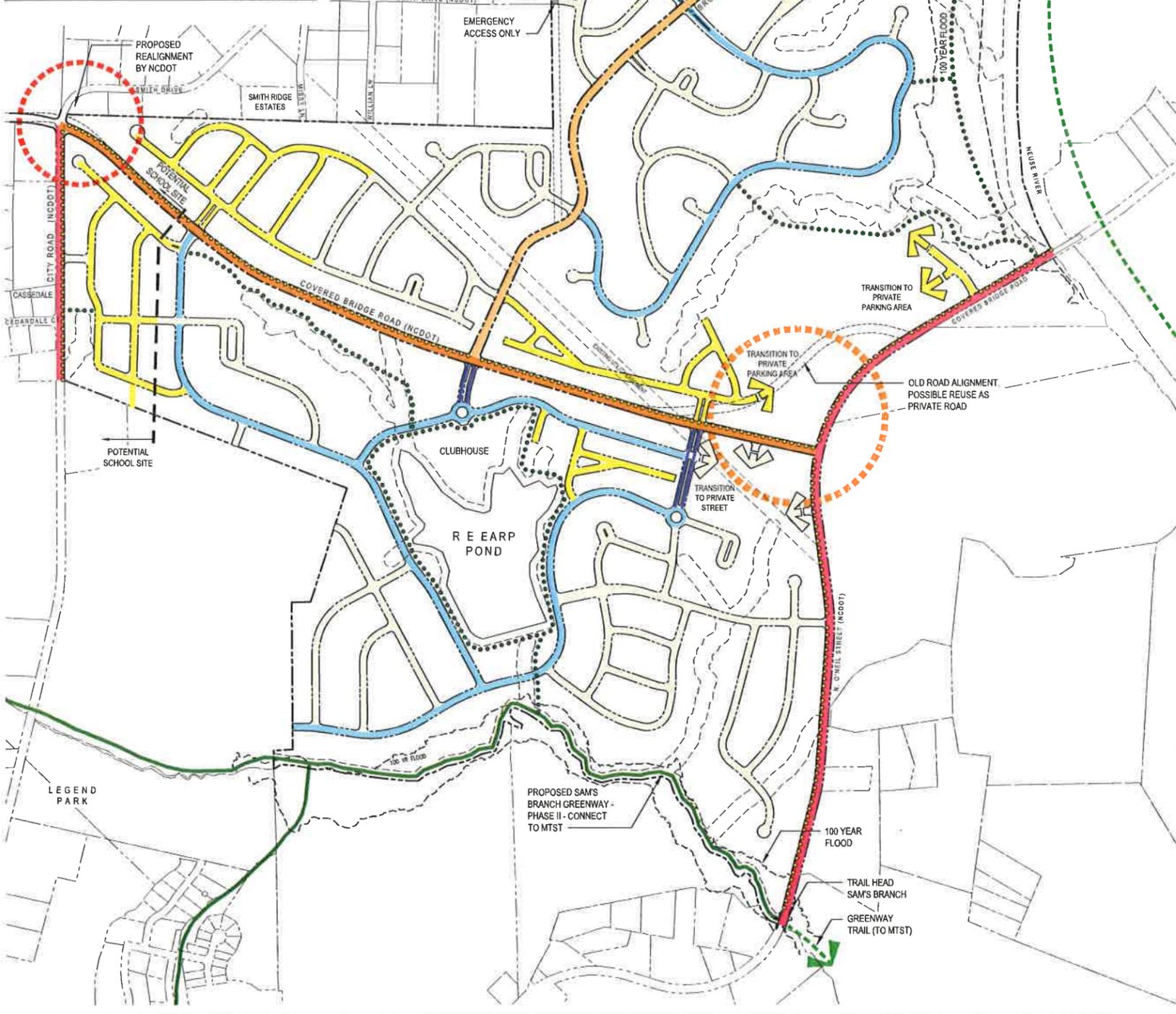
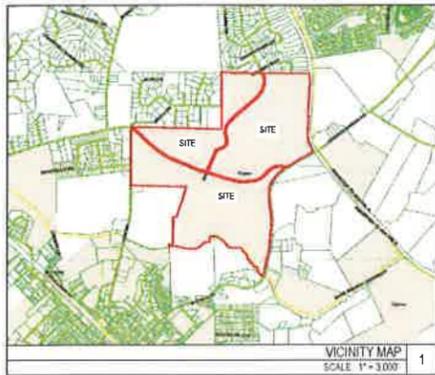
Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

Preliminary Plat Review
(Major Subdivision)
Not for Construction

| PROJECT: | WDC-14080 | DATE: | 10/01/2014 |
|------------|------------------------|-------|------------|
| ISSUE: | Prelim. Plat (Mjr Sub) | DATE: | 10/01/2014 |
| REVISIONS: | 1st Review Comments | DATE: | 10/24/2014 |
| | 2nd Review Comments | DATE: | 11/10/2014 |
| | 3rd Review Comments | DATE: | 01/07/2015 |
| | 4th Review Comments | DATE: | 01/14/2015 |
| | 5th Review Comments | DATE: | 01/20/2015 |
| | 6th Review Comments | DATE: | 02/13/2015 |

DRAWN BY: RT, SB
CHECKED BY: KT
CONTENT: RECREATION & OPEN SPACE PLAN

6



WAIVER REQUESTS:

1. ALL INTERNAL STREETS WILL HAVE SIDEWALK ON AT LEAST ONE SIDE TO PROVIDE A NETWORK OF PEDESTRIAN ACCESS THROUGHOUT THE SITE AND CONNECTION TO THE PRIVATE INTERNAL GREENWAY THAT WILL CONNECT TO THE FUTURE SAM'S BRANCH GREENWAY EXTENSION.
2. THIS PROPOSAL REQUESTS THAT IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
- *3. PROPOSED RESIDENTIAL STREET WITH CAL-DE-SAC EXCEEDS TOWN OF CLAYTON MAXIMUM LENGTH. REQUEST APPROVAL OF 1,000 LF CAL-DE-SAC.
4. THIS PROPOSAL REQUESTS THAT ALL PLANTER STRIPS BE INCREASED TO 6' WIDE AND THAT TREE SPECIES ARE TO BE APPROVED BY THE PLANNING DIRECTOR.

STREET TREES NOTES:

1. STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART
2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

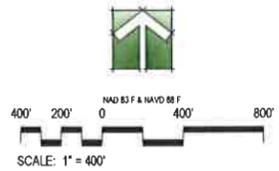
REFER SHEET 8 OF 8 FOR STREET WAIVER REQUESTS

LEGEND:

- PROPOSED ROAD REALIGNMENT BY DEVELOPER
- PROPOSED ROAD REALIGNMENT BY NCDOT
- EXISTING BROOKHILL DRIVE (NCDOT)
- EXISTING COVERED BRIDGE ROAD (NCDOT)
- EXISTING COLLECTOR STREET
 - N. O'NEIL STREET (NCDOT)
 - BUILD 1/2 OF 41' BACK TO BACK ROAD
 - CITY ROAD (TOWN OF CLAYTON)
 - BUILD 1/2 OF 41' BACK TO BACK ROAD
- RESIDENTIAL COLLECTOR STREET (PUBLIC)
- RESIDENTIAL MAIN ENTRANCE (ALT "B")
- RESIDENTIAL STREET (PUBLIC)
- RESIDENTIAL STREET (PRIVATE)
- PROPOSED SAM'S BRANCH - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PUPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD

NOTE:
THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

VEHICULAR & PEDESTRIAN CIRCULATION PLAN



Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

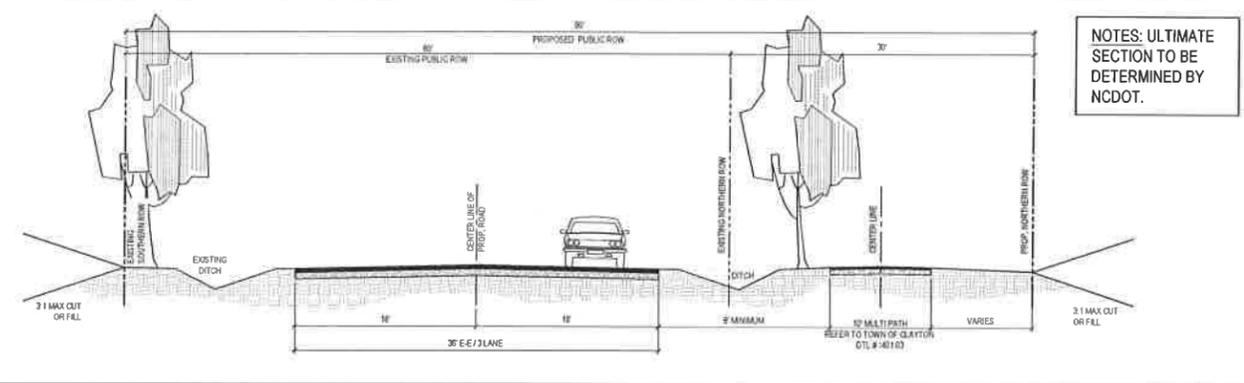
Preliminary Plat Review
(Major Subdivision)
Not for Construction

| | | DATE |
|------------|--------------------------|------------|
| PROJECT: | WDC-14080 | 10.01.2014 |
| ISSUE: | Prelim. Plat (Major Sub) | 10.01.2014 |
| | | |
| | | |
| | | |
| | | |
| REVISIONS: | 1st Review Comments | 10.24.2014 |
| | 2nd Review Comments | 11.10.2014 |
| | 3rd Review Comments | 01.07.2015 |
| | 4th Review Comments | 01.14.2015 |
| | 5th Review Comments | 01.20.2015 |
| | 6th Review Comments | 02.13.2015 |

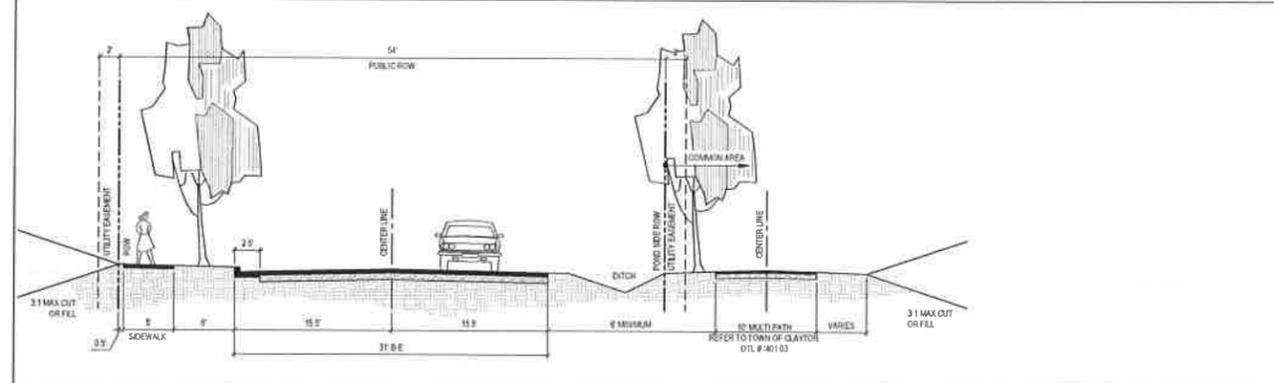
DRAWN BY: KT, SB
CHECKED BY: KT
CONTENT: VEHICULAR & PEDESTRIAN CIRCULATION PLAN

7

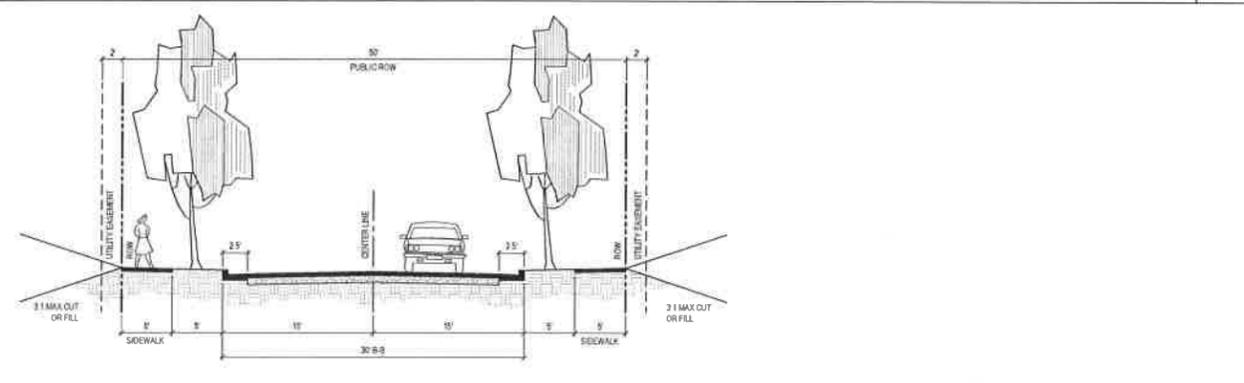
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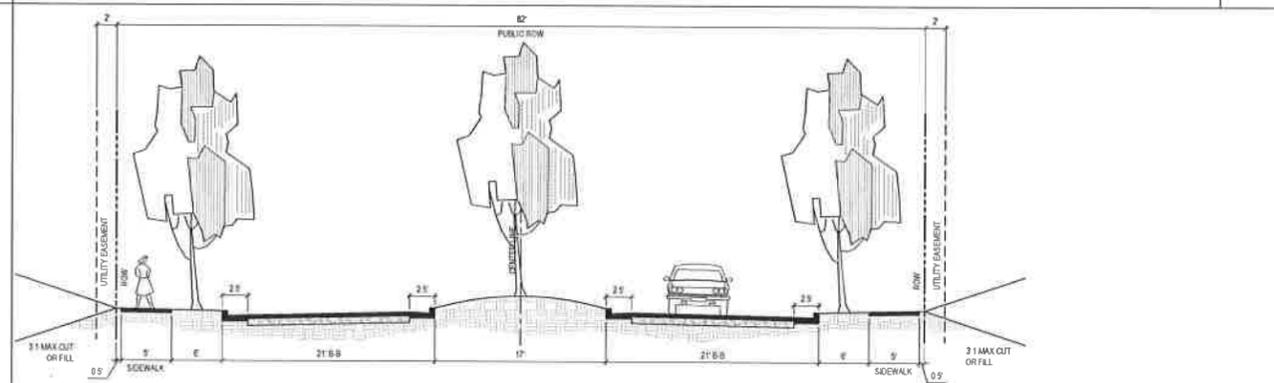
COVERED BRIDGE ROAD (NCDOT)
SCALE: NTS 1



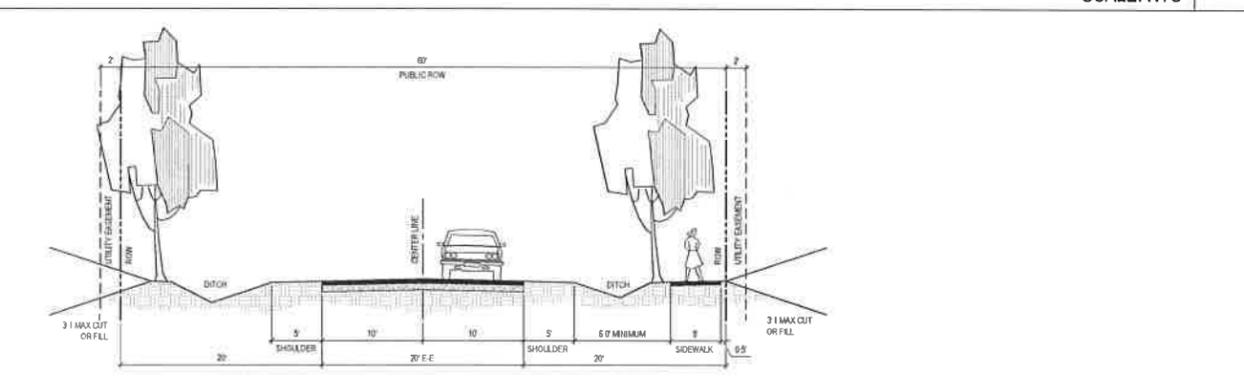
RESIDENTIAL COLLECTOR STREET ALTERNATE "A" - PERIMETER OF EARP POND ONLY
SCALE: NTS 2



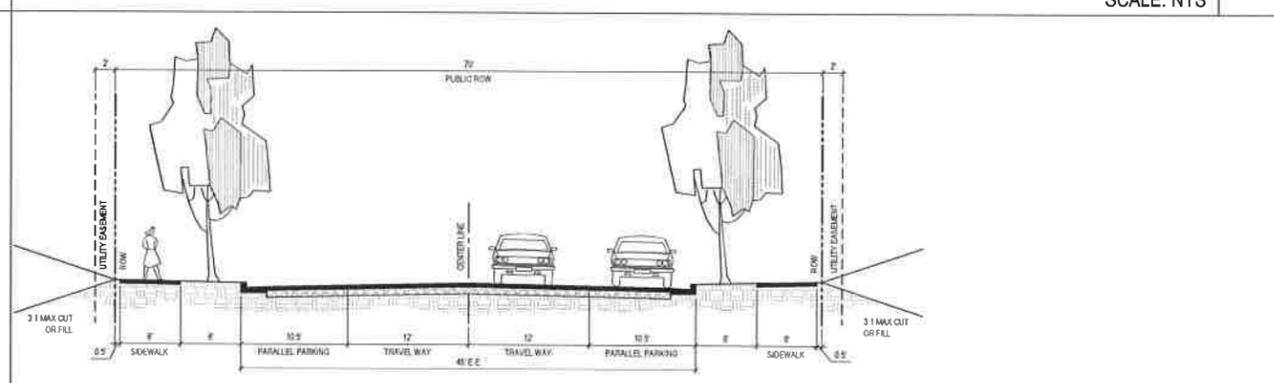
RESIDENTIAL COLLECTOR STREET ALTERNATE "B"
SCALE: NTS 3



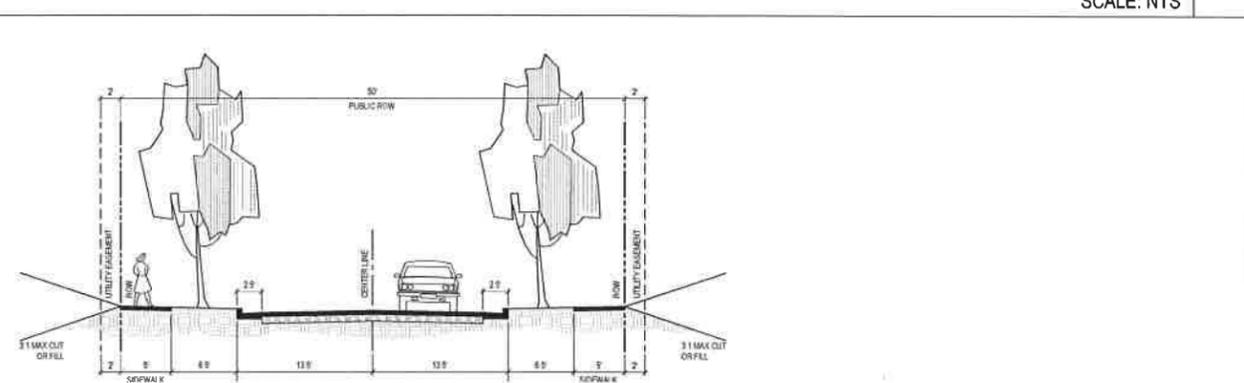
RESIDENTIAL MAIN ENTRANCE ALTERNATE "C"
SCALE: NTS 4



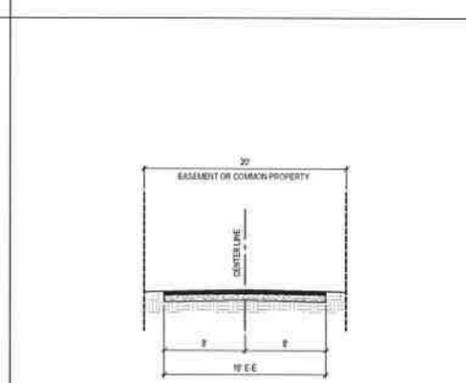
RESIDENTIAL STREET OPTION "I" - LOW DENSITY OPTION
SCALE: NTS 5



RESIDENTIAL STREET OPTION "II"
SCALE: NTS 6



RESIDENTIAL STREET OPTION "III"
SCALE: NTS 7



ALLEY
SCALE: NTS 8

- NOTES:**
1. IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON STANDARD VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 2. THE ULTIMATE SECTION FOR ALL NCDOT ROADS ON THE PERIMETER OF THE PROJECT WILL BE DETERMINED BASED ON TIA AND NCDOT RECOMMENDATIONS.
 3. DEVELOPER TO PROVIDE 10' MULTIPURPOSE TRAIL IN LIEU OF SIDEWALKS ON CITY ROAD AND N. ONEIL STREET

- STREET TREES NOTES:**
1. STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART.
 2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

NOTES
SCALE: NTS 9

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Preliminary Plat
Review
(Major Subdivision)
Not for Construction

| | | DATE |
|---------------------------------|-------------------------|------------|
| PROJECT | WDC-14080 | 10/01/2014 |
| ISSUE | Prelim. Plat (Mjr. Sub) | 10/01/2014 |
| REVISIONS: | | |
| 1st Review Comments | | 10/24/2014 |
| 2nd Review Comments | | 11/10/2014 |
| 3rd Review Comments | | 01/07/2015 |
| 4th Review Comments | | 01/14/2015 |
| 5th Review Comments | | 01/20/2015 |
| 6th Review Comments | | 02/13/2015 |
| DRAWN BY: KT, SS | | |
| CHECKED BY: KT | | |
| CONTENT: STREET WAIVER REQUESTS | | |

Steeplechase Sanitary Sewer Preliminary Evaluation

Estimate of average daily flow of wastewater for Steeplechase (Phases 1-14):

| Residential Unit Type | Res. Units/SF | Bedrooms | WW Flow Rate per Unit | Average WW Flow | | | |
|--------------------------------|---------------|----------|----------------------------------|-----------------|------------|--------------|-----|
| | | | | gpd | gpm | gpd | cfs |
| Phase 1 | | | | | | | |
| Open Space | | | | | | | |
| Phase 2 | | | | | | | |
| Townhome | 65 | 2.5 | 250 gal/day-unit | 16,250 | 11 | 0.025 | |
| Phase 3 | | | | | | | |
| Single Family (65-70) | 68 | 4 | 250 gal/day-unit | 17,000 | 12 | 0.026 | |
| Single Family (50-55/60-65) | 3.5 | | 250 gal/day-unit | - | 0 | 0.000 | |
| Phase 4 | | | | | | | |
| Single Family (65-70) | 18 | 4 | 250 gal/day-unit | 4,500 | 3 | 0.007 | |
| Subtotal | 151 | | | 37,750 | | | |
| Phase 5 | | | | | | | |
| Single Family (65-70) | 83 | 4 | 250 gal/day-unit | 20,750 | 14 | 0.032 | |
| Single Family (50-55/60-65) | 3.5 | | 250 gal/day-unit | - | 0 | 0.000 | |
| Phase 6 | | | | | | | |
| Single Family (65-70) | 77 | 4 | 250 gal/day-unit | 19,250 | 13 | 0.030 | |
| Phase 7 | | | | | | | |
| Single Family (65-70) | 10 | 4 | 250 gal/day-unit | 2,500 | 2 | 0.004 | |
| Phase 8 | | | | | | | |
| Single Family (65-70) | 38 | 4 | 250 gal/day-unit | 9,500 | 7 | 0.015 | |
| Single Family (50-55/60-65) | 3.5 | | 250 gal/day-unit | - | 0 | 0.000 | |
| Phase 9 | | | | | | | |
| Single Family (65-70) | 60 | 4 | 250 gal/day-unit | 15,000 | 10 | 0.023 | |
| Single Family (50-55/60-65) | 3.5 | | 250 gal/day-unit | - | 0 | 0.000 | |
| Phase 10 | | | | | | | |
| Single Family (65-70) | 57 | 4 | 250 gal/day-unit | 14,250 | 10 | 0.022 | |
| Single Family (50-55/60-65) | 3.5 | | 250 gal/day-unit | - | 0 | 0.000 | |
| Subtotal | 325 | | | 81,250 | | | |
| Phase 11 | | | | | | | |
| Single Family (50-55/60-65) | 60 | 3.5 | 250 gal/day-unit | 15,000 | 10 | 0.023 | |
| Phase 12 | | | | | | | |
| Single Family (50-55/60-65) | 40 | 3.5 | 250 gal/day-unit | 10,000 | 7 | 0.015 | |
| Phase 13 | | | | | | | |
| Townhome | 140 | 2.5 | 250 gal/day-unit | 35,000 | 24 | 0.054 | |
| Phase 14 | | | | | | | |
| Townhome | 104 | 2.5 | 250 gal/day-unit | 26,000 | 18 | 0.040 | |
| Subtotal | 344 | | | 86,000 | | | |
| Commercial | | | | | | | |
| Commercial / Retail | 75,000 | sf | 0.13 gal/day-sf | 9,750 | 7 | 0.015 | |
| Total Units Phases 1-14 | 820 | | Total WW Flow Phases 1-14 | 214,750 | 149 | 0.332 | |

Estimate of average daily flow of wastewater for Steeplechase (Phases 15-33):

| Residential Unit Type | Res. Units/SF | Bedrooms | WW Flow Rate per Unit | Average WW Flow | | | |
|---------------------------------|---------------|----------|-----------------------------------|-----------------|------------|--------------|-----|
| | | | | gpd | gpm | gpd | cfs |
| Phase 15 | | | | | | | |
| Clubhouse / Amenity | 8,500 | sf | 0.13 gal/day-sf | 1,105 | 1 | 0.002 | |
| Phase 16 | | | | | | | |
| Single Family (50-55/60-65) | 95 | 2.5 | 250 gal/day-unit | 23,750 | 16 | 0.037 | |
| Phase 17 | | | | | | | |
| Townhome | 95 | 2.5 | 250 gal/day-unit | 23,750 | 16 | 0.037 | |
| Phase 18 | | | | | | | |
| Townhome | 80 | 2.5 | 250 gal/day-unit | 20,000 | 14 | 0.031 | |
| Subtotal | 270 | | | 68,605 | | | |
| Phase 19 | | | | | | | |
| Townhome | 40 | 4 | 250 gal/day-unit | 10,000 | 7 | 0.015 | |
| Phase 20 | | | | | | | |
| Single Family (50-55/60-65) | 90 | 3.5 | 250 gal/day-unit | 22,500 | 16 | 0.035 | |
| Phase 21 | | | | | | | |
| Single Family (65-70/70-75) | 80 | 4 | 250 gal/day-unit | 20,000 | 14 | 0.031 | |
| Phase 22 | | | | | | | |
| Single Family (65-70/70-75) | 10 | 4 | 250 gal/day-unit | 2,500 | 2 | 0.004 | |
| Single Family (50-55/60-65) | 35 | 3.5 | 250 gal/day-unit | 8,750 | 6 | 0.014 | |
| Phase 23 | | | | | | | |
| Single Family (50-55/60-65) | 35 | 3.5 | 250 gal/day-unit | 8,750 | 6 | 0.014 | |
| Phase 24 | | | | | | | |
| Single Family (50-55/60-65) | 30 | 3.5 | 250 gal/day-unit | 7,500 | 5 | 0.012 | |
| Subtotal | 320 | | | 80,000 | | | |
| Phase 25 | | | | | | | |
| Single Family (50-55/60-65) | 35 | 3.5 | 250 gal/day-unit | 8,750 | 6 | 0.014 | |
| Phase 26 | | | | | | | |
| Single Family (65-70/70-75) | 25 | 4 | 250 gal/day-unit | 6,250 | 4 | 0.010 | |
| Phase 27 | | | | | | | |
| Single Family (65-70/70-75) | 40 | 4 | 250 gal/day-unit | 10,000 | 7 | 0.015 | |
| Phase 28 | | | | | | | |
| Single Family (65-70/70-75) | 25 | 4 | 250 gal/day-unit | 6,250 | 4 | 0.010 | |
| Phase 29 | | | | | | | |
| Single Family (65-70/70-75) | 50 | 4 | 250 gal/day-unit | 12,500 | 9 | 0.019 | |
| Phase 30 | | | | | | | |
| Single Family (65-70/70-75) | 60 | 4 | 250 gal/day-unit | 15,000 | 10 | 0.023 | |
| Phase 31 | | | | | | | |
| Single Family (65-70/70-75) | 75 | 2.5 | 250 gal/day-unit | 18,750 | 13 | 0.029 | |
| Subtotal | 310 | | | 77,500 | | | |
| Phase 32 | | | | | | | |
| Townhome | 45 | 2.5 | 250 gal/day-unit | 11,250 | 8 | 0.017 | |
| Subtotal | 45 | | | 11,250 | | | |
| Phase 33 | | | | | | | |
| Apartment | 380 | 2 | 240 gal/day-unit | 91,200 | 63 | 0.141 | |
| Subtotal | 380 | | | 91,200 | | | |
| Phase 34 | | | | | | | |
| Townhome | 45 | 2.5 | 250 gal/day-unit | 11,250 | 8 | 0.017 | |
| Total Units Phases 15-33 | 1,370 | | Total WW Flow Phases 15-33 | 339,805 | 236 | 0.526 | |



Know what's below.
Call before you dig.

PSD 2014-128 & PDD 2014-127

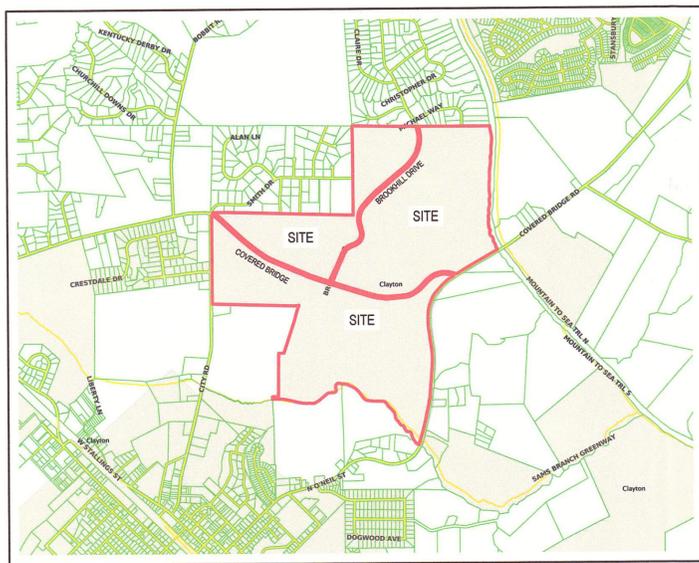
Preliminary Plat Review (Major Subdivision)

- 1st Submittal: October 01, 2014
- 2nd Submittal: October 24, 2014
- 3rd Submittal: November 10, 2014
- 4th Submittal: January 7, 2015
- 5th Submittal: January 14, 2015
- 6th Submittal: January 20, 2015
- 7th Submittal: February 13, 2015

Steeplechase Subdivision

1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

Vicinity Map



PIN NUMBER(S):
166900-38-4997

DEED:
BOOK 03897, PAGE 0735

SITE ARE:
27,488,974 SF/631.06 AC(ASSESSED ACREAGE); 27,488,102 SF/631.04 AC (CALC. ACREAGE)

ZONING(S):
R-8, R-10, NEIGHBORHOOD BUSINESS (B-2)

HORIZONTAL AND VERTICAL DATUM:
NAD 83 F & NAVD 88 F

Project Team

OWNER:
Nancy Crews Earp &
Mary Earp Worley
7230 NC 42 East
Selma, North Carolina 27576
919-965-5793 & 919-915-1515
nancyearp@bellsouth.net
winkworley@gmail.com

DEVELOPER:
Galaxy NC, LLC
c/o Wakefield Development Company
3100 Smoketree Court, Suite 210
Raleigh, North Carolina 27604
919-556-4310
919-556-0690 (fax)
kem@wakedev.com

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510 Glenwood Avenue, Suite 201
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919-835-1500
919-835-1510 (fax)
kent@jdavisarchitects.com

landscape architect
Jerry Turner & Associates, INC
905 Jones Franklin Road
Raleigh, North Carolina 27606
919-851-7150 919-851-7547 (fax)
whoody@jerryturnerassoc.com

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The John R. McAdams Co, INC
2905 Meridian Parkway
Durham, North Carolina 27713
919-361-5000
Moore@McAdamsCo.com

surveyor
The John R. McAdams Co, INC
2905 Meridian Parkway
Durham, North Carolina 27713
919-361-5000
Frederick@McAdamsCo.com

traffic engineer
Davenport
305 West Forth Street, Suite 2A
Winston-Salem, North Carolina 27101
336-744-1636
336-458-9377 (fax)

Environmental
Spangler Environmental, INC
4338 Bland Road
Raleigh, North Carolina 27609
919-875-4288
919-546-0757 (fax)

Notes

Sheet Index

| | |
|---|-----|
| COVER | 0 |
| EXISTING CONDITIONS PLAN | 1-3 |
| EXISTING CONDITIONS PLAN | 2-3 |
| EXISTING CONDITIONS PLAN | 3-3 |
| MASTER PLAN | 4 |
| PHASING PLAN | 5 |
| RECREATION & OPEN SPACE PLAN | 6 |
| VEHICULAR & PEDESTRIAN CIRCULATION PLAN | 7 |
| STREET WAIVER REQUESTS | 8 |



Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, North Carolina 27520



Preliminary Plat
Review
(Major Subdivision)
Not for Construction

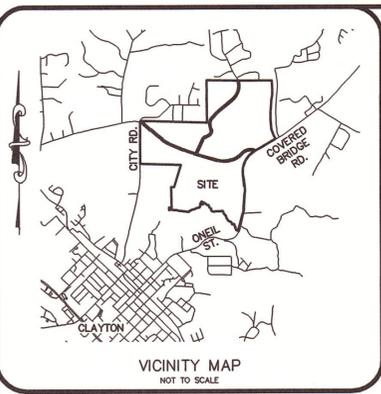
| PROJECT: | WDC-14080 | DATE | 10.01.2014 |
|-------------|-------------------------|------|------------|
| ISSUE: | Preliminary Plat Review | | 10.01.2014 |
| REVISIONS: | 1st Review Comments | | 10.24.2014 |
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| | 5th Review Comments | | 01.20.2015 |
| | 6th Review Comments | | 02.13.2015 |
| DRAWN BY: | SB | | |
| CHECKED BY: | KT | | |
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JDAVIS
510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500
1518 Walnut St., Suite 1308 | Philadelphia, PA 19102 | Tel 215.546.0121
PSD 2014-128 & PDD 2014-127



VICINITY MAP
NOT TO SCALE

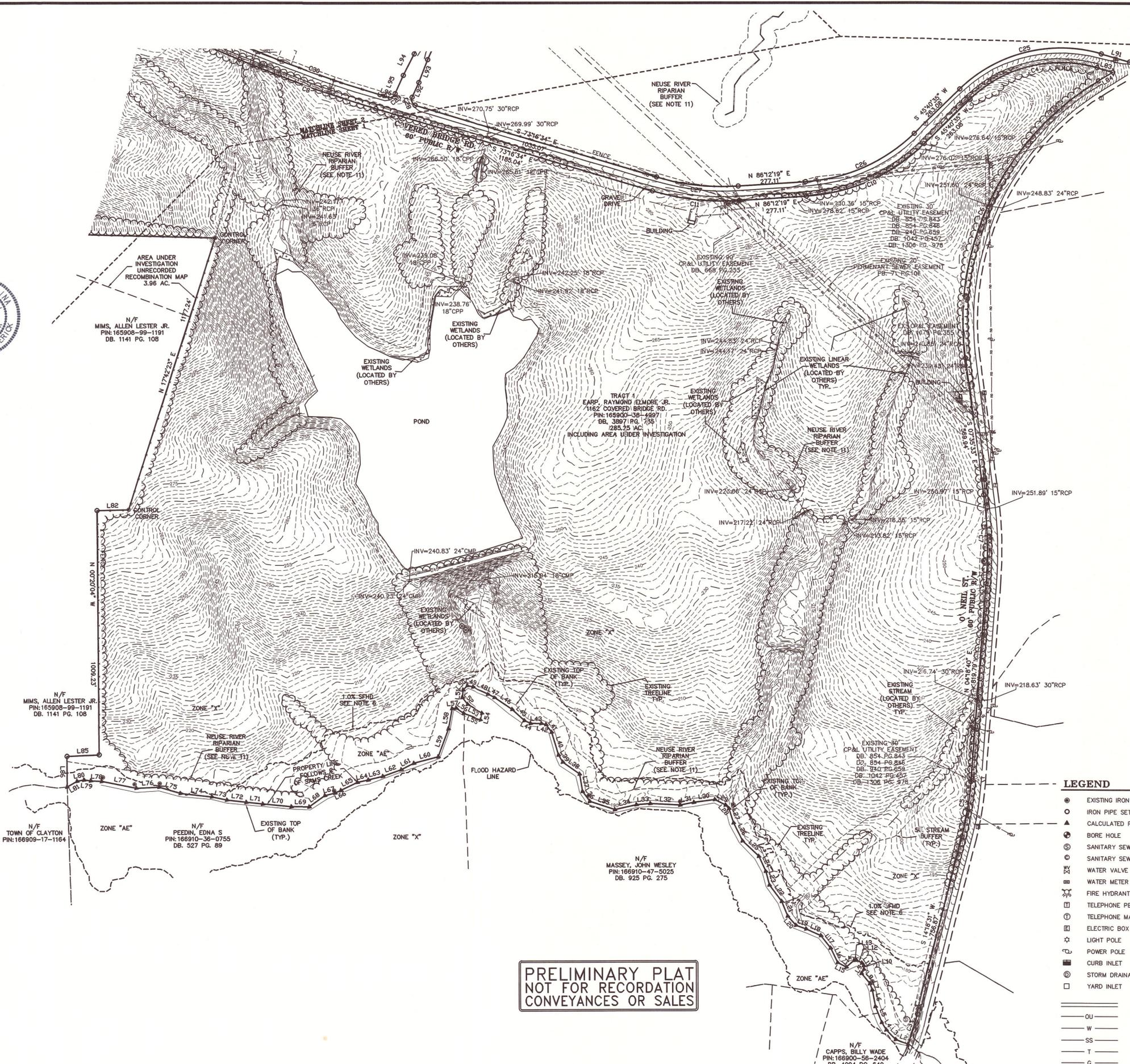
I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS DAY OF _____ A.D. 2014.



RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAN IS OF THE FOLLOWING TYPE: G.S. 47-30 (1)(1)(c)(1). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

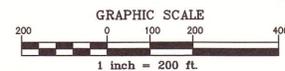
RONALD T. FREDERICK PLS L-4720



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720168900J & 3720176000J DATED DECEMBER 2, 2005
- REFERENCES: PB. 6 PG. 73 & DB. 3897 PG. 755 OF THE JOHNSTON COUNTY REGISTRY. PIN: 165900-48-9997
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER RIPARIAN BUFFERS MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL)

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- STORM DRAIN PIPE
- OU— OVERHEAD UTILITY LINES
- W— WATER LINE
- SS— SANITARY SEWER LINE
- T— TELEPHONE LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- UT— UNDERGROUND TELEPHONE
- X— FENCE LINE

X:\Projects\14000\Survey\Topographic\14000-cl.dwg, 12/23/2014, 11:52:18 AM, Taylor, Jay

THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
Tel: 919-286-1111
(800) 733-5646 • McAdamsCo.com



REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

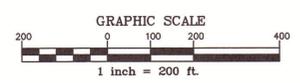
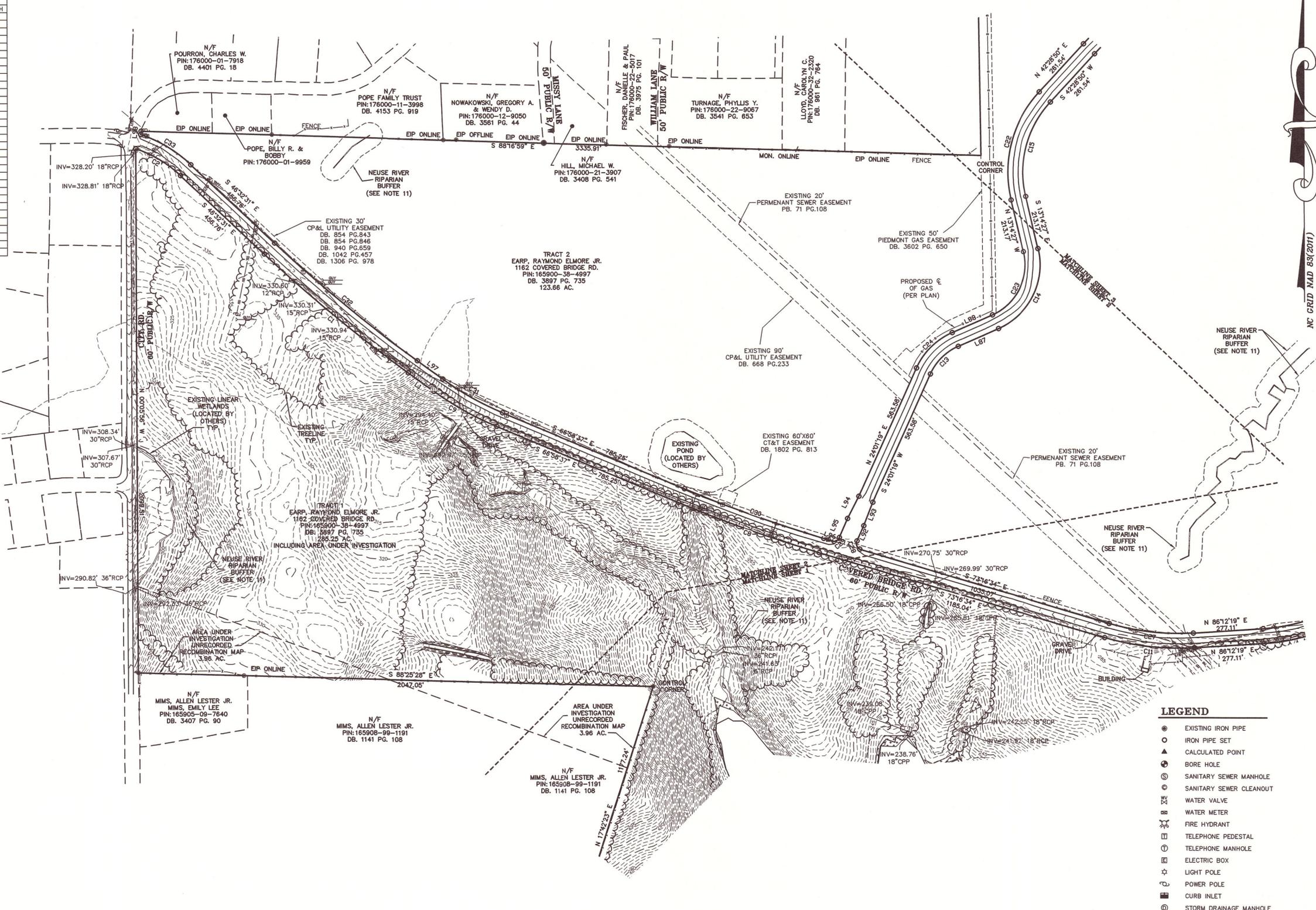
PROJECT NO. WDL14000
FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 1-3
MCADAMS

GENERAL NOTES

- SEE LINE AND CURVE TABLES THIS SHEET
- SEE SHEET 1 FOR GENERAL NOTES

| CURVE | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------------|--------------|
| C1 | 5850.00' | 743.38' | S 50°10'56" E | 742.88' |
| C2 | 490.00' | 208.52' | N 58°43'58" W | 206.95' |
| C3 | 1060.00' | 130.94' | N 17°50'51" E | 130.86' |
| C4 | 536.39' | 563.06' | S 75°49'12" W | 537.55' |
| C5 | 1330.00' | 229.78' | N 09°17'53" E | 229.49' |
| C6 | 1165.00' | 1341.49' | S 25°23'43" W | 1268.60' |
| C7 | 1770.00' | 367.74' | N 01°38'27" W | 367.08' |
| C8 | 5430.00' | 593.47' | S 70°08'42" E | 593.18' |
| C9 | 1250.00' | 286.98' | S 60°23'59" E | 286.35' |
| C10 | 765.00' | 541.84' | N 63°56'27" E | 530.61' |
| C11 | 1005.00' | 359.91' | N 03°32'07" E | 357.99' |
| C12 | 220.00' | 160.96' | S 44°58'32" W | 157.39' |
| C13 | 280.00' | 386.96' | N 26°08'42" E | 356.89' |
| C14 | 420.00' | 408.46' | S 14°37'12" W | 392.55' |
| C15 | 1170.00' | 150.20' | S 46°09'30" W | 150.10' |
| C16 | 1230.00' | 318.64' | N 42°24'53" E | 317.25' |
| C17 | 880.00' | 828.39' | N 08°01'31" E | 798.14' |
| C18 | 820.00' | 793.21' | N 07°16'53" E | 762.65' |
| C19 | 1170.00' | 303.10' | N 42°24'53" E | 302.25' |
| C20 | 1230.00' | 157.91' | S 46°09'30" W | 157.80' |
| C21 | 480.00' | 541.84' | N 63°56'27" E | 448.63' |
| C22 | 220.00' | 304.03' | N 26°20'59" E | 280.41' |
| C23 | 280.00' | 204.85' | S 44°58'32" W | 200.31' |
| C24 | 596.39' | 626.05' | S 75°45'12" W | 597.69' |
| C25 | 706.00' | 499.40' | N 65°56'27" E | 489.05' |
| C26 | 945.00' | 338.42' | S 83°32'07" E | 336.62' |
| C27 | 25.00' | 37.96' | S 19°29'31" E | 34.41' |
| C28 | 25.00' | 27.51' | N 50°46'53" E | 26.14' |
| C29 | 5370.00' | 586.92' | S 70°08'42" E | 586.62' |
| C30 | 1190.00' | 273.21' | S 60°23'59" E | 272.61' |
| C31 | 5790.00' | 735.76' | S 50°10'56" E | 735.26' |
| C32 | 550.00' | 234.05' | N 58°43'58" W | 232.29' |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 53°49'21" W | 125.41' |
| L2 | S 68°22'48" E | 54.82' |
| L3 | S 45°00'04" E | 55.30' |
| L4 | S 31°01'56" E | 36.81' |
| L5 | S 21°35'11" E | 71.21' |
| L6 | S 10°46'32" E | 69.38' |
| L7 | S 20°18'57" E | 27.57' |
| L8 | S 39°28'49" E | 54.26' |
| L9 | S 30°18'17" W | 19.74' |
| L10 | S 03°25'08" E | 15.80' |
| L11 | S 32°52'53" E | 12.59' |
| L12 | S 63°36'45" E | 25.28' |
| L13 | N 88°22'42" E | 9.46' |
| L14 | N 48°48'30" E | 42.88' |
| L15 | S 62°17'19" E | 40.34' |
| L16 | S 25°28'06" E | 66.84' |
| L17 | S 37°32'55" E | 64.95' |
| L18 | S 65°49'20" E | 66.77' |
| L19 | S 70°20'45" E | 44.26' |
| L20 | S 41°43'41" E | 50.71' |
| L21 | S 22°10'52" E | 85.37' |
| L22 | S 36°58'10" E | 84.09' |
| L23 | S 14°55'39" E | 59.02' |
| L24 | S 24°21'23" E | 68.05' |
| L25 | S 46°14'39" E | 92.25' |
| L26 | S 26°18'25" E | 83.28' |
| L27 | S 17°41'06" E | 61.58' |
| L28 | S 43°38'40" E | 20.09' |
| L29 | S 62°50'21" E | 49.48' |
| L30 | N 62°17'59" E | 86.87' |
| L31 | N 79°07'39" E | 57.45' |
| L32 | S 87°03'50" E | 122.72' |
| L33 | N 85°03'51" E | 57.26' |
| L34 | N 77°00'51" E | 90.83' |
| L35 | S 71°47'00" E | 108.59' |
| L36 | S 35°43'08" E | 50.38' |
| L37 | S 09°25'19" E | 72.95' |
| L38 | S 54°15'50" E | 84.79' |
| L39 | S 31°07'13" E | 34.06' |
| L40 | S 16°40'18" E | 98.00' |
| L41 | S 36°01'28" E | 38.80' |
| L42 | S 77°12'10" E | 19.64' |
| L43 | S 89°22'39" E | 44.35' |
| L44 | S 65°23'15" E | 27.92' |
| L45 | S 47°04'21" E | 68.54' |
| L46 | S 55°50'55" E | 87.81' |
| L47 | S 62°48'31" E | 28.70' |
| L48 | S 65°02'29" E | 71.02' |
| L49 | S 77°48'47" E | 24.70' |
| L50 | N 45°06'00" E | 24.51' |
| L51 | N 08°22'12" E | 31.73' |
| L52 | N 38°27'00" W | 35.78' |
| L53 | S 59°26'45" W | 71.72' |
| L54 | N 13°37'28" E | 28.25' |
| L55 | S 69°33'57" E | 76.68' |
| L56 | S 54°46'22" E | 37.79' |
| L57 | N 83°46'40" E | 16.73' |
| L58 | N 10°10'06" E | 85.68' |
| L59 | S 20°09'29" E | 122.53' |
| L60 | N 75°31'08" E | 103.55' |
| L61 | N 62°57'11" E | 58.40' |
| L62 | N 70°05'52" E | 80.21' |
| L63 | N 75°47'12" E | 81.28' |
| L64 | N 77°51'09" E | 46.17' |
| L65 | N 63°46'59" E | 75.51' |
| L66 | N 64°45'25" E | 26.12' |
| L67 | N 76°28'40" E | 43.61' |
| L68 | N 53°48'52" E | 78.19' |
| L69 | S 89°58'28" E | 72.73' |
| L70 | S 84°41'21" E | 117.79' |
| L71 | S 84°03'12" E | 68.10' |
| L72 | S 83°05'53" E | 80.01' |
| L73 | S 77°52'22" E | 82.52' |
| L74 | S 83°23'33" E | 130.27' |
| L75 | S 73°28'36" E | 90.61' |
| L76 | N 87°44'54" E | 93.77' |
| L77 | S 78°45'25" E | 144.94' |
| L78 | S 86°29'45" E | 44.76' |
| L79 | S 83°27'49" E | 27.87' |
| L80 | N 79°58'30" E | 29.29' |
| L81 | N 59°40'56" E | 47.26' |
| L82 | N 88°47'08" E | 129.50' |
| L83 | S 74°10'10" E | 66.56' |
| L84 | S 58°23'00" W | 68.69' |
| L85 | N 87°30'56" E | 132.30' |
| L86 | N 00°29'04" W | 126.60' |
| L87 | S 65°56'25" W | 175.32' |
| L88 | N 65°56'25" E | 175.32' |
| L89 | S 27°17'20" E | 193.81' |
| L90 | S 25°15'53" E | 18.08' |
| L91 | S 74°10'10" E | 121.21' |
| L92 | S 24°01'19" W | 67.23' |
| L93 | S 21°09'34" W | 100.12' |
| L94 | N 26°53'04" E | 100.12' |
| L95 | N 24°01'19" E | 82.37' |
| L96 | S 73°16'34" E | 43.63' |
| L97 | N 53°49'21" W | 125.41' |
| L98 | S 05°44'14" W | 14.80' |



**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**

LEGEND

| | |
|-------|-------------------------|
| ● | EXISTING IRON PIPE |
| ○ | IRON PIPE SET |
| ▲ | CALCULATED POINT |
| ⊙ | BORE HOLE |
| ⊕ | SANITARY SEWER MANHOLE |
| ⊖ | SANITARY SEWER CLEANOUT |
| ⊗ | WATER VALVE |
| ⊘ | WATER METER |
| ⊙ | FIRE HYDRANT |
| ⊕ | TELEPHONE PEDESTAL |
| ⊖ | TELEPHONE MANHOLE |
| ⊗ | ELECTRIC BOX |
| ⊘ | LIGHT POLE |
| ⊙ | POWER POLE |
| ⊕ | CURB INLET |
| ⊖ | STORM DRAINAGE MANHOLE |
| ⊗ | YARD INLET |
| —○— | STORM DRAIN PIPE |
| —OU— | OVERHEAD UTILITY LINES |
| —W— | WATER LINE |
| —SS— | SANITARY SEWER LINE |
| —T— | TELEPHONE LINE |
| —G— | GAS LINE |
| —UE— | UNDERGROUND ELECTRIC |
| —UT— | UNDERGROUND TELEPHONE |
| —X—X— | FENCE LINE |

THE JOHN R. McADAMS COMPANY, INC.
2906 Meridian Parkway
Durham, North Carolina 27713
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McADAMS

TOPOGRAPHIC SURVEY

STEPPLECHASE (EARP PROPERTY)
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

PROJECT NO. WDL-14000
FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 2-3

REVISIONS:

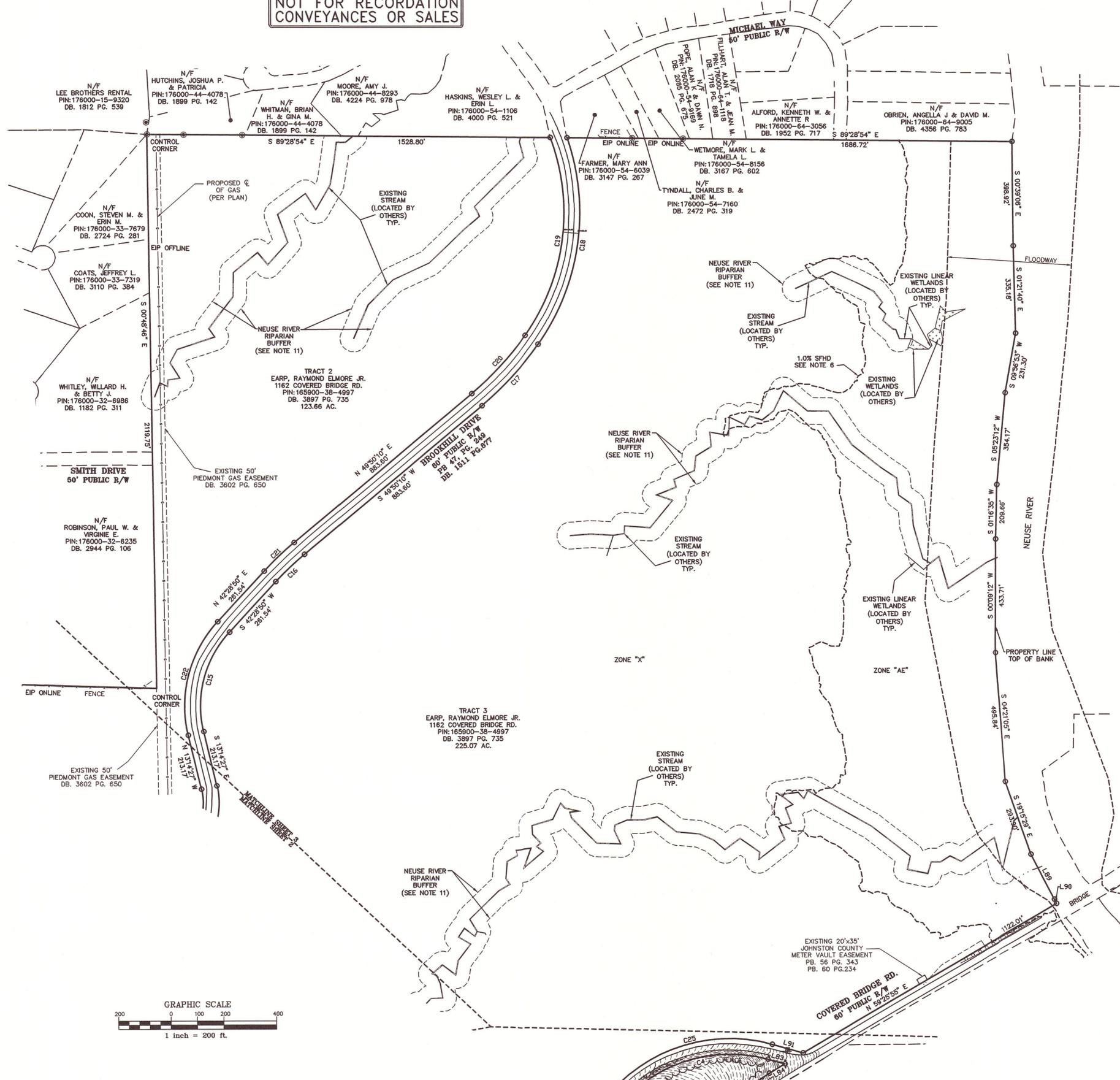
SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

NC GRID NAD 83 (2011)

GENERAL NOTES

1. SEE SHEET 2 FOR LINE AND CURVE TABLES.
2. SEE SHEET 1 FOR GENERAL NOTES.

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**



- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - ▲ CALCULATED POINT
 - ⊙ BORE HOLE
 - ⊕ SANITARY SEWER MANHOLE
 - ⊖ SANITARY SEWER CLEANOUT
 - ⊗ WATER VALVE
 - ⊘ WATER METER
 - ⊙ FIRE HYDRANT
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ TELEPHONE MANHOLE
 - ⊙ ELECTRIC BOX
 - ⊙ LIGHT POLE
 - ⊙ POWER POLE
 - ⊙ CURB INLET
 - ⊙ STORM DRAINAGE MANHOLE
 - ⊙ YARD INLET
 - STORM DRAIN PIPE
 - OU— OVERHEAD UTILITY LINES
 - W — WATER LINE
 - SS — SANITARY SEWER LINE
 - T — TELEPHONE LINE
 - G — GAS LINE
 - UE — UNDERGROUND ELECTRIC
 - UT — UNDERGROUND TELEPHONE
 - X—X— FENCE LINE

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2905 Meridian Parkway
Durham, North Carolina 27713
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REVISIONS:

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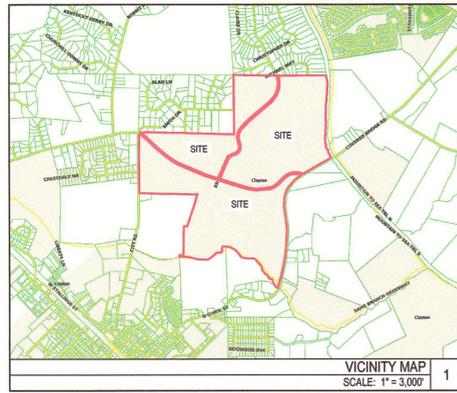
SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

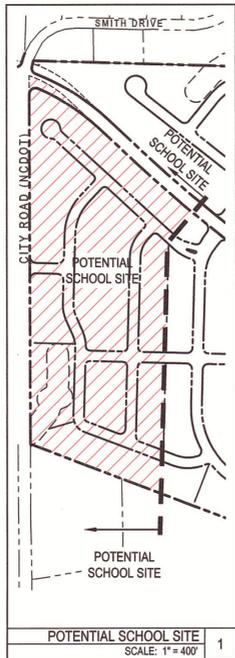
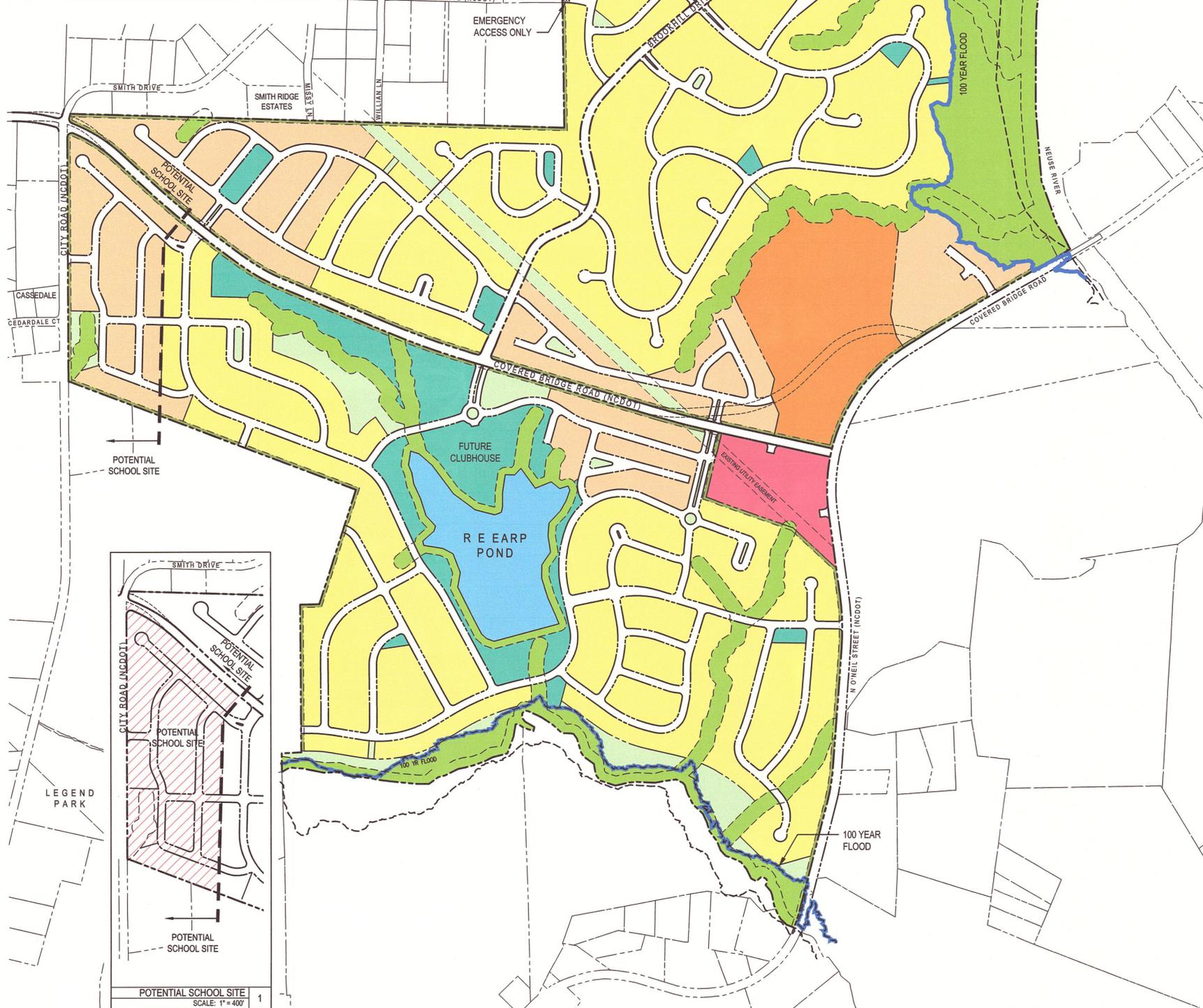
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|--------------|-------------|
| PROJECT NO. | WDL-14000 |
| FILENAME: | WDL14000-C1 |
| SURVEYED BY: | RTF |
| DRAWN BY: | JBT |
| SCALE: | 1"=200' |
| DATE: | 10-29-2014 |
| SHEET NO. | 3-3 |



X:\Projects\WDL-14000\Survey\Topographic\WDL14000-C1.dwg, 12/23/2014 11:52:24 AM, Taylor, JBT



VICINITY MAP
SCALE: 1" = 3,000'



POTENTIAL SCHOOL SITE
SCALE: 1" = 400'

SITE DATA:

| | |
|----------------------------------|--|
| SITE ADDRESS: | 1162 COVERED BRIDGE ROAD, CLAYTON, JOHNSTON COUNTY, NC 27520 |
| TOWN LIMIT OR ETJ: | WITHIN TOWN OF CLAYTON, TOWN LIMIT |
| ACREAGE: | 27,488,974 SF/631.06 AC (ASSESSED); 27,488,102 SF/631.04 AC (CALC. AREA) |
| NC PIN NUMBER: | 066900-38-4997 |
| PARCEL ID/TAG: | 05H02009 |
| TAX UNIQUE ID: | 3869846 |
| OWNERS: | NANCY CREWS EARP & MARY EARP WORLEY |
| OWNERS' ADDRESS: | 7230 NC 42 EAST, SELMA, NC 27576 |
| DEED BOOK: | BOOK 03897, PAGE 0735 |
| ZONING(S): | R-8, R-10, NB (B-2) |
| OVERLAY DISTRICT: | WATERSHED PROTECTION OVERLAY DISTRICT |
| WATERSHED PROTECTION OVERLAY: | YES (SOUTHEAST PORTION OF THE SITE ONLY) |
| RESOURCE CONSERVATION AREA: | 0 AC |
| ANNEXATION NUMBER: | N/A |
| FEMA: | FIRM PANEL - 3720176000J; EFFECTIVE DATE - 12/02/2005 |
| EXISTING USE: | FLOOD PLAIN EXISTS WITHIN THIS SITE |
| EXISTING DENSITY: | VACANT |
| PROPOSED MAXIMUM D.U.: | 0 DU / AC |
| PROPOSED COMMERCIAL MAXIMUM SF: | 2,200 |
| PROPOSED DENSITY: | 75,000 SF |
| PROPOSED USE: | 3.49 DU / AC |
| ELECTRIC PROVIDER: | RESIDENTIAL AND COMMERCIAL |
| WATER PROVIDER: | TOWN OF CLAYTON |
| SEWER PROVIDER: | TOWN OF CLAYTON |
| EXISTING IMPERVIOUS AREA: | 0 SF / 0 AC / 0 % |
| PROPOSED IMPERVIOUS AREA: | 19,242,281 SF / 441.74 AC / 70% |
| OVERALL MAXIMUM IMPERVIOUS AREA: | 70% |

| USE | ACRES | % LAND AREA |
|---|------------|-------------|
| RCA's (Riparian Buffers, Flood Plain, Pond) | +/- 111.19 | +/- 17.62% |
| Recreation Open Space | +/- 65.08 | +/- 10.31% |
| Residential uses | +/- 444.88 | +/- 70.50% |
| Neighborhood retail | +/- 9.91 | +/- 1.57% |
| Total | 631.06 | 100% |

NOTES:

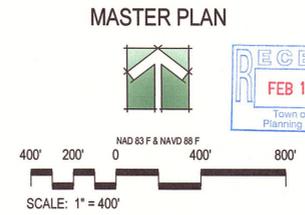
1. THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

STREET TREES NOTES:

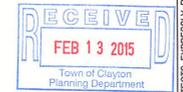
1. STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET & MINIMUM OF 40 FEET APART.
2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

LEGEND:

| | |
|--|---|
| | ACTIVE RECREATIONAL OPEN SPACE |
| | PASSIVE OPEN SPACE |
| | RIPARIAN BUFFERS AND FLOODPLAIN |
| | 20' TYPE "C" PERIMETER BUFFER |
| | RESIDENTIAL USE <ul style="list-style-type: none"> • SMALL LOT SINGLE FAMILY (DETACHED) • MEDIUM LOT SINGLE FAMILY (DETACHED) • LARGE LOT SINGLE FAMILY (DETACHED) • ATTACHED SINGLE FAMILY |
| | RESIDENTIAL USE <ul style="list-style-type: none"> • TOWNHOMES |
| | RESIDENTIAL USE <ul style="list-style-type: none"> • CONDOMINIUMS • APARTMENTS / TOWNHOME OPTION |
| | COMMERCIAL |



MASTER PLAN



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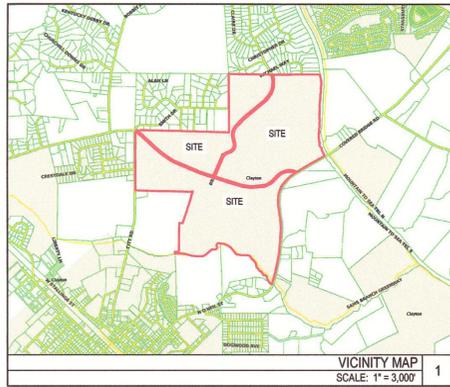
J DAVIS
 510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500
 1518 Walnut St., Suite 1306 | Philadelphia, PA 19102 | Tel 215.545.0121
 PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520



Preliminary Plat
 Review
 (Major Subdivision)
 Not for Construction

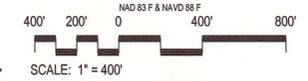
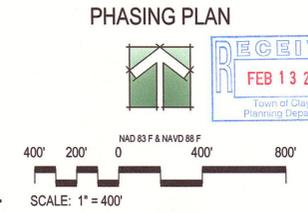
| PROJECT: | WDC-14080 | DATE: | 10.01.2014 |
|-------------|------------------------|-------|------------|
| ISSUE: | Prelim. Plat (Mjr Sub) | | 10.01.2014 |
| REVISIONS: | 1st Review Comments | | 10.24.2014 |
| | 2nd Review Comments | | 11.10.2014 |
| | 3rd Review Comments | | 01.07.2015 |
| | 4th Review Comments | | 01.14.2015 |
| | 5th Review Comments | | 01.20.2015 |
| | 6th Review Comments | | 02.13.2015 |
| DRAWN BY: | KT, SB | | |
| CHECKED BY: | KT | | |
| CONTENT: | MASTER PLAN | | |



NOTES:
 THE CLUBHOUSE PERMIT SHALL BE REQUIRED PRIOR TO THE 251ST BUILDING PERMIT.

| PHASE | ACRES IN AC |
|--------------|-------------------|
| 1 | +/- 5.49 |
| 2 | +/- 14.14 |
| 3 | +/- 18.55 |
| 4 | +/- 7.22 |
| 5 | +/- 30.99 |
| 6 | +/- 24.39 |
| 7 | +/- 11.13 |
| 8 | +/- 11.07 |
| 9 | +/- 17.67 |
| 10 | +/- 19.37 |
| 11 | +/- 18.62 |
| 12 | +/- 9.52 |
| 13 | +/- 13.10 |
| 14 | +/- 11.06 |
| 15 | +/- 34.64 |
| 16 | +/- 26.68 |
| 17 | +/- 12.45 |
| 18 | +/- 16.36 |
| 19 | +/- 10.78 |
| 20 | +/- 13.79 |
| 21 | +/- 19.64 |
| 22 | +/- 26.53 |
| 23 | +/- 16.57 |
| 24 | +/- 10.32 |
| 25 | +/- 7.94 |
| 26 | +/- 11.46 |
| 27 | +/- 10.26 |
| 28 | +/- 12.84 |
| 29 | +/- 9.50 |
| 30 | +/- 23.60 |
| 31 | +/- 25.11 |
| 32 | +/- 13.42 |
| 33 | +/- 27.16 |
| 34 | +/- 13.00 |
| 35 | +/- 18.63 |
| 36 | +/- 54.25 |
| FUTURE | +/- 9.89 |
| TOTAL | +/- 637.13 |

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JDAVIS
 510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | tel 919.835.1600
 1616 Walnut St., Suite 1308 | Philadelphia, PA 19102 | tel 215.545.0121
 PSD 2014-128 & PDD 2014-127

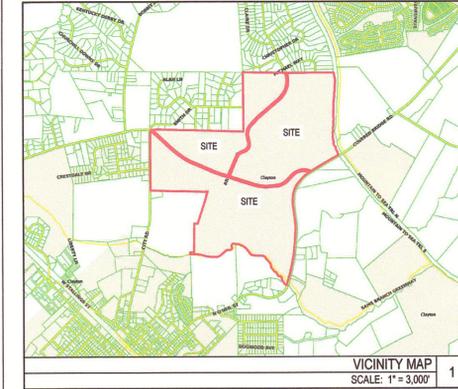
Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520



Preliminary Plat
 Review
 (Major Subdivision)
 Not for Construction

| | PROJECT: | WDC-14080 | DATE | 10.01.2014 |
|------------|------------------------|-----------|------------|------------|
| ISSUE: | Prelim. Plat (Mjr Sub) | | 10.01.2014 | |
| REVISIONS: | 1st Review Comments | | 10.24.2014 | |
| | 2nd Review Comments | | 11.10.2014 | |
| | 3rd Review Comments | | 01.07.2015 | |
| | 4th Review Comments | | 01.14.2015 | |
| | 5th Review Comments | | 01.20.2015 | |
| | 6th Review Comments | | 02.13.2015 | |

DRAWN BY: KT, SB
 CHECKED BY: KT
 CONTENT: PHASING PLAN



REQUIRED ACTIVE RECREATION SPACE
64.98 ac x 25% = 16.245 AC

| REQUIRED CONSERVATION AREAS | ACRES | % LAND AREA (GROSS) |
|-----------------------------------|------------|---------------------|
| Flood Plain | +/- 53.78 | +/- 10.34% |
| Riparian Buffers | +/- 41.03 | +/- 7.89% |
| Pond | +/- 16.38 | +/- 3.15% |
| Total Required Conservation Areas | +/- 111.19 | +/- 21.39% |

OPEN SPACE PROVIDED

| | | |
|---------------------------|-----------|------------|
| Active Recreation Space | +/- 29.22 | +/- 4.63% |
| Passive Open Space | +/- 29.83 | +/- 4.73% |
| Phase 7 | +/- 6.03 | +/- 0.96% |
| Total Open Space Provided | +/- 65.08 | +/- 10.31% |

LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

| | |
|---------|--------------------------------------|
| Public | +/- 12,700 LF (127,000 SF / 2.91 AC) |
| Private | +/- 13,400 LF (134,000 SF / 3.07 AC) |

ACTIVE RECREATION SPACE BREAKDOWN

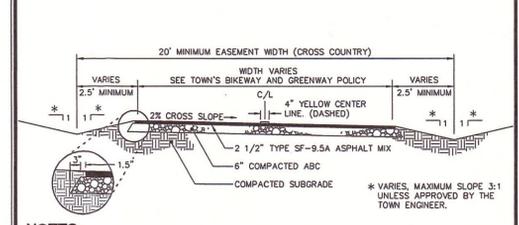
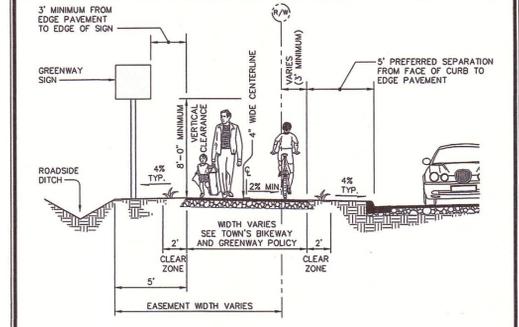
| | |
|-----------|----------|
| Clubhouse | 7.02 AC |
| Greenway | 3.07 AC |
| Parks | 19.13 AC |

NOTES:
ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.

LEGEND:

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAM'S BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
- DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY

Details Provided by APPIAN Consulting Engineers - www.appianengineers.com 08/06/2010 - 9:22:14 AM

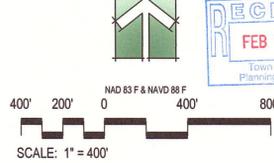


NOTES:
1. See detail 401.01 for road way construction / dimensions.
2. Subgrade must be compacted enough to hold up the paving operation.

TOWN OF CLAYTON
TYPICAL BIKEWAY / GREENWAY PAVEMENT SECTION

SCALE: 1" = 400'
DATE: 10.01.2014

RECREATION & OPEN SPACE PLAN



Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

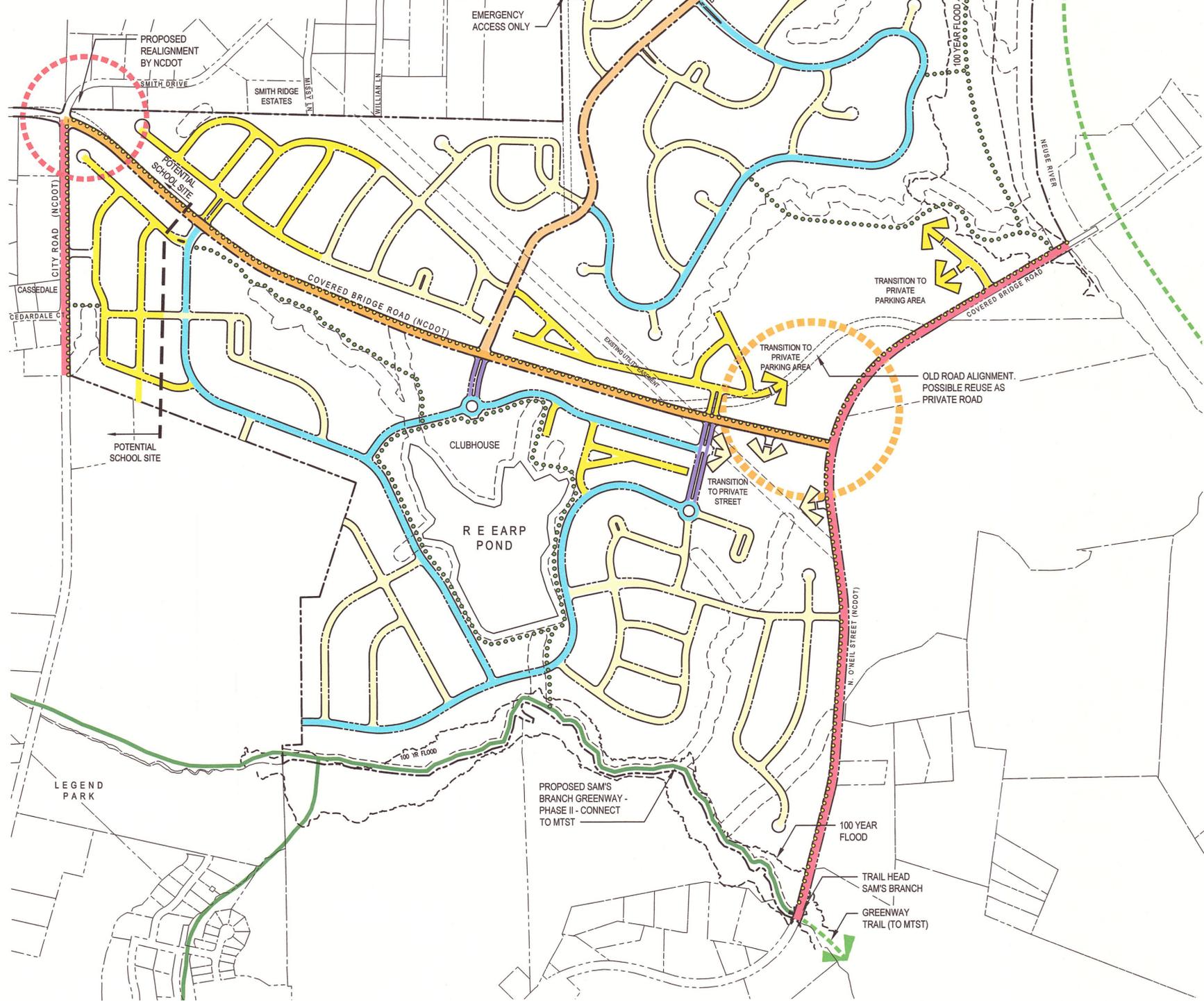
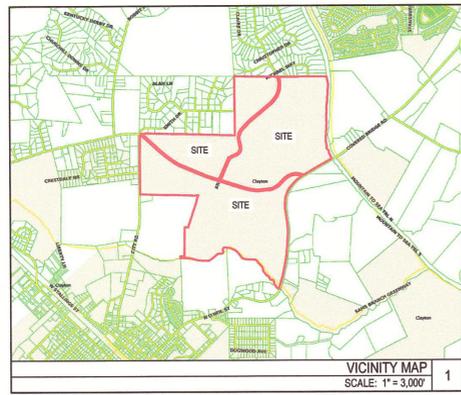


Preliminary Plat
Review
(Major Subdivision)
Not for Construction

| PROJECT: | WDC-14080 | DATE: | 10.01.2014 |
|-------------|------------------------------|-------|------------|
| ISSUE: | Prelim. Plat (Mjr Sub) | | 10.01.2014 |
| REVISIONS: | 1st Review Comments | | 10.24.2014 |
| | 2nd Review Comments | | 11.10.2014 |
| | 3rd Review Comments | | 01.07.2015 |
| | 4th Review Comments | | 01.14.2015 |
| | 5th Review Comments | | 01.20.2015 |
| | 8th Review Comments | | 02.13.2015 |
| DRAWN BY: | KT, SB | | |
| CHECKED BY: | KT | | |
| CONTENT: | RECREATION & OPEN SPACE PLAN | | |

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- WAIVER REQUESTS:**
1. ALL INTERNAL STREETS WILL HAVE SIDEWALK ON AT LEAST ONE SIDE TO PROVIDE A NETWORK OF PEDESTRIAN ACCESS THROUGHOUT THE SITE AND CONNECTION TO THE PRIVATE INTERNAL GREENWAY THAT WILL CONNECT TO THE FUTURE SAM'S BRANCH GREENWAY EXTENSION.
 2. THIS PROPOSAL REQUESTS THAT IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 - *3. PROPOSED RESIDENTIAL STREET WITH CAL-DE-SAC EXCEEDS TOWN OF CLAYTON MAXIMUM LENGTH. REQUEST APPROVAL OF 1,000 LF CAL-DE-SAC.
 4. THIS PROPOSAL REQUESTS THAT ALL PLANTER STRIPS BE INCREASED TO 6' WIDE AND THAT TREE SPECIES ARE TO BE APPROVED BY THE PLANNING DIRECTOR.

- STREET TREES NOTES:**
1. STREET STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART
 2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

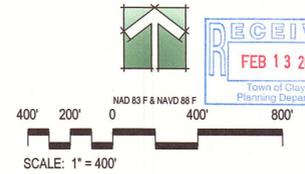
REFER SHEET 8 OF 8 FOR STREET WAIVER REQUESTS

- LEGEND:**
- PROPOSED ROAD REALIGNMENT BY DEVELOPER
 - PROPOSED ROAD REALIGNMENT BY NCDOT
 - EXISTING BROOKHILL DRIVE (NCDOT)
 - EXISTING COVERED BRIDGE ROAD (NCDOT)
 - EXISTING COLLECTOR STREET
 - N. O'NEIL STREET (NCDOT) - BUILD 1/2 OF 41' BACK TO BACK ROAD
 - CITY ROAD (TOWN OF CLAYTON) - BUILD 1/2 OF 41' BACK TO BACK ROAD
 - RESIDENTIAL COLLECTOR STREET (PUBLIC)
 - RESIDENTIAL MAIN ENTRANCE (ALT "B")
 - RESIDENTIAL STREET (PUBLIC)
 - RESIDENTIAL STREET (PRIVATE)
 - PROPOSED SAM'S BRANCH - PHASE II BY OTHERS
 - EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
 - PROPOSED PRIVATE GREENWAY
 - PROPOSED PUBLIC 10' MULTI-POUSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD

NOTE:

THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

VEHICULAR & PEDESTRIAN CIRCULATION PLAN



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JDAVIS
 510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.855.1500
 1516 Wilshire St., Suite 1350 | Philadelphia, PA 19102 | Tel 215.540.0121
 PSD 2014-128 & PDD 2014-127

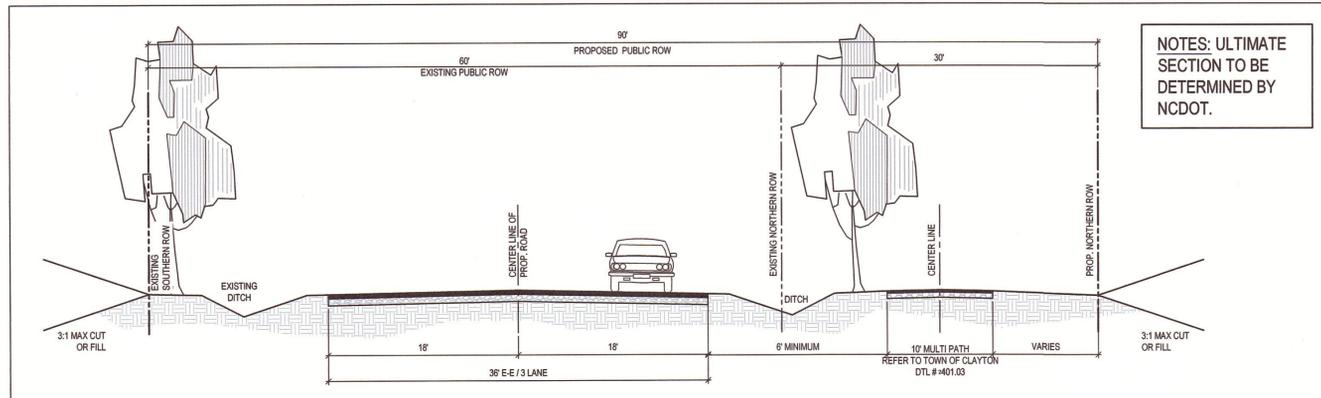
Galaxy NC, LLC
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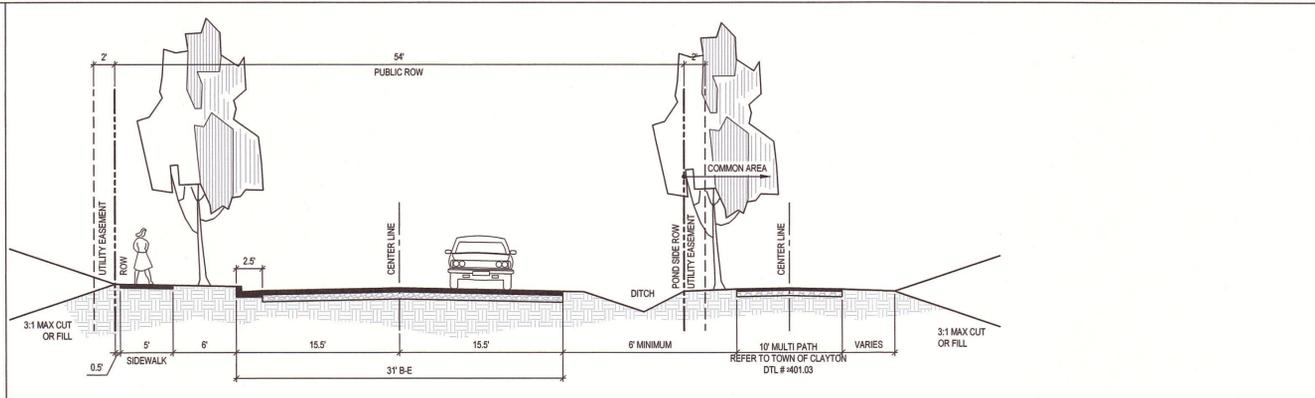
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| | 5th Review Comments | 01.20.2015 | |
| | 6th Review Comments | 02.13.2015 | |

DRAWN BY: KT, SB
 CHECKED BY: KT
 CONTENT: VEHICULAR & PEDESTRIAN CIRCULATION PLAN

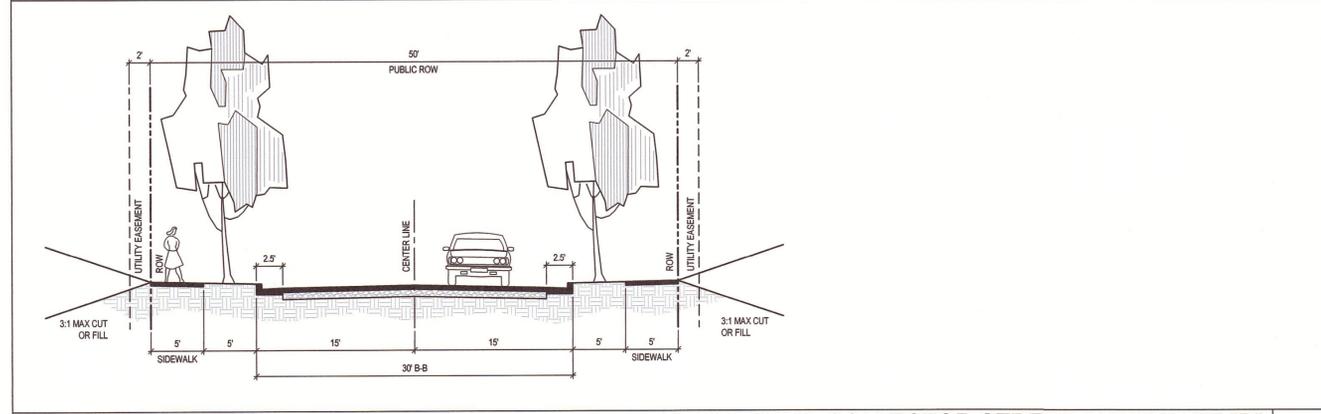
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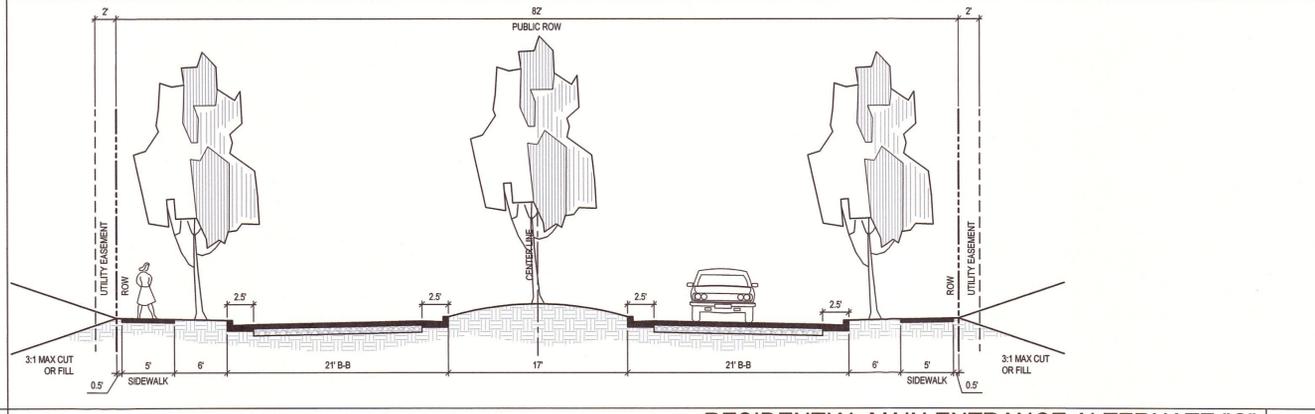
COVERED BRIDGE ROAD (NCDOT)
SCALE: NTS 1



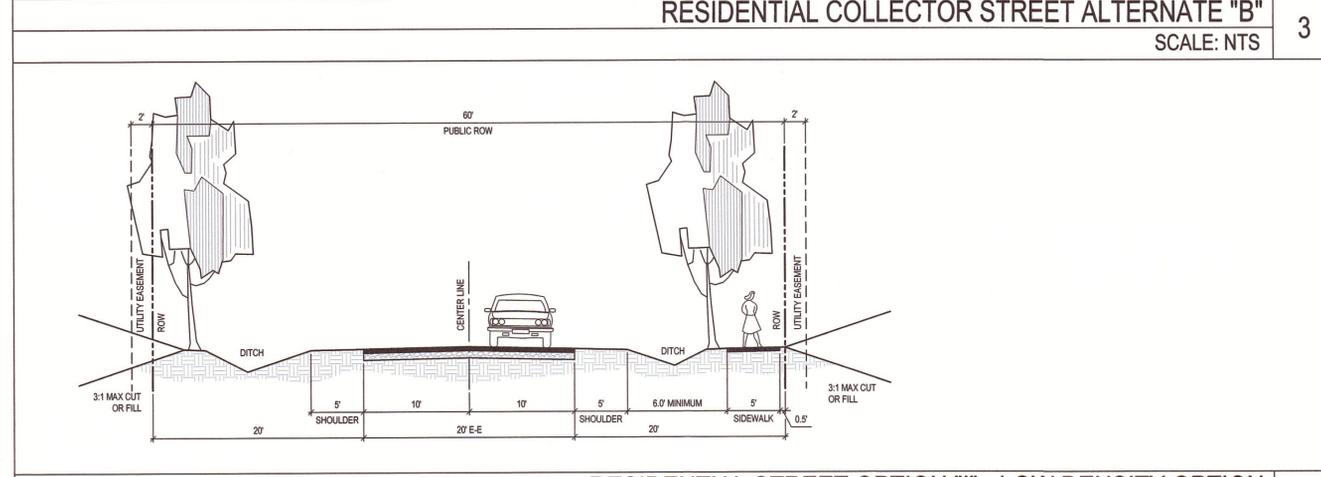
RESIDENTIAL COLLECTOR STREET ALTERNATE "A" - PERIMETER OF EARP POND ONLY
SCALE: NTS 2



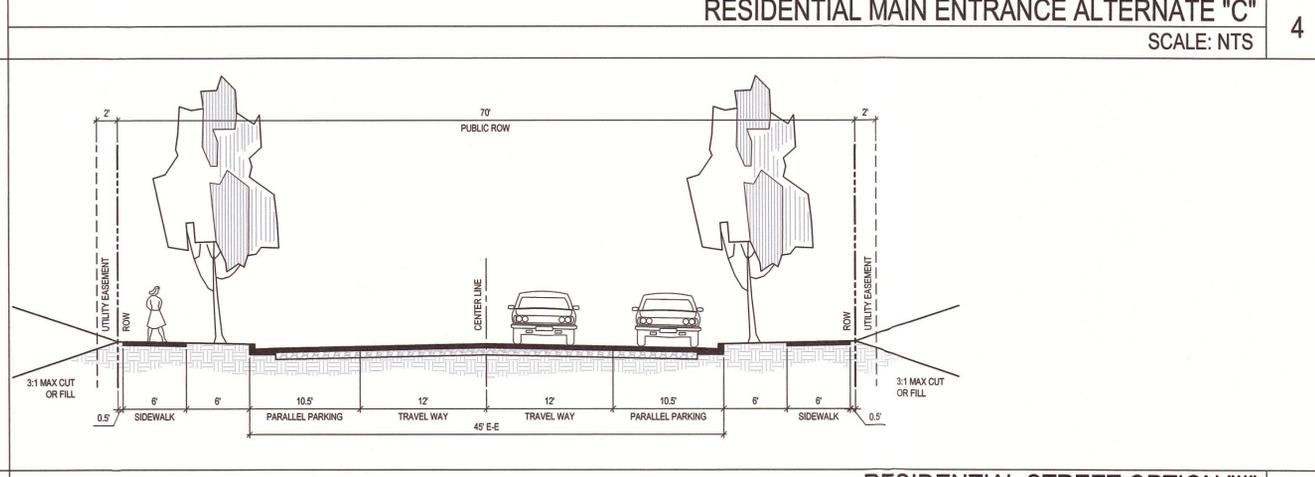
RESIDENTIAL COLLECTOR STREET ALTERNATE "B"
SCALE: NTS 3



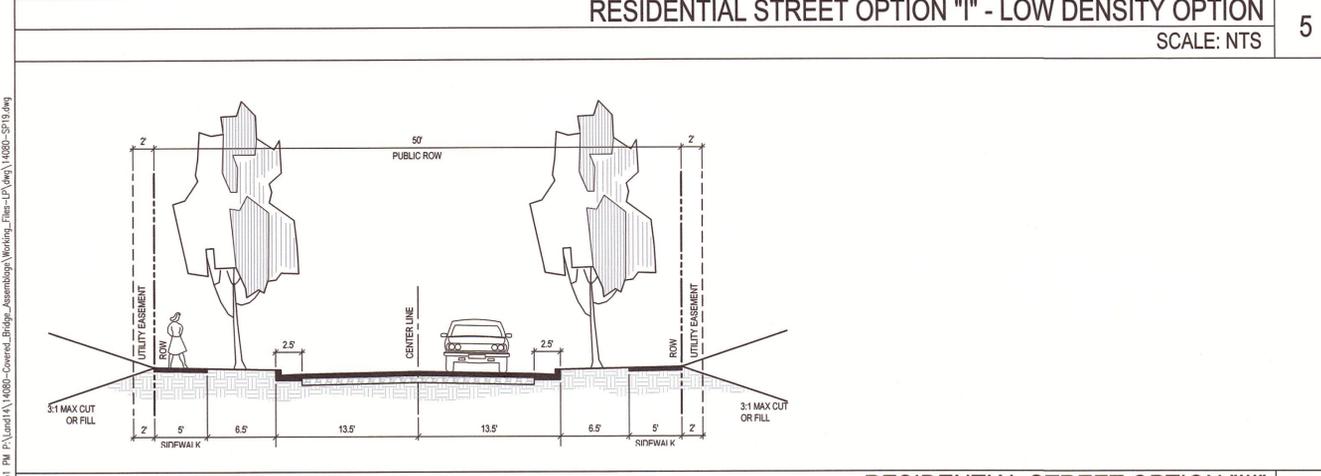
RESIDENTIAL MAIN ENTRANCE ALTERNATE "C"
SCALE: NTS 4



RESIDENTIAL STREET OPTION "I" - LOW DENSITY OPTION
SCALE: NTS 5



RESIDENTIAL STREET OPTION "II"
SCALE: NTS 6



RESIDENTIAL STREET OPTION "III"
SCALE: NTS 7

NOTES:

- IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON STANDARD VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
- THE ULTIMATE SECTION FOR ALL NCDOT ROADS ON THE PERIMETER OF THE PROJECT WILL BE DETERMINED BASED ON TIA AND NCDOT RECOMMENDATIONS.
- DEVELOPER TO PROVIDE 10' MULTIPURPOSE TRAIL IN LIEU OF SIDEWALKS ON CITY ROAD AND NCDOT ONEIL STREET

STREET TREES NOTES:

- STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART.
- ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

20' EASEMENT OR COMMON PROPERTY

8' 8' 16' E-E

ALLEY
SCALE: NTS 8

NOTES
SCALE: NTS 9



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| | 6th Review Comments | 02.13.2015 |
| DRAWN BY: | KT, SB | |
| CHECKED BY: | KT | |
| CONTENT: | STREET WAIVER REQUESTS | |

February 13, 2015

Jay McLeod
Town of Clayton
Planning Department
111 East Second Street
Clayton, NC 2014

Dear Jay,

Below are the meeting minutes from February 12, 2015 for the Steeplechase project reference PSD-2014-128 and PDD-2014-012.

Meeting start 7:00 PM

Mr. DeYoung began with introductions and opened the floor to Mr. Thompson from JDavis. Mr. Thompson started by announcing immediately that the street connections had been removed from the plan on Missy and Williams Lanes, but still emergency access connections to Smith Drive and Michael Way. Immediately there was vocal concern from the attendees. Mr. Thompson responded by asking the group to hold comments until the entire presentation was completed, then we would open the floor to questions and comments. Mr. Thompson finished his presentation without interruption.

Question and comment period:

Mr. DeYoung, Mr. Thompson and Councilman Satterfield fielded questions from the attendees until Councilman Satterfield closed the meeting at 930. The attending residents can be broken down into 2 groups, one being Smith Ridge homeowners and the other being Old Mill Stream homeowners.

Smith Ridge residents concerns are primarily the location of the townhomes, density, emergency access connection and traffic. Near the end of the meeting a resident asked if the developer would be willing to increase the buffer width to 50' and maintain the existing vegetation. Mr. Thompson said they would take it under consideration. Smith Ridge residents concerns are primarily Brookhill Drive, density, emergency access connection and traffic.

By 9 PM the emotions had settled and the last 30 minutes of the meeting were the most productive. At 9:30 Councilman Satterfield closed the meeting.

Meeting end 9:30 PM



Kenneth D. Thompson
PLA, ASLA, LEED AP | Senior Associate