

**AGENDA**  
**TOWN OF CLAYTON PLANNING BOARD MEETING**  
**Monday, October 26, 2015**  
**6:00 PM**  
TOWN COUNCIL CHAMBERS  
111 E. SECOND STREET  
For Information: (919) 553-5002

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- I. CALL TO ORDER**
- II. ADJUSTMENTS TO THE AGENDA**
- III. APPROVAL OF MINUTES**
  - A. July, August, and September minutes tabled until November meeting**
- IV. REPORTS AND COMMENTS**
- V. OLD BUSINESS**
- VI. NEW BUSINESS**
  - A. 15-25-01-SP Operations Center Expansion Phase 1 - Major Site Plan**

Request to construct new truck access from Hwy 42, employee parking, truck docks, storage space, and stormwater measures as required. This will be an expansion of the Town of Clayton's Operations Center.
  - B. 13-106-01-SD Hannah's Creek - Major Subdivision Modification**

Request to create 1 additional lot in the existing Hannah's Creek subdivision using land currently designated as "open space".
  - C. 15-51-01-SUP Nick's Flippin Kids – Special Use Permit**

Request for a special use permit to open "Nick's Flippin Kids", a gymnastics facility, in an existing & vacant building located in a Special Use District.
  - D. 15-48-01-PDD NC 42 East - Mixed Use Rezoning/Master Plan**

Request to rezone 45.75 acres from Industrial-Heavy (I-2) and Residential-Estate (R-E) to Planned Development Mixed Use (PD-MU).
  - E. Adopt 2016 Meeting Calendar**

**VII. INFORMAL DISCUSSION AND PUBLIC COMMENT**

**VIII. ADJOURN**



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

Planning Board  
October 26, 2015

## STAFF REPORT

**Application Number:** 15-25-01-SP

**Project Name:** Operations Center Expansion Phase 1 Major Site Plan

**NC PIN / Tag #:** 165807-67-0901 / 05G02011K  
**Town Limits/ETJ:** Town Limits  
**Overlay:** Thorough Fare Overlay  
**Applicant:** McGill Associates, P.A  
**Owner:** Town of Clayton  
**Location:** 653 Highway 42 West, at the intersection of Guy Road and Hwy 42 W

**Public Noticing:**

- Neighborhood meeting October 16, 2015
- Sign posted prior to October 16, 2015

**REQUEST:** The applicant is requesting major site plan approval to expand the Town of Clayton's existing Operations Center by developing a new employee parking lot, new truck docks, and new storage bays.

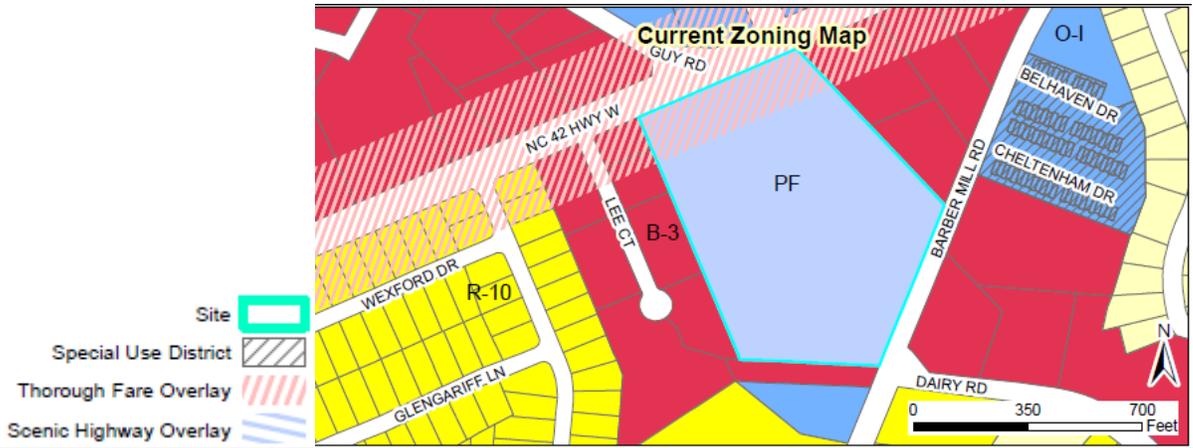
**SITE DATA:**

**Acreage:** 2.67 acres  
**Existing Use:** Town of Clayton Operations Center



**ADJACENT ZONING AND LAND USES:**

Direction	Zoning	Existing Use
North	Office-Institutional & Highway-Business	Commercial/Office
South	Highway-Business, Office-Institutional	Commercial
East	Office Institutional & Highway-Business	Commercial
West	Highway-Business	Commercial



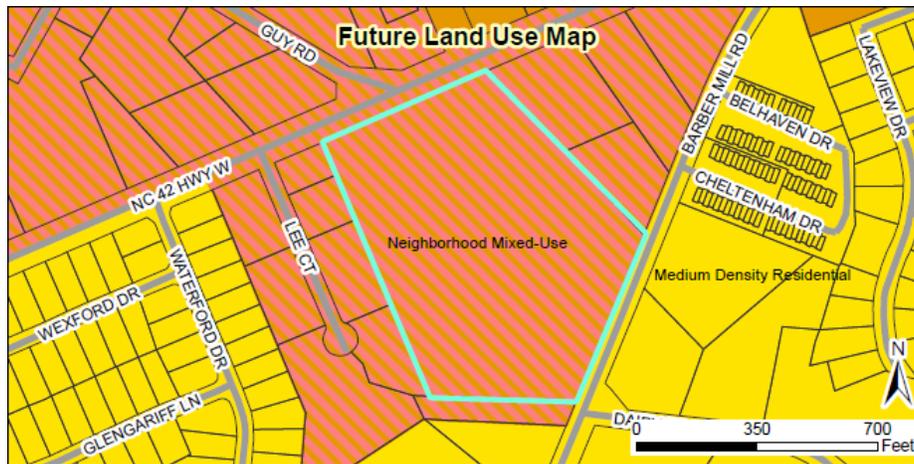
**DEVELOPMENT DATA:**

- Proposed Uses: Government Service
- Buildings: 4 Existing, 1 Proposed
- Impervious Surface: 47%
- Proposed Parking: 26 new spaces
- Fire Protection: Town of Clayton
- Access/Streets: There are two existing access driveways. Both are located off of Hwy 42 W.
- Water/Sewer Provider: Town of Clayton
- Electric Provider: Town of Clayton

**STAFF ANALYSIS:**

**Overview**

The applicant is requesting major site plan approval to expand the existing Town of Clayton Operations Center. The applicant is requesting to develop a new employee parking lot which will provide 26 additional parking spaces to the site. The existing vegetation on the western portion of the site is proposed to be removed in order to expand on the existing warehouse. This expansion consists of adding a new loading dock, ramp, and pad, along with four new covered storage bays. The existing driveway off of Hwy 42 West is proposed to be extended in order to connect to the new parking lot and to allow access to the new loading docks and storage bays.



**Consistency with Adopted Plans:**

- **2040 Comprehensive Plan**  
The 2040 Comprehensive Plan designates this site as “Neighborhood Mixed-Use”, with adjacent properties as the same or Medium Density Residential. This proposed expansion of the existing Operations Center is consistent with the future land use map.
- **Unified Development Code**  
The proposed development meets all requirements in the Unified Development Code (UDC).

**Landscaping and Buffering**

The site meets all applicable elements of the UDC landscaping requirements. The applicant will be preserving the existing vegetation along the western and southern property lines. This will serve as a 50 foot buffer between adjacent properties.

**Environmental**

The site has existing wetlands located on the western most portion of the property. These wetlands will not be disturbed. A temporary silt fence will be provided on the southern portion of the property, along with a temporary detention pond.

**Access/Streets**

There are two existing access driveways off of Hwy 42 W. The western driveway will be extended further into the site in order to provide access to the new parking lot and the new gravel lot, which is where the new truck docks and storage bays will be located.

**Multi-Modal Access**

New sidewalks will be provided in the new parking lot, connecting it to the main building.

**Garbage / Recycling**

No dumpsters are proposed to be added as a part of this expansion.

**Architecture/Design**

N/A

**Waivers/Deviations/Variations from Code Requirements**

N/A

**CONSIDERATIONS:**

- Planning Board approves major site plans.
- 

**FINDINGS:**

The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707.

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**CONDITIONS:**

If approved, staff recommends the following additional conditions be applied to the approval of the Major Site Plan for Operations Center Expansion Phase 1:

1. Following board approvals, three copies of the Final Site Plan, Landscape Plan, and Architectural Elevations meeting the requirements of the Conditions of Approval shall be submitted to the Planning Department for Final approval. The conditions of approval shall be recorded on the final approved site plan.
  2. The development of the site is limited to the site design and uses approved by the Planning Board. Modification to the approved site plan shall require review and approval in accordance with Section 155.707 of the Unified Development Code.
  3. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy. All site improvements shall be installed prior to the site inspection.
  4. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
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**STAFF RECOMMENDATION:**

Staff is recommending approval with conditions of the proposed Major Site Plan (15-25-01-SP).

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**ATTACHMENTS:**

- 1) Application
- 2) Staff Report Maps
- 3) Site Plan
- 4) Neighborhood Meeting Materials



**PROPERTY OWNER INFORMATION**

**Name:** Town of Clayton, Tim Simpson, Public Works Director  
**Mailing Address:** P.O. BOX 879, Clayton, NC 27528-0000  
**Phone Number:** 919- 553-1530 ext. 6501 **Fax:** 919- 553-1541  
**Email Address:** tsimpson@townofclaytonnc.org

**APPLICANT INFORMATION**

**Applicant:** McGill Associates, P.A.  
**Mailing Address:** 1917 Evans Road, Cary, NC, 27513  
**Phone Number:** 919-378-9111 **Fax:** 919-378-9127  
**Contact Person:** Bill Roark, PE, CPSWQ, Senior Project Manager  
**Email Address:** bill.roark@mcgillengineers.com

**REQUIRED INFORMATION (to be submitted with the application)**

*The following items must accompany a Major Site Plan application.*

To be completed by the applicant:			To be completed by staff:		
<i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i>	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>9/25/15</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input type="checkbox"/>	X			
4. Completed application	<input checked="" type="checkbox"/>				
5. Owner's Consent Form	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies) <i>(required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
10. Neighborhood meeting notice letter (1 copy)* <i>See sample letter and meeting requirements included in this packet</i> <i>*Not required for subdivisions that are part of an approved planned development</i>	<input type="checkbox"/>	<input type="checkbox"/>			
11. Neighborhood meeting summary form (1 copy) * <i>Included in this packet</i> <i>*Not required for subdivisions that are part of an approved planned development</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

**EXPLANATION OF PROJECT**

*Please provide detailed information concerning all requests. Attach additional sheets if necessary.*

The current phase of the Operations Center Improvements project will consist of the construction of new truck access from NC Highway 42, employee parking, truck docks, storage space, and stormwater management measures as required.

**APPLICANT AFFIDAVIT**

*I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.*

TIMOTHY S. SIMPSON  
Print Name

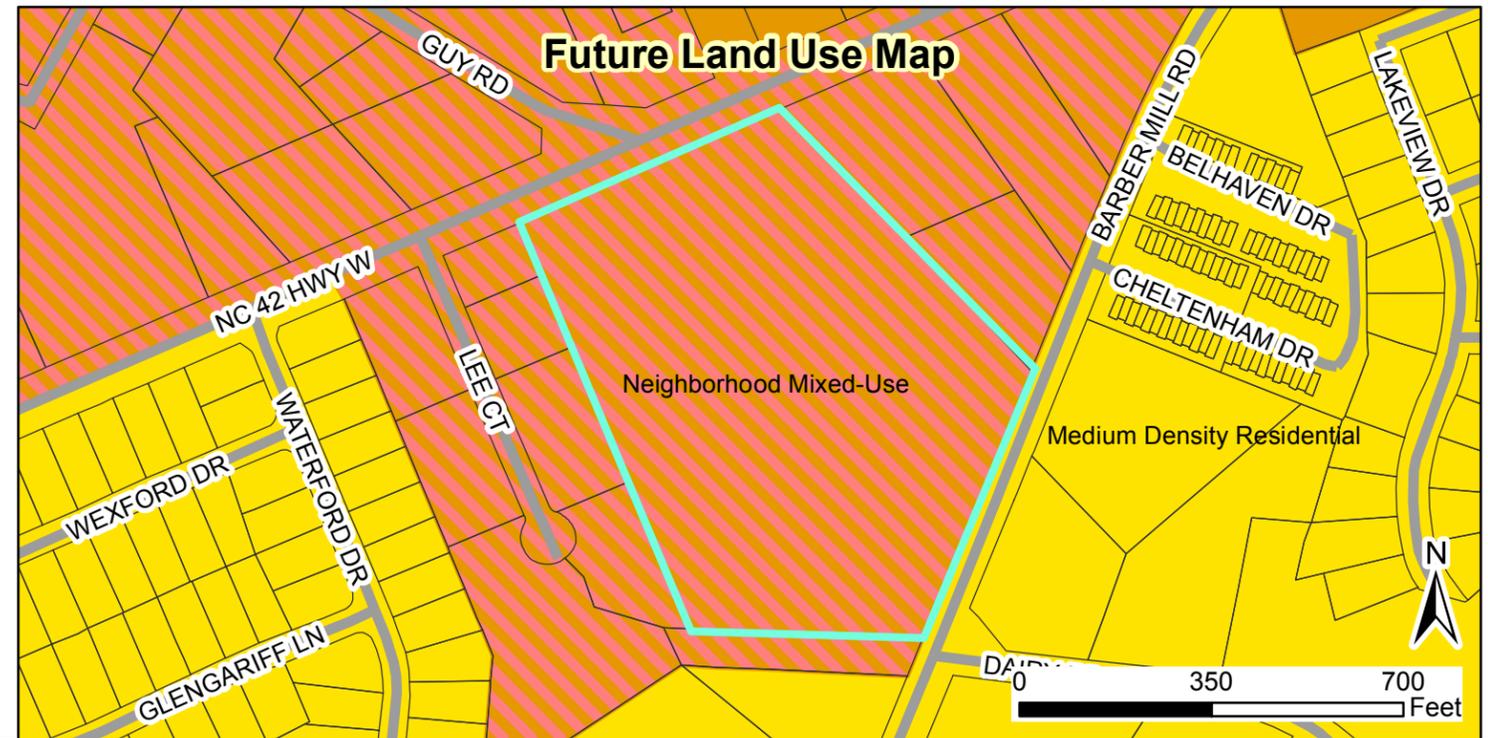
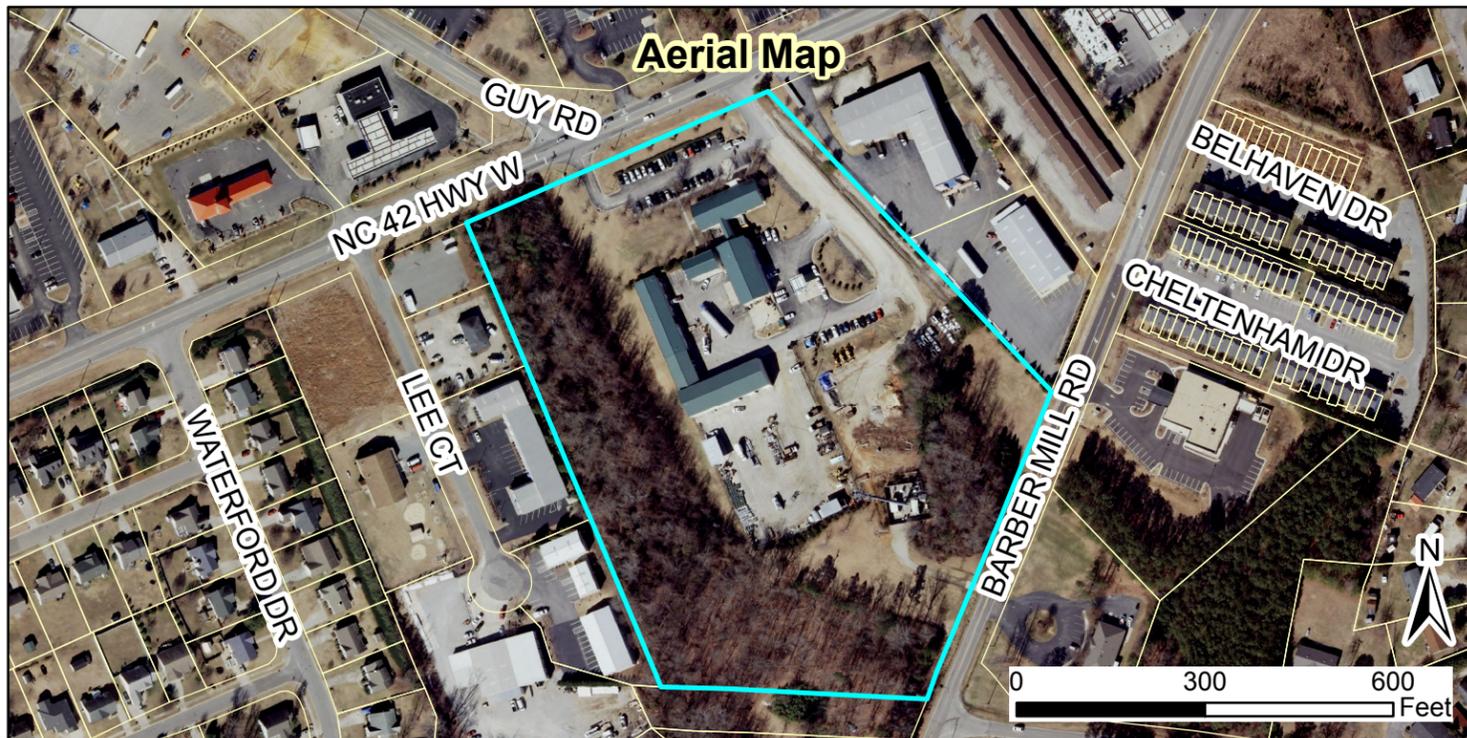
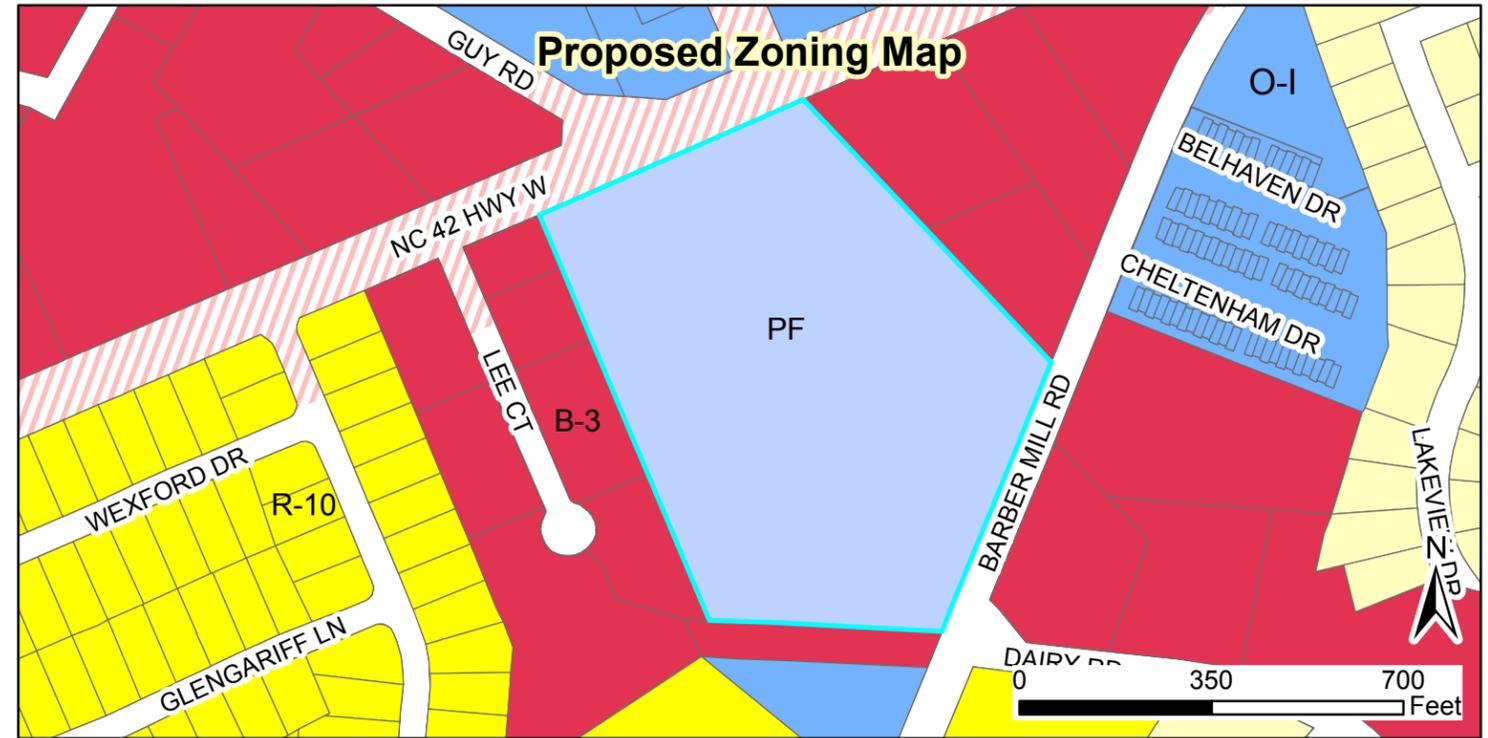
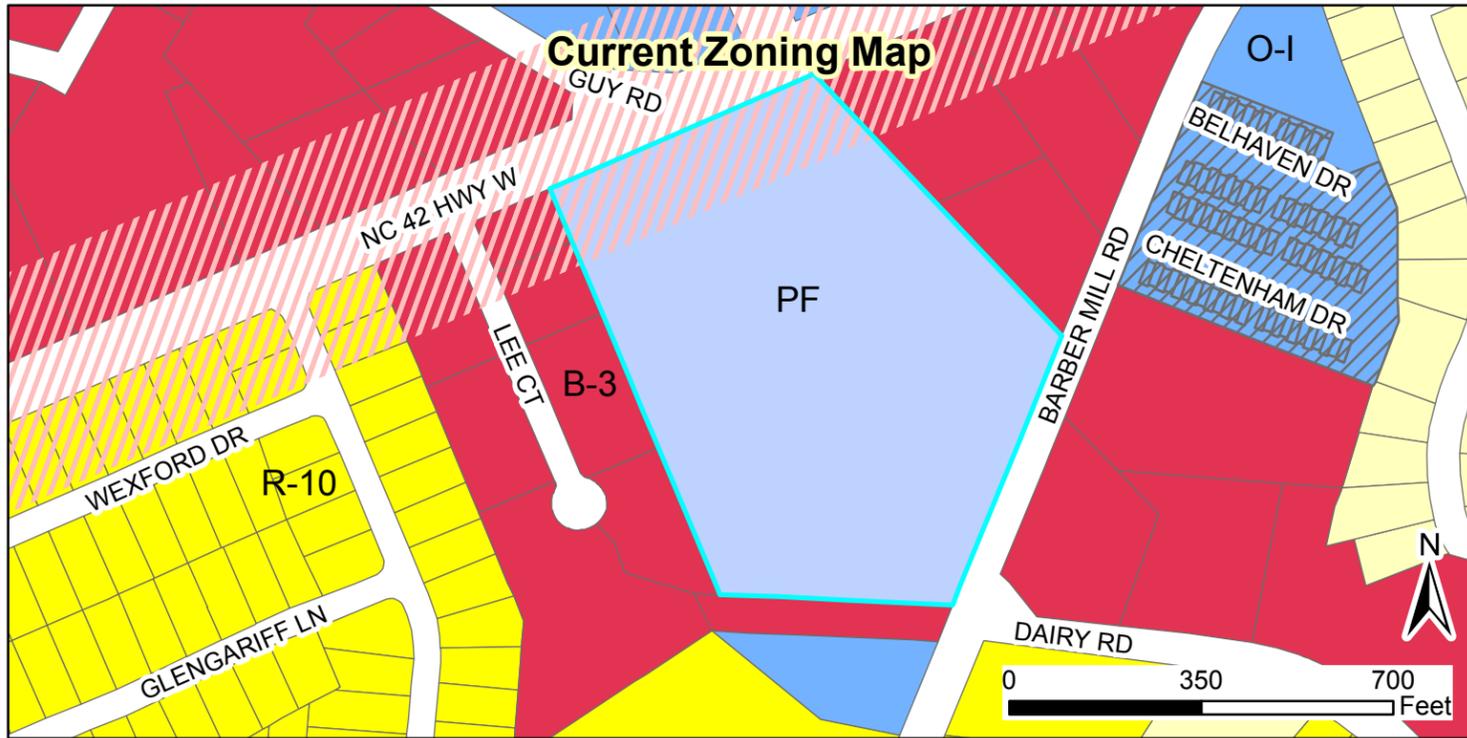
  
Signature of Applicant

10/1/2015  
Date

15.01900 Clayton Operations Center

Adjacent Property Owners List:

Parcel ID:	Owner's Name:
05G02016U	ANDREWS, JERRY W ANDREWS, NANCY KELLY
05G02009F	ANDREWS, BRANDON WAYNE
05G02012K	TRAC PROPERTIES LLC
05G02009G	TRAC PROPERTIES LLC
05G02012	MTR PROPERTIES LLC
05G02011L	MTR PROPERTIES LLC
05G02011J	ROWLAND, GYPSY W



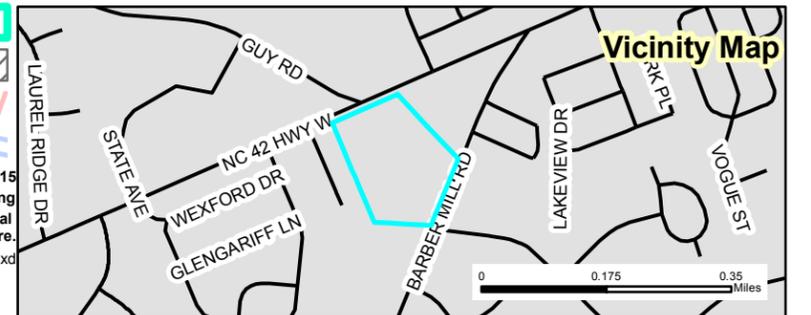
**15-25-01-SP Operations Center Expansion Phase 1**  
**Request: Develop a new employee parking lot, new truck access from NC HWY 42, truck docks, and storage space.**

Applicant: McGill Associates, P.A. / Town of Clayton  
 Property Owner: Town of Clayton  
 Parcel ID Number: 165807-67-0901  
 Tag #: 05G02011K



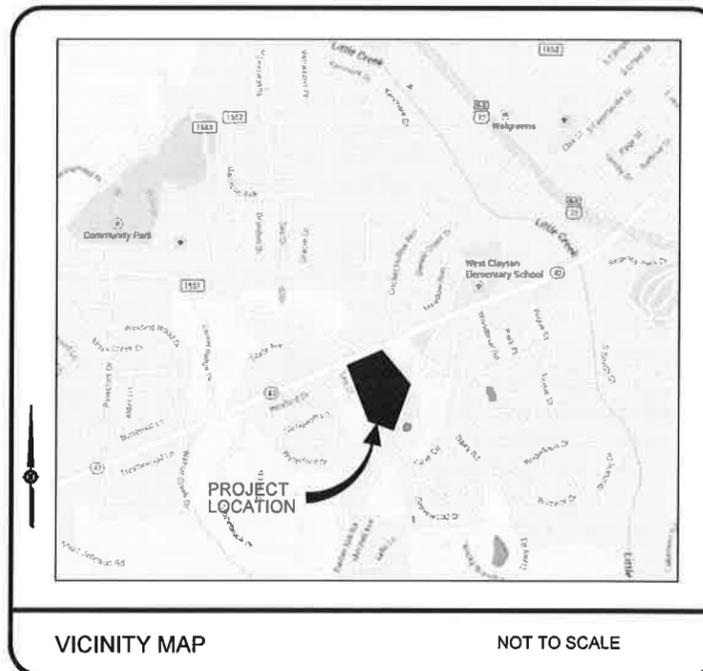
Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\15-25-01-SP Operations Center Expansion Phase 1\Maps\StaffReportMap.mxd

Site   
 Special Use District   
 Thorough Fare Overlay   
 Scenic Highway Overlay   
 10/15/2015  
 Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



# A PROJECT FOR THE TOWN OF CLAYTON OPERATIONS CENTER IMPROVEMENTS

TOWN OF CLAYTON, NORTH CAROLINA



## SCHEDULE OF DRAWINGS

- G-001.....COVER SHEET
- G-002.....GENERAL NOTES AND STANDARD SYMBOLS
- CD-101.....EXISTING CONDITIONS AND SITE DEMOLITION PLAN
- C-101.....OVER-ALL SITE LAYOUT PLAN
- C-102.....SITE LAYOUT PLAN
- C-103.....SITE GRADING AND EROSION CONTROL PLAN
- L-101.....LANDSCAPE PLAN
- C-501.....STANDARD SITE DETAILS
- C-502.....STANDARD SITE DETAILS
- C-503.....STANDARD SITE DETAILS
- C-504.....STANDARD SITE DETAILS

FOR REVIEW ONLY



SEPTEMBER, 2015

**McGill**  
ASSOCIATES  
ENGINEERING · PLANNING · FINANCE  
1240 19th STREET, LANE NW HICKORY, NC 28601 PH. (828) 328-2024 FIRM LICENSE # C-0459

**NORTH CAROLINA LAND QUALITY SECTION  
EROSION CONTROL NOTES**

GENERAL: ALL EROSION CONTROL MEASURES ARE TO BE PERFORMED IN STRICT ACCORDANCE WITH REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENERGY, MINERAL AND LAND RESOURCES, LAND QUALITY SECTION. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE COMPLIED WITH FOR ALL WORK.

- PRIOR TO BEGINNING WORK ON THE PROJECT THE CONTRACTOR SHALL OBTAIN FROM THE OWNER A COPY OF THE "EROSION AND SEDIMENT CONTROL APPROVAL" FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENERGY, MINERAL AND LAND RESOURCES, OR THE LOCAL AUTHORIZED PROGRAM. THE APPROVAL NOTICE MUST BE AVAILABLE ON-SITE DURING ALL GRADING AND CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MAINTAIN SELF INSPECTION REPORTS AS REQUIRED BY NCDENR AND THE NPDES CONSTRUCTION STORMWATER PERMIT. SELF INSPECTIONS ARE TO BE CONDUCTED AFTER EACH PHASE OF THE PROJECT FOR THE RECORD OF THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES. (SEE MOHNT WEB SITE FOR THE SELF INSPECTION FORMS, HTTP://PORTAL.NCDENR.ORG/WEB/AR/EROSION.)
- INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN AND REQUIRED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENERGY, MINERAL AND LAND RESOURCES, LAND QUALITY SECTION.
- OBTAIN CERTIFICATE OF COMPLIANCE THROUGH ON-SITE INSPECTION BY A REPRESENTATIVE OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENERGY, MINERAL AND LAND RESOURCES, LAND QUALITY SECTION.
- PROCEED WITH GRADING, CLEARING OR GRUBBING. NOTE: NO OFF SITE DISPOSAL OF MATERIAL IS ALLOWED UNLESS THE DISPOSAL SITE HAS AN APPROVED EROSION CONTROL PLAN.
- SEED AND PLACE EROSION CONTROL MATTING ON ALL CUT AND FILL SLOPES THAT ARE NOT ROCK IMMEDIATELY UPON COMPLETION OF SLOPE STABILIZATION.
- ALL TEMPORARY STREAM AND CREEK CROSSINGS FOR EQUIPMENT DURING CONSTRUCTION SHALL BE MADE USING TEMPORARY BRIDGES. NO STREAM BANK OR CREEK BED DISTURBANCE SHALL BE ALLOWED FOR EQUIPMENT CROSSINGS.
- SEED AND MULCH DENuded AREA WITHIN 14 DAYS AFTER FINISHED GRADES ARE ESTABLISHED. SEE CHART THIS SHEET FOR ADDITIONAL STABILIZATION TIMES. SEED AND SOIL AMENDMENTS SHALL BE PLACED ON A PREPARED SEEDBED AT THE FOLLOWING AMENDMENTS SHALL BE PLACED ON A PREPARED SEEDBED AT THE FOLLOWING RATES PER ACRE. STRAW MULCH SHALL BE TACKED WITH TACKING AGENT APPLIED BY HYDROSEEDER.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- REQUEST FINAL APPROVAL BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENERGY, MINERAL AND LAND RESOURCES, LAND QUALITY SECTION.
- AFTER APPROVAL IS GRANTED, REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS.

**THE FOLLOWING STABILIZATION SCHEDULE SHALL APPLY:**

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

**TEMPORARY SEEDING SPECIFICATION**

SEEDING MIXTURE:  
SPECIES RATE (lb/acre)  
RYE (grain) 120

SEEDING DATES:  
AUG 15 TO DEC 30

SOIL AMENDMENTS:  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2000 lb/ac GROUND AGRICULTURAL LIMESTONE AND 750 lb/ac 10-10-10 FERTILIZER.

MULCH:  
APPLY 4000lb/ac STRAW. ANCHOR STRAW BY TACKLING w/ ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK w/ BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:  
RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**CUT/FILL SLOPES SEEDING SPECIFICATIONS - STEEPER THAN 3:1**

SEEDING MIXTURE:  
SPECIES RATE (lb/acre)  
TALL FESCUE 100  
SERICEA LESPENDEZA 30  
KOBE LESPENDEZA 10

NURSE PLANTS:  
BETWEEN MAY 1 AND AUG 15, ADD 10lb/ac GERMAN MILLET OR 15 lb/ac SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG 15, ADD 40 lb/ac RYE (GRAIN). IT MAY BE BENEFICIAL TO PLANT THE GRASSES IN LATE SUMMER AND OVERSEED THE LESPENDEZAS IN MARCH.

SEEDING DATES:  
BEST AUG 25 - SEPT 15 POSSIBLE AUG 20 - OCT 25  
FEB 15 - MAR 20 FEB 1 - APRIL

SOIL AMENDMENTS:  
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST, OR APPLY 4000 lb/ac GROUND AGRICULTURAL LIMESTONE AND 1200 lb/ac 10-10-10 FERTILIZER.

**NATIVE PLANT SEEDING MIX FOR STREAM OR RIVERBANK STABILIZATION**

SEEDING FOR STREAM OR RIVERBANK STABILIZATION SHALL BE A MIXTURE OF NATIVE GRASSES, PLANTS AND TREES. NATIVE PLANT MIX SHALL INCLUDE THE FOLLOWING:

GRASSES - BIG BLUESTEM (ANDROPOGON GERARDII), INDIAN GRASS (SORGASTRUM NUTANS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), SWITCHGRASS (PANICUM VIRGATUM), 15 LBS/ACRE EACH  
AUGUST THRU MAY - GREENRYE (SECALE CEREALE) 25 LBS/ACRE EACH  
MAY 1 THRU AUGUST - MILLET (PENNISETUM GLAUCCUM) 25 LBS/ACRE EACH

TREES - SILKY DOGWOOD (CORNUS AMOMUM), SILKY WILLOW (SALIX SERICEA), HAZEL ALDER (ALNUS SERRULATA) AND ELDERBERRY (SAMBUCUS CANADENSIS)

NATIVE PLANT MIX VARIATIONS SHALL BE APPROVED BY ENGINEER.

NOTE: NO FERTILIZER SHALL BE USED WITHIN 10' OF TOP OF STREAM OR RIVER BANK.

**NATIVE SEEDING:**

THE CORRECT SEEDBED pH IS 5.5 TO 6.5.

APPLY ZERO NITROGEN AT PLANTING.

INCORPORATE SOIL AMENDMENTS INTO TOPSOIL/ROOT ZONE BEFORE SEEDING.

FIRM SEEDBED BEFORE SEEDING (TRAVEL WITH DOZER CLEATS).

SEEDING DEPTH FOR ALL NATIVE SSP, EXCEPT E.GAMAGRASS (TRIPSACUM DACTYLOIDES) NEED TO BE 1/4" - 1/2". GREATER DEPTHS CAUSE HIGH SEED MORTALITY.

SPECIALIZED SEEDING IMPLEMENTS ARE REQUIRED. SEED MIXES AND RATES TO MATCH SEEDER USED. A NO-TILL DROP SEEDER OR BROADCASTER WITH PRECISION METERING TO CONTROL SMALL SEED FLOW AND PICKER WHEEL AGITATORS TO HANDLE FLUFFY SEED ARE BEST SUITED FOR NATIVE SEED.

**GENERAL CONSTRUCTION NOTES**

- FINISH GRADE TOLERANCES SHALL BE AS NOTED IN THE SPECIFICATIONS. THE ENGINEER MAY MAKE GRADE CHANGES AS REQUIRED IN THE FIELD WITHOUT EFFECTING THE UNIT BID PRICE FOR UNCLASSIFIED EXCAVATION.
- UNLESS OTHERWISE STATED, ALL FILL AREAS SHALL BE CONSTRUCTED IN LAYERS OF 8" MAXIMUM THICKNESS WITH WATER ADDED OR SOIL CONDITIONED TO THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE ENGINEER AND COMPACTED WITH A SHEEP'S FOOT ROLLER TO A COMPACTION EQUAL TO OR GREATER THEN 95% (100% IN THE TOP 2' OF THE SUB GRADE BELOW ROADWAYS AND PARKING LOTS) OF THE DENSITY OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH THE STANDARD PROCTOR METHOD OF MOISTURE-DENSITY RELATIONSHIP TEST, ASTM D698 OR AASHTO-99 UNLESS SPECIFIED IN OTHER SPECIFICATIONS.
- ENTIRE AREA TO BE GRADED SHALL BE CLEARED AND GRUBBED. NO FILL SHALL BE PLACED ON ANY AREA NOT CLEARED OR GRUBBED.
- ALL SOIL EROSION CONTROL MEASURES REQUIRED BY THE GRADING PLAN SHALL BE PERFORMED PRIOR TO GRADING, CLEARING OR GRUBBING. ALL EROSION CONTROL DEVICES SUCH AS SILT FENCES, ETC., SHALL BE MAINTAINED IN WORKABLE CONDITION FOR THE LIFE OF THE PROJECT AND SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT ONLY ON THE ENGINEER'S APPROVAL. PAYMENT SHALL BE CONSIDERED INCIDENTAL TO CLEARING AND GRUBBING. IF DURING THE LIFE OF THE PROJECT, A STORM CAUSES SOIL EROSION WHICH CHANGES FINISH GRADES OR CREATES "GULLIES" AND "WASHED AREAS", THESE SHALL BE REPAIRED AT NO EXTRA COST AND ALL SILT WASHED OFF OF THE PROJECT SITE ON TO ADJACENT PROPERTY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER AT NO EXTRA COST. THE CONTRACTOR SHALL ADHERE TO ANY APPROVED EROSION CONTROL PLANS WHETHER INDICATED IN THE CONSTRUCTION PLANS OR UNDER SEPARATE COVER.
- DISPOSABLE MATERIAL
  - CLEARING AND GRUBBING WASTES SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE, UNLESS SPECIFIED OTHERWISE.
  - ABANDONED UTILITIES SUCH AS CULVERTS, WATER PIPE, HYDRANTS, CASTINGS, PIPE APPURTENANCES, UTILITY POLES, ETC., SHALL BE THE PROPERTY OF THE SPECIFIED UTILITY AGENCY, OR COMPANY HAVING JURISDICTION. BEFORE THE CONTRACTOR CAN REMOVE, DESTROY, SALVAGE, REUSE, SELL OR STORE FOR HIS OWN USE ANY ABANDONED UTILITY, HE MUST PRESENT TO THE OWNER WRITTEN PERMISSION FROM THE UTILITY INVOLVED.
- IN THE EVENT EXCESSIVE GROUNDWATER OR SPRINGS ARE ENCOUNTERED WITHIN THE LIMITS OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL NECESSARY UNDER DRAINS AND STONE AS DIRECTED BY THE ENGINEER. ALL WORK SHALL BE PAID BASED UPON UNIT BIDS UNLESS SPECIFIED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ADJUSTMENT OF ALL UTILITY SURFACE ACCESSES WHETHER HE PERFORMS THE WORK OR A UTILITY COMPANY PERFORMS THE WORK.
- THE CONTRACTOR SHALL CONTROL ALL "DUST" BY PERIODIC WATERING AND SHALL PROVIDE ACCESS AT ALL TIMES FOR PROPERTY OWNERS WITHIN THE PROJECT AREA AND FOR EMERGENCY VEHICLES. ALL OPEN DITCHES AND HAZARDOUS AREAS SHALL BE CLEARLY MARKED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL AREAS WHERE THERE IS EXPOSED DIRT SHALL BE SEEDED, FERTILIZED AND MULCHED ACCORDING TO THE SPECIFICATIONS. THE FINISHED SURFACE SHALL BE TO GRADE AND SMOOTH, FREE OF ALL ROCKS LARGER THAN 3", EQUIPMENT TRACKS, DIRT CLOUDS, BUMPS, RIDGES AND GOUGES PRIOR TO SEEDING. THE SURFACE SHALL BE LOOSENEED TO A DEPTH OF ±4"-6" TO ACCEPT SEED. THE CONTRACTOR SHALL NOT PROCEED WITH SEEDING OPERATIONS WITHOUT FIRST OBTAINING THE ENGINEER'S APPROVAL OF THE GRADED SURFACE. ALL SEEDING SHALL BE PERFORMED BY A MECHANICAL "HYDRO-SEEDER". HAND SEEDING SHALL BE AUTHORIZED ON AN AREA BY AREA APPROVAL BY THE ENGINEER.

**GENERAL NOTES:**

- PROPERTY AND RIGHT-OF-WAY INFORMATION ARE FROM A SURVEY PERFORMED BY MCGILL ASSOCIATES.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL SITE, OR AS NOTED.
- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE ONLY. EXACT LOCATIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. AT LEAST THREE DAYS PRIOR TO CONSTRUCTION CONTRACTOR MUST NOTIFY EXISTING UTILITY OWNERS. CALL BEFORE YOU DIG, NORTH CAROLINA ONE CALL (1-800-632-4949).
- ALL WORK NEAR AND AROUND WATERWAYS MUST CONFORM TO THE RULES OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF WATER POLLUTION CONTROL.
- CONTRACTOR MUST PROVIDE EROSION CONTROL DEVICES TO CONTROL RUNOFF FROM THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR ANY FINES THAT MAY BE LEVIED DUE TO POLLUTION CREATED DURING CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS PERTAINING TO CONSTRUCTION OPERATIONS.
- SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL NOTIFY THE PROPER LOCAL AUTHORITIES 24 HOURS PRIOR TO ANY ROAD BEING CLOSED FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE LOCAL NEWSPAPER, RADIO STATION, FIRE DEPARTMENT, COUNTY SHERIFF'S DEPARTMENT, AMBULANCE, AND THE COUNTY EMERGENCY MANAGEMENT AGENCY. ALL TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- ALL FENCES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH STANDARD FENCE CONSTRUCTION PRACTICES AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION AND SHALL REPAIR ROADS PER REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. NO OPEN CUTS OF EXISTING ROADS SHALL BE ALLOWED EXCEPT WHERE INDICATED ON THE DRAWINGS OR WHERE SPECIFIC PERMISSION IS GRANTED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. SAND OR A SIMILAR MATERIAL APPROVED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SHALL BE PLACED AS A PROTECTIVE BARRIER BETWEEN TRACK EQUIPMENT AND THE ROAD AND CLEANED UP PROPERLY AFTER CONSTRUCTION.

**LEGEND-EXISTING CONDITIONS**

TEL PED	TELEPHONE PEDESTAL
ELEC PED	ELECTRIC PEDESTAL
CABLE TV PED	CABLE TV PEDESTAL
SIGN	SIGN
66	INTERSTATE HIGHWAY
	U.S. HIGHWAY
CM-R/W	CONCRETE MONUMENT
IP	RIGHT-OF-WAY MONUMENT
LP	D.O.T. CONTROL POINT
PP	LIGHT POLE
GA	UTILITY POLE
GA	GUY WIRE ANCHOR
MH	MANHOLE
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
TPMH	TELEPHONE MANHOLE
FOMH	FIBER OPTIC MANHOLE
ELMH	ELECTRICAL MANHOLE
C.O.	SEWER CLEAN-OUT
C.SS	GAS SERVICE STUB-OUT
CB	CATCH BASIN
WM	WATER METER
PH	FIRE HYDRANT
WV	WATER VALVE
G.M	GAS METER
G.V	GAS VALVE
ICV	IRRIGATION CONTROL VALVE
	CULVERT
	FENCE
	GUARD RAIL
	APPROXIMATE LOCATION OF EXISTING SEWER LINES
	APPROXIMATE LOCATION OF EXISTING WATER LINES
	APPROXIMATE LOCATION OF EXISTING GAS LINES
	TOP & TOE LINES
	DITCH LINES
	APPROXIMATE LOCATION OF UNDERGROUND CABLE TV LINE
	APPROXIMATE LOCATION OF OVERHEAD CABLE TV LINE
	APPROXIMATE LOCATION OF UNDERGROUND FIBER OPTIC CABLE LINE
	APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE
	APPROXIMATE LOCATION OF OVERHEAD ELECTRIC LINE
	APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINES
	APPROXIMATE LOCATION OF OVERHEAD TELEPHONE LINES
	RIGHT-OF-WAY
	TREES/SHRUBS
	TREELINE
IPS	IRON PIN SET
RBF	REBAR FOUND
OTIPF	OPEN TOP IRON PIN FOUND
CTIPF	CRIMPED TOP IRON PIN FOUND
CMU	CONCRETE MASONRY UNIT
R/W	RIGHT OF WAY
C	CENTERLINE
P	CURVE (SEE CURVE TABLE)
POB	POINT OF BEGINNING
CP	CALCULATED POINT
PB	PLAT BOOK
DB	DEED BOOK
L	LINE (SEE LINE TABLE)
BLDG	BUILDING
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CPP	CORRUGATED PLASTIC PIPE
DIP	DUCTILE IRON PIPE
E&T	ELECTRIC & TELEPHONE
FOC	FIBER OPTIC CABLE
GIP	GALVANIZED IRON PIPE
O/H	OVERHEAD
RCP	REINFORCED CONCRETE PIPE
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
PVC	POLYVINYL CHLORIDE PIPE
FFE	FINISHED FLOOR ELEVATION
BM	BENCH MARK

FOR REVIEW ONLY

**McGill ASSOCIATES**  
ENGINEERING-PLANNING-FINANCE  
1240 10th STREET, LANE NW HICKORY, NC 28601 PH: (828) 328-2024 FAX: (828) 328-2024



A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15-01800  
DATE: SEPTEMBER 2015  
DESIGNED BY: RLC  
CAD BY: RLC  
DESIGN REVIEW: RLC  
CONST. REVIEW: RLC  
15-01800\_PLAN\_SET\_PHASE1.dwg

GENERAL NOTES and STANDARD SYMBOLS

SHEET  
**G-002**

NO.	DATE	BY	REVISION DESCRIPTION

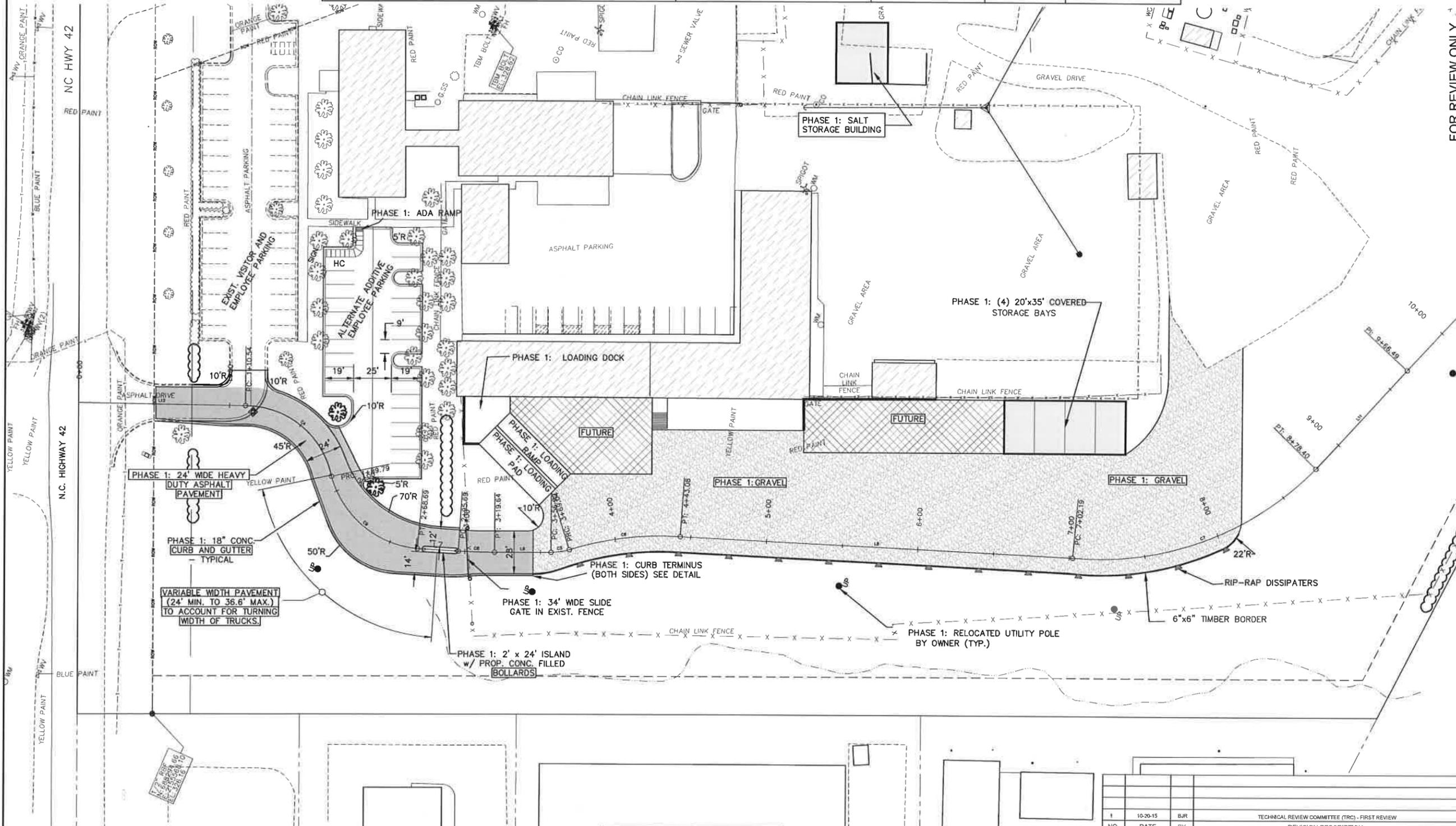
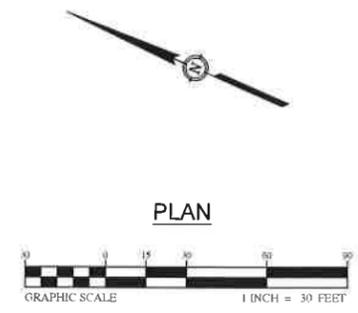
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Curve Table: Alignments					
Curve #	Radius	Length	Tangent	Chord Length	Chord Direction
C4	58.00'	79.25'	47.21'	73.23'	S15° 45' 00.27"W
C5	40.00'	12.14'	6.12'	12.10'	S52° 05' 31.88"E
C6	200.00'	74.03'	37.45'	73.61'	S30° 10' 58.88"E
C7	199.13'	176.22'	94.35'	170.52'	S43° 46' 20.63"E
C8	400.00'	23.95'	11.98'	23.95'	S21° 40' 51.03"E
C9	65.21'	78.89'	45.09'	74.17'	S16° 14' 19.19"W

Site Data				
Name of project	Operations Center Improvements	Pervious/Impervious Site Data		
Parcel identification number	05G02011K	Existing Conditions	Phase 1	Total
Property Size (acres and square feet)	13.96 acres; 609,656.17 sq.ft.			
Property Location (Town limits or ETJ)	Clayton			
Existing/proposed zoning district	PF/PF			
Existing use, Proposed use	Municipal, Municipal			
Building coverage (as percentage of total site)		4.0 %	0.7 %	4.7 %
Pervious surface area (square feet and as percentage of total site)		418,302 sq.ft; 69%	-94,791 sq.ft.	323,511 sq.ft; 53%
Impervious surface area (square feet and as percentage of total site)		191,354 sq.ft; 31 %	+ 94,791 sq.ft.	286,145 sq.ft; 47%
Required/proposed parking	60			
Required/proposed accessible parking	3/3 (2 existing, 1 proposed)			
Required loading space(s)	1 (One)			



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 ASSOCIATES  
 ENGINEERING, PLANNING, FINANCE  
 1240 19th STREET, LANE NW HICKORY, NC 28601 PH: (828) 328-2024 FIRM LICENSE # C4659



A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
 TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15101800  
 DATE: SEPTEMBER 2015  
 DESIGNED BY: RLC  
 CADD BY: RLC  
 DESIGN REVIEW:  
 CONST. REVIEW:  
 10-20-15\_Plan SET\_PHASE1.dwg

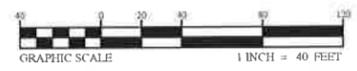
PHASE 1 SITE LAYOUT PLAN

SHEET  
**C-102**

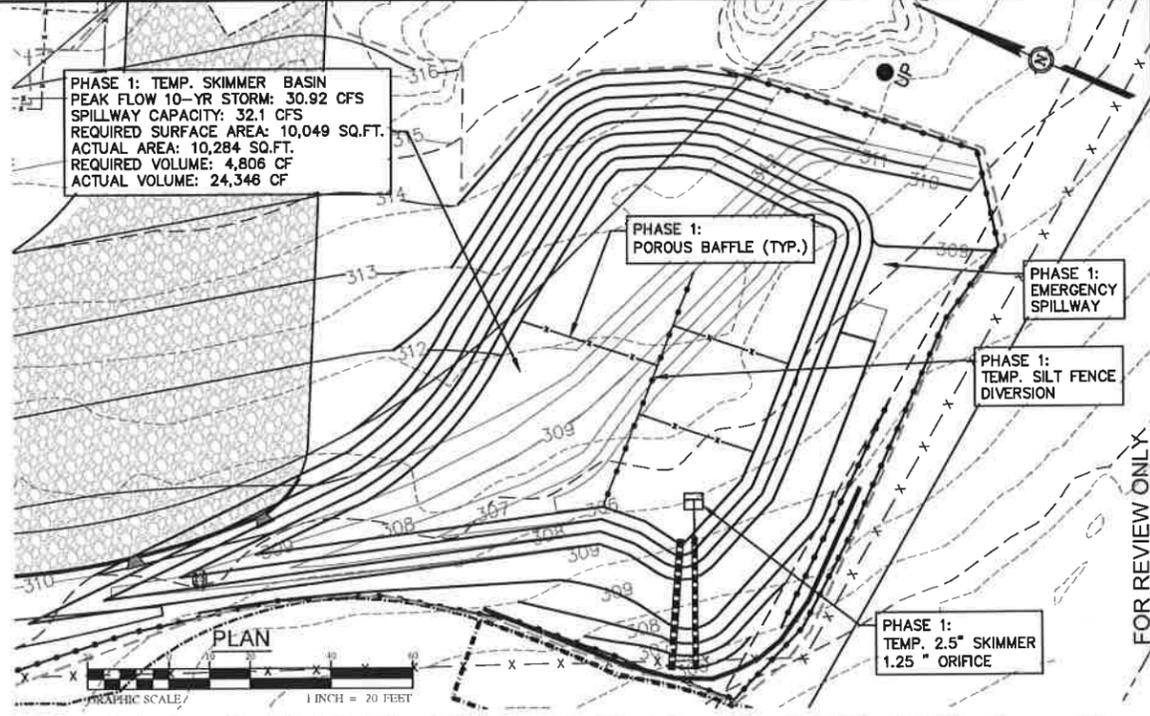
NO.	DATE	BY	REVISION DESCRIPTION
1	10-20-15	BJR	TECHNICAL REVIEW COMMITTEE (TRC) - FIRST REVIEW



PLAN



Pipe Structure Summary				
Structure	Top Elev.	Bottom Elev.	INV IN	INV OUT
ST 1	328.00	324.20	-	324.20
ST 2	326.50	321.30	323.75	321.30
ST 3	324.00	319.50	319.51	319.50
ST 4	321.00	317.10	317.50	317.10
ST 5	320.70	316.00	316.55	316.00



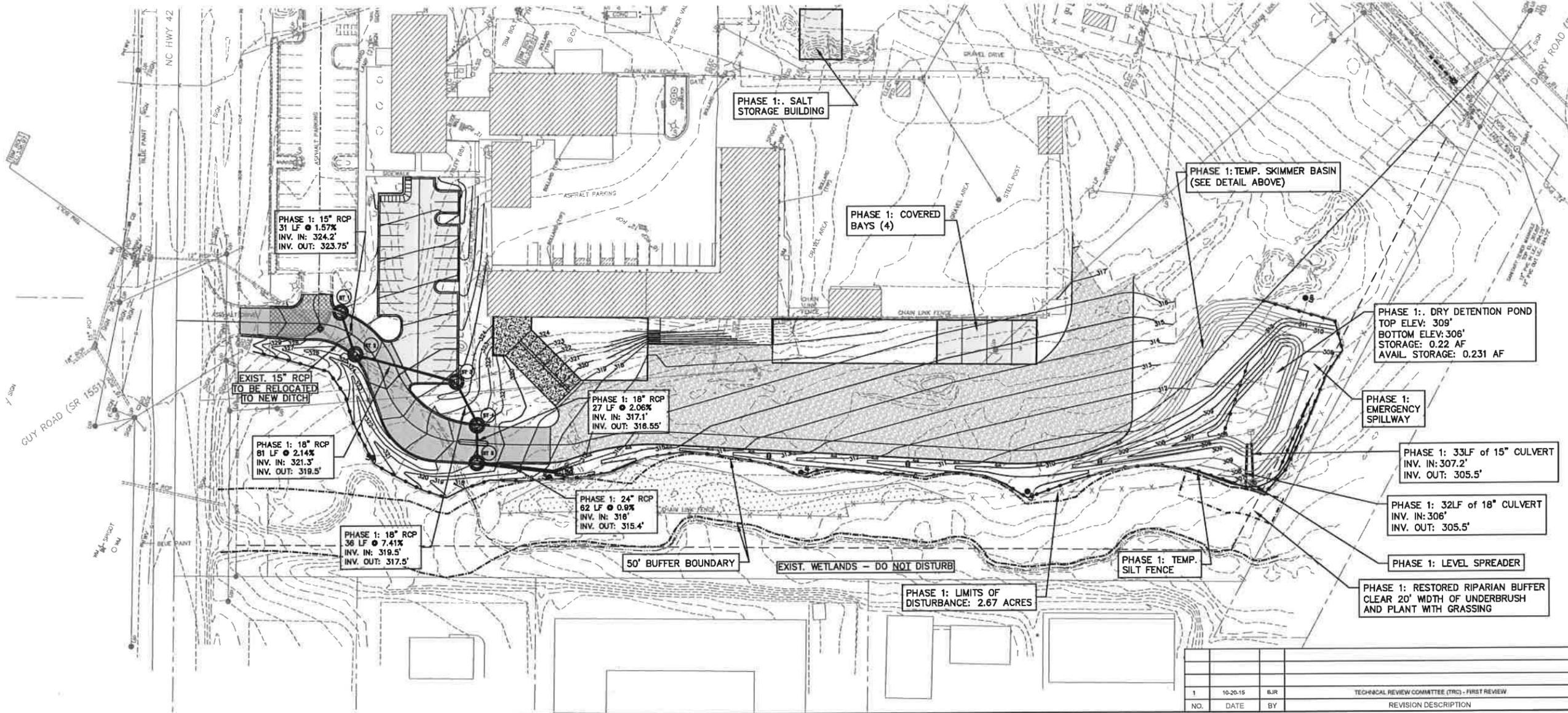
PHASE 1: TEMP. SKIMMER BASIN  
 PEAK FLOW 10-YR STORM: 30.92 CFS  
 SPILLWAY CAPACITY: 32.1 CFS  
 REQUIRED SURFACE AREA: 10,049 SQ.FT.  
 ACTUAL AREA: 10,284 SQ.FT.  
 REQUIRED VOLUME: 4,806 CF  
 ACTUAL VOLUME: 24,346 CF

PHASE 1:  
 POROUS BAFFLE (TYP.)

PHASE 1:  
 EMERGENCY  
 SPILLWAY

PHASE 1:  
 TEMP. SILT FENCE  
 DIVERSION

PHASE 1:  
 TEMP. 2.5" SKIMMER  
 1.25" ORIFICE



PHASE 1: 15" RCP  
 31 LF @ 1.57%  
 INV. IN: 324.2'  
 INV. OUT: 323.75'

EXIST. 15" RCP  
 TO BE RELOCATED  
 TO NEW DITCH

PHASE 1: 18" RCP  
 81 LF @ 2.14%  
 INV. IN: 321.3'  
 INV. OUT: 319.5'

PHASE 1: 18" RCP  
 36 LF @ 7.41%  
 INV. IN: 319.5'  
 INV. OUT: 317.5'

PHASE 1: 18" RCP  
 27 LF @ 2.06%  
 INV. IN: 317.1'  
 INV. OUT: 316.55'

PHASE 1: 24" RCP  
 62 LF @ 0.9%  
 INV. IN: 318'  
 INV. OUT: 315.4'

50' BUFFER BOUNDARY

EXIST. WETLANDS - DO NOT DISTURB

PHASE 1: LIMITS OF  
 DISTURBANCE: 2.67 ACRES

PHASE 1: SALT  
 STORAGE BUILDING

PHASE 1: COVERED  
 BAYS (4)

PHASE 1: TEMP. SKIMMER BASIN  
 (SEE DETAIL ABOVE)

PHASE 1: DRY DETENTION POND  
 TOP ELEV: 309'  
 BOTTOM ELEV: 306'  
 STORAGE: 0.22 AF  
 AVAIL. STORAGE: 0.231 AF

PHASE 1:  
 EMERGENCY  
 SPILLWAY

PHASE 1: 33LF of 15" CULVERT  
 INV. IN: 307.2'  
 INV. OUT: 305.5'

PHASE 1: 32LF of 18" CULVERT  
 INV. IN: 306'  
 INV. OUT: 305.5'

PHASE 1: LEVEL SPREADER

PHASE 1: RESTORED RIPARIAN BUFFER  
 CLEAR 20' WIDTH OF UNDERBRUSH  
 AND PLANT WITH GRASSING

PHASE 1: TEMP.  
 SILT FENCE

NO.	DATE	BY	REVISION DESCRIPTION
1	10-20-15	BJR	TECHNICAL REVIEW COMMITTEE (TRC) - FIRST REVIEW

**McGill ASSOCIATES**  
 ENGINEERING-PLANNING-FINANCE  
 1917 EVANS ROAD CARY, NC 27513 PH: (919) 378-1111 FIRM LICENSE # C-4459

A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
 TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15-01900  
 DATE: OCTOBER, 2015  
 DESIGNED BY: ZL BJR  
 CADD BY: ZL  
 DESIGN REVIEW:  
 CONST. REVIEW:  
 15-01900-01-01.dwg

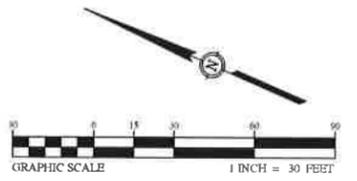
STORM DRAINAGE AND  
 EROSION CONTROL PLAN

SHEET  
**C-103**

P:\015 PROJECTS\151000 TOWN OF CLAYTON - Operations Center Improvements\01-Design\Phase Drawings\_Data\Drawings\151000-15-PLAN SET\PHASE\_1.dwg 10/20/2015 10:56 AM SUZANNA LUAN

PLAN

NOTE:  
 All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor.  
 All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion



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FOR REVIEW ONLY

**McGill**  
 ASSOCIATES  
 ENGINEERING · PLANNING · FINANCE  
 1240 19th STREET, LANE NW HICKORY, NC 28601 PH. (828) 338-2024 FIRM LICENSE # C-9459



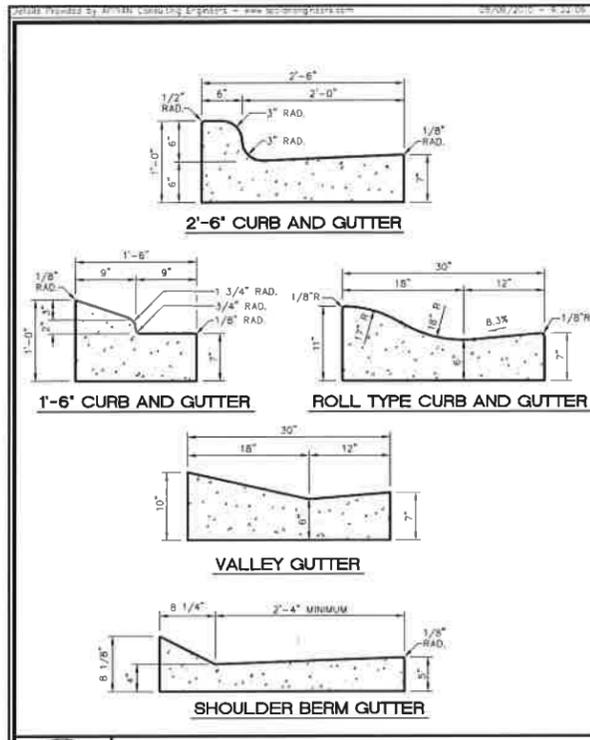
A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
 TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15101900  
 DATE: SEPTEMBER 2015  
 DESIGNED BY: ZL  
 CADD BY: ZL  
 DESIGN REVIEW: \_\_\_\_\_  
 CONST. REVIEW: \_\_\_\_\_  
 10-20-15\_PLAN SET\_PHASE1.dwg

LANDSCAPE PLAN

SHEET  
**L-101**

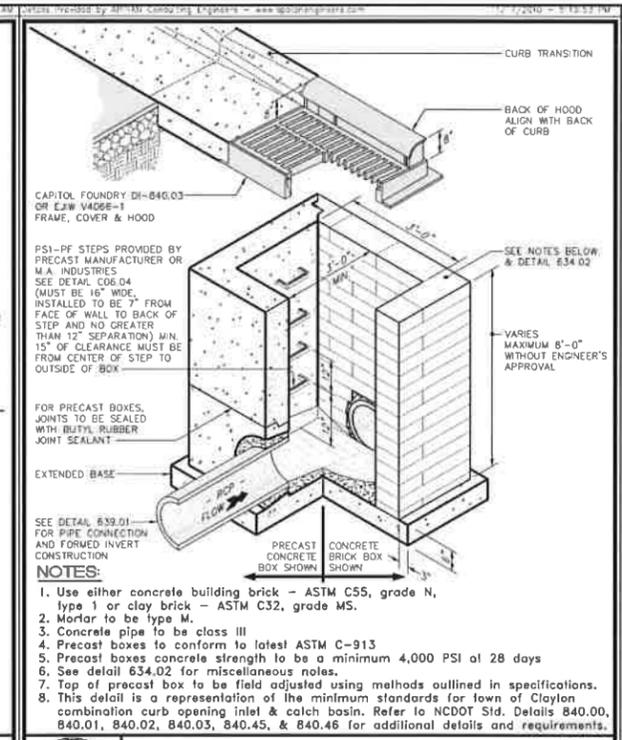
NO.	DATE	BY	REVISION DESCRIPTION
1	10-20-15	BJR	TECHNICAL REVIEW COMMITTEE (TRC) - FIRST REVIEW



**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**CONCRETE CURB AND GUTTER SECTIONS**

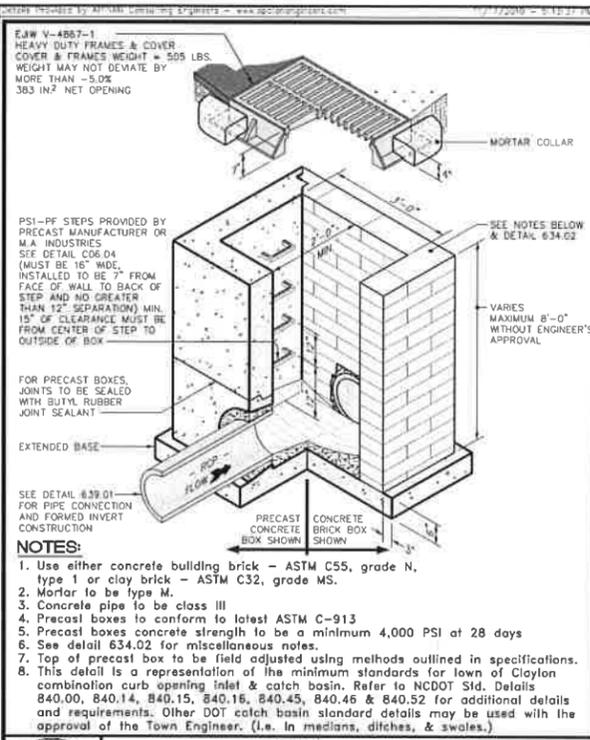
SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1



**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL CATCH BASIN AND CURB INLET WITH HOOD**

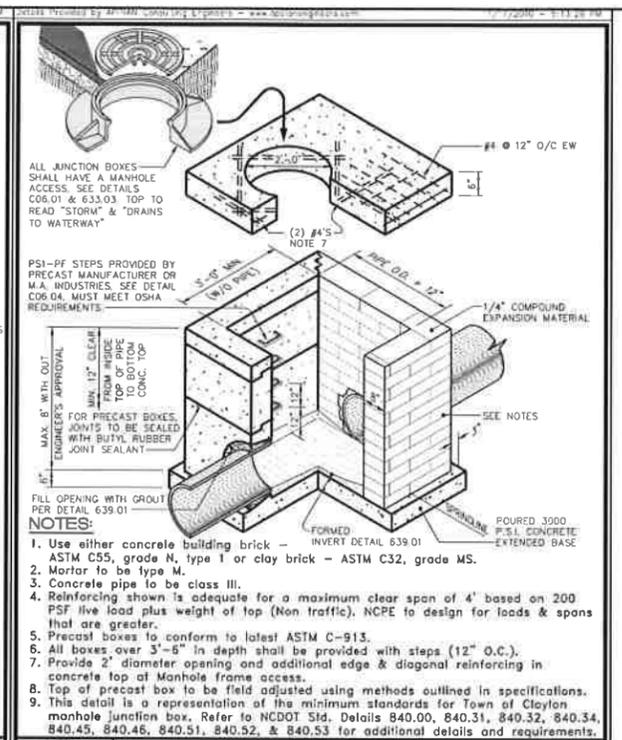
SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1



**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL DROP INLET DETAIL**

SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1



**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL JUNCTION BOX DETAIL**

SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1

**DUMP NO WASTE !**  
EJW

**DRAINS TO WATERWAYS**  
MADE IN USA

**NCDOT 840.03 HOOD**

**NOTES:**  
1. See detail C06.01 for addition frame & cover detail.

**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**STANDARD STORM DRAINAGE COVERS**

SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1

**NOTES:**  
1. Initial course of rip rap to be laid in excavated bed of side slopes. Rip-rap is not to be laid on top of grade of side slopes.  
2. Comply with NCDENR Land Quality minimum requirements.

**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**END OF PIPE TREATMENTS**

SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1

**CONCRETE FLARED END SECTION**  
REVISION DATE - NOVEMBER 3, 2008

PIPE DIA.	APPROX WT.-LB	WALL	A	B	C	D	E	G	R	APPROX SLOPE
12"	530	2"	4"	24"	4'-0.875"	5'-0.875"	24"	2"	9"	1:2.4
15"	740	2.25"	6"	27"	3'-10"	6'-1"	30"	2.25"	11"	1:2.4
18"	990	2.5"	9"	27"	3'-10"	6'-1"	36"	2.5"	12"	1:2.4
21"	1280	2.75"	9"	35"	38"	6'-1"	3'-6"	2.75"	13"	1:2.4
24"	1520	3"	9.5"	3'-7.5"	30"	6'-1.5"	4'-0"	3"	14"	1:2.5
27"	1930	3.25"	10.5"	4'-0"	25.5"	6'-1.5"	4'-6"	3.25"	14.5"	1:2.4
30"	2190	3.5"	12"	4'-6"	19.75"	6'-1.75"	5'-0"	3.5"	15"	1:2.5
33"	3200	3.75"	13.5"	4'-10.5"	39.25"	6'-1.75"	5'-6"	3.75"	17.5"	1:2.5
36"	4100	4"	15"	5'-3"	34.75"	6'-1.75"	6'-0"	4"	20"	1:2.5
42"	5380	4.25"	21"	5'-3"	35"	6'-2"	6'-6"	4.5"	22"	1:2.5
48"	6550	5"	24"	6'-0"	26"	6'-2"	7'-0"	5"	22"	1:2.5
54"	8240	5.5"	27"	5'-5"	35"	6'-4"	7'-6"	5.5"	24"	1:2.0
60"	8730	6"	35"	5'-0"	39"	6'-3"	8'-0"	5"	*	1:1.9
66"	10710	6.5"	30"	6'-0"	27"	6'-3"	8'-6"	5.5"	*	1:1.7
72"	12520	7"	36"	6'-6"	21"	6'-3"	9'-0"	6"	*	1:1.8
78"	14770	7.5"	36"	7'-6"	21"	9'-3"	9'-6"	6.5"	*	1:1.8
84"	18160	8"	36"	7'-6.5"	21"	9'-3.5"	10'-0"	6.5"	*	1:1.6

\* RADIUS AS FURNISHED BY MANUFACTURER

**NOTES:**  
1. Initial course of rip rap to be laid in excavated bed of side slopes. Rip-rap is not to be laid on top of grade of side slopes.  
2. Comply with NCDENR Land Quality minimum requirements.

**TOWN OF CLAYTON**  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**END OF PIPE TREATMENTS**

SCALE: Not To Scale  
DATE: 4/2011  
REVISION DATE: July 2010  
SHEET: 1 of 1

**McGill ASSOCIATES**  
ENGINEERING, PLANNING, FINANCE  
1240 19th STREET, LANEY, NC 28601 PH: (833) 325-2024 FIRM LICENSE # C-0469

**FOR REVIEW ONLY**

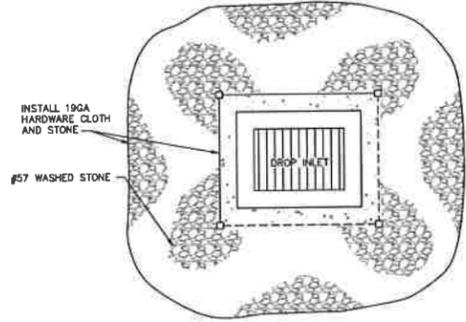
**A PROJECT FOR THE TOWN OF CLAYTON**  
**OPERATIONS CENTER IMPROVEMENTS**  
TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15-01800  
DATE: SEPTEMBER 2015  
DESIGNED BY: RLC  
CADD BY: RLC.ZL  
DESIGN REVIEW: \_\_\_\_\_  
CONST. REVIEW: \_\_\_\_\_  
15-01800\_PLAN\_SET\_PHASE1.dwg

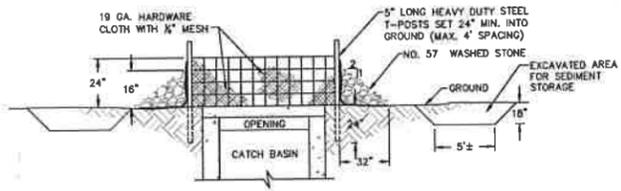
**STANDARD SITE DETAILS**

**SHEET C-501**

NO.	DATE	BY	REVISION DESCRIPTION

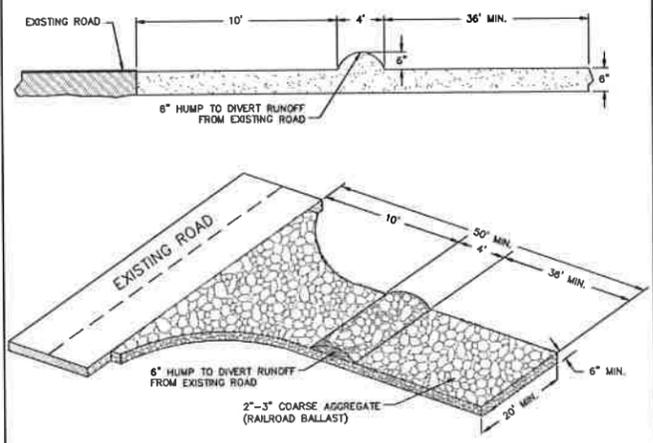


PLAN



- NOTES:
1. ATTACH HARDWARE TO OUTSIDE OF FENCE POSTS WITH APPROVED FASTENERS.
  2. FILTERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN AND REPAIRED AS REQUIRED.
  3. SEDIMENT SHALL BE REMOVED AFTER DEPOSITS REACH HEIGHT OF BARRIER.
  4. STEEL POSTS SHALL BE MINIMUM 1.33 POUND PER L.F. 5. REF. NCDENR 6.51.1

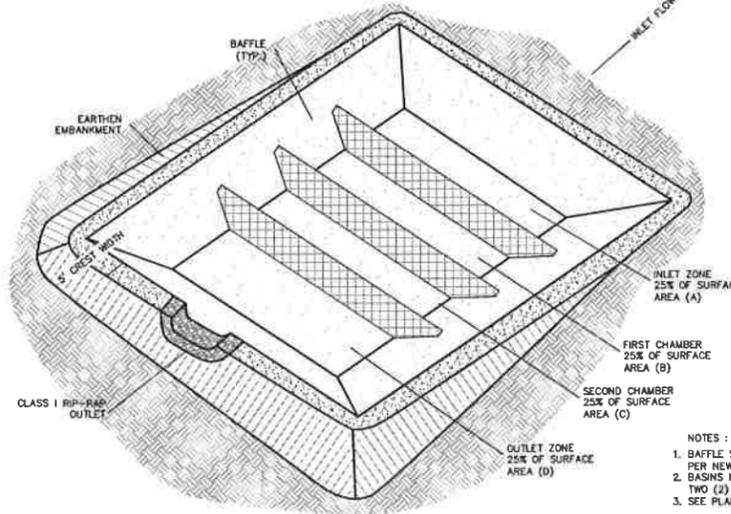
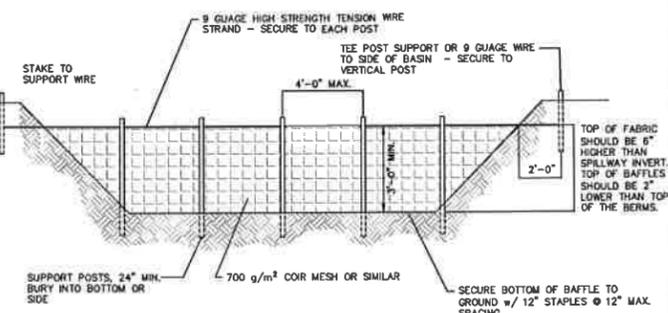
**INLET PROTECTION**  
REVISION DATE - NOVEMBER 3, 2008



- NOTES:
1. A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM AN EXISTING ROAD.
  2. STONE TO BE 2 - 3 INCH WASHED STONE RAILROAD BALLAST.
  3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
  5. WHEN NECESSARY WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
  6. REFERENCE NCDENR LAND QUALITY SECTION DESIGN MANUAL: 6.06.

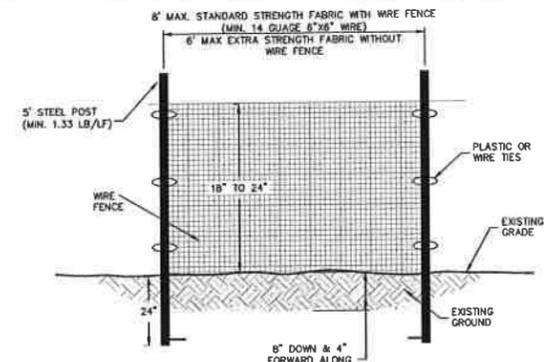
**STABILIZED CONSTRUCTION ENTRANCE**  
REVISION DATE - NOVEMBER 3, 2008

- NOTES:
1. INLET ZONE (A) SHOULD HAVE 25% OF SURFACE AREA. FIRST CELL (B) SHOULD HAVE 25% OF SURFACE AREA. SECOND CELL (C) SHOULD HAVE 25% OF SURFACE AREA AND THE OUTLET ZONE (D) SHOULD HAVE 25% OF SURFACE AREA.
  2. GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
  3. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES, SPACED A MAXIMUM OF 4 FEET APART.
  4. DO NOT SPICE FABRIC. USE ONE CONTINUOUS PIECE ACROSS BASIN.
  5. INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL.
  6. REFERENCE NCDENR LAND QUALITY SECTION DESIGN MANUAL: 6.05.

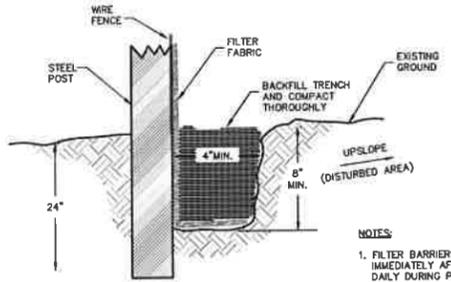


**POROUS BAFFLES**  
REVISION DATE - DECEMBER 07, 2012

- NOTES:
1. BAFFLE SPACING OF 25% EACH PER NEW NCDENR RECOMMENDATIONS
  2. BASINS LESS THAN 20' LONG REQUIRE TWO (2) COR BAFFLES
  3. SEE PLANS FOR BAFFLE SPACING



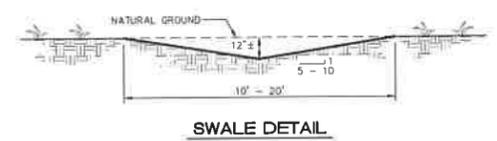
SECTION VIEW



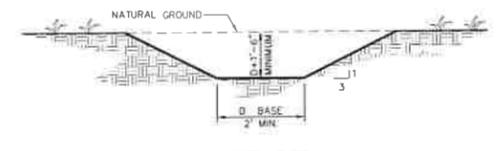
- NOTES:
1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. REPAIR SHALL BE MADE AS NECESSARY.
  2. FABRIC SHALL BE REPLACED PROMPTLY IF FOUND TO BE IN DISREPAIR.
  3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT AND WHEN DEPOSITS REACH APPROXIMATELY 1/3 HEIGHT OF BARRIER.
  4. REFERENCE NCDENR LAND QUALITY SECTION DESIGN MANUAL: 6.02.

SLOPE	SLOPE LENGTH (FT)	MAXIMUM AREA (SQ FT)
<2%	100	10,000
2 TO 5%	75	7,500
5 TO 10%	50	5,000
10 TO 20%	25	2,500
>20%	15	1,500

**SEDIMENTATION/SILT FENCE**  
REVISION DATE - NOVEMBER 3, 2008



SWALE DETAIL



CHANNEL DETAIL

**Drainage Structures Notes:**

Unless more stringent requirements are called for on referenced NCDOT standard details, the following shall apply:

1. Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete.
2. Any non-standard box (non-standard meaning not shown in this manual), is to be designed by a NC Professional Engineer and approved by the Town Engineer.
3. The maximum height of an un-reinforced masonry drainage structure with 8 inch walls shall be limited to 8'-0" from invert of the outlet pipe to the top of the casting. Depths greater than 8'-0" shall have walls 12" thick. Basins over 12' in total depth shall be designed by a NC Professional Engineer and approved by the Town Engineer. Four inch walls are not allowed on drainage structures. Bottom slab on structures shall be reinforced when box depth exceeds 8 ft.
4. Steps are to be provided on all basins deeper than 36".
5. Steps are to be PS1-PF as manufactured by M. A. Industries or an approved equal. Locate on non-pipe walls. Steps shall meet OSHA requirements.
6. Mortar in masonry boxes is to be type M.
7. Clay brick structures are not allowed.
8. Concrete pipe is to be minimum class III.
9. Concrete building brick is to meet ASTM C-55, Grade N, Type 1 and must be NCDOT standard.
10. All cast-in-place or precast concrete drainage structures located in paved areas accessible to truck loadings to be designed to meet AASHTO HS 20-44 loading. See manufacturers details for wall, top and bottom thickness.
11. Inside of boxes shall allow for 6" of clearance on both sides of pipe. The dimension shown on the structures in this manual are minimum dimensions. For boxes with greater dimensions, either corbel walls, add a reinforced concrete top slab or lengthen box by adding additional grates & frames. Top and bottom slabs to be designed by NC Professional Engineer and approved by the Town Engineer for H20 loading.
12. Maximum horizontal span of an 8" thick wall shall not exceed 8' for boxes of 8 feet or less in depth and 10 feet for boxes 12 feet or less in depth.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL DRAINAGE CHANNELS**

SCALE: Not To Scale  
REVISION DATE: July 2008  
SHEET # 1 of 3

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**DRAINAGE STRUCTURES NOTES**

SCALE: Not To Scale  
REVISION DATE: July 2008  
SHEET # 2 of 3

FOR REVIEW ONLY

**McGill ASSOCIATES**  
ENGINEERING-PLANNING-FINANCE  
1340 19th STREET, LANE NW, RICHMOND, NC 28801 TEL: (813) 328-2024 FAX: (813) 328-2024



A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
TOWN OF CLAYTON, NORTH CAROLINA

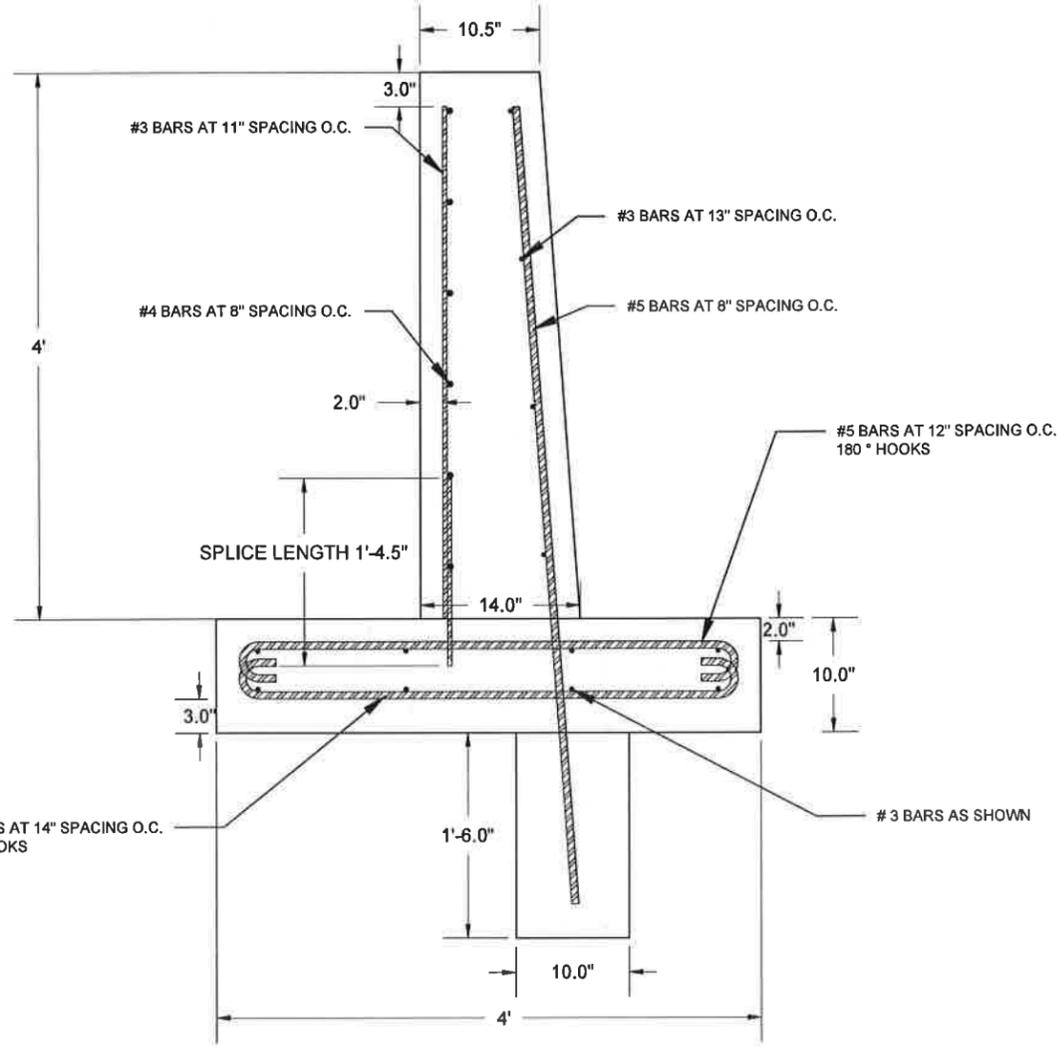
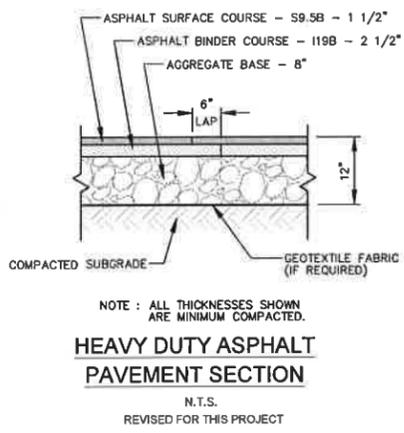
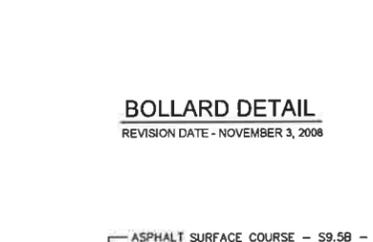
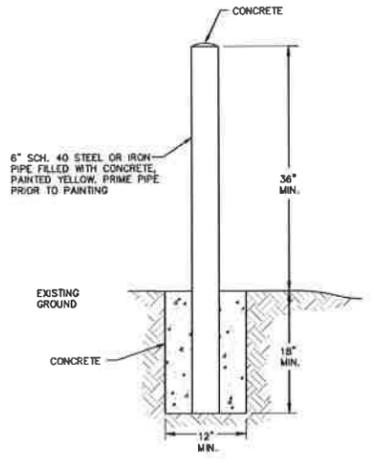
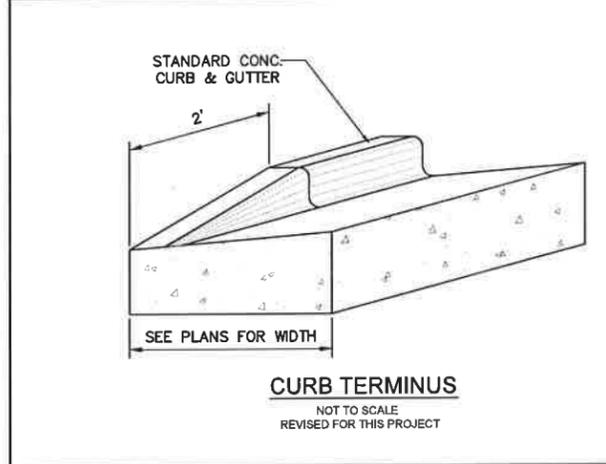
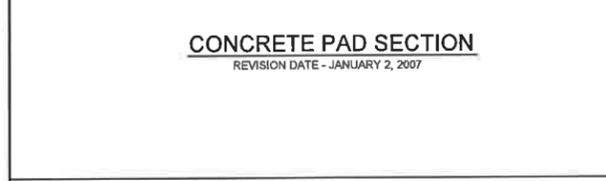
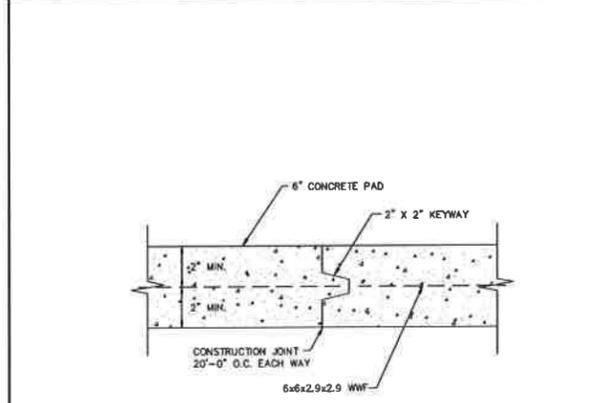
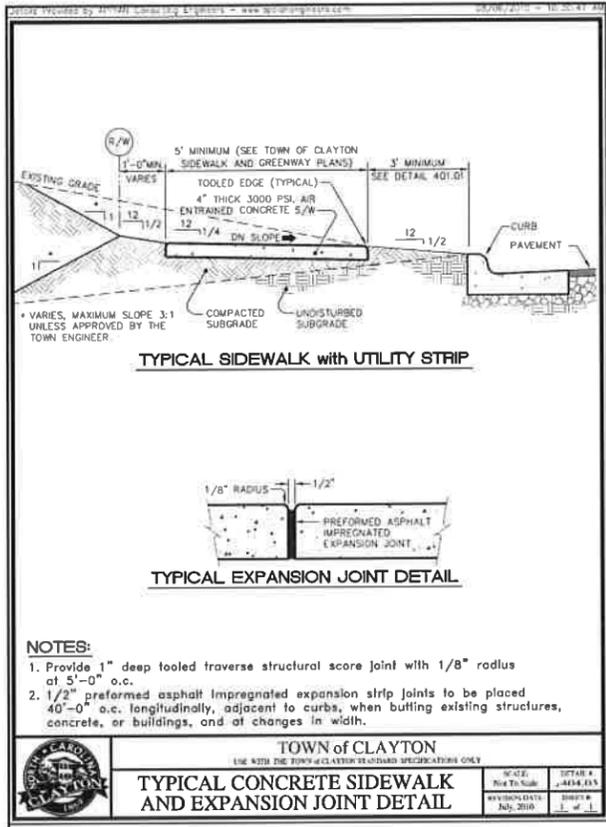
JOB NO.: 15-01800  
DATE: SEPTEMBER 2015  
DESIGNED BY: RLC  
CADD BY: RLC, ZL  
DESIGN REVIEW: \_\_\_\_\_  
CONST. REVIEW: \_\_\_\_\_  
15-01800-PLAN  
SEL\_PHASE1.dwg

**STANDARD SITE DETAILS**

SHEET  
**C-502**

NO.	DATE	BY	REVISION DESCRIPTION

P:\2015 PROJECTS\15-01800 TOWN OF CLAYTON - Operations Center Improvements\15-01800-PLAN-SET\_PHASE1.dwg 10/20/2015 12:53 PM ZIZANA LULU



NO.	DATE	BY	REVISION DESCRIPTION

FOR REVIEW ONLY

**McGill ASSOCIATES**  
 ENGINEERING, PLANNING, FINANCE  
 1240 19th STREET, LANE NW RICKORY, NC 28601 PH: (660) 326-2024 FAX: (660) 326-2025

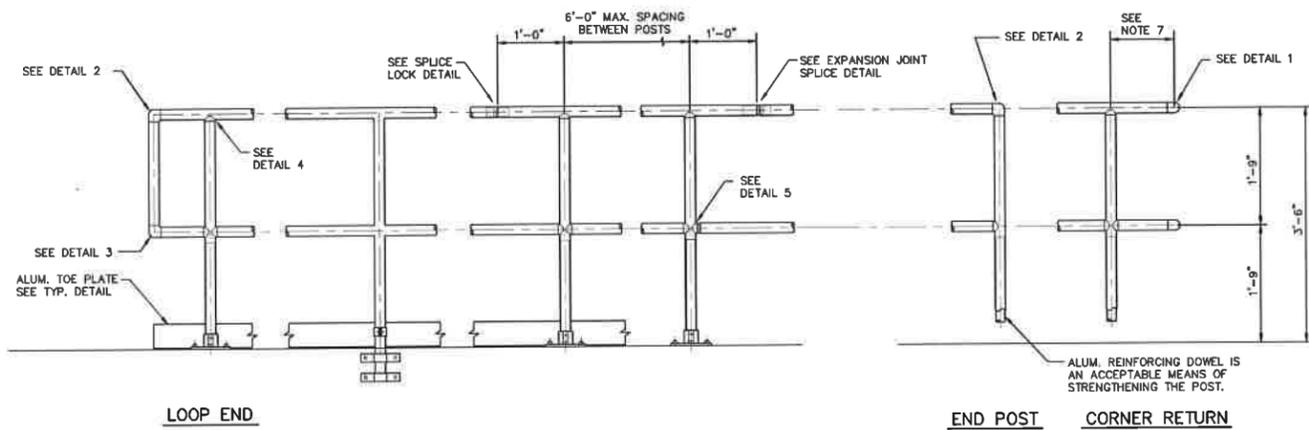
A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
 TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15.01900  
 DATE: SEPTEMBER 2015  
 DESIGNED BY: RLC.ZL  
 CADD BY: RLC.ZL  
 DESIGN REVIEW: \_\_\_\_\_  
 CONST. REVIEW: \_\_\_\_\_  
 15.01900\_Plan SET\_PHASE1.dwg

**STANDARD SITE DETAILS**

**SHEET C-503**

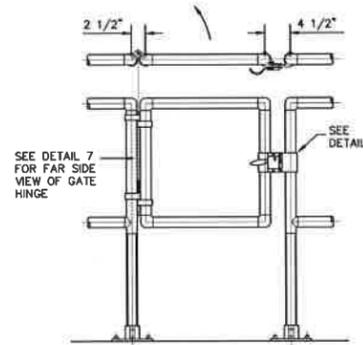
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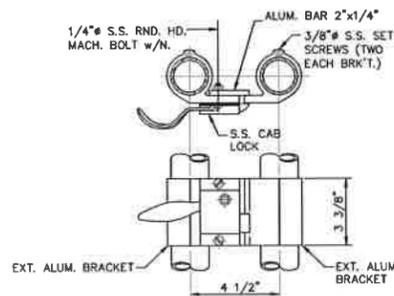
LOOP END

TYPICAL HANDRAIL

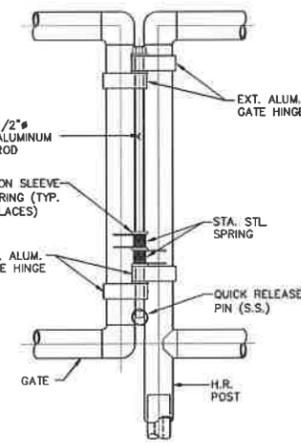
END POST CORNER RETURN



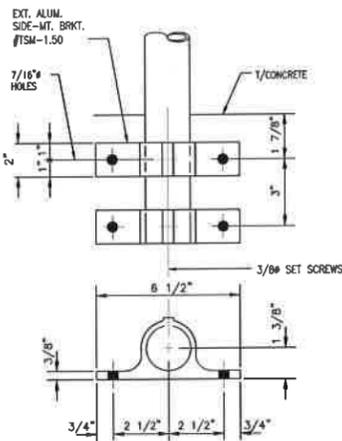
TYPICAL GATE



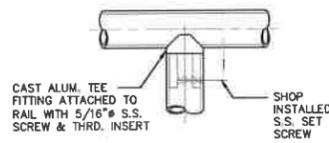
DETAIL 6



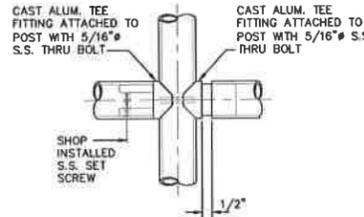
DETAIL 7



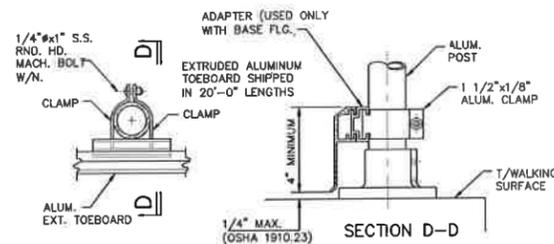
SIDE-MOUNTED HAND RAIL



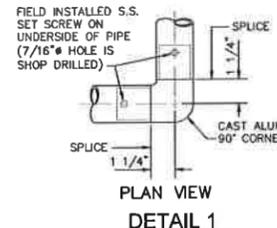
DETAIL 4



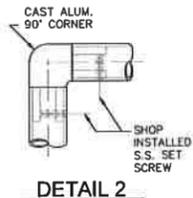
DETAIL 5



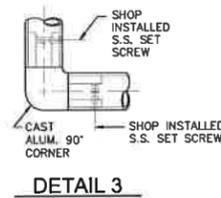
TYPICAL TOEBOARD DETAILS



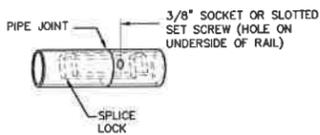
DETAIL 1



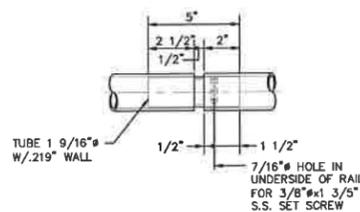
DETAIL 2



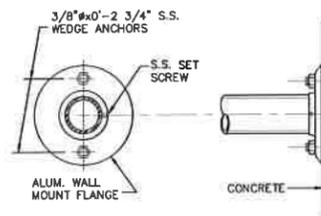
DETAIL 3



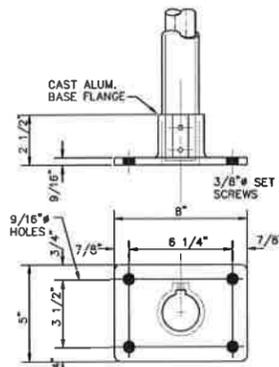
SPLICE LOCK



EXPANSION JOINT SPLICE  
LOCATED AT 60'-0" MAX. INTERVALS



WALL FLANGE DETAIL

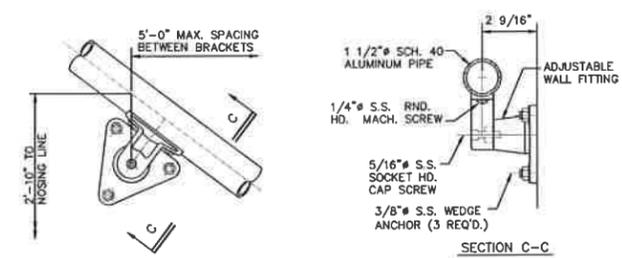


HANDRAIL BASE FLANGE  
LOCATE SET SCREWS IN BASE FLANGE AT 90° FROM CENTERLINE OF H.R. RUN AND ON SIDE AWAY FROM WALKING SURFACE.

STANDARD BUILDING CODE AND 1990 BOCA DESIGN SPECIFICATIONS FOR FACTORY-INDUSTRIAL APPLICATIONS

- HANDRAIL SHALL BE THE PRODUCT OF A COMPANY NORMALLY ENGAGED IN THE MANUFACTURE OF PIPE RAILING. RAILING SHALL BE SHOP ASSEMBLED IN LENGTHS NOT TO EXCEED 24 FEET FOR FIELD ERECTION.
- HANDRAILS AND STAIR RAILS SHALL BE DESIGNED TO WITHSTAND A 200# CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ON THE TOP RAIL. HANDRAILS AND STAIR RAILS SHALL ALSO BE DESIGNED TO WITHSTAND A LOAD OF 50#/FT APPLIED HORIZONTALLY TO THE TOP RAIL. THE 200# LOAD WILL NOT BE APPLIED SIMULTANEOUSLY WITH THE 50#/FT LOAD. IN ADDITION, THE HANDRAILS SHALL BE DESIGNED TO WITHSTAND A LOAD OF 100#/FT APPLIED VERTICALLY DOWNWARD TO THE TOP RAIL AND SIMULTANEOUSLY WITH THE 50#/FT HORIZONTAL LOAD. THE 100#/FT VERTICAL LOAD DOES NOT APPLY TO STAIR RAILS.
- THE MANUFACTURER SHALL SUBMIT CALCULATIONS TO THE ENGINEER FOR APPROVAL. TESTING OF BASE CASTINGS OR BASE EXTRUSIONS BY AN INDEPENDENT LAB OR MANUFACTURER'S LAB (IF MANUFACTURER'S LAB MEETS THE REQUIREMENTS OF THE ALUMINUM ASSOCIATION) WILL BE AN ACCEPTABLE SUBSTITUTE FOR CALCULATIONS. CALCULATIONS WILL BE REQUIRED FOR APPROVAL OF ALL OTHER DESIGN ASPECTS.
- POST SPACING SHALL BE A MAXIMUM OF 6'-0". POSTS AND RAILINGS SHALL BE A MINIMUM OF 1-1/2" SCHEDULE 40 ALUMINUM PIPE ALLOY 6063-T6, ASTM-B-429 OR ASTM-B-221. THE HANDRAIL MANUFACTURER SHALL SHOW THAT THEIR POSTS ARE OF ADEQUATE STRENGTH TO MEET THE LOADING REQUIREMENTS. IF THE MANUFACTURER'S POSTS ARE NOT OF ADEQUATE STRENGTH, THE MANUFACTURER MAY REDUCE THE POST SPACING OR ADD REINFORCING DOWELS OR MAY DO BOTH IN ORDER TO MEET LOADING REQUIREMENTS.
- THE HANDRAIL SHALL BE MADE OF PIPES JOINED TOGETHER WITH COMPONENT FITTINGS. SAMPLES OF ALL COMPONENTS, BASES, TOE PLATE AND PIPE MUST BE SUBMITTED FOR APPROVAL. COMPONENTS THAT ARE POP-RIVETED OR GLUED AT THE JOINTS WILL NOT BE ACCEPTABLE. ALL COMPONENTS MUST BE MECHANICALLY FASTENED WITH STAINLESS STEEL HARDWARE. HANDRAIL AND COMPONENTS SHALL BE TUF RAIL, AS MANUFACTURED BY THOMPSON FABRICATING COMPANY (B'HAM, AL.) OR APPROVED EQUAL.
- POSTS SHALL NOT INTERRUPT THE CONTINUATION OF THE TOP RAIL AT ANY POINT ALONG THE RAILING, INCLUDING CORNERS AND END TERMINATIONS (OSHA 1910.23). THE TOP SURFACE OF THE TOP RAILING SHALL BE SMOOTH AND SHALL NOT BE INTERRUPTED BY PROJECTING FITTINGS.
- THE MIDRAIL AT A CORNER RETURN SHALL BE ABLE TO WITHSTAND A 200# LOAD WITHOUT LOOSENING. THE MANUFACTURER IS TO DETERMINE THIS DIMENSION FOR THEIR SYSTEM. PROVIDE PHYSICAL TESTS FROM A LABORATORY TO CONFIRM COMPLIANCE.
- EXPANSION BOLTS SHALL BE SPACED 100 APART AND 50 EDGE DISTANCE FOR NO REDUCTION IN PULLOUT STRENGTH. A SAFETY FACTOR OF 4 SHALL BE USED ON EXPANSION BOLT PULLOUT VALUES. PUBLISHED BY THE MANUFACTURER. EXPANSION BOLTS SHALL BE STAINLESS STEEL TYPE 303 WEDGE BOLTS AND SHALL BE FURNISHED BY THE HANDRAIL MANUFACTURER.
- TOE PLATE SHALL CONFORM TO OSHA STANDARDS. TOE PLATE SHALL BE A MINIMUM OF 4" HIGH AND SHALL BE AN EXTRUSION THAT ATTACHES TO THE POSTS WITH CLAMPS WHICH WILL ALLOW FOR EXPANSION AND CONTRACTION BETWEEN POSTS. TOE PLATES SHALL BE SET 1/4" ABOVE THE WALKING SURFACE. TOE PLATES SHALL BE PROVIDED ON HANDRAILS AS REQUIRED BY OSHA AND/OR AS SHOWN ON DRAWINGS. TOE PLATES SHALL BE SHIPPED LOOSE IN STOCK LENGTHS WITH PRE-MANUFACTURED CORNERS FOR FIELD INSTALLATION.
- OPENINGS IN THE RAILING SHALL BE GUARDED BY A SELF-CLOSING GATE (OSHA 1910.23). SAFETY CHAINS SHALL NOT BE USED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS.
- FINISH SHALL BE ALUMINUM ASSOCIATION M10-C22-A41 (215-R1). THE PIPE SHALL BE PLASTIC WRAPPED. THE PLASTIC WRAP IS TO BE REMOVED AFTER ERECTION.
- ALUMINUM SURFACES IN CONTACT WITH CONCRETE, GROUT OR DISSIMILAR METALS WILL BE PROTECTED WITH A NEOPRENE PAD, MYLAR ISOLATORS OR OTHER APPROVED MATERIAL.

NOTE: MANUFACTURER'S STANDARD DIMENSIONS AND DETAILS MAY BE UTILIZED ON HANDRAIL AND FITTINGS PROVIDED ALL OSHA AND BUILDING CODES REQUIREMENTS ARE MET.



WALL RAIL ELEVATION



BEFORE YOU DIGIT CALL 1-800-486-4844 OR ONE-CALL CENTER IT'S THE LAW!

NO.	DATE	BY	REVISION/DESCRIPTION

FOR REVIEW ONLY

A PROJECT FOR THE TOWN OF CLAYTON  
**OPERATIONS CENTER IMPROVEMENTS**  
TOWN OF CLAYTON, NORTH CAROLINA

JOB NO.: 15 01900  
DATE: SEPTEMBER, 2015  
DESIGNED BY: BJR  
CADD BY: WW, ZL  
DESIGN REVIEW: \_\_\_\_\_  
CONST. REVIEW: \_\_\_\_\_  
FILE NAME: 15-01900 PLAN SET\_PHASE1\_0wg

HANDRAIL DETAILS

SHEET  
**C-504**



## CLAYTON OPERATIONS CENTER MEETING ATTENDANCE SHEET

Date: October 16, 2015

Time: 6:00 PM

NAME	REPRESENTING	PHONE/EMAIL
BYRON W. POELMAN	TOWN OF CLAYTON	PH: 919-553-1530 EMAIL: bpoelman@townofclaytonnc.org
Johnny M. Stanley	Town of Clayton	PH: 919-553-1530 EMAIL:
Bill Roark	McGill Associates	PH: 919-378-9111 EMAIL: bill.roark@mcgillengineers.com
		PH: EMAIL:

**CLAYTON OPERATIONS CENTER  
NEIGHBORHOOD MEETING**

Date: October 16, 2015

Time: 6:00 PM

**PUBLIC COMMENTS**

*No one from the public attended the meeting*

*[Handwritten Signature]*  
10-16-15

Jody L. McLeod  
**MAYOR**

Bruce Thompson  
**TOWN ATTORNEY**

Steve Biggs  
**TOWN MANAGER**



Bob Satterfield  
Art Holder  
Jason Thompson  
R.S. "Butch" Lawter, Jr.  
**COUNCIL MEMBERS**

Michael Grannis  
**MAYOR PRO TEM**

---

October 6, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed by the Town of Clayton involving Town Property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the Town will be present to explain the rezoning, answer questions, and solicit comments.

Meeting Date: October 16, 2015

Location: Town of Clayton Operations Center, 653 NC Hwy 42 W Clayton, NC 27520

Time: 6:00pm

Type of Application: Major Site Plan

General Description: Request to expand the Operations Center by adding a new truck access from NC Hwy 42, new employee parking lot, truck docks, and new storage space.

Please see the map attached to the back of this letter. If you have any questions prior to or after this meeting, you may contact Bill Roark at 919-378-9111.

Sincerely,

Haley Hogg, CZO  
Town Planner  
Town of Clayton





Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

October 26, 2015

## STAFF REPORT

### Application Number: 13-106-01-SD Project Name: Hannah's Creek Lot 78 – Major Subdivision

**NC PIN / Tag #:** 165803-21-4008 / 05g03015i  
**Town Limits/ETJ:** ETJ  
**Overlay:** Scenic Highway Overlay  
**Applicant:** Curk Lane  
**Owner:** Darryl D. Evans  
**Location:** The property is located in the existing Hannah's Creek subdivision, south of the intersection of Corvina Drive, Concord Court, and Vinyard Drive.

#### Public Noticing:

- Neighborhood meeting October 14, 2015
- Sign posted October 16, 2015
- Letters mailed prior to December 22, 2015
- Newspaper ad posted prior to December 23, 2015

**REQUEST:** The applicant is requesting preliminary subdivision plat approval to add one lot (Lot 78) to the existing Hannah's Creek subdivision.

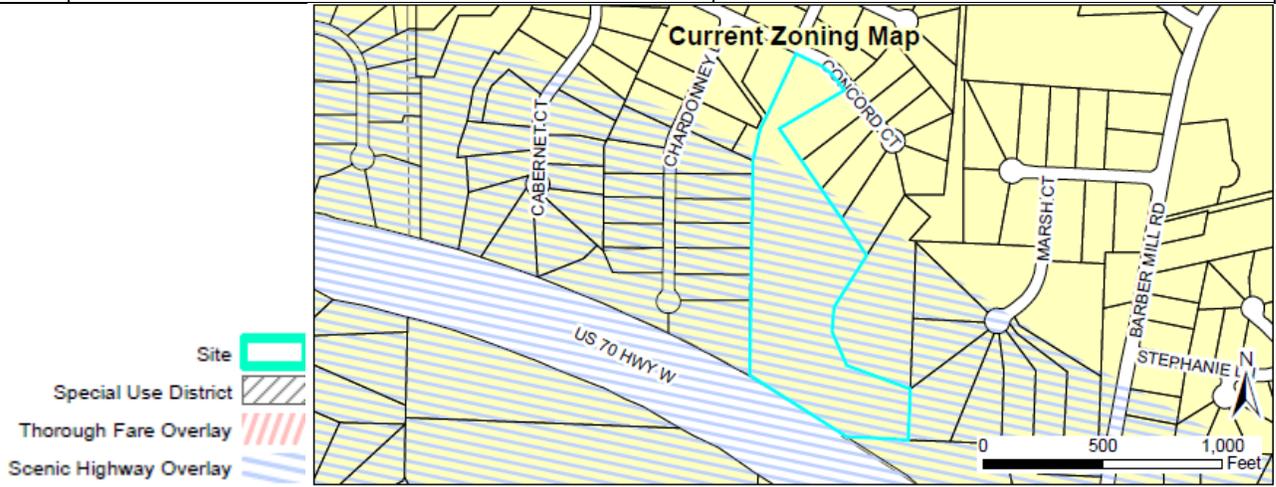


**SITE DATA:**

**Parcel Acreage:** 11.89 acres  
**Proposed Lot 78 Acreage:** 1.3± acres (to be subdivided from the Parcel Acreage)  
**Existing Use:** Agriculture

**ADJACENT ZONING AND LAND USES:**

Direction	Zoning	Existing Use
North	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
South	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
East	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)
West	Residential-Estate (R-E)	Residential subdivision (Hannah’s Creek)



**DEVELOPMENT DATA:**

**Existing Uses:** 77 lot single family subdivision  
**Proposed Uses:** Single family residential dwelling  
**Buildings:** One  
**Number of Stories:** Maximum height of 35 feet  
**Impervious Surface:** Maximum 4,288 SF – which is identical to adjacent lots in subdivision.  
**Required Parking:** 2 spaces per unit  
**Proposed Parking:** 2 spaces per unit  
**Access/Streets:** New driveway off of Concord Court  
**Water/Sewer Provider:** Public water and septic  
**Fire Protection:** Town of Clayton Fire Department

## STAFF ANALYSIS:

### Overview

The applicant is requesting preliminary plat (major subdivision) approval to add one lot (Lot 78) to an existing subdivision. This subdivision utilizes septic fields, and is generally limited in density by the availability of soil that will accommodate septic drain fields. With the completion of the platting of Phase 3 of Hannah's Creek subdivision, the developer has found additional land that will accommodate a septic field, and is proposing to use that land to add one more lot to the subdivision.

The original Preliminary Subdivision Approval from the County identifies the tract of land that Lot 78 will be separated from as "Permanent Open Space". All recorded Plat Book pages for this site identify this parcel as "Reserved for Future Development". The granting of the creation of Lot 78 will reduce the overall open space available for the subdivision.

In 2014, a minor subdivision application was approved for this site by the Planning Department. This minor subdivision was granted administratively (as allowed by Code) based on the recorded Plat Book images, which designate the land that Lot 78 will be separated from as "Reserved for Future Development". The original, preliminary subdivision approval from the County (which shows "Permanent Open Space") was not consulted at the time this approval was granted. Staff believes that a clerical error occurred at the County during the platting process, and the plat reviewer missed that the area shown as "Permanent Open Space" and allowed it to be recorded as "Reserved for Future Development". Since Hannah's Creek is an existing subdivision, it was determined that the addition of a lot (Lot 78) should have triggered a major subdivision application which requires approval by Town Council. The 2014 minor subdivision approval was recently determined by the Planning Director to have been issued in error. To rectify this, the developer agreed to pursue a major subdivision application in order to create Lot 78. Major subdivision applications require neighborhood meetings, and are decided in a quasi-judicial hearing by Town Council.

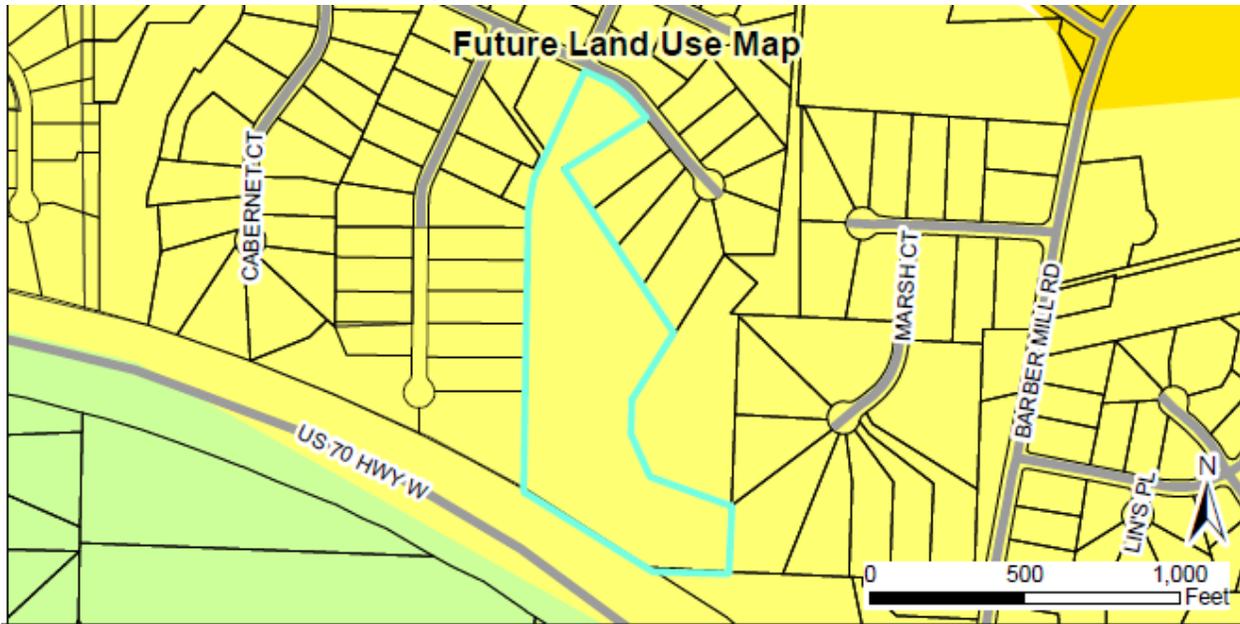
### Consistency with Adopted Plans:

- **Comprehensive Plan 2040**  
The request is consistent.

- **Master Plan (if any)**  
The request is not consistent with the Preliminary Plat Approval that was issued by the County in 2006, which show the parcel as "Permanent Open Space". This approval in the County occurred before the subdivision and this parcel were incorporated into Clayton's ETJ in 2008.

The request is consistent with the current recorded Plat Book which designates the area as "Reserved for Future Development".

- **Unified Development Code**  
The proposed development will be consistent with the Unified Development Code (UDC). Individual lot development specifications including building placement, driveway placement, etc. will be required to meet all Town standards.



#### **Compatibility with Surrounding Land Uses**

Uses surrounding the subject property are identical to what is being proposed on Lot 78.

#### **Landscaping and Buffering**

N/A.

#### **Recreation and Open Space**

When this development was approved in the County, the required open space for an open space subdivision was 10%. Per Town of Clayton UDC, the required open space of a comparable open space subdivision is 12.5% of net site area. Net site area excludes Resource Conservation Areas from the calculation. This new addition to the existing Hannah's Creek subdivision occurs on land that was originally intended as open space for the subdivision.

As of the writing of this staff report, enough information is not available in order to determine if the addition of another lot meets the 12.5% open space requirement. The addition of lots must meet the Town requirement for open space.

According to correspondence with the applicant, no recreation fees were ever paid to the County. This indicates that this subdivision was approved as an open space subdivision, and the provision of open space was a requirement of the original approval.

As part of this application, the developer has proposed to add a natural surface "nature trail" through the remaining open space south of the proposed Lot 78. This trail would have two access points, each of which would be 30' pedestrian easements, as required by Code. The easement alongside Lot 78 would coincide with an existing 20' wide drainage easement.

#### **Environmental**

N/A

**Access/Streets**

Access will be provided via a new driveway off of Concord Court.

**Waivers/Deviations/Variances from Code Requirements**

None.

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**CONSIDERATIONS:**

- The applicant is requesting Preliminary Subdivision Plat approval for Lot 78.
  - This approval is subject to approval of SUP 2013-71.
- 

**FINDINGS:**

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

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**STAFF RECOMMENDATION:**

Staff

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**CONDITIONS:**

If approved, staff recommends the following conditions be applied:

1. The Conditions of Approval shall be inserted into the Site Plan, and three clean copies shall be delivered to the Planning Department for final approval.
  2. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan.
  3. All development fees shall be paid prior to final plat recordation, except that Capacity fees shall be paid prior to issuance of building permits.
  4. The nature trail shall be constructed or bonded prior to the issuance of building permits.
  5. Any proposed pedestrian easements shall be revised so as to not overlap drainage easements.
- 

**ATTACHMENTS:**

- 1) Application and application materials, including site plan
- 2) Staff report maps
- 3) Neighborhood meeting materials from applicant
- 4) Preliminary subdivision approval from County (approved 2006)

- 5) Plat book images
- 6) Minor subdivision approval (approved 2014)
- 7) Materials from Hannah's Creek HOA
  - a. letter of opposition, petition, and neighborhood meeting minutes – Hannah's Creek Community
  - b. Letter of opposition – Katherine Pagano
  - c. Letter of opposition – Steve Warren



**TOWN OF CLAYTON**

Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

**SUBDIVISION: MAJOR SUBDIVISION  
(Preliminary Subdivision Plat)**

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot  
Modifications to approved plans:  
Major Modification: \$400.00 + \$5.00 per lot modified  
Minor Modification: \$200.00 + \$5.00 per lot modified

See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.  
See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.  
See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.  
See §155.706(N) for information on minor and major modifications.  
See UDC Article 6 for Subdivision Standards.

**SITE INFORMATION**

New Major Subdivision  
Conventional:  Open Space:   Modification to Approved Preliminary Plat  
Major:  Minor:   
 New Subdivision Master Plan

Name of Project: Hannahs Creek Subdivision Acreage of Property: 84.836

Tag #: \_\_\_\_\_ NC PIN: \_\_\_\_\_

Location: Hannahs Creek Subdivision

Number of Lots (existing): 77 (Proposed) 1 Min Lot Size: \_\_\_\_\_

Zoning District: R-E Electric Provider: Duke

Wastewater:  Septic  Sewer (check one) Water:  Well  Public/Private Water (check one)

Recreation/Open Space Requirement:  Fee in lieu  Land Dedication – Acreage: 16.730

**FOR OFFICE USE ONLY**

Date Received: \_\_\_\_\_ Amount Paid: \$405.<sup>00</sup> File Number: 13-106-01-SD  
**RECEIVED**  
OCT 01 2015  
Town of Clayton  
Planning Department

## PROPERTY OWNER INFORMATION

Name: Darryl D. Evans, Inc.

Mailing Address: 425 Indian Camp Rd., Smithfield, NC 27577

Phone Number: 919-934-3884

Fax: 919-934-3882

Email Address: \_\_\_\_\_

## APPLICANT INFORMATION

Applicant: True Line Surveying

Mailing Address: 205 W. Main St., Clayton, NC 27520

Phone Number: 919-359-0427

Fax: 919-359-0428

Contact Person: Curk Lane

Email Address: curk@truelinesurveying.com

## REQUIRED INFORMATION *(to be submitted with the application)*

*The following items must accompany the application:*

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/25/15</u>	<input checked="" type="checkbox"/>				
2. Completed Application	<input checked="" type="checkbox"/>				
3. Review Fee	<input checked="" type="checkbox"/>				
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input type="checkbox"/>				
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			



**FINDINGS OF FACT**

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

~~This modification meets all required specifications and preforms to the towns UDO.~~  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

~~The creation of Lot 78 will be similar or larger in size as existing lots creating a home site in keeping with all homes in neighborhood. All homes in neighborhood including new lot will all be built by the same builder, Darryl D. Evans, Inc.~~  
\_\_\_\_\_  
\_\_\_\_\_

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

~~There are no new road or traffic patterns proposed for this modification. The new lot 78 will be created on an exciting road, Concord Ct.~~  
\_\_\_\_\_  
\_\_\_\_\_

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

~~Lot 78 will create an evenly distributive street scape of homes along Concord Ct. and Corvina Dr. that will be consistent of all home sites in Hannah's Creek Subdivision as approved by Johnston County Planning Board and Town of Clayton Town Council. (see attachment)~~  
\_\_\_\_\_

Project Name: Hannahs Creek

Curk Lane  
Print Name

  
Signature of Applicant

10/1/15  
Date



D. David Allison, Jr. & Deborah L. Allison  
121 Concord Court  
Clayton, NC 27520

Lars G. Andersson & Carla J. Andersson  
86 Chardonnay Drive  
Clayton, NC 27520

Mary Baker  
228 Corvina Drive  
Clayton, NC 27520

Frederick K. Bangert & Kathy J. Bangert  
9 Cabernet Court  
Clayton, NC 27520

Bruce D. Beavers & Teresa L. Beavers  
105 Concord Court  
Clayton, NC 27520

Michael G. Beavers & Mable S. Beavers  
42 Chardonnay Drive  
Clayton, NC 27520

Robert E. Blackman Jr. & Melinda W.  
73 Merlot Court  
Clayton, NC 27520

Jeremy Brewer & Paula Brewer  
235 Corvina Drive  
Clayton, NC 27520

Marcus Burrell & Myra Burrell  
23 Chardonnay Drive  
Clayton, NC 27520

Joshua Carlisle & Laura Carlisle  
30 Corvina Drive  
Clayton, NC 27520

James Carroll & Tammy Carroll  
140 Corvina Drive  
Clayton, NC 27520

Keith B. Connolly & Kimberly L. Connolly  
101 Vinyard Drive  
Clayton, NC 27520

George D. Craig Jr. & Edith B. Craig  
23 Cabernet Court  
Clayton, NC 27520

Thomasine C. Dade  
73 Cabernet Court  
Clayton, NC 27520

Johnny H. Daughtridge III & Ashley T.  
117 Cabernet Court  
Clayton, NC 27520

Timothy Donehoo & Levana Miller  
58 Chardonnay Drive  
Clayton, NC 27520

James M. Dubovec & Kristen A.  
181 Corvina Drive  
Clayton, NC 27520

Matthew Dupree & Emily Dupree  
118 Cabernet Court  
Clayton, NC 27520

Jonathan Ellis  
62 Corvina Drive  
Clayton, NC 27520

Sean P. Elmore & Erin L. Elmore  
128 Corvina Drive  
Clayton, NC 27520

Emmanuel Eslabon & Carmela Eslabon  
31 Merlot Court  
Clayton, NC 27520

Ronald L. Evans & Kathleen V. Evans  
106 Concord Court  
Clayton, NC 27520

Susan Fikes  
77 Merlot Court  
Clayton, NC 27520

John P. Fleming & Raquel W. Fleming  
17 Corvina Drive  
Clayton, NC 27520

James W. Flockhart Jr. & Suzanne M.  
53 Cabernet Court  
Clayton, NC 27520

Alan Flowers  
112 Cabernet Court  
Clayton, NC 27520

David R. Ford & Heather H. Ford  
117 Concord Court  
Clayton, NC 27520

Gerald K. Ford & Sharon S. Ford  
116 Concord Court  
Clayton, NC 27520

Gary A. Furer & Deborah J. Furer  
31 Cabernet Court  
Clayton, NC 27520

Julian Gomez & Kristy L. Gomez  
107 Cabernet Court  
Clayton, NC 27520

William Greiner & Tammy Greiner  
54 Merlot Court  
Clayton, NC 27520

William C. Hartley & Teresa C. Hartley  
20 Chardonnay Drive  
Clayton, NC 27520

Lee A. Hartman & Tera G. Hartman  
234 Corvina Drive  
Clayton, NC 27520

John J. Hicks & Connie J. Hicks  
24 Vinyard Drive  
Clayton, NC 27520

Thomas L. Hunter & Rebecca S. Hunter  
36 Cabemet Court  
Clayton, NC 27520

Kevin W. Ingram & Melissa A. Ingram  
59 Chardonnay Drive  
Clayton, NC 27520

Joseph W. Jackson & Misty Joe Jackson  
87 Concord Court  
Clayton, NC 27520

Jay W. Johnson & Malinda J. Johnson  
54 Vinyard Drive  
Clayton, NC 27520

Brian A. Kapusta & Sarah B. Kapusta  
78 Vinyard Drive  
Clayton, NC 27520

Christopher LaTurno & Lisa LaTurno  
74 Chardonnay Drive  
Clayton, NC 27520

Gerald D. Lee & William G. Smart  
61 Merlot Court  
Clayton, NC 27520

Brian S. Lipscomb & Amanda L.  
150 Corvina Drive  
Clayton, NC 27520

Henry C. Marcum & Tabitha S. Marcum  
70 Merlot Court  
Clayton, NC 27520

Charles McCann & Karen L. McCann  
170 Corvina Drive  
Clayton, NC 27520

Glenn McDowell & Kelly McDowell  
58 Cabernet Court  
Clayton, NC 27520

Donald Jeremy McLean & Alana H.  
96 Chardonnay Drive  
Clayton, NC 27520

Robert Miles & Rhonda Pelech  
69 Chardonnay Drive  
Clayton, NC 27520

David G. Miller & Lynda E. Miller  
39 Cabernet Court  
Clayton, NC 27520

Michael Mullins & Jody Mullins  
231 Corvina Drive  
Clayton, NC 27520

Daniel M. Nunes & Holley M. Nunes  
220 Corvina Drive  
Clayton, NC 27520

Matthew J. O'Connor & Holly E.  
33 Vinyard Drive  
Clayton, NC 27520

Keith Pagano & Katherine Pagano  
66 Concord Court  
Clayton, NC 27520

Jeremy Sabo & Lauren Sabo  
188 Corvina Drive  
Clayton, NC 27520

Lonnie Linwood Sawyer  
120 Chardonnay Drive  
Clayton, NC 27520

Vincent J. Scavone & Kimberly A.  
14 Merlot Court  
Clayton, NC 27520

Bradley T. Schoonover & Rachel A.  
116 Chardonnay Drive  
Clayton, NC 27520

Daniel Schott & Ariana Schott  
76 Cabernet Court  
Clayton, NC 27520

Scott Joel Smith  
102 Cabemet Court  
Clayton, NC 27520

Joseph Spivey & Amanda Spivey  
84 Corvina Drive  
Clayton, NC 27520

Robert Stephenson & Carrie  
121 Cabernet Court  
Clayton, NC 27520

Bennett E. Strickland & Aileen A.  
86 Concord Court  
Clayton, NC 27520

Allen Surratt II & Amanda Surratt  
91 Chardonnay Drive  
Clayton, NC 27520

Michael Tuccelli & Sarah Tuccelli  
219 Corvina Drive  
Clayton, NC 27520

John P. Tuttle Jr. & Diana W. Tuttle  
95 Cabernet Court  
Clayton, NC 27520

Matthew E. Vaughn & Marisa M. Vaughn  
90 Cabernet Court  
Clayton, NC 27520

Carl Vincent & Wanda Vincent  
160 Corvina Drive  
Clayton, NC 27520

Steve Warren & Angela Warren  
65 Concord Court  
Clayton, NC 27520

Alfred Whitlow Jr.  
106 Corvina Drive  
Clayton, NC 27520

David and Connie Atwood  
148 Chardonney Dr.  
Clayton, NC 27520

Wanda C. Grullon  
123 Chardonney Dr.  
Clayton, NC 27520

## MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.

To be completed by the applicant:			Staff:
	Yes	N/A	
<b>GENERAL (ALL SHEETS):</b>			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each: Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).			
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>PRELIMINARY PLAN SHEET:</b>			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Owner's name and address	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Within Town limits or ETJ	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Zoning District	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Overlay District (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Electric Provider	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Water Provider (or indicate if well)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
- Sewer Provider (or indicate if septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Impervious (existing and proposed, square feet and %) – provide impervious for overall development and per lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Maximum allowed impervious	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Existing Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Proposed Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private" and labeled with easement type.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
24. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
25. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
26. Proposed streets are labeled, named and dimensioned. Correct street cross	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<p>section detail provided. Label street type based on definitions in §155.602(D).</p> <p>If streets are private:</p> <ul style="list-style-type: none"> <li>- All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat.</li> <li>- Streets are labeled "Private Streets – No Town Maintenance."</li> </ul> <p>Street names must be approved by Town of Clayton via a Road Name Application.</p>	<input type="checkbox"/>  <input type="checkbox"/>	<input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	
27. Lengths of all cul-de-sacs.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
28. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input type="checkbox"/>	
<p>29. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.)</p> <ul style="list-style-type: none"> <li>- All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:</p> <p>"The Resource Conservation Area shown hereon is provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity per the standards of the Unified Development Code"</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
31. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and bicycle racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Show how streets are connected to property lines ("stub-out" streets) to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
36. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>LANDSCAPING PLAN SHEET (See §155.402 for Landscaping Requirements)</b>			
37. Show location, width, and type of all landscape buffers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<p>38. Provide a plant list summary table which includes:</p> <ul style="list-style-type: none"> <li>- A planting key identifying the various planting elements</li> <li>- The quantity of each type of plant material proposed</li> <li>- The size, height, caliper and spacing of plant material proposed</li> <li>- The Botanical and common names of plant material proposed</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. If common landscaped areas are provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
species must be used).			
40. Location, species, and caliper of any existing trees that will remain on site. If used to meet planting requirements, make note of what requirements are fulfilled by the preserved trees.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>EXISTING CONDITIONS SHEET:</b>			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
44. Label adjacent property acreage, owners, and zoning districts.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Label subject parcel property owner, acreage, and zoning.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>PRELIMINARY ENGINEERING PLAN SHEET:</b>			
46. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
51. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Show street cross-sections.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
53. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>OTHER</b>			
55. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
56. Any other information considered by either the applicant or the Town to be pertinent to the review.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Signed by Applicant:



Date:

10/1/15



**Town of Clayton**  
**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## OWNER'S CONSENT FORM

*Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.*

Project Name: Lot 78 Hannahs Creek Address or PIN #: 165803-21-4008

**AGENT/APPLICANT INFORMATION:**

True Line Surveying  
 (Name - type, print clearly)

205 W. Main St.  
 (Address)  
Clayton NC 27520  
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

Major

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

**OWNER AUTHORIZATION:**

Darryl O. Evers  
 (Name - type, print clearly)

425 Indian Camp Rd.  
 (Address)

[Signature]  
 (Owner's Signature)

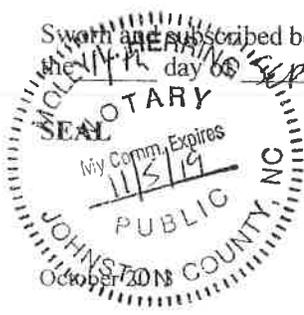
Smithfield NC 27577  
 (City, State, Zip)

STATE OF NC  
 COUNTY OF Johnston

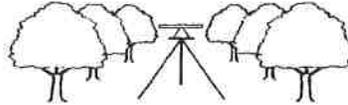
Sworn and subscribed before me Molly L. Herring, a Notary Public for the above State and County, this 11th day of Sept., 2015.

Molly L. Herring  
 Notary Public

My Commission Expires: 11/5/19



# TRUE LINE SURVEYING, P.C.



October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: October 14, 2015

Location: True Line Surveying, 205 W. Main Street Clayton

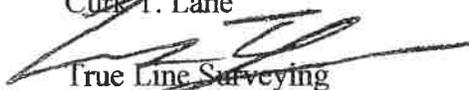
Time: 6:00 PM

Type of Application: Modification to Major Subdivision

General Description: Modification to Hannah's Creek subdivision requesting additional acres to open space and the creation of 1 additional lot.

If you have any question prior to or after this meeting, you may contact us at (919) 359-0427.

Sincerely,  
Curl T. Lane



True Line Surveying



May 20, 2008

Mr. Curk Lane  
True Line Surveying, PC  
205 West Main Street  
Clayton, NC 27520

Mr. Darryl D. Evans  
Darryl D. Evans Inc  
425 Indian Camp Road  
Smithfield, NC 27577

Re: PRELIMINARY SUBDIVISION SUB 08-01 FOR HANNAH'S CREEK,  
PHASE 3

Dear Mr. Lane & Mr. Evans:

At the May 5, 2008, Council meeting, the Clayton Town Council approved preliminary subdivision for residential development SUB 08-01 for Hannah's Creek, Phase 3. Enclosed is an executed copy of the permit for your records.

Feel free to call me at 553-5002 if you have any questions.

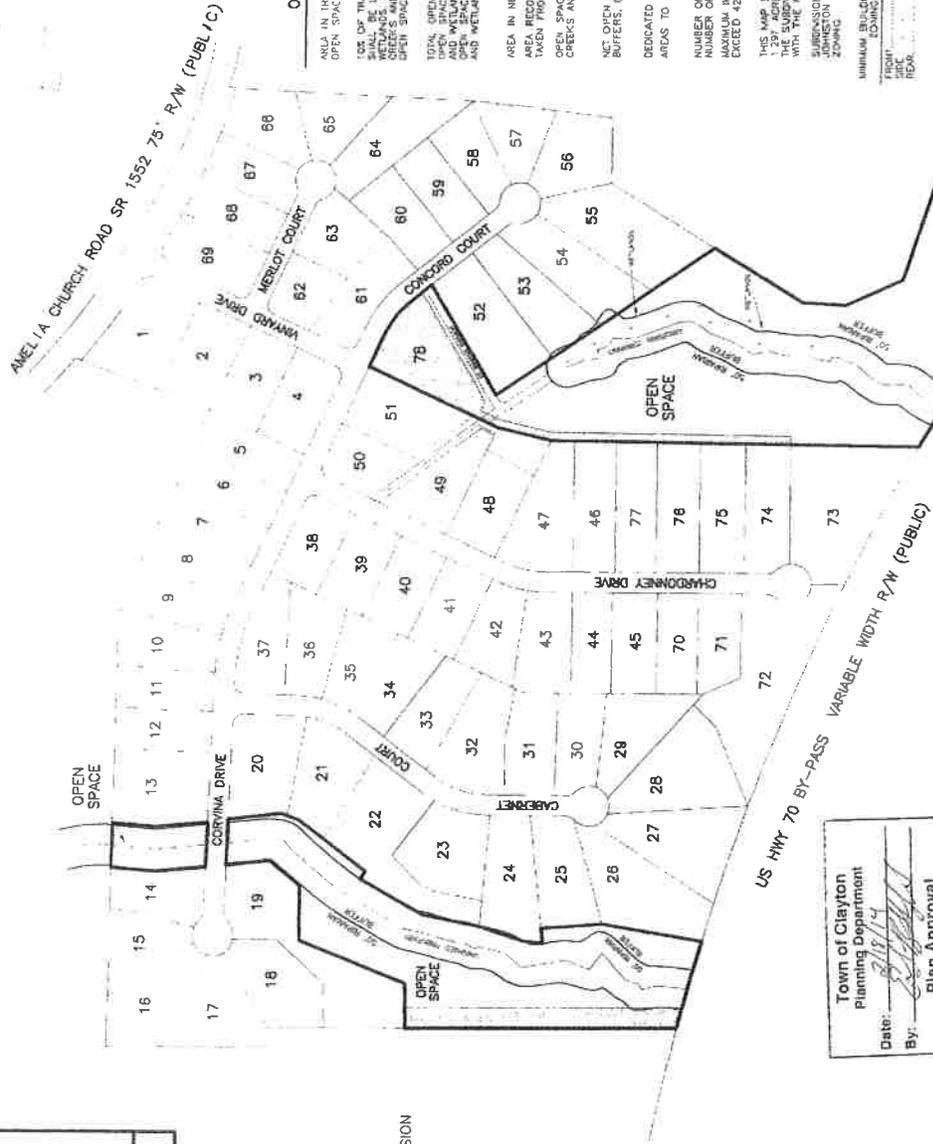
Sincerely,

A handwritten signature in cursive script that reads "Sherry L. Scoggins".

Sherry L. Scoggins, CMC  
Town Clerk

Enclosure

cc: Planning & Inspections Department



FUTURE  
OLD FIELD SUBDIVISION

**PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES**

Town of Clayton  
Planning Department  
Date: 12/18/13  
By: [Signature]  
Plan Approval  
HSP 2014-07

OPEN SPACE REVISION #1A

# HANNAHS CREEK SUBDIVISION

FOR  
**DARRYL D. EVANS, INC.**  
CLAYTON TOWNSHIP, JOHNSTON COUNTY  
NORTH CAROLINA  
DECEMBER 15, 2013  
REVISED 2-4-14 TOWN COMMENTS

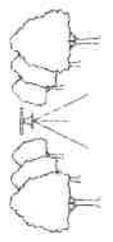
### OPEN SPACE CALCULATIONS

AREA IN THIS PLAT	34.848 AC
OPEN SPACE REQUIRED	0.464 AC
TOTAL OPEN SPACE DEDICATED TO OPEN SPACE THAT WILL REMAIN ON THE PLAT	13.308 AC
AREA OF OPEN SPACE DEDICATED TO OPEN SPACE THAT WILL REMAIN ON THE PLAT	13.308 AC
NET OPEN SPACE REMAINING OUTSIDE IMPROVEMENT BUFFERS, CREEKS AND WETLANDS	13.308 AC
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE	1.287 AC
AREA REQUIRED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE	0.767 AC
OPEN SPACE REMAINING OUTSIDE IMPROVEMENT BUFFERS, CREEKS AND WETLANDS	10.242 AC
NET OPEN SPACE REMAINING OUTSIDE IMPROVEMENT BUFFERS, CREEKS AND WETLANDS	1.758 AC
DEDICATED OPEN SPACE SHOWN IN HEAVY LINES	
AREAS TO NEW LOT 78 AND OLD FIELD SUBDIVISION ARE HATCHED	
NUMBER OF LOTS EXISTING	77
NUMBER OF LOTS PROPOSED	78
MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF	

THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1.287 ACRE LOT (LOT 78) AND REMOVES 0.767 ACRES FROM THE PLAT TO BE DEDICATED TO OPEN SPACE TO BE INCORPORATED WITH THE FUTURE OLD FIELD SUBDIVISION TO BE INCORPORATED IN THE FUTURE. THIS PLAT IS ZONED R-1C AND IS SUBJECT TO THE JURISDICTION OF JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR 2009 ZONING

MINIMUM BUILDING SETBACKS	
FRONT	20 FEET
REAR	5 FEET
SIDE	5 FEET
MINIMUM BUILDING SETBACKS	
FRONT	20 FEET
REAR	5 FEET
SIDE	5 FEET

**FILE COPY**



**TRUE LINE SURVEYING, P.C.**

205 WEST MAIN STREET  
CLAYTON, N.C. 27520  
TELEPHONE: (919) 359-0427  
FAX: (919) 359-0428  
www.truelinesurveying.com



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

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March 4, 2014

Curk Lane  
True Line Surveying  
205 W Main Street  
Clayton, NC 27520

Re: MSD 2014-07 Hannah's Creek Subdivision Minor Modification

Dear Mr. Lane,

On February 18, 2014, the Planning Director approved the above referenced modification to the previously approved subdivision (Hannah's Creek Phase 1) subject to the following conditions of approval:

1. The development of the site is limited to the site design and uses approved by the Planning Director (plans with stamped approval dated 2/18/14). Modifications of the approved plans shall require additional review and approval, subject to requirements of the Unified Development Code.

Thank you for your cooperation in the review and approval process for this development. If you should have any questions regarding this matter please feel free to contact the Planning Department.

Sincerely,

Emily Beddingfield, AICP  
Town Planner

cc: Beth Franson, GIS Analyst

**TOWN OF CLAYTON  
SUBDIVISION APPROVAL SUB 08-01  
GRANTED**

On the date listed below, the Town Council for the Town of Clayton met and held an evidentiary hearing to consider the following application:

**Applicant:** Curk Lane for True Line Surveying  
**Owner:** Darryl D. Evans, Inc  
**Property Location:** Amelia Church Road approximately 1/4 of a mile northwest of the Barber Mill Road intersection (Hannah's Creek Subdivision, Phase 3)  
**Tax Parcel Numbers:** 05G03020G & 05G03062  
**Proposed Use of Property:** Single -Family Development  
**Meeting Dates:** May 5, 2008

Having heard all the evidence and argument presented at the hearing, the Town Council finds that the application is complete, that the application complies with all of the applicable requirements of the Clayton Unified Development Ordinance, hereafter referred to as UDO, for the subdivision proposed, and that, therefore, the application to subdivide the above-described property for the purpose indicated is hereby approved, subject to all applicable provisions of the UDO and the following conditions:

- (1) The applicant shall complete the subdivision strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the Planning Department office.
- (2) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this approval shall be void and of no effect.

As set forth in Section 155.706 of the UDO, the Town Council imposed the following additional conditions of the Subdivision Permit:

- o Conditions of approval recommended by the Planning Board and Planning Staff:
  - Metes & Bounds (Planning)
  - Certifications (Planning)

Curk Lane for True Line Surveying, applicant, of the above-identified property for the above Preliminary Subdivision Permit, does hereby acknowledge receipt of this Preliminary Subdivision Permit issued by the Clayton Town Council. The undersigned does hereby acknowledge that no work may be done pursuant to this permit except in accordance with all of its conditions and requirements and that this restriction shall be binding on them and their successors in interest.

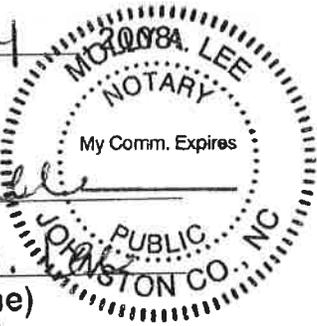
  
\_\_\_\_\_  
Curk Lane

\*\*\*\*\*

NORTH CAROLINA  
Johnston COUNTY

I, Molly A. Lee, a Notary Public in and for said County and State, do hereby certify that Curk T. Lane (applicant) personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

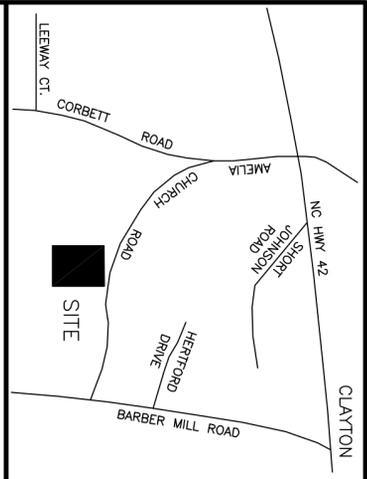
Witness my hand and notarial seal, this the 15 day of May

  
Molly A. Lee  
\_\_\_\_\_  
Notary Public - Molly A. Lee  
(Printed Name)

NC County of Commission: Johnston

Commission expires: 11/2/09



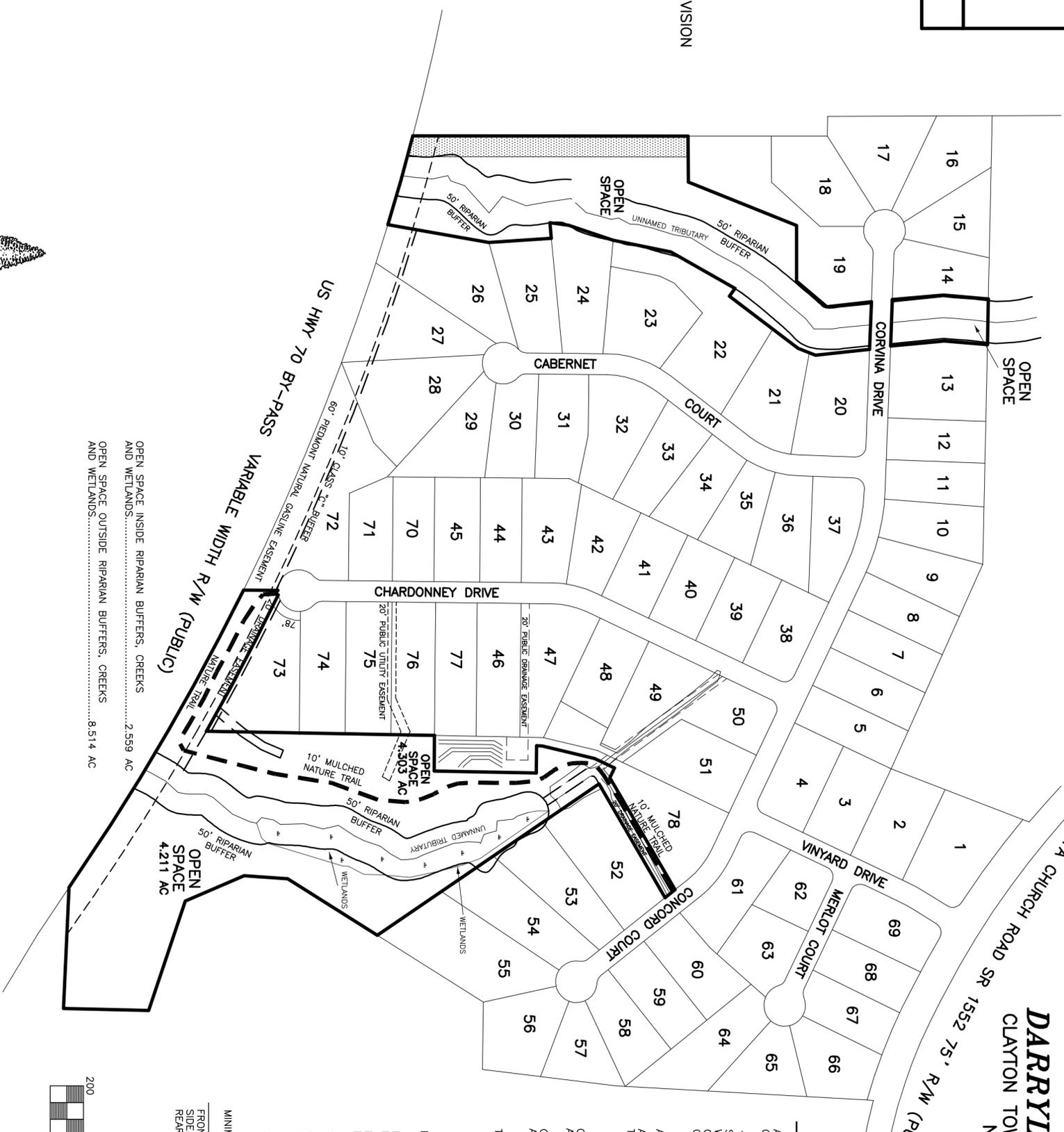


VICINITY MAP (NOT TO SCALE)



OLD FIELD SUBDIVISION

OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 3.446 AC  
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 2.195 AC



OPEN SPACE REVISION PLAT  
 OF  
**HANNAHS CREEK**  
**SUBDIVISION**  
 FOR  
**DARRYL D. EVANS, INC.**  
 CLAYTON TOWNSHIP, JOHNSTON COUNTY  
 NORTH CAROLINA  
 OCTOBER 1, 2015

OPEN SPACE CALCULATIONS

AREA IN TRACT..... 84,836 AC  
 OPEN SPACE REQUIRED..... 10,605 AC  
 12.5% OF TRACT MUST BE DEDICATED TO OPEN SPACE. THAT 12.5% SHALL BE LOCATED OUTSIDE OF RIPARIAN BUFFERS, CREEKS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS DO NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT

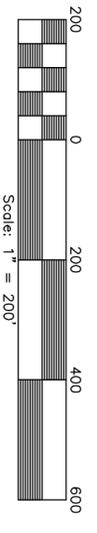
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE..... 1,506 AC  
 AREA RECOMBINED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE..... 0,767 AC

OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 6,005 AC  
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 10,709 AC  
 TOTAL OPEN SPACE DEDICATED..... 16,714 AC

PROPOSED NATURE TRAIL 1900+/- FT - - - - -  
 NUMBER OF LOTS EXISTING..... 77  
 NUMBER OF ADDITIONAL LOTS PROPOSED..... 1  
 MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4298 SF

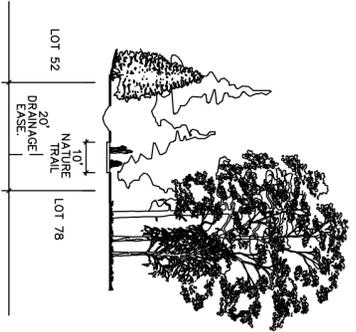
THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1,506 ACRE LOT (LOT 78) AND REMOVES 0,767 ACRES FROM THE SUBDIVISION'S EXISTING OPEN SPACE TO BE RECOMBINED WITH THE FUTURE OLD FIELD SUBDIVISION TO THE WEST. SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR AR ZONING

MINIMUM BUILDING SETBACKS		MINIMUM BUILDING SETBACKS	
ZONING: A-R		ZONING: R-E	
FRONT.....	20 FEET	FRONT.....	21 FEET
SIDE.....	5 FEET	SIDE.....	9 FEET
REAR.....	5 FEET	REAR.....	18 FEET

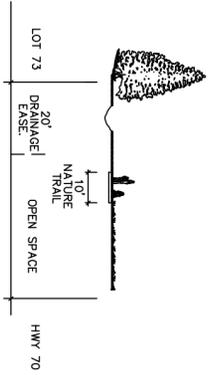


OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 2.559 AC  
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS..... 8.514 AC

PRELIMINARY PLAT  
 NOT FOR RECORDATION  
 CONVEYANCES OR SALES

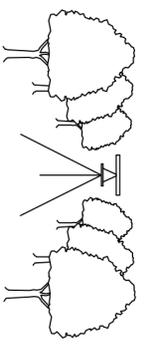


NATURE TRAIL N.T.S.



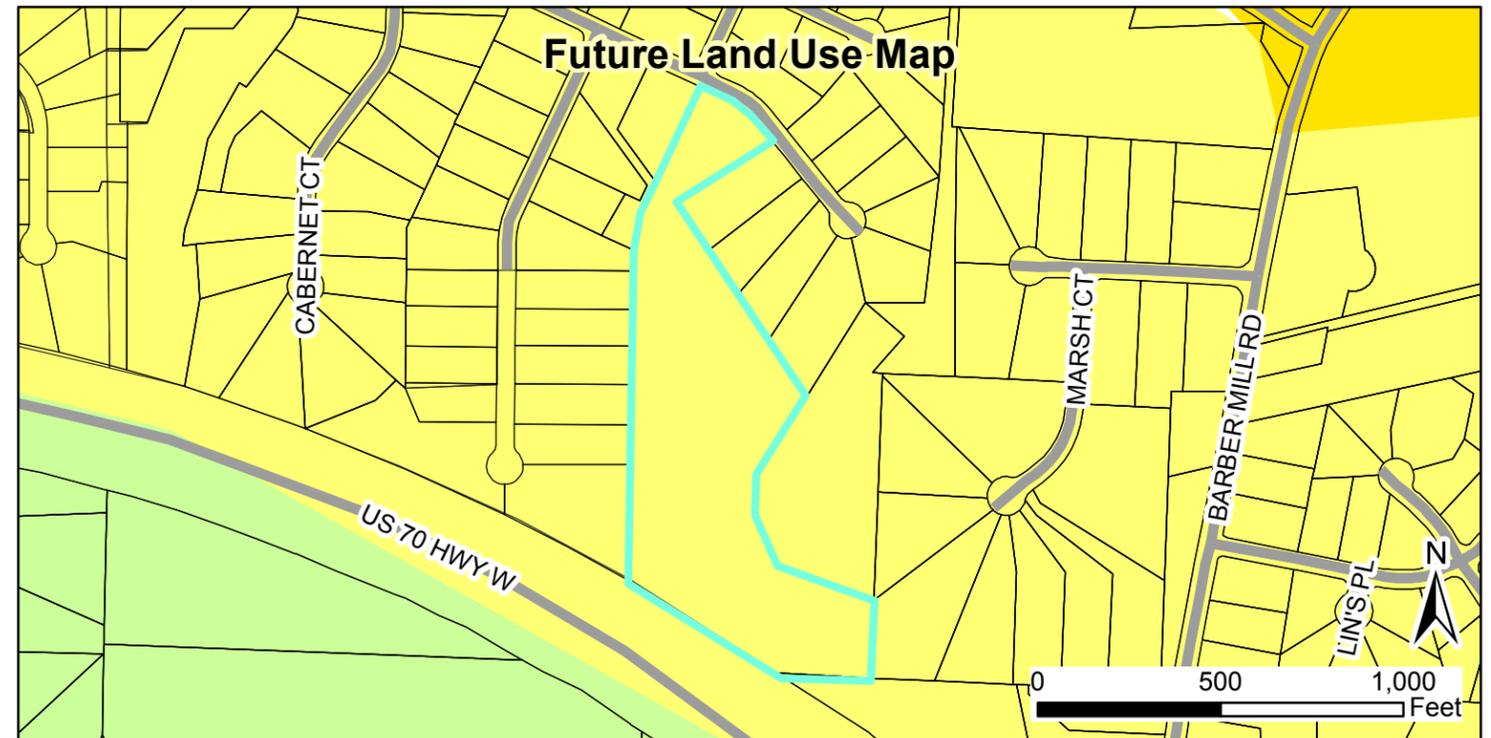
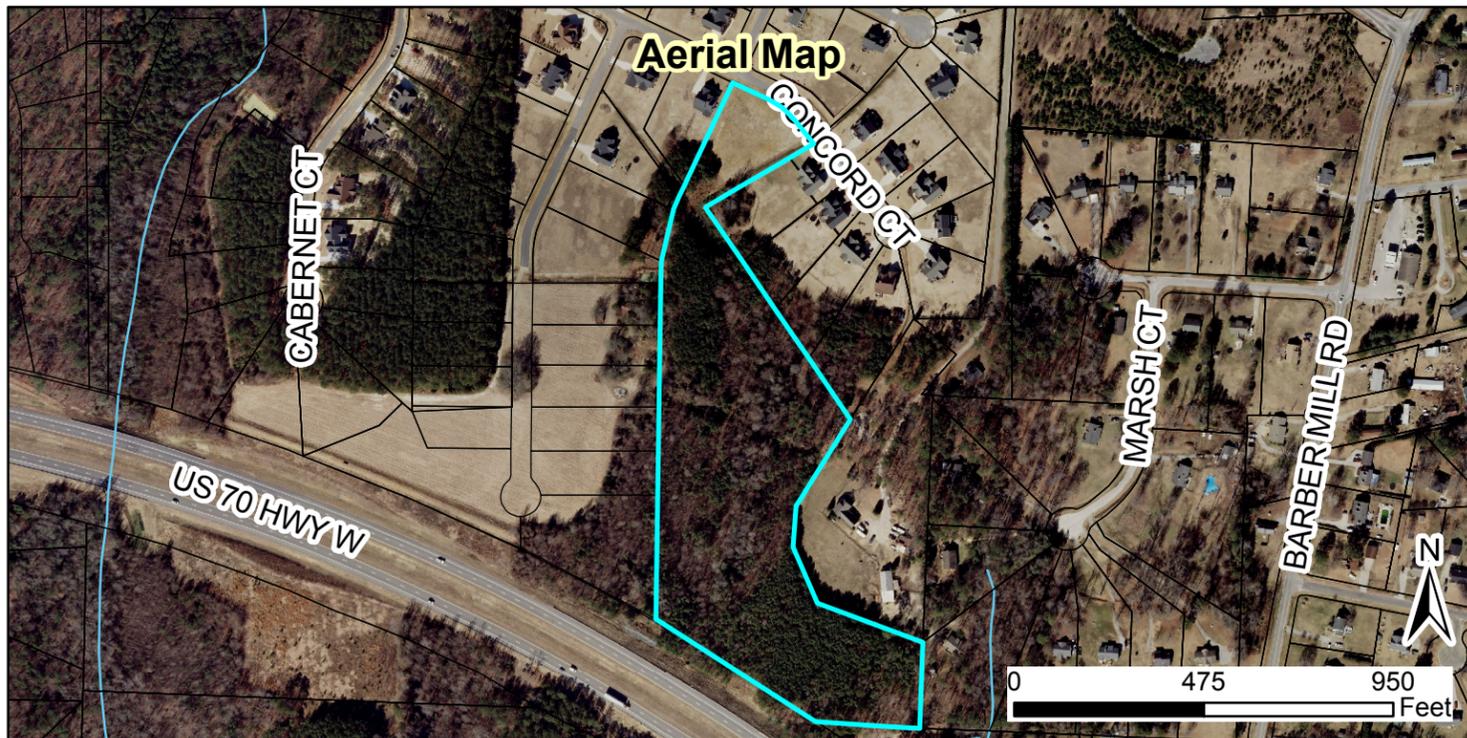
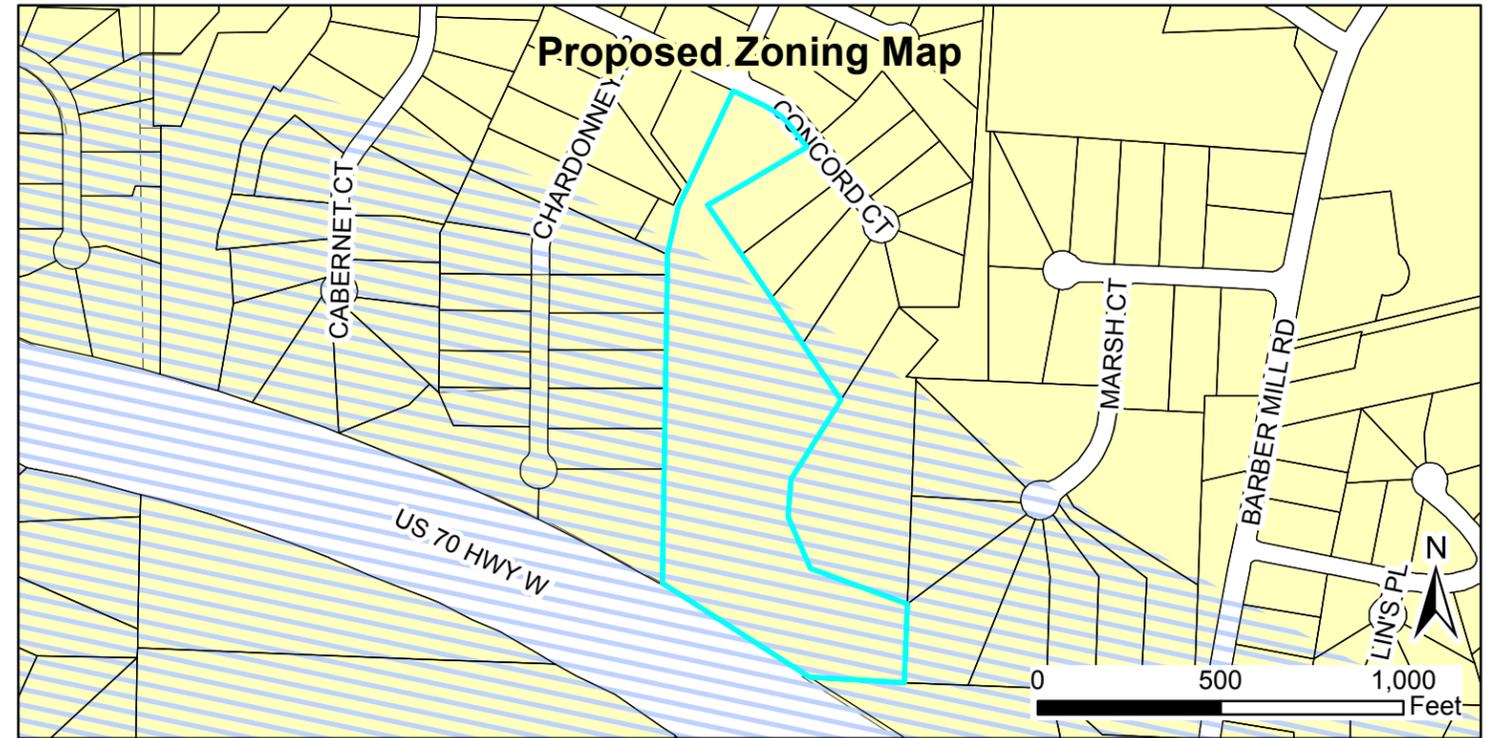
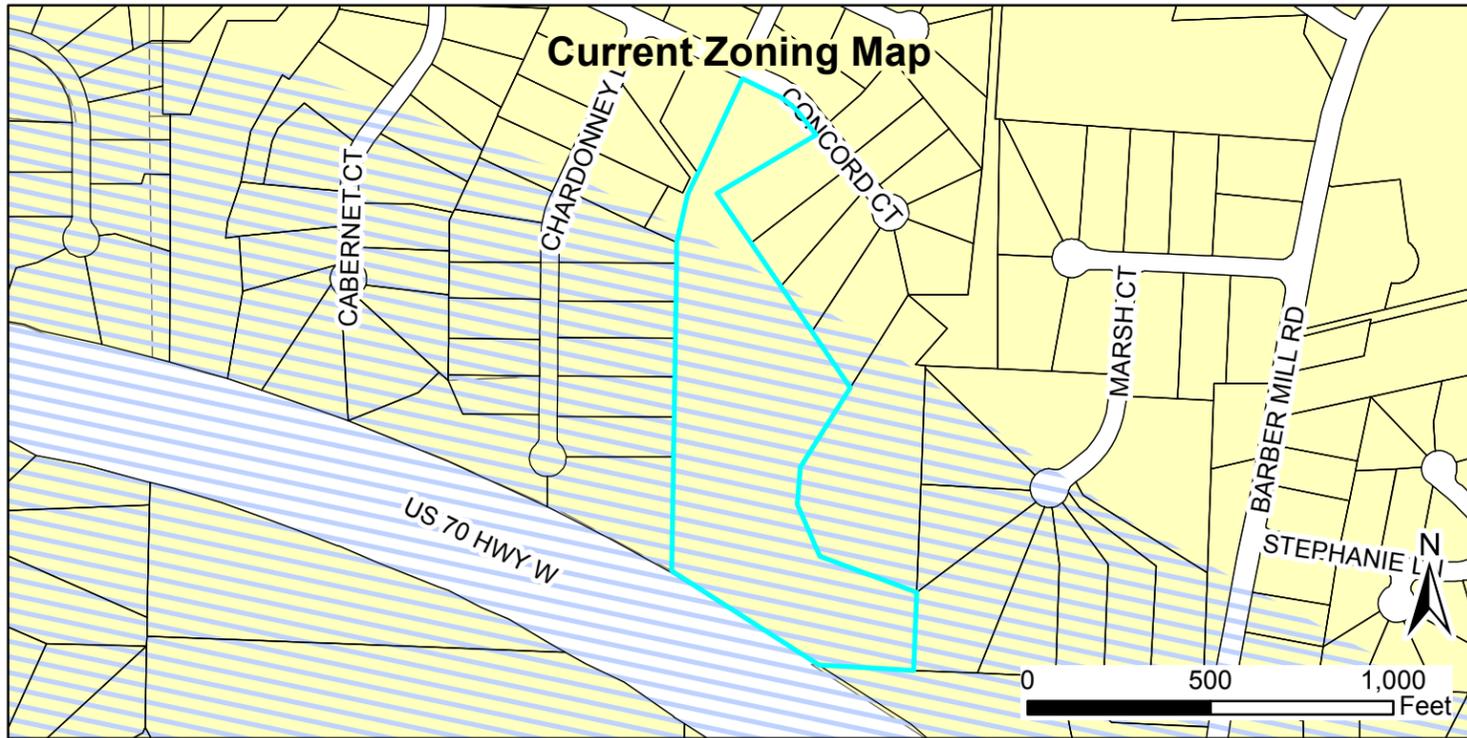
NATURE TRAIL N.T.S.

**TRUE LINE SURVEYING, P.C.**



205 WEST MAIN STREET  
 CLAYTON, N.C. 27520  
 TELEPHONE: (919) 359-0427  
 FAX: (919) 359-0428  
 www.truelinesurveying.com

SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.:	



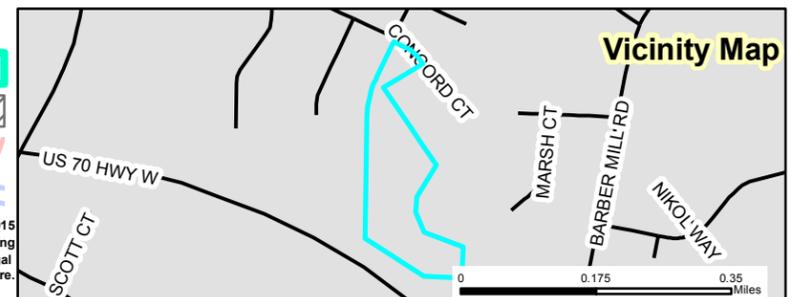
**13-106-01-SD Hannah's Creek Lot 78 Major Subdivision**  
**Request: Approval to add one lot to existing Hannah's Creek subdivision**

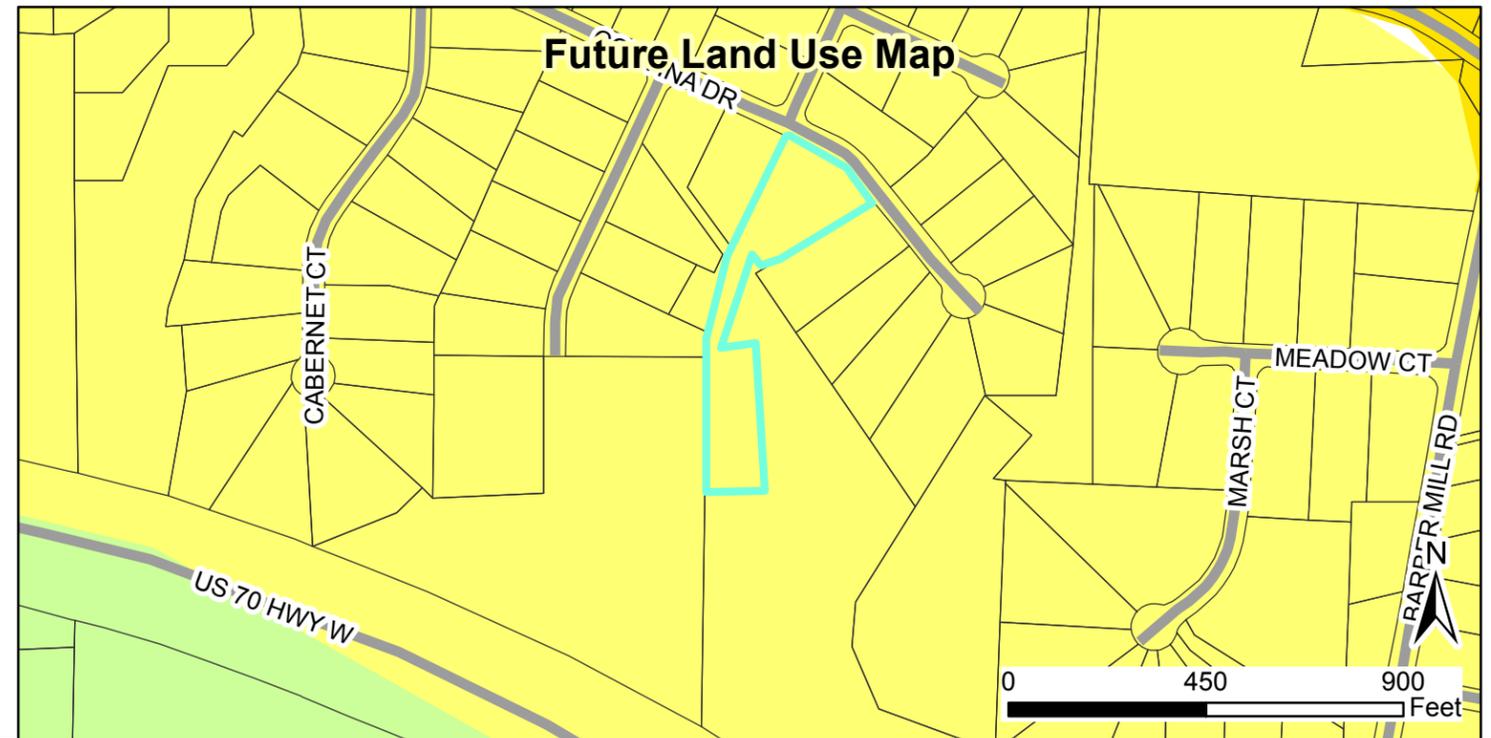
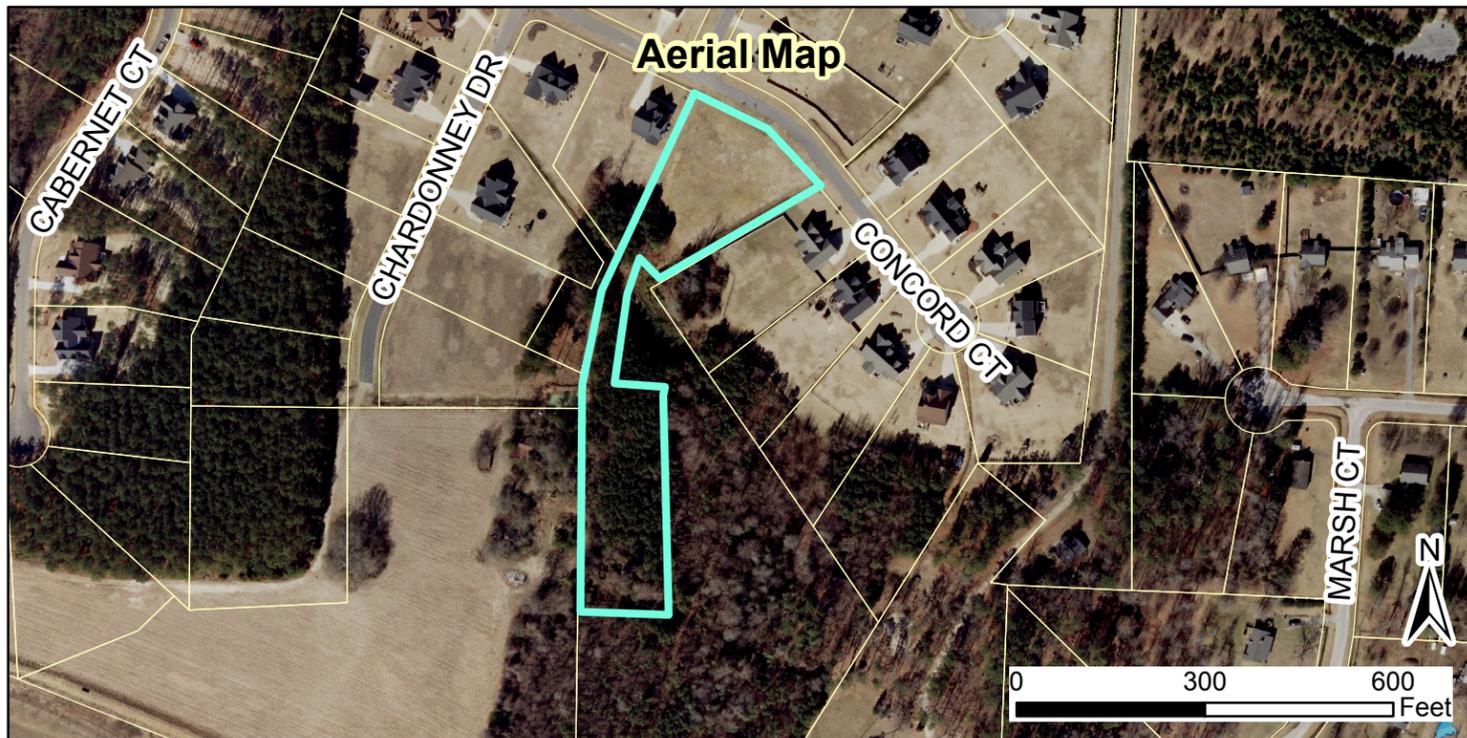
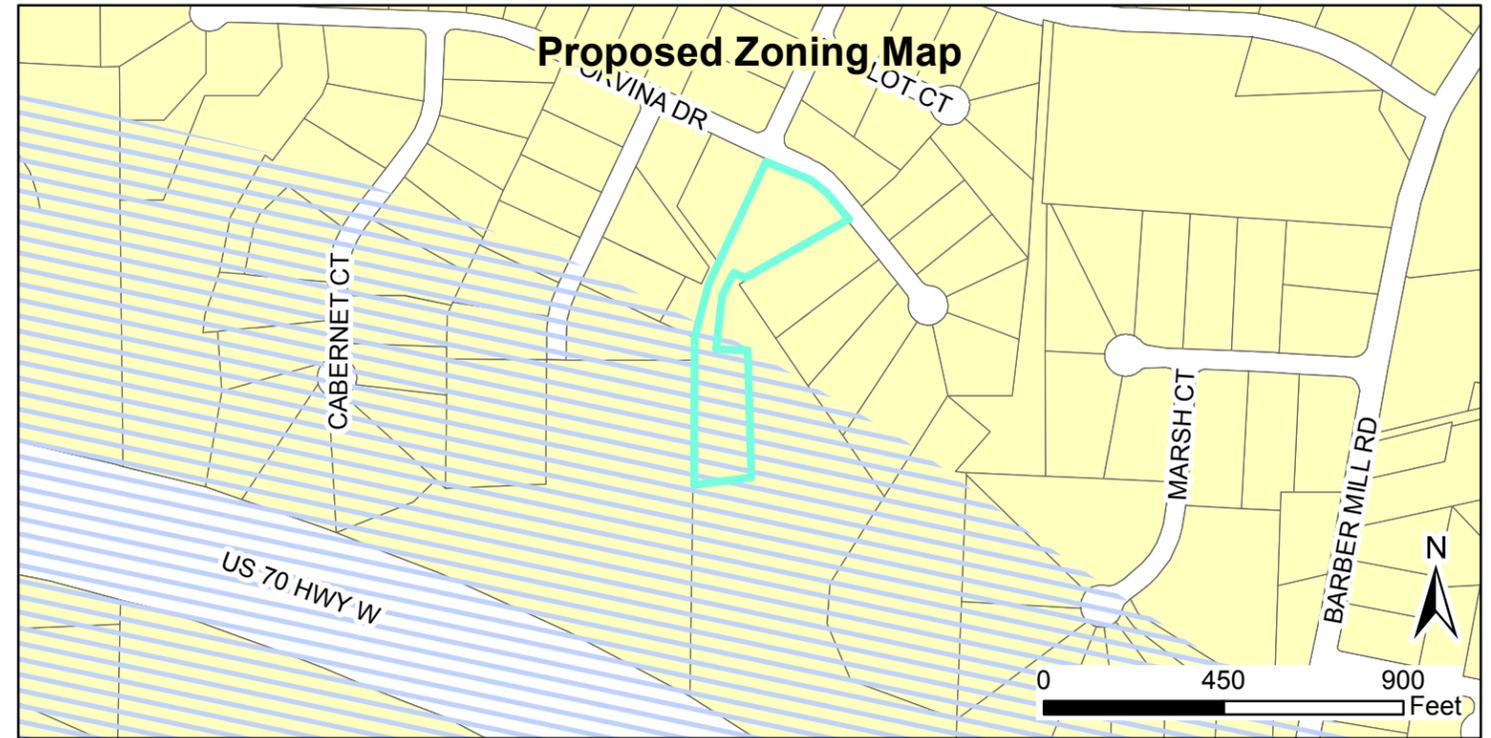
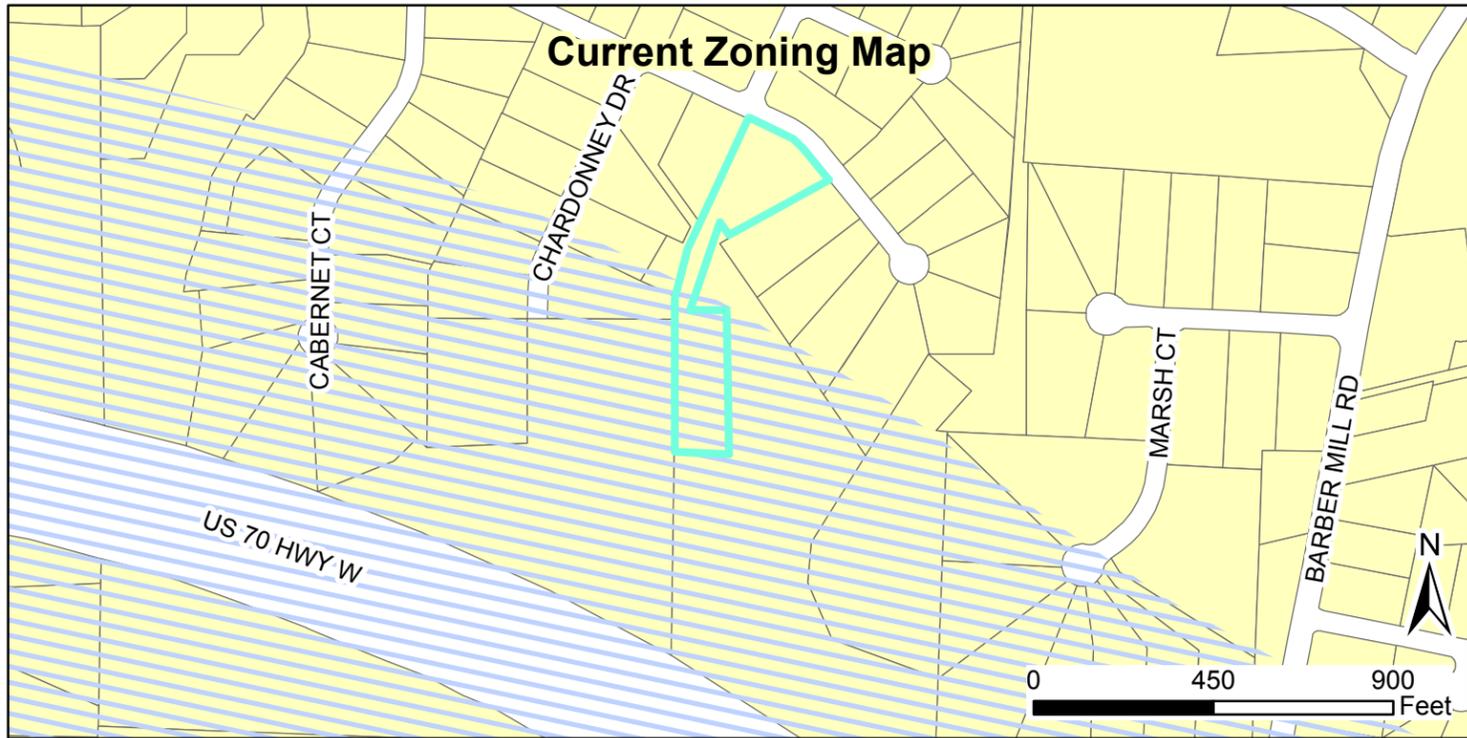
Applicant: Curk Lane  
 Property Owner: Darryl D. Evans  
 Parcel ID Number: 165803-21-4008  
 Tag #: 05g03015i



- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

10/15/2015  
 Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



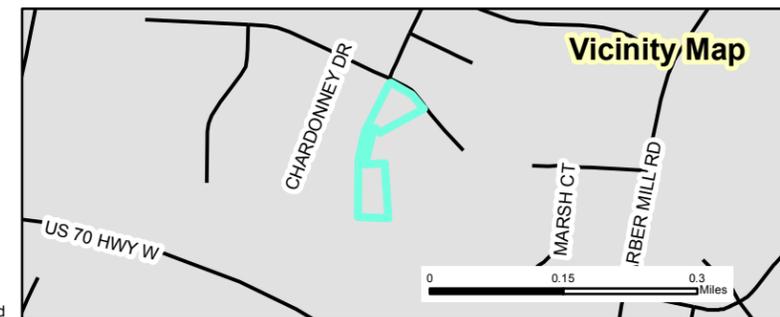


**13-106-01-SD Hannah's Creek Lot 78 Major Subdivision**  
**Request: Approval to add one lot to existing Hannah's Creek subdivision**

Applicant: Curk Lane  
 Property Owner: Darryl D. Evans  
 Parcel ID Number: 165803-21-4008  
 Tag #: 05g03015i



- Site
  - Special Use District
  - Thorough Fare Overlay
  - Scenic Highway Overlay
- 10/15/2015  
 Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



# NEIGHBORHOOD MEETING SUMMARY FORM

**FILL OUT THE FOLLOWING:**

Date of Mailing: 10/1/15

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Molly Herring Signature: Molly Herring

Date of Meeting: 10/14/15 Time of Meeting: 6pm

Location of Meeting: True Line Surveying + moved to Town Center

**Meeting Summary/Minutes:** provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

See attachment

*Please write clearly (or submit a typed summary), and use additional sheets if necessary.*

**Lot 78 Hannahs Creek  
Meeting Minutes 10/19/15**

Neighborhood meeting was held October 14, 2016, 6pm at True Line Surveying. The meeting was moved to the Hales room at The Town Center for overflow. Meeting started around 7:15pm. A list of attendance is included as a part of these minutes. The meeting was officiated by Curk Lane with comments made by Darryl Evans. Meeting started with an explanation of how Hannahs Creek Ph. 1, 2 and 3 were approved. It was stated that Hannahs Creek is a county water and individual septic lot open space subdivision with Ph. 1 approved by Johnston County and Ph. 2 approved by Johnston County. Ph. 3 approved by Town of Claytons Town Council after which the amendment to the open space and the creation of lot 78 was approved by Town of Clayton Planning prior to recordation of Ph. 3. The open space in Ph. 1 was recorded as reserve as future development because of the potential purchase of the Harris tract and the subsequent soil delineation for septic systems for the potential of Ph. 3. During the septic approval for Ph. 3 it was determined by Johnston county Environmental Health that there was enough suitable soil along the Harris tract "Ph.3" to create Lot 78. The open space was then amended to include the reserve for septic area for Lot 55 and to remove some open space along Concord Dr. to create Lot 78. Along with this plan there was open space removed from Ph. 2 and added to the lots to Old Field Subdivision which is recorded. The current plan shows Lot 78 and the revised open space as approved by the Town of Clayton Planning with the addition of nature trail connecting Concord Ct. to Chardonney Dr. After this presentation I answered question and comments from the participants.

The Questions and comments are as follows:

1. Why is open space being removed as it was advertise by the Real Estate Agent and Darryl Evans as open space and was not to be built on?

Answered by Darryl Evans: This land was never dedicated to the HOA and was recorded as reserved for future development based on final design of Ph. 3. The consent of the residents of Hannahs Creek they do not want Lot 78 created and the open space improved with a nature trail. It was stated the nature trail would invite criminal activity in the neighborhood. The residents would like to keep Lot 78 as open space and not revise to include the land that was Lot 55 because they did not understand how they could use the open space based on the revised open space plan.

Resident stated the new owner who buys Lot 78 will not be welcomed into neighborhood and will be treated as an outsider. Darryl responded that he always tried to maintain home values in Hannahs Creek by not building smaller less affordable during the recession but chose not to build until the market would sustain normal Hannahs Creek price point homes. The house plan for Lot 78 will be one of the larger house plans built in Hannahs Creek and therefore would not drop value of the neighborhood. The size, shape and house location of Lot 78 will be in keeping and in line with all other lots in Hannahs Creek.

2. How much open space was on the preliminary plan compared to Open Space on final plan?

Answered by Curk Lane: Open space required 8.5acres, Final plan shows 10.7 acres outside of riparian buffers, creeks and wetlands. Total open space dedicated on final plan 16.7 acres. The original plan for open space was to be set aside as passive recreation or to be improved as per the HOA.

3. Questions concerning Impervious surface areas.

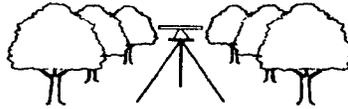
Answered by Curk Lane: The creation of Lot 78 will not change the impervious surface limit of any existing lot in Hannahs Creek.

4. Questions about Sediment control Pond.

Answered by Curk Lane: Sediment pond and erosion rules state that when the drainage area has finished construction and no sediment is being run off the sediment pond must be removed in order to revert back to natural sheet flow of surface water. The creation of Lot 78 will not affect the storm water management plan for Hannahs Creek. See attached calculations by Adams and Hodge Engineering.

5. Questions about improvements to open space promised by Realtor and or Darryl Evans.  
Answered by Darryl Evans: Darryl answered the question by stating that the open space could be approved by the HOA but was not advertised as having improvements such as a playground. Residents feel misled by Realtor and Developer in stating the land shown as open space on the original preliminary plan submitted to the county could not be changed.
6. Statement made that the HOA did not currently have any funds.  
Answered by Darryl Evans: HOA funds were managed by Darryl until 2 years ago and was then turned over to Kohn-ell. At the time it was turn over it had approx. \$23,000 and now has approx. \$21,000. See bank statements attached.
7. Question asked Why homeowners funds being spent to maintain open space owned by Darryl Evans and not owned by the HOA?  
Answered by Darryl Evans: No land dedicated as HOA or stated as reserved for future development has been dedicated to the HOA however, land set aside as open space in Ph. 2 entrance sign easements and berm along 70 bypass have been maintained by the HOA is a benefit for the neighborhood. The land where Lot 78 will be has also been maintained by the HOA as a benefit for the neighborhood until the final plan could be approved and Darryl offered to reimburse the mowing portion of Lot 78 to the HOA.
8. Question According to covenants no new lot can be created in Hannahs Creek.  
Answered by Darryl Evans and Curk Lane: The purpose of this statement is to prevent homeowners from subdividing there lots at Hannahs Creek not the creation of additional lots such as the Harris Property "Ph.3" Ph. 3 was designed leaving adequate soil to create Lot 78.
9. How can the homeowners voice their opinion to the Town of Clayton?  
Answered by Curk Lane: It would be best to them to submit their own summary of the meeting and list their concerns in writing to be submitted to the Planning staff to be sent as part of the package to the Planning Board and Town Council. Also, advised to pick one or two people to speak at the public meetings representing the consent of the neighborhood.

# TRUE LINE SURVEYING, P.C.



October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: October 14, 2015

Location: True Line Surveying, 205 W. Main Street Clayton

Time: 6:00 PM

Type of Application: Modification to Major Subdivision

General Description: Modification to Hannah's Creek subdivision requesting additional acres to open space and the creation of 1 additional lot.

If you have any question prior to or after this meeting, you may contact us at (919) 359-0427.

Sincerely,  
Curk T. Lane

True Line Surveying

William Greiner & Tammy Greiner  
54 Merlot Court  
Clayton, NC 27520

William C. Hartley & Teresa C. Hartley  
20 Chardonnay Drive  
Clayton, NC 27520

Lee A. Hartman & Tera G. Hartman  
234 Corvina Drive  
Clayton, NC 27520

John J. Hicks & Connie J. Hicks  
24 Vinyard Drive  
Clayton, NC 27520

Thomas L. Hunter & Rebecca S. Hunter  
36 Cabernet Court  
Clayton, NC 27520

Kevin W. Ingram & Melissa A. Ingram  
59 Chardonnay Drive  
Clayton, NC 27520

Joseph W. Jackson & Misty Joe Jackson  
87 Concord Court  
Clayton, NC 27520

Jay W. Johnson & Malinda J. Johnson  
54 Vinyard Drive  
Clayton, NC 27520

Brian A. Kapusta & Sarah B. Kapusta  
78 Vinyard Drive  
Clayton, NC 27520

Christopher LaTurno & Lisa LaTurno  
74 Chardonnay Drive  
Clayton, NC 27520

Gerald D. Lee & William G. Smart  
61 Merlot Court  
Clayton, NC 27520

Brian S. Lipscomb & Amanda L.  
150 Corvina Drive  
Clayton, NC 27520

Henry C. Marcum & Tabitha S. Marcum  
70 Merlot Court  
Clayton, NC 27520

Charles McCann & Karen L. McCann  
170 Corvina Drive  
Clayton, NC 27520

Glenn McDowell & Kelly McDowell  
58 Cabernet Court  
Clayton, NC 27520

Donald Jeremy McLean & Alana H.  
96 Chardonnay Drive  
Clayton, NC 27520

Robert Miles & Rhonda Pelech  
69 Chardonnay Drive  
Clayton, NC 27520

David G. Miller & Lynda E. Miller  
39 Cabernet Court  
Clayton, NC 27520

Michael Mullins & Jody Mullins  
231 Corvina Drive  
Clayton, NC 27520

Daniel M. Nunes & Holley M. Nunes  
220 Corvina Drive  
Clayton, NC 27520

Matthew J. O'Connor & Holly E.  
33 Vinyard Drive  
Clayton, NC 27520

Keith Pagano & Katherine Pagano  
66 Concord Court  
Clayton, NC 27520

Jeremy Sabo & Lauren Sabo  
188 Corvina Drive  
Clayton, NC 27520

Lonnie Linwood Sawyer  
120 Chardonnay Drive  
Clayton, NC 27520

Vincent J. Scavone & Kimberly A.  
14 Merlot Court  
Clayton, NC 27520

Bradley T. Schoonover & Rachel A.  
116 Chardonnay Drive  
Clayton, NC 27520

Daniel Schott & Ariana Schott  
76 Cabernet Court  
Clayton, NC 27520

Scott Joel Smith  
102 Cabernet Court  
Clayton, NC 27520

Joseph Spivey & Amanda Spivey  
84 Corvina Drive  
Clayton, NC 27520

Robert Stephenson & Carrie  
121 Cabernet Court  
Clayton, NC 27520

Bennett E. Strickland & Aileen A.  
86 Concord Court  
Clayton, NC 27520

Allen Surratt II & Amanda Surratt  
91 Chardonnay Drive  
Clayton, NC 27520

Michael Tuccelli & Sarah Tuccelli  
219 Corvina Drive  
Clayton, NC 27520

John P. Tuttle Jr. & Diana W. Tuttle  
95 Cabernet Court  
Clayton, NC 27520

Matthew E. Vaughn & Marisa M. Vaughn  
90 Cabernet Court  
Clayton, NC 27520

Carl Vincent & Wanda Vincent  
160 Corvina Drive  
Clayton, NC 27520

Steve Warren & Angela Warren  
65 Concord Court  
Clayton, NC 27520

Alfred Whitlow Jr.  
106 Corvina Drive  
Clayton, NC 27520

David and Connie Atwood  
  
148 Chardonney Dr.  
  
Clayton, NC 27520

Wanda C. Grullon  
  
123 Chardonney Dr.  
  
Clayton, NC 27520

D. David Allison, Jr. & Deborah L. Allison  
121 Concord Court  
Clayton, NC 27520

Lars G. Andersson & Carla J. Andersson  
86 Chardonnay Drive  
Clayton, NC 27520

Mary Baker  
228 Corvina Drive  
Clayton, NC 27520

Frederick K. Bangert & Kathy J. Bangert  
9 Cabernet Court  
Clayton, NC 27520

Bruce D. Beavers & Teresa L. Beavers  
105 Concord Court  
Clayton, NC 27520

Michael G. Beavers & Mable S. Beavers  
42 Chardonnay Drive  
Clayton, NC 27520

Robert E. Blackman Jr. & Melinda W.  
73 Merlot Court  
Clayton, NC 27520

Jeremy Brewer & Paula Brewer  
235 Corvina Drive  
Clayton, NC 27520

Marcus Burrell & Myra Burrell  
23 Chardonnay Drive  
Clayton, NC 27520

Joshua Carlisle & Laura Carlisle  
30 Corvina Drive  
Clayton, NC 27520

James Carroll & Tammy Carroll  
140 Corvina Drive  
Clayton, NC 27520

Keith B. Connolly & Kimberly L. Connolly  
101 Vinyard Drive  
Clayton, NC 27520

George D. Craig Jr. & Edith B. Craig  
23 Cabernet Court  
Clayton, NC 27520

Thomasine C. Dade  
73 Cabernet Court  
Clayton, NC 27520

Johnny H. Daughtridge III & Ashley T.  
117 Cabernet Court  
Clayton, NC 27520

Timothy Donehoo & Levana Miller  
58 Chardonnay Drive  
Clayton, NC 27520

James M. Dubovec & Kristen A.  
181 Corvina Drive  
Clayton, NC 27520

Matthew Dupree & Emily Dupree  
118 Cabernet Court  
Clayton, NC 27520

Jonathan Ellis  
62 Corvina Drive  
Clayton, NC 27520

Sean P. Elmore & Erin L. Elmore  
128 Corvina Drive  
Clayton, NC 27520

Emmanuel Eslabon & Carmela Eslabon  
31 Merlot Court  
Clayton, NC 27520

Ronald L. Evans & Kathleen V. Evans  
106 Concord Court  
Clayton, NC 27520

Susan Fikes  
77 Merlot Court  
Clayton, NC 27520

John P. Fleming & Raquel W. Fleming  
17 Corvina Drive  
Clayton, NC 27520

James W. Flockhart Jr. & Suzanne M.  
53 Cabernet Court  
Clayton, NC 27520

Alan Flowers  
112 Cabernet Court  
Clayton, NC 27520

David R. Ford & Heather H. Ford  
117 Concord Court  
Clayton, NC 27520

Gerald K. Ford & Sharon S. Ford  
116 Concord Court  
Clayton, NC 27520

Gary A. Furer & Deborah J. Furer  
31 Cabernet Court  
Clayton, NC 27520

Julian Gomez & Kristy L. Gomez  
107 Cabernet Court  
Clayton, NC 27520

See attachment

**NEIGHBORHOOD MEETING ATTENDANCE ROSTER**

**Applicant:** True Line Surveying

**Location/Date:** \_\_\_\_\_

	<b>NAME</b>	<b>ADDRESS</b>
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

**Attendance Roster**  
**10/14/15**

1. Bruce Beavers	105 Concord Ct., Clayton
2. Frederick & Kathy Bangert	9 Cabernet Ct., Clayton
3. Michael Beavers	42 Chardonney Dr., Clayton
4. Sue Beavers	42 Chardonney Dr., Clayton
5. Teresa Beavers	105 Concord Ct., Clayton
6. Gerald Lee	61 Merlot Ct., Clayton
7. Susan Fikes	77 Merlot Ct., Clayton
8. Keith Connolly	101 Vinyard Dr., Clayton
9. David G. Miller	39 Cabernet Ct., Clayton
10. Manny & Carmela Eslabon	31 Merlot Ct., Clayton
11. Tabitha Marcum	70 Merlot Ct.
12. Dave & Connie Atwood	148 Chardonney Dr., Clayton
13. Jim Dubovec	181 Corvina Dr., Clayton
14. Brian Lipscomb	150 Corvina Dr., Clayton
15. Carl & Wanda Vincent	160 Corvina Dr., Clayton
16. Robert & Carrie Stephenson	121 Cabernet Ct., Clayton
17. Jeremy Brewer	235 Corvina Dr., Clayton
18. Lee Hartman	234 Corvina Dr., Clayton
19. John Fleming	17 Corvina Dr., Clayton
20. Thomasine Dade	73 Cabernet Ct., Clayton
21. Angela Warren	65 Concord Ct., Clayton
22. Steve Warren	65 Concord Ct., Clayton
23. Gerald Ford	116 Concord Ct., Clayton
24. Misty Joe Jackson	87 Concord Ct., Clayton
25. Bennett & Aileen Strickland	86 Concord Ct., Clayton
26. Henry Marcum	70 Merlot Ct., Clayton
27. Katherine Pagano	66 Concord Ct., Clayton
28. Joshua Carlisle	30 Corvina Dr., Clayton
29. Melinda Johnson	54 Vinyard Dr., Clayton
30. Jay Johnson	54 Vinyard Dr., Clayton
31. James Lipscomb	328 E. Main st., Clayton
32. Jay McLeod	Town of Clayton
33. Joseph Hamer	425 S. Lombard St., Clayton



October 13, 2015

HANNAH'S CREEK  
Lot 78  
Darryl D Evans, Inc  
425 Indian Camp Road  
Clayton, NC

Subject: HANNAH'S CREEK  
LOT 78

Dear Mr. Evans,

As requested I have evaluate the pre vs post stormwater calculations to determine if the proposed Lot 78 would affect downstream flow. Lot 78 is less than 1.5ac and only 3.7% of the total 40.1 ac watershed, which is less than 10% and considered insignificant.

Also, the attached calculations show that the addition of Lot 78 would increase the impervious area at the shown point of interest by only 0.3% and the overall imperviousness for this drainage area would remain under the required 12%. See attached watershed map.

I have also sized three culverts that need to be installed under the proposed nature trail. See attached calculations.

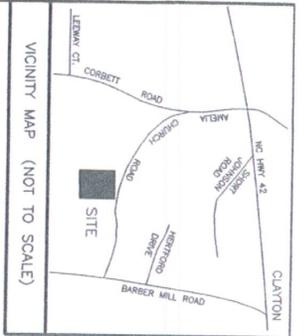
If you have any questions or comments, please give me a call at 919-369-1938 or email to [andrew@adamsandhodge.com](mailto:andrew@adamsandhodge.com) .

Sincerely,

Andrew W Hodge, PE



10/13/2015



PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES

OLD FIELD SUBDIVISION

# HANNAHS CREEK SUBDIVISION

FOR  
**DARRYL D. EVANS, INC.**  
CLAYTON TOWNSHIP, JOHNSTON COUNTY  
NORTH CAROLINA  
OCTOBER 1, 2015

OPEN SPACE REVISION PLAT



### OPEN SPACE CALCULATIONS

AREA IN TRACT	84,838 AC
OPEN SPACE REQUIRED	8,484 AC
10% OF TRACT MUST BE DEDICATED TO OPEN SPACE THAT SHALL BE LOCATED OUTSIDE RIPARIAN BUFFERS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS AND WETLANDS DOES NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT.	
AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE	1,287 AC
AREA BEING ADDED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE	0,787 AC
OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS	5,997 AC
OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS	10,733 AC
TOTAL OPEN SPACE DEDICATED	16,730 AC

DEDICATED OPEN SPACE SHOWN IN HEAVY LINES  
PROPOSED NATURE TRAIL 1900+/- FT

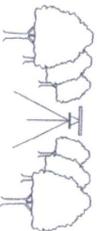
NUMBER OF LOTS EXISTING: 77  
NUMBER OF LOTS PROPOSED: 78  
NUMBER OF LOTS UNDER REVIEW: 1  
TOTAL NUMBER OF LOTS: 156  
TOTAL SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF

THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW LOT TO THE SUBDIVISION AND REMOVES 0.787 ACRES FROM THE SURFACE AREA OF THE SUBDIVISION TO THE WEST. THE SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR R ZONING.



MINIMUM BUILDING SETBACKS		MINIMUM BUILDING SETBACKS	
ZONING: A-R		ZONING: R-E	
FRONT	20 FEET	FRONT	21 FEET
REAR	5 FEET	SIDE	9 FEET
		REAR	18 FEET

STARTED BY:	
DRAWN BY:	
CHECKED BY:	
ISSUED BY:	
DATE:	
JOB NO.:	



**TRUE LINE SURVEYING, P.C.**

205 WEST MAIN STREET  
CLAYTON, N.C. 27520  
TELEPHONE: (919) 359-0427  
FAX: (919) 359-0428  
www.truelinesurveying.com

# Hudducks Creek

10/8/15

Total Drainage Area @ POI = 40.1 ac  
Lot 78

Impervious Area

# of lot contributing

Phase 1 + 2 = 21 @ 4288 SF/lot = 90,048

Phase 3 = 10.5 @ 3775 SF/lot = 39,638

129,686 SF

Streets

Merlot	420
Vinyard	290
Estward	620
Chardonnay	1310
Cosvina	830

3470' \* 20' = 69,400 SF

Total Imp. area to POI = 199,086 SF  
or  
4.57 ac

Percent

Imp area =  $\frac{4.57 \text{ ac}}{40.1 \text{ ac}} = 11.4\%$

Impervious

Hannahs Creek

10/8/15

Adding Lot 78 to Watershed

This would add 4,288 SF to the impervious area.

$$\begin{array}{r} \text{Now} \\ 179,086 \end{array} + 4288 = \begin{array}{r} \text{Proposed} \\ 203,374 \text{ SF} \\ \text{or} \\ 4.67 \text{ ac} \end{array}$$

Proposed

$$\begin{array}{l} \text{Imp Area} = \frac{4.67 \text{ ac}}{40.1 \text{ ac}} = 11.7\% \\ \text{Total area} = 40.1 \text{ ac} \end{array}$$

Therefore adding lot 78 would only add 0.3% to the total impervious area, and the proposed impervious area is less than the allowed 12%.

# HANNAH'S CREEK

## Culvert

1



### Determine Composite "C" value:

	Area in acres (A)	"C" value for area	A*C
1	0.32	0.35	0.11
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
Total	0.32		0.11
<b>Composite "C" value:</b>			<b>0.35</b>

### Intensity

(I)

2 yr	4.6
10 yr	6.21
25 yr	7.21

### Discharge (Q=CIA)

2 yr	0.5
10 yr	0.7
25 yr	0.8

### Determine Pipe Size Where:

Q 2yr =	0.5
Q 10yr =	0.7
Q 25yr =	0.8

### MAX. ELEVATIONS

Upper Inv:=	
Lower Inv:=	
Length:=	

n=	0.013
Slope=	0.50%

D2=	7
D10=	7
D25=	8

CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 15 in      Acceptable  
 HW/D10= less than 0.5

# HANNAH'S CREEK

## Culvert

2

### Determine Composite "C" value:

	Area in acres (A)	"C" value for area	A*C
1	4.41	0.35	1.54
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
Total	4.41		1.54
<b>Composite "C" value:</b>			<b>0.35</b>

### Intensity

(I)

2 yr	4.6
10 yr	6.21
25 yr	7.21

### Discharge (Q=CIA)

2 yr	7.1
10 yr	9.6
25 yr	11.1

### Determine Pipe Size Where:

#### MAX. ELEVATIONS

Q 2yr =	7.1	Upper Inv:=
Q 10yr =	9.6	Lower Inv:=
Q 25yr =	11.1	Length:=
D2=	18	
D10=	20	
D25=	21	

n= 0.013  
Slope= 0.50%

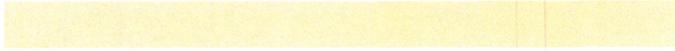
CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 24 in      **Acceptable**  
HW/D10= 0.81

# HANNAH'S CREEK

**Culvert**

**3**



**Determine Composite "C" value:**

	Area in acres (A)	"C" value for area	A*C
1	0.34	0.35	0.12
2			0.00
3			0.00
4			0.00
5			0.00
6			0.00
<b>Total</b>	<b>0.34</b>		<b>0.12</b>
<b>Composite "C" value:</b>			<b>0.35</b>

**Intensity  
(I)**

2 yr	4.6
10 yr	6.21
25 yr	7.21

**Discharge (Q=CIA)**

2 yr	0.5
10 yr	0.7
25 yr	0.9

**Determine Pipe Size Where:**

Q 2yr =	0.5	Upper Inv:=
Q 10yr =	0.7	Lower Inv:=
Q 25yr =	0.9	Length:=
D2=	0	
D10=	0	
D25=	0	

**MAX. ELEVATIONS**

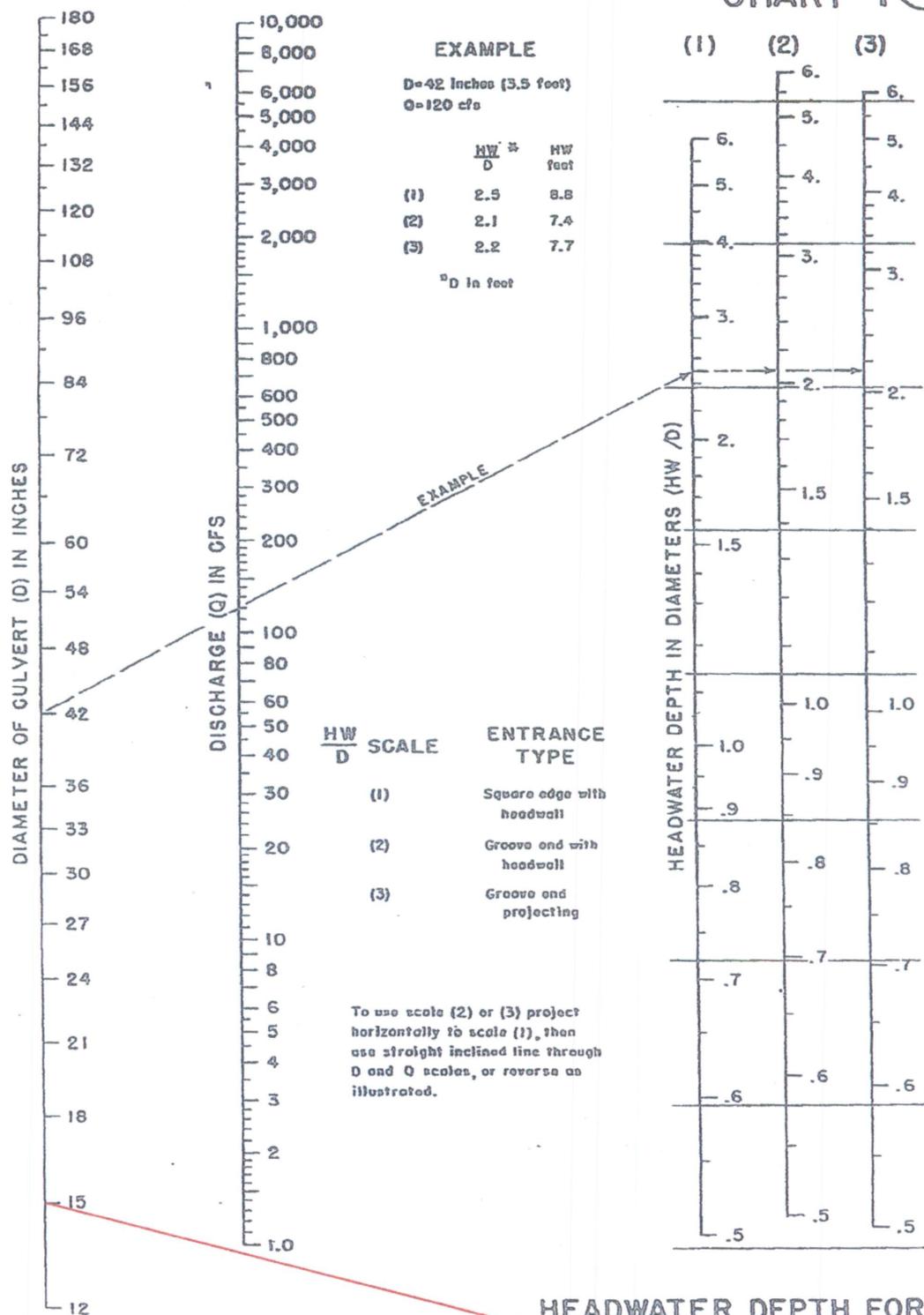
n=  
Slope= 0.50%

CenterLine Elev.		FT
Width of Pavement		FT
Shoulder Width		FT
SideSlopes		/1

Try: 15 in      **Acceptable**  
HW/D10= less than 0.5

**CULVERT 1**

**CHART 1**  



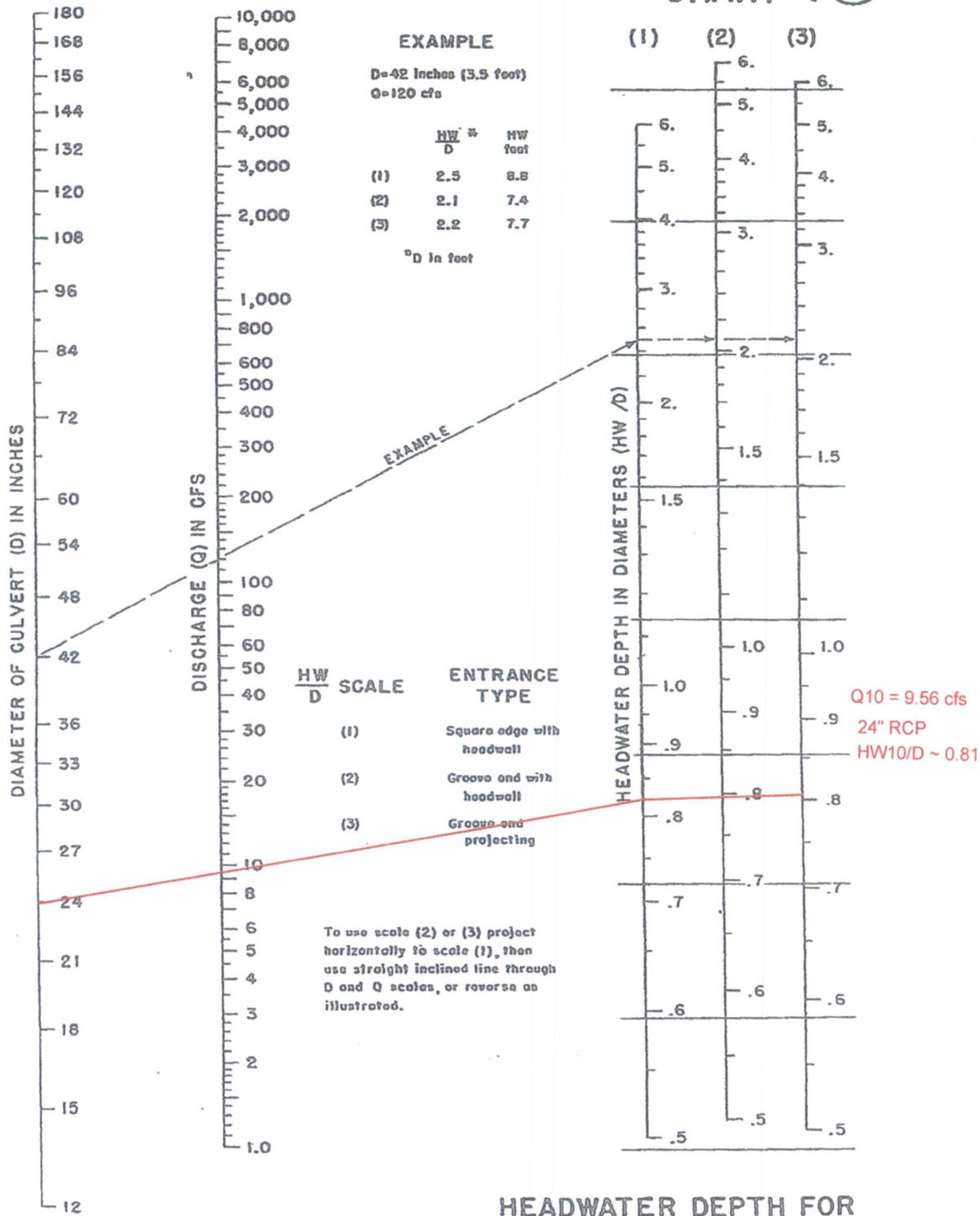
**HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS WITH INLET CONTROL**

HEADWATER SCALES 2&3  
REVISED MAY 1964

BUREAU OF PUBLIC ROADS JAN. 1963

CULVERT 2

CHART 1 O



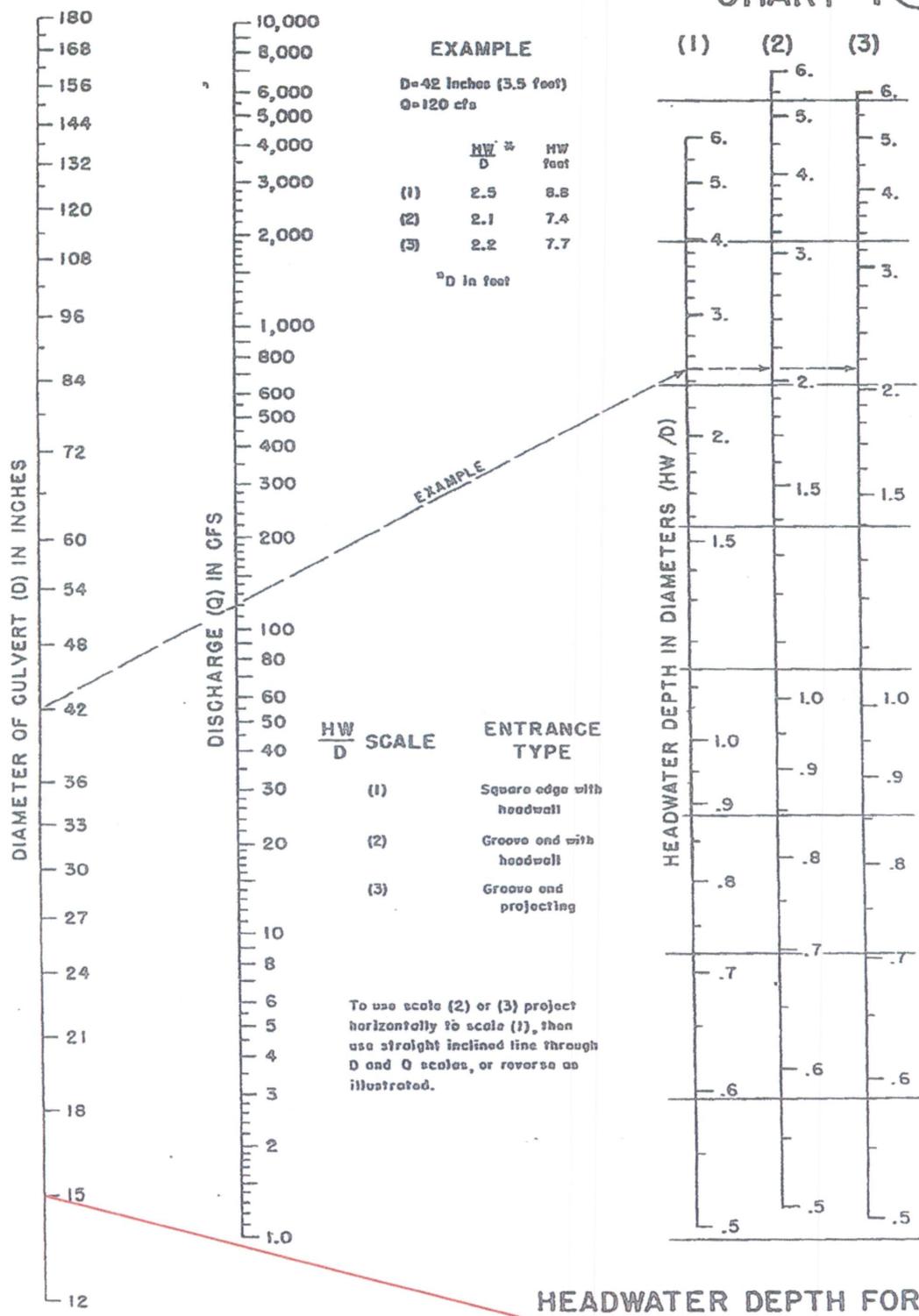
**HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS WITH INLET CONTROL**

HEADWATER SCALES 2&3  
 REVISED MAY 1964

BUREAU OF PUBLIC ROADS JAN 1963

CULVERT 3

CHART 1 O



**EXAMPLE**

D=42 inches (3.5 feet)  
Q=120 cfs

	HW/D	HW feet
(1)	2.5	8.8
(2)	2.1	7.4
(3)	2.2	7.7

<sup>a</sup>D in feet

HW/D	SCALE	ENTRANCE TYPE
(1)		Square edge with headwall
(2)		Groove and with headwall
(3)		Groove and projecting

To use scale (2) or (3) project horizontally to scale (1), then use straight inclined line through D and Q scales, or reverse as illustrated.

Q10 = 0.74 cfs  
15" RCP  
HW10/D < 0.5

**HEADWATER DEPTH FOR CONCRETE PIPE CULVERTS WITH INLET CONTROL**

HEADWATER SCALES 283  
REVISED MAY 1964

# Hannabus Creek

Culvert #1 - 15"

$$DA = 560' \times 25' = 14,000 \text{ SF}$$

0.35

or  
0.32 ac

$$Q_{10} = C \cdot A' = 0.70 \text{ cfs}$$

6.21

Culvert #2 - 24"

$$DA = 4.41 \text{ ac}$$

0.35

4.41

$$Q_{10} = C \cdot A' = 9.56 \text{ cfs}$$

6.21

Culvert #3 - 15" Pipe

$$DA = 600' \times 25' = 15,000 \text{ SF}$$

or

0.34 ac

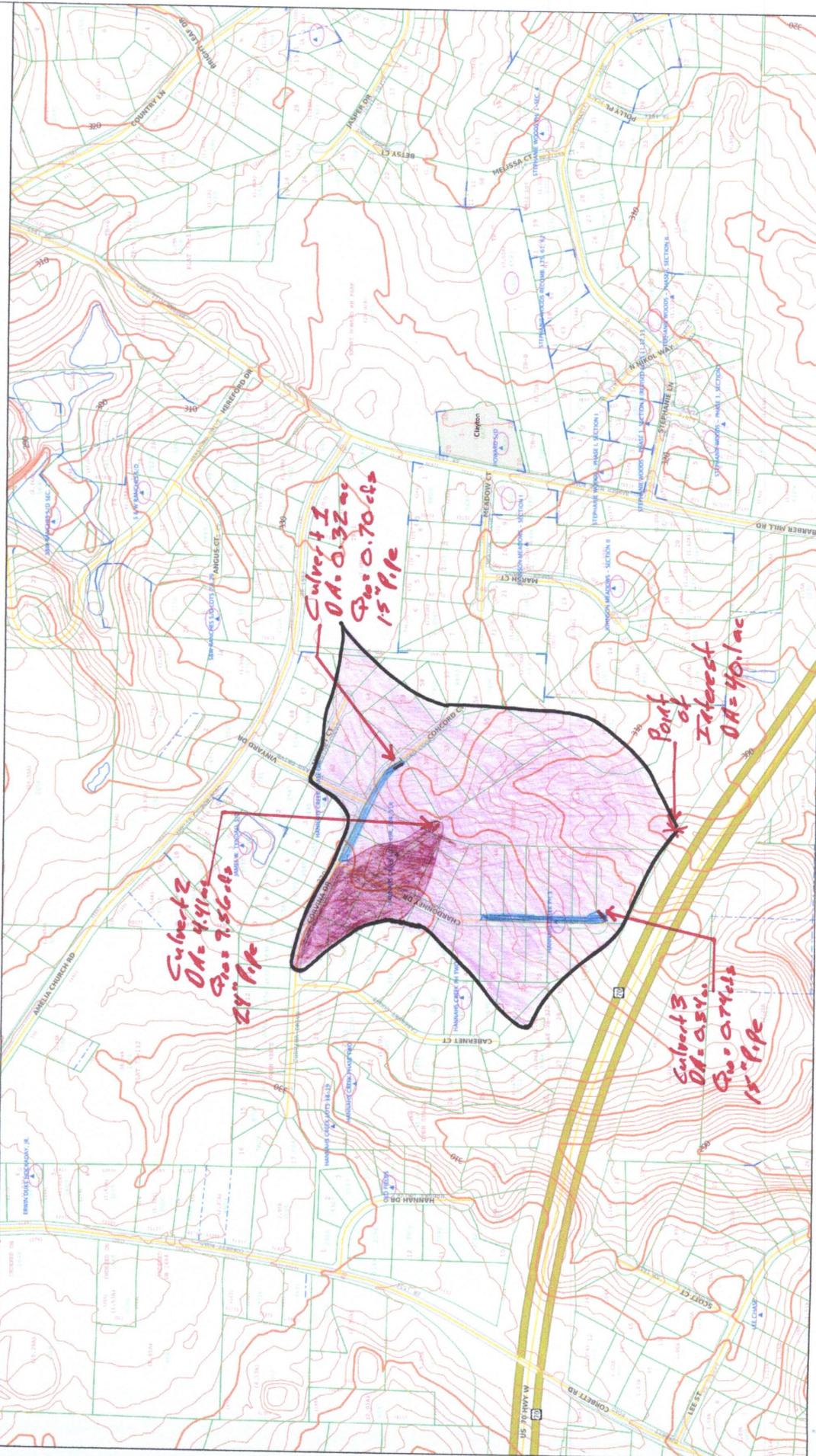
0.35

0.34

$$Q_{10} = C \cdot A' = 0.74 \text{ cfs}$$

6.21

\*\*\* DISCLAIMER \*\*\*  
Johnston County assumes no legal responsibility for the information represented here.



Scale: 1:2400 - 1 in. = 200 feet

(The scale is only accurate when printed landscape on a 22 x 34 size sheet with no page scaling.)



P.O. Box 5809, Cary, NC 27512



Last statement: January 31, 2013  
 This statement: February 28, 2013  
 Total days in statement period: 28

868 MO 5      ##003912  
 HANNAH'S CREEK HOMEOWNERS ASSOC INC  
 425 INDIAN CAMP ROAD  
 SMITHFIELD NC 27577-8048

Page 1  
 0041003906  
 ( 5)

Direct inquiries to:  
 919 550 2050

VantageSouth Bank  
 315 E Main Street  
 Clayton, NC 27520

---

**THANK YOU FOR BANKING WITH US!**

---

**Business NOW**

Account number	0041003906	Beginning balance	\$20,791.31
Enclosures	5	Total additions	3,120.82
Low balance	\$20,741.31	Total subtractions	544.61
Average balance	\$21,532.66	Ending balance	\$23,367.52
Avg collected balance	\$21,284.00		
Interest paid year to date	\$1.55		

**CHECKS**

Number	Date	Amount	Number	Date	Amount
1093	02-04	50.00	1095	02-22	44.61
1094	02-13	450.00			

**CREDITS**

Date	Description	Additions
02-12	Deposit	1,440.00
02-26	Deposit	1,680.00
02-28	Interest Credit	0.82

**DAILY BALANCES**

Date	Amount	Date	Amount	Date	Amount
01-31	20,791.31	02-13	21,731.31	02-28	23,367.52
02-04	20,741.31	02-22	21,686.70		
02-12	22,181.31	02-26	23,366.70		

HANNAH'S CREEK HOMEOWNERS ASSOC INC  
February 28, 2013

Page 2  
0041003906

**INTEREST INFORMATION**

Annual percentage yield earned 0.05%  
Interest-bearing days 28  
Average balance for APY \$21,284.09  
Interest earned \$0.82

**OVERDRAFT/RETURN ITEM FEES**

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00

*Thank you for banking with VantageSouth Bank*



2:17 PM

03/13/13

**Hannah's Creek Homeowners Association, Inc.**  
**Reconciliation Detail**  
**1060 - Checking Account, Period Ending 02/28/2013**

Type	Date	Num	Name	Clr	Amount	Balance
<b>Beginning Balance</b>						20,791.31
<b>Cleared Transactions</b>						
<b>Checks and Payments - 3 Items</b>						
Check	1/31/2013	1093	Bulldog Express	X	-50.00	-50.00
Check	2/8/2013	1094	Barefoot and Associ...	X	-450.00	-500.00
Check	2/19/2013	1095	Progress Energy	X	-44.61	-544.61
<b>Total Checks and Payments</b>					<u>-544.61</u>	<u>-544.61</u>
<b>Deposits and Credits - 3 Items</b>						
Deposit	2/12/2013			X	1,440.00	1,440.00
Deposit	2/26/2013			X	1,680.00	3,120.00
Deposit	2/28/2013			X	0.82	3,120.82
<b>Total Deposits and Credits</b>					<u>3,120.82</u>	<u>3,120.82</u>
<b>Total Cleared Transactions</b>					<u>2,576.21</u>	<u>2,576.21</u>
<b>Cleared Balance</b>					<u>2,576.21</u>	<u>23,367.52</u>
<b>Register Balance as of 02/28/2013</b>					2,576.21	23,367.52
<b>New Transactions</b>						
<b>Checks and Payments - 1 item</b>						
Check	3/5/2013	1096	Barefoot and Associ...		-450.00	-450.00
<b>Total Checks and Payments</b>					<u>-450.00</u>	<u>-450.00</u>
<b>Deposits and Credits - 1 item</b>						
Deposit	3/6/2013				480.00	480.00
<b>Total Deposits and Credits</b>					<u>480.00</u>	<u>480.00</u>
<b>Total New Transactions</b>					<u>30.00</u>	<u>30.00</u>
<b>Ending Balance</b>					<u>2,806.21</u>	<u>23,397.52</u>



# John D. Adams

**& COMPANY, CPAs, PLLC**

1266 Benson Road, PO Box 529 • Garner, North Carolina 27529  
(919) 779-2020 • Fax (919) 772-5810

July 18, 2012

Hannah's Creek Homeowners Association, I  
425 Indian Camp Road  
Smithfield, NC 27577-8048

Hannah's Creek Homeowners Association, I:

We have prepared and enclosed the original and one copy of your 2011 corporate income tax returns.

Each original return should be dated, signed, and filed in accordance with the filing instructions. A pre-addressed envelope is provided for your convenience. The copy should be retained for your files.

We recommend that you send these returns to the taxing authorities by certified mail with a request for a return receipt. Please retain the receipt as proof of timely filing.

We would like to take this opportunity to thank you again for allowing us to serve you. Please call if you have any questions or if we may assist you further.

Cordially yours,

Jonathan D. Adams, CPA

# 2011 TAX RETURN FILING INSTRUCTIONS

U.S. HOMEOWNERS ASSOCIATION INCOME TAX RETURN

FOR THE YEAR ENDING

June 30, 2012

<b>Prepared for</b>	Hannah's Creek Homeowners Association, I 425 Indian Camp Road Smithfield, NC 27577-8048
<b>Prepared by</b>	John D. Adams & Company, CPAs, PLLC P.O. Box 529 Garner, NC 27529
<b>To be signed and dated by</b>	The appropriate corporate officer(s).
<b>Amount of tax</b>	Total tax \$ ..... 0 Less: payments and credits \$ ..... 0 Plus: other amount \$ ..... 0 Plus: interest and penalties \$ ..... 0 No pmt required \$ .....
<b>Overpayment</b>	Credited to your estimated tax \$ ..... 0 Other amount \$ ..... 0 Refunded to you \$ ..... 0
<b>Make check payable to</b>	Not applicable
<b>Mail tax return and check (if applicable) to</b>	Department of the Treasury Internal Revenue Service Center Cincinnati, OH 45999-0012
<b>Return must be mailed on or before</b>	September 17, 2012
<b>Special Instructions</b>	

**U.S. Income Tax Return  
 for Homeowners Associations**

**2011**

For calendar year 2011 or tax year beginning **July 1, 2011**, and ending **June 30, 2012**

<b>TYPE OR PRINT</b>	Name <b>Hannah's Creek Homeowners Association, I</b>	Employer identification number <b>20-5580280</b>
	Number, street, and room or suite no. If a P.O. box, see instructions. <b>425 Indian Camp Road</b>	Date association formed <b>08/24/2006</b>
	City or town, state, and ZIP code <b>Smithfield, NC 27577-8048</b>	

Check if: (1)  Final return (2)  Name change (3)  Address change (4)  Amended return

A	Check type of homeowners association: <input type="checkbox"/> Condominium management association <input checked="" type="checkbox"/> Residential real estate association <input type="checkbox"/> Timeshare association		
B	Total exempt function income. Must meet 60% gross income test <b>See Statement 1</b>	B	<b>12,059.</b>
C	Total expenditures made for purposes described in 90% expenditure test <b>See Statement 2</b>	C	<b>8,820.</b>
D	Association's total expenditures for the tax year	D	<b>8,820.</b>
E	Tax-exempt interest received or accrued during the tax year	E	<b>0.</b>

**Gross Income** (excluding exempt function income)

1	Dividends	1	
2	Taxable interest	2	
3	Gross rents	3	
4	Gross royalties	4	
5	Capital gain net income (attach Schedule D (Form 1120))	5	
6	Net gain or (loss) from Form 4797, Part II, line 17 (attach Form 4797)	6	
7	Other income (excluding exempt function income) (attach schedule)	7	
8	<b>Gross income</b> (excluding exempt function income). Add lines 1 through 7	8	<b>0.</b>

**Deductions** (directly connected to the production of gross income, excluding exempt function income)

9	Salaries and wages	9	
10	Repairs and maintenance	10	
11	Rents	11	
12	Taxes and licenses	12	
13	Interest	13	
14	Depreciation (attach Form 4562)	14	
15	Other deductions (attach schedule)	15	
16	<b>Total deductions.</b> Add lines 9 through 15	16	<b>0.</b>
17	Taxable income before specific deduction of \$100. Subtract line 16 from line 8	17	<b>0.</b>
18	Specific deduction of \$100	18	<b>\$100.00</b>

**Tax and Payments**

19	<b>Taxable income.</b> Subtract line 18 from line 17	19	<b>&lt;100.&gt;</b>		
20	Enter 30% of line 19. (Timeshare associations, enter 32% of line 19.)	20	<b>0.</b>		
21	Tax credits	21			
22	<b>Total tax.</b> Subtract line 21 from line 20. See instructions for recapture of certain credits	22	<b>0.</b>		
23	a 2010 overpayment credited to 2011 <b>23a</b>				
	b 2011 estimated tax payments <b>23b</b>			c Total <b>23c</b>	<b>0.</b>
	d Tax deposited with Form 7004 <b>23d</b>				
	e Credit for tax paid on undistributed capital gains (attach Form 2439) <b>23e</b>				
	f Credit for federal tax paid on fuels (attach Form 4136) <b>23f</b>				
	g Add lines 23c through 23f <b>23g</b>				<b>0.</b>
24	<b>Amount owed.</b> Subtract line 23g from line 22 (see instructions)	24			
25	<b>Overpayment.</b> Subtract line 22 from line 23g	25			
26	Enter amount of line 25 you want <b>Credited to 2012 estimated tax</b> <b>Refunded</b>	26			

Under penalties of perjury, I declare that I have examined this return, including accompanying schedules and statements, and to the best of my knowledge and belief, it is true, correct, and complete. Declaration of preparer (other than taxpayer) is based on all information of which preparer has any knowledge.

**Sign Here** Signature of officer \_\_\_\_\_ Date \_\_\_\_\_ Title \_\_\_\_\_

May the IRS discuss this return with the preparer shown below (see instr.)?  
 Yes  No

Print/Type preparer's name <b>Jonathan D. Adams, CPA</b>	Preparer's signature <b>Jonathan D. Adams, C</b>	Date <b>07/18/12</b>	Check if self-employed <input type="checkbox"/>	PTIN <b>P00020624</b>
Firm's name <b>John D. Adams &amp; Company, CPAs, PLLC</b>			Firm's EIN <b>56-1951327</b>	
Firm's address <b>P.O. Box 529 Garner, NC 27529</b>			Phone no. <b>(919) 779-2020</b>	

Form 1120-H	Exempt Function Income	Statement	1
Description		Amount	
HOA Membership Dues		12,059.	
Total to Form 1120-H, Item B		12,059.	

Form 1120-H	EXPENDITURES DESCRIBED IN 90% TEST	Statement	2
Description		Amount	
Accounting and legal		575.	
Insurance		491.	
Office supplies		50.	
Repairs and maintenance		7,359.	
Utilities		345.	
Total to Form 1120-H, Item C		8,820.	

COPY

CenturyLink Webmail

darryldevansinc@embarqmail.com

RE: Hannah's Creek HOA Info

From : Leslee Loggans &lt;lesleeloggans@johnadams CPA.com&gt;

Thu, Oct 15, 2015 10:14 AM

Subject : RE: Hannah's Creek HOA Info

1 attachment

To : CenturyLink Customer &lt;darryldevansinc@embarqmail.com&gt;

Because it is a fiscal year end the tax returns are always a year behind.

So, like for the tax year ended 6/30/12, we do the tax return for 2011. The 2012 tax return would be for the tax year ended 6/30/13, which the HOA company should have handled.

*Leslee B. Loggans, CPA*

John D. Adams &amp; Company, CPAs, PLLC

1266 Benson Road, PO Box 529

Garner, NC 27529

Phone (919) 779-2020

Fax (919) 772-5810

Email [lesleeloggans@johnadams CPA.com](mailto:lesleeloggans@johnadams CPA.com)Please visit our website at [www.johnadams CPA.com](http://www.johnadams CPA.com)

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From: CenturyLink Customer [mailto:darryldevansinc@embarqmail.com]

Sent: Thursday, October 15, 2015 9:45 AM

To: Leslee Loggans &lt;lesleeloggans@johnadams CPA.com&gt;

Subject: Re: Hannah's Creek HOA Info

Darryl said should there be one for 2012 , this one says 2011 so should we have one more?

From: "Leslee Loggans" &lt;lesleeloggans@johnadams CPA.com&gt;

To: "Darryl D. Evans, Inc (email)" &lt;darryldevansinc@embarqmail.com&gt;

Sent: Thursday, October 15, 2015 9:34:40 AM

Subject: Hannah's Creek HOA Info

ShareFile Attachments

Title	Size
2011 6-30-12 FORM 1120H HANNAHS CREEK HOA.PDF	195.4 KB
2013 02-28 1060 Bank Rec (lbi).pdf	80.6 KB

[Download Attachments](#) Leslee Loggans uses ShareFile to share documents securely. [Learn More.](#)

Click on the "Download Attachments" to get the documents.

If you have any issues or need anything else just give me a call.

Thanks

*Leslee B. Loggans, CPA*

John D. Adams &amp; Company, CPAs, PLLC

1266 Benson Road, PO Box 529

Garner, NC 27529

Phone (919) 779-2020

Fax (919) 772-5810

Email [lesleeloggans@johnadams CPA.com](mailto:lesleeloggans@johnadams CPA.com)Please visit our website at [www.johnadams CPA.com](http://www.johnadams CPA.com)

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CenturyLink Webmail

darryldevansinc@embarqmail.com

---

**Fwd: Hannah's Creek-Accounting Information**

---

**From :** CenturyLink Customer  
<darryldevansinc@embarqmail.com>

Fri, Oct 16, 2015 08:24 AM

📎 2 attachments

**Subject :** Fwd: Hannah's Creek-Accounting Information

**To :** Joseph Hamer <jth@mandwlawyers.com>

**Cc :** James H Lipscomb <james@hometownerealty.com>

FYI

Looks like there is less now than when we turned everything over.

---

**From:** "Kristin Hoffman" <kristin@kohnell.com>

**To:** darryldevansinc@embarqmail.com, "James HTR Account" <James@myHTR.com>

**Sent:** Thursday, October 15, 2015 12:39:53 PM

**Subject:** Hannah's Creek-Accounting Information

Darryl and James,

The current accounts for Hannah's Creek is at this time is:

Operating \$16,674.91

Reserve: \$3,765.98

Attached are the first financials when we started managing Hannah's Creek showing \$23,000 in March of 2013.

Once I start on the budget for Hannah's Creek I will send you a copy of the budget.

*Thank you,  
Kristin Hoffman*

**Kohn-Ell**

Business Management Services, LLC

104 N. Fayetteville Street

Clayton, NC 27520

Office-919 856 1844, ext. 4010 F- 919 571 8290

*As a reminder, please remember that in accordance with N.C.G.S. 55A (Non-Profit*

9:27 PM

04/21/13

Accrual Basis

**Hannah's Creek Homeowners Association, Inc.**  
**Balance Sheet**  
**As of March 31, 2013**

	<u>Mar 31, 13</u>
<b>ASSETS</b>	
<b>Current Assets</b>	
<b>Checking/Savings</b>	
North State Bank	
Operating	23,356.59
<b>Total North State Bank</b>	<u>23,356.59</u>
<b>Total Checking/Savings</b>	23,356.59
<b>Accounts Receivable</b>	
A/R - Trade	480.00
<b>Total Accounts Receivable</b>	<u>480.00</u>
<b>Total Current Assets</b>	<u>23,836.59</u>
<b>TOTAL ASSETS</b>	<u><u>23,836.59</u></u>
<b>LIABILITIES &amp; EQUITY</b>	
<b>Liabilities</b>	
<b>Current Liabilities</b>	
Accounts Payable	
Accounts Payable	75.00
<b>Total Accounts Payable</b>	<u>75.00</u>
<b>Total Current Liabilities</b>	<u>75.00</u>
<b>Total Liabilities</b>	75.00
<b>Equity</b>	
Retained Earning	12,227.42
Retained Earnings-setup by QB	13,142.57
Net Income	-1,608.40
<b>Total Equity</b>	<u>23,761.59</u>
<b>TOTAL LIABILITIES &amp; EQUITY</b>	<u><u>23,836.59</u></u>

9:26 PM  
04/21/13  
Accrual Basis

**Hannah's Creek Homeowners Association, Inc.**  
**Profit & Loss YTD Comparison**  
**March 2013**

	<u>Mar 13</u>	<u>Jan - Mar 13</u>
<b>Ordinary Income/Expense</b>		
<b>Expense</b>		
<b>Association Expenses</b>		
<b>Administrative Expenses</b>		
Management Fees	75.00	75.00
Postage/Mailings/Copies	0.00	50.00
<b>Total Administrative Expenses</b>	<u>75.00</u>	<u>125.00</u>
<b>Common Areas Expenses</b>		
Grounds Maintenance Contract	450.00	1,350.00
<b>Utilities</b>		
Electric	40.93	134.95
<b>Total Utilities</b>	<u>40.93</u>	<u>134.95</u>
<b>Total Common Areas Expenses</b>	<u>490.93</u>	<u>1,484.95</u>
<b>Total Association Expenses</b>	<u>565.93</u>	<u>1,609.95</u>
<b>Total Expense</b>	<u>565.93</u>	<u>1,609.95</u>
<b>Net Ordinary Income</b>	-565.93	-1,609.95
<b>Other Income/Expense</b>		
<b>Other Income</b>		
Interest Income	0.00	1.55
<b>Total Other Income</b>	<u>0.00</u>	<u>1.55</u>
<b>Net Other Income</b>	<u>0.00</u>	<u>1.55</u>
<b>Net Income</b>	<u><u>-565.93</u></u>	<u><u>-1,608.40</u></u>

9:25 PM  
04/21/13

Hannah's Creek Homeowners Association, Inc.  
Check Detail

March 2013

Type	Num	Date	Name	Memo	Account	Paid Amount
Check	1096	3/6/2013	Barefoot and Associates, I...		Checking Account	
TOTAL					Grounds Maintenance Contract	-450.00
						-450.00
Check	1097	3/14/2013	Progress Energy		Checking Account	
TOTAL					Electric	-40.93
						-40.93

9:24 PM  
04/21/13

**Hannah's Creek Homeowners Association, Inc.**  
**Customer Balance Summary**  
As of March 31, 2013

	<u>Mar 31, 13</u>
Lot 62 New Homeowners	240.00
Lot 9 James David and Tammy Carroll	240.00
<b>TOTAL</b>	<b><u>480.00</u></b>

9:23 PM

04/21/13

**Hannah's Creek Homeowners Association, Inc.**  
**Reconciliation Detail**  
Operating, Period Ending 03/31/2013

Type	Date	Num	Name	Clr	Amount	Balance
<b>Beginning Balance</b>						0.00
<b>Cleared Transactions</b>						
<b>Deposits and Credits - 1 item</b>						
Transfer	3/28/2013			X	23,356.59	23,356.59
<b>Total Deposits and Credits</b>					<u>23,356.59</u>	<u>23,356.59</u>
<b>Total Cleared Transactions</b>					<u>23,356.59</u>	<u>23,356.59</u>
<b>Cleared Balance</b>					<u>23,356.59</u>	<u>23,356.59</u>
<b>Register Balance as of 03/31/2013</b>					23,356.59	23,356.59
<b>New Transactions</b>						
<b>Deposits and Credits - 1 item</b>						
Deposit	4/2/2013				240.00	240.00
<b>Total Deposits and Credits</b>					<u>240.00</u>	<u>240.00</u>
<b>Total New Transactions</b>					<u>240.00</u>	<u>240.00</u>
<b>Ending Balance</b>					<u><u>23,596.59</u></u>	<u><u>23,596.59</u></u>

9:22 PM

04/21/13

**Hannah's Creek Homeowners Association, Inc.**  
**Reconciliation Detail**  
**Checking Account, Period Ending 03/31/2013**

Type	Date	Num	Name	Clr	Amount	Balance
<b>Beginning Balance</b>						23,367.52
<b>Cleared Transactions</b>						
<b>Checks and Payments - 3 items</b>						
Check	3/6/2013	1096	Barefoot and Associates, Inc.	X	-450.00	-450.00
Check	3/14/2013	1097	Progress Energy	X	-40.93	-490.93
Transfer	3/28/2013			X	-23,356.59	-23,847.52
<b>Total Checks and Payments</b>					<u>-23,847.52</u>	<u>-23,847.52</u>
<b>Deposits and Credits - 1 item</b>						
Deposit	3/6/2013			X	480.00	480.00
<b>Total Deposits and Credits</b>					<u>480.00</u>	<u>480.00</u>
<b>Total Cleared Transactions</b>					<u>-23,367.52</u>	<u>-23,367.52</u>
<b>Cleared Balance</b>					<u>-23,367.52</u>	<u>0.00</u>
<b>Register Balance as of 03/31/2013</b>					<u>-23,367.52</u>	<u>0.00</u>
<b>Ending Balance</b>					<u><u>-23,367.52</u></u>	<u><u>0.00</u></u>



# NORTH STATE BANK



VOICE RESPONSE 1-877-357-2265 • TOLL FREE (877) 807-9668 • Web Site www.northstatebank.com

\*\*\*\*\*AUTO\*\*5-DIGIT 27609  
230 0.6270 AV 0.360 2 1 68  
HANNAHS CREEK HOMEOWNERS ASSOCIATION INC  
OPERATING ACCOUNT  
C/O KOHN-ELL ASSOCIATION MANAGEMENT  
205 W MILLBROOK ROAD STE 210  
RALEIGH NC 27609-4492



Date 3/29/13 Page 1  
Account Number Ending 3949  
Enclosures 1

---- CHECKING ACCOUNTS ----

HOMEOWNERS CHECKING		Number of Enclosures	1
Account Number	Ending 3949	OPERATING ACCOUNT	
Previous Balance	.00	Statement Dates	3/25/13 thru 3/31/13
1 Deposits/Credits	23,356.59	Days in the statement period	7
Checks/Debits	.00	Average Ledger	13,346
Monthly Service Fee	.00	Average Collected	0
Interest Paid	.00		
Ending Balance	23,356.59		

\*\*\*\*\*

Deposits and Additions		
Date	Description	Amount
3/28	DDA REGULAR DEPOSIT	23,356.59

\*\*\*\*\*

Daily Balance Information

Date	Balance	Date	Balance
3/25	.00	3/28	23,356.59

Remote Deposit	Credit
<b>Kolm-El Association</b> <b>HANNAHS CREEK HOMEOWNERS ASSOCIATION</b> 4515 Falls of Neuse Road, Suite 175 Raleigh, NC 27609 919661844	Date: 3/28/2013 Items: 1 Amount: \$23,356.59 Batch ID: 72978160 Account ID: 11796 729853 Acct Num: 12123949

Amount \$23,356.59 Date 3/28/2013



P.O. Box 5809, Cary, NC 27512

Last statement: February 28, 2013  
This statement: March 31, 2013  
Total days in statement period: 31

868 MO 4      ##003875  
HANNAH'S CREEK HOMEOWNERS ASSOC INC  
425 INDIAN CAMP ROAD  
SMITHFIELD NC 27577-8048

Page 1  
0041003906  
( 4)

Direct inquiries to:  
919 550 2050

VantageSouth Bank  
315 E Main Street  
Clayton, NC 27520

---

**THANK YOU FOR BANKING WITH US!**

---

\*\* Closed Account - Final Statement

**Business NOW**

Account number	0041003906	Beginning balance	\$23,367.52
Enclosures	4	Total additions	480.00
Low balance	\$0.00	Total subtractions	23,847.52
Average balance	\$0.00	Ending balance	\$0.00
Avg collected balance	\$0.00		
Interest paid year to date	\$1.55		

**CHECKS**

Number	Date	Amount	Number	Date	Amount
1096	03-11	450.00	1097	03-19	40.93

**DEBITS**

Date	Description	Subtractions
03-21	Checking Withdrawal	23,356.59

**CREDITS**

Date	Description	Additions
03-06	Deposit	480.00

HANNAH'S CREEK HOMEOWNERS ASSOC INC  
March 31, 2013

Page 2  
0041003906

**DAILY BALANCES**

<u>Date</u>	<u>Amount</u>	<u>Date</u>	<u>Amount</u>	<u>Date</u>	<u>Amount</u>
02-28	23,367.52	03-11	23,397.52	03-21	0.00
03-06	23,847.52	03-19	23,356.59		

**INTEREST INFORMATION**

Annual percentage yield earned	0.05%
Interest-bearing days	20
Average balance for APY	\$23,450.43
Interest earned	\$0.64

Interest for 2013 to be reported to the Internal Revenue Service on your tax return is \$1.55.

**OVERDRAFT/RETURN ITEM FEES**

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00

*Thank you for banking with VantageSouth Bank*

DISPOSIT TRUST  
 HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC.  
 2580 CHESTERFIELD ROAD  
 GUILDFORD, NC 27827

DATE: 3-6-13

DATE	DESCRIPTION	AMOUNT	BALANCE
3/6/13	MEMBER DUES	480.00	480.00

MEMBER DUES \$ 480.00

⑆0531122756 041003906⑆ 44

3/6/2013 \$480.00

HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC. ORIENT STARBUCK BANK CLAYTON, NC 28527-451

MEMO TO THE CREDIT OF: Emerald and Associates, Inc. \$ 450.00

Four Hundred Fifty and 00/100 DOLLARS

Emerald and Associates, Inc.  
 2580 Chesterfield Road  
 Guilford NC 27827, NC 919-894-8564

MEMO

⑆0531122756 041003906⑆

1096 3/11/2013 \$450.00

HANNAH'S CREEK HOME OWNERS ASSOCIATION, INC. ORIENT STARBUCK BANK CLAYTON, NC 28527-451

MEMO TO THE CREDIT OF: Progress Energy \$ 40.93

Forty and 93/100 DOLLARS

Progress Energy  
 P.O. Box 2541  
 Raleigh NC 27622

MEMO

⑆0531122756 041003906⑆

1097 3/19/2013 \$40.93

## **Hannahs Creek**

**Owner/Developer: Darryl D. Evans Inc.**

**Surveyor: True Line Surveying**

**Tax ID #: 05G03058E, 05G03058H, 05G03013D, 05G03062**

**Locational Data:** Amelia Church Road (SR 1552) approximately ¼ of a mile northwest of its intersection with Barber Mill Road (SR 1555) in Clayton Township. The proposed subdivision is served by the Clayton Fire Department and the Clayton Rescue Squad.

**Site Data:** 76.27 acres, lots 68, (maximum allowed: 114 ), water service will be provided by Johnston County Public Utilities and lots will be served by individual septic tanks, open space provided: 13.784 acres, open space required: 7.627 acres, traffic count: 500, property owners notified: 6.

**Upon a motion by Mr. Schulz, seconded by Mr. Browder, and carried by unanimous vote of 7-0, the Johnston County Planning Board granted preliminary approval at their March 15, 2005 meeting based upon the following the conditions and requirements.**

### **Conditions and Requirements**

#### **[Planning Board]**

1. The right of way dedication along Amelia Church Road can be reduced to 15 feet.
2. Proposed lots 44, 45, and 46 shall not be marketed until such time as the Harris property is purchased and proposed street D is extended.

#### **[Planning]**

3. Metes and bounds
4. Certifications
5. Entrance sign and street signs
6. Street name approval
7. Complete improvements or provide performance guarantee
8. All lots access internal street
9. Cul de sac lots shall have 40' of road frontage
10. Temporary turnaround shall be added to the end of proposed street D
11. Any development of the Harris will required Planning Board approval

#### **[Environmental Health]**

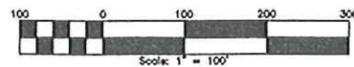
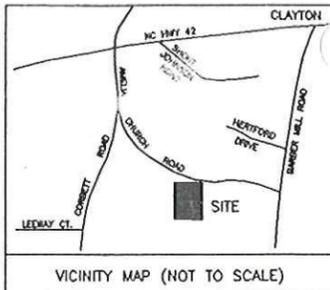
12. Approval of all lots for onsite sewage disposal or statement for each unapproved lot

#### **[NCDOT]**

13. A driveway permit and subdivision design approval must be obtained prior to construction
14. All design aspects of the plans shall comply with the current NCDOT Standard Specifications for Roads and Structures, NCDOT Subdivision Roads Minimum Construction Standards, and Policy on Street and Driveway Access to North Carolina Highways
15. It will be determined at the time the driveway permit application is submitted if any road improvements will be required
16. A left turn lane may be required on SR 1552 for the subdivision's main entrance or at an offsite location affected by the subdivision

**[Public Utilities]**

17. Approval of water system
18. Soil Erosion and Sedimentation Control Plan required
19. Stormwater Compliance



PRELIMINARY PLAT OF  
**HANNAHS CREEK**  
 FOR  
**DARRYL D. EVANS, INC.**  
 CLAYTON TOWNSHIP, JOHNSTON COUNTY  
 NORTH CAROLINA  
 FEBRUARY 21, 2005

N/F  
 FRANCES O. AIKEN  
 DB 741 PG 049  
 PIN 1658-12-2479

N/F  
 NANCY JO AVERY BLINSON  
 DB 552 PG 614  
 PIN 1658-01-3658

N/F  
 JOSEPH L. HARRIS  
 DB 1403 PG 534  
 PIN 1658-11-8249

SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.:	

**TRUE L E SURVEYING, P.C.**

205 WEST MAIN STREET  
 CLAYTON, N.C. 27520  
 TELEPHONE: (919) 359-0427  
 FAX: (919) 359-0428  
 www.truelesurveying.com

SUBMISSION SITE DATA

AREA IN TRACT	3322330 SF	76.270 AC
LINEAR FEET IN STREETS	4817 LF	5.715 AC
AREA IN RIGHT-OF-WAY	248804 SF	5.715 AC
NUMBER OF LOTS PROPOSED	68	51.238 AC
AREA IN LOTS	2231943 SF	51.238 AC
AVERAGE LOT SIZE	0.754 AC	
AREA IN OPEN SPACE INSIDE WETLANDS AND RIPARIAN BUFFERS	264497 SF	6.072 AC
AREA IN OPEN SPACE OUTSIDE WETLANDS AND RIPARIAN BUFFERS	335921 SF	7.712 AC
OPEN SPACE REQUIRED	7.627 AC	

NO 100 YEAR FEMA FLOOD ON THIS PROPERTY. FEMA FIRM PANEL NO. 370138 02050

PARENT TRACT DEEDS: DB 2785 PG 475  
 DB 2789 PG 773  
 DB 741 PG 049

NC PIN NO. 1658-21-3239  
 1658-11-0895  
 1658-12-2479

OWNER: DARRYL D. EVANS, INC.  
 425 INDIAN CAMP ROAD  
 SMITHFIELD, N.C. 27577

**PRELIMINARY PLAT**  
 NOT FOR RECORDATION,  
 CONVEYANCES OR SALES

N/F  
 TONIA LYNN COUNCIL  
 DB 1691 PG 205  
 PIN 1658-21-8400

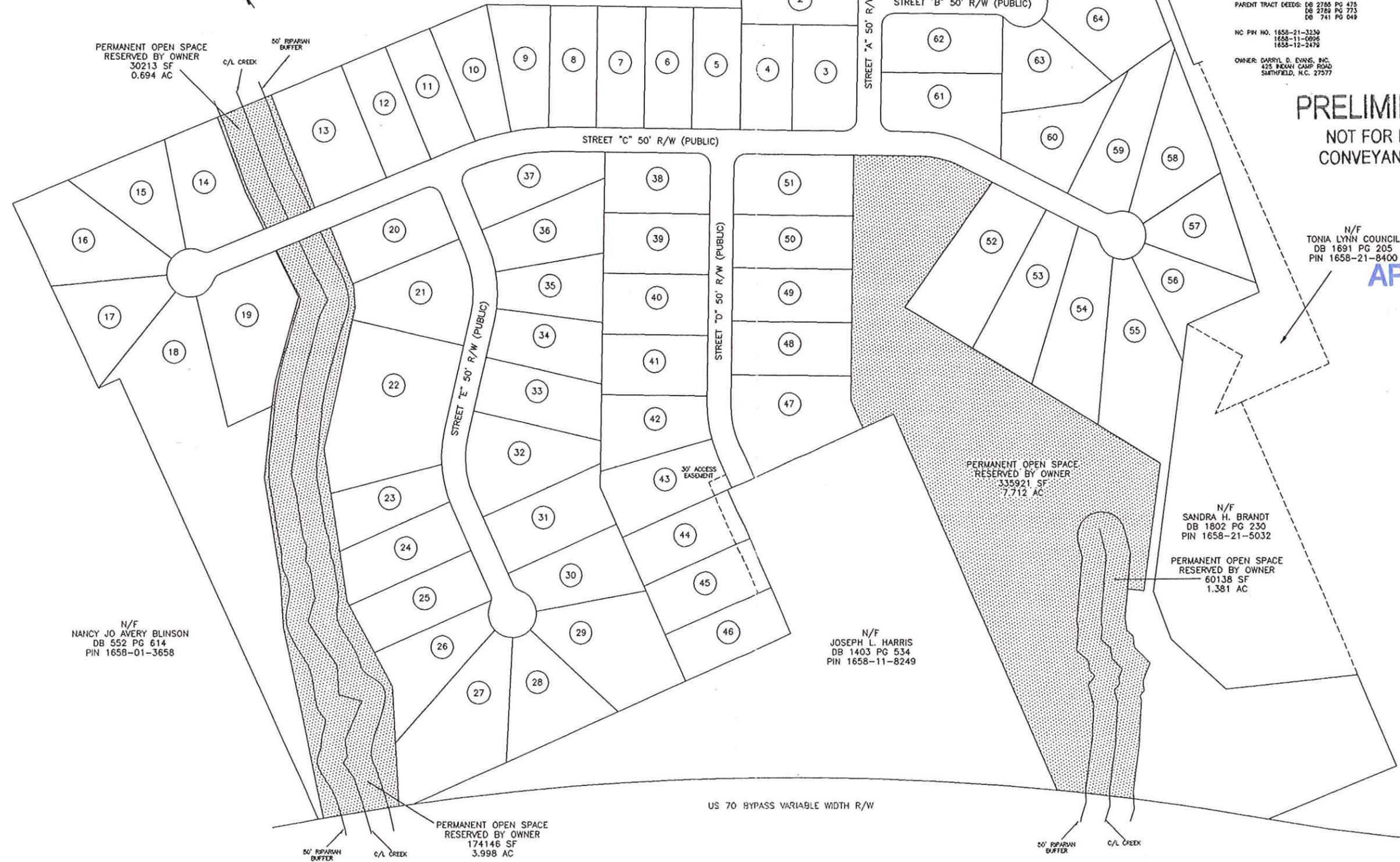
**APPROVED**

N/F  
 SANDRA H. BRANDT  
 DB 1802 PG 230  
 PIN 1658-21-5032

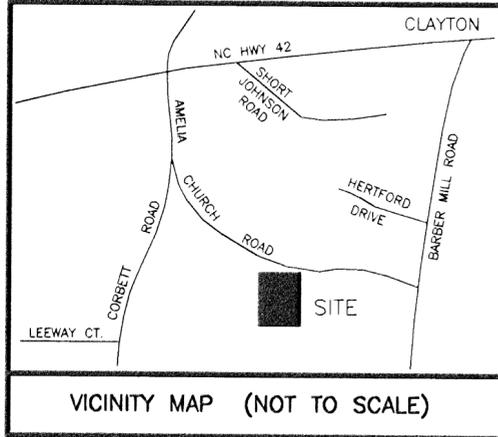
PERMANENT OPEN SPACE  
 RESERVED BY OWNER  
 60138 SF  
 1.381 AC

PERMANENT OPEN SPACE  
 RESERVED BY OWNER  
 174146 SF  
 3.998 AC

PERMANENT OPEN SPACE  
 RESERVED BY OWNER  
 335921 SF  
 7.712 AC



US 70 BYPASS VARIABLE WIDTH R/W



NUMBER	DIRECTION	DISTANCE
L1	S20°58'12"W	12.20'
L2	S20°58'12"W	3.67'
L3	S58°03'34"E	98.83'
L4	N03°13'40"E	15.35'
L5	N71°58'39"W	53.99'
L6	S77°50'29"E	25.56'
L7	N03°08'21"E	29.91'
L8	S03°13'40"W	21.78'
L9	N11°59'18"E	164.38'
L10	S86°02'33"E	19.98'
L11	N01°04'51"E	56.99'
L12	N64°35'24"W	50.00'
L13	N25°24'36"E	50.01'
L14	S25°24'36"W	86.35'
L15	S64°35'24"E	50.00'
L16	S64°35'24"E	54.23'
L17	S38°31'18"E	21.48'
L18	N38°31'18"W	34.41'
L19	N25°24'36"E	10.00'
L20	N31°56'26"E	54.65'
L21	S31°56'26"W	54.65'
L22	N41°34'04"E	21.79'
L23	N41°34'04"E	46.75'

NUMBER	DIRECTION	DISTANCE
L25	S25°24'36"W	37.99'

THIS PLAT IS BEING RECORDED IN 3 SHEETS. SEE SHEET 1 OF 3 FOR SUBDIVISION NOTES, CHARTS AND SIGNATURES AND SEE SHEET 3 OF 3 FOR SUBDIVISION CONTINUATION.

FINAL PLAT OF  
**HANNAHS CREEK**  
**PHASE ONE**  
 FOR  
**DARRYL D. EVANS, INC.**  
 CLAYTON TOWNSHIP, JOHNSTON COUNTY  
 NORTH CAROLINA  
 MAY 4, 2006  
**SHEET 2 OF 3**

REVISED: MAY 4, 2006 TO ADD 25' LANDSCAPE EASEMENT AND CHANGE LOTS 49-51

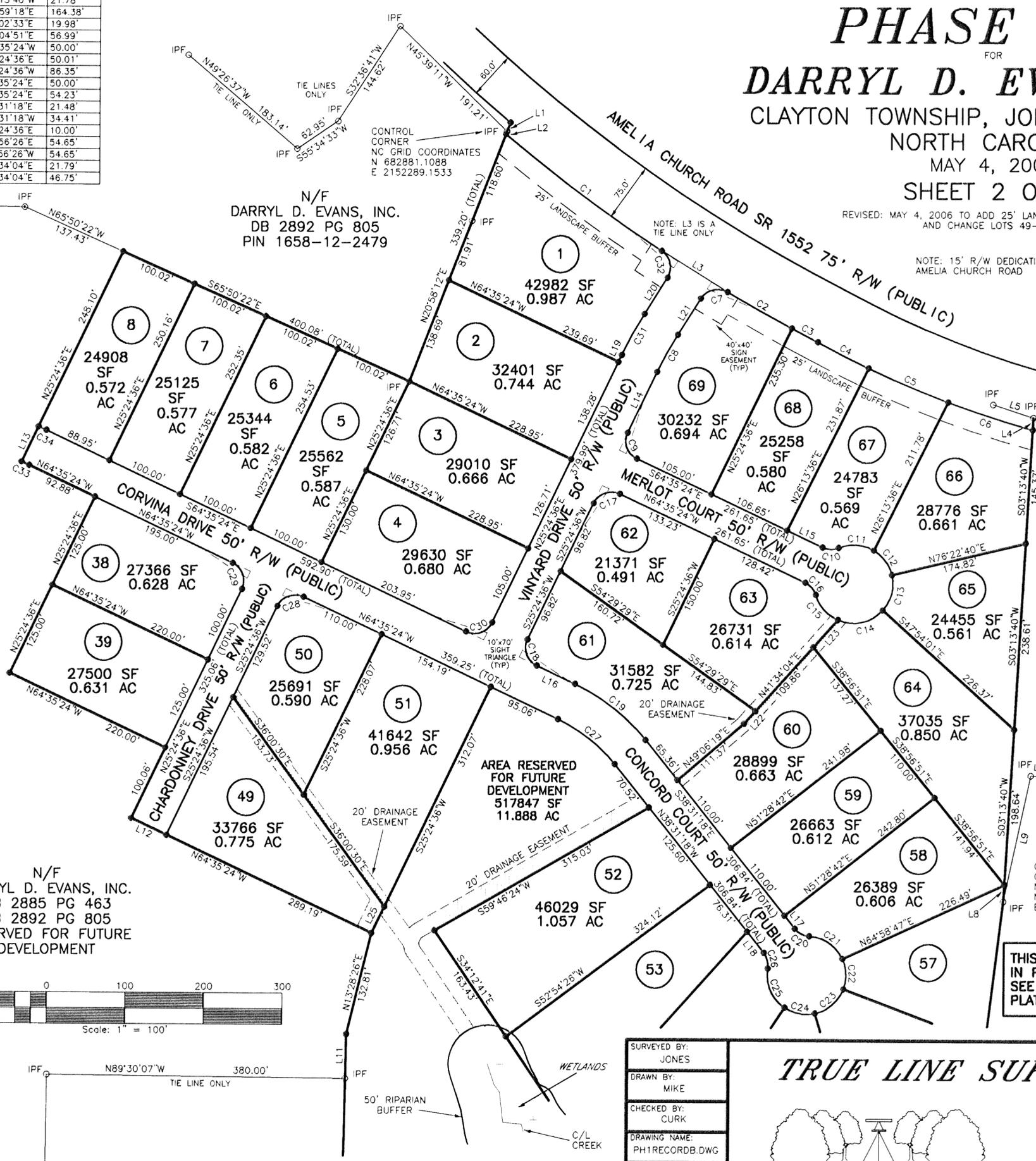
NOTE: 15' R/W DEDICATION ALONG AMELIA CHURCH ROAD

NOTE: L5-L7 ARE TIE LINES ONLY

NCGS VRS DERIVED BY GPS

N/F  
**DARRYL D. EVANS, INC.**  
 DB 2885 PG 463  
 DB 2892 PG 805  
 RESERVED FOR FUTURE DEVELOPMENT

NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	2120.00	248.30	S53°22'06"E	248.16
C2	2120.00	93.83	S60°39'47"E	93.82
C3	2120.00	37.39	S62°26'10"E	37.39
C4	1287.90	72.63	S62°58'35"E	72.62
C5	1287.90	110.21	S67°02'36"E	110.18
C6	1287.90	113.26	S72°00'51"E	113.22
C7	25.00	38.69	S76°16'22"W	34.94
C8	475.00	54.14	S28°40'31"W	54.11
C9	25.00	39.27	S19°35'24"E	35.36
C10	25.00	21.03	S88°41'05"E	20.41
C11	50.00	46.52	S86°07'28"E	44.86
C12	50.00	40.01	S36°32'44"E	38.95
C13	50.00	48.63	S14°14'19"W	46.73
C14	50.00	62.12	S77°41'32"W	58.20
C15	50.00	43.91	N41°33'28"W	42.51
C16	25.00	21.03	N40°29'42"W	20.41
C17	25.00	39.27	S70°24'36"W	35.36
C18	25.00	39.27	S19°35'24"E	35.36
C19	255.00	116.02	S51°33'21"E	115.02
C20	25.00	21.03	S62°36'59"E	20.41
C21	50.00	53.84	S55°51'57"E	51.27
C22	50.00	40.01	S02°05'49"E	38.95
C23	50.00	49.71	S49°18'35"W	47.69
C24	50.00	40.01	N79°17'01"W	38.95
C25	50.00	57.62	N23°20'46"W	54.48
C26	25.00	21.03	N14°25'36"W	20.41
C27	205.00	93.27	N51°33'21"W	92.47
C28	25.00	39.27	S70°24'36"W	35.36
C29	25.00	39.27	N19°35'24"W	35.36
C30	25.00	39.27	N70°24'36"E	35.36
C31	525.00	59.84	N28°40'31"E	59.81
C32	25.00	38.69	N12°23'30"W	34.94
C33	475.00	11.05	N65°15'22"W	11.05
C34	525.00	11.05	S65°11'34"E	11.05



N/F  
**SANDRA H. BRANDT**  
 DB 2885 PG 463  
 PIN 1658-21-8400

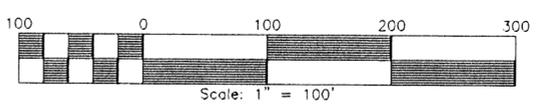
THIS PLAT PERSEDES PLAT RECORDED IN PB 68 PG 42-44. SEE PB 68 PG 42-44 FOR ORIGINAL PLAT SIGNATURES.

STATE OF NORTH CAROLINA, JOHNSTON COUNTY

THIS INSTRUMENT WAS PRESENTED FOR REGISTRATION AND RECORDING THIS 8 DAY OF May 2006 AT 11:42:55 AM

CRAIG OLIVE BY Sonna Stallings  
 REGISTER OF DEEDS DEPUTY REG. OF DEEDS  
 RECORDED IN PB 68 PG 232

N/F  
**DARRYL D. EVANS, INC.**  
 DB 2885 PG 463  
 DB 2892 PG 805  
 RESERVED FOR FUTURE DEVELOPMENT



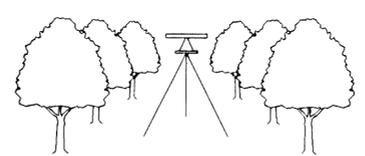
STATE OF NORTH CAROLINA, JOHNSTON COUNTY  
 I, CURK T. LANE, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 2573, PAGE 673, ETC.); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK 2573, PAGE 673; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 7 DAY OF May, A.D., 2006

**CURK T. LANE**  
 LAND SURVEYOR  
 L-3990  
 LICENSE NUMBER

**MATCH TO SHEET 3 OF 3**

SURVEYED BY:	JONES
DRAWN BY:	MIKE
CHECKED BY:	CURK
DRAWING NAME:	PH1RECORDB.DWG
SURVEY DATE:	12-10-05
JOB NO.:	247.049

**TRUE LINE SURVEYING, P.C.**



205 WEST MAIN STREET  
 CLAYTON, N.C. 27520  
 TELEPHONE: (919) 359-0427  
 FAX: (919) 359-0428  
 www.truelinesurveying.com



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

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March 4, 2014

Curk Lane  
True Line Surveying  
205 W Main Street  
Clayton, NC 27520

Re: MSD 2014-07 Hannah's Creek Subdivision Minor Modification

Dear Mr. Lane,

On February 18, 2014, the Planning Director approved the above referenced modification to the previously approved subdivision (Hannah's Creek Phase 1) subject to the following conditions of approval:

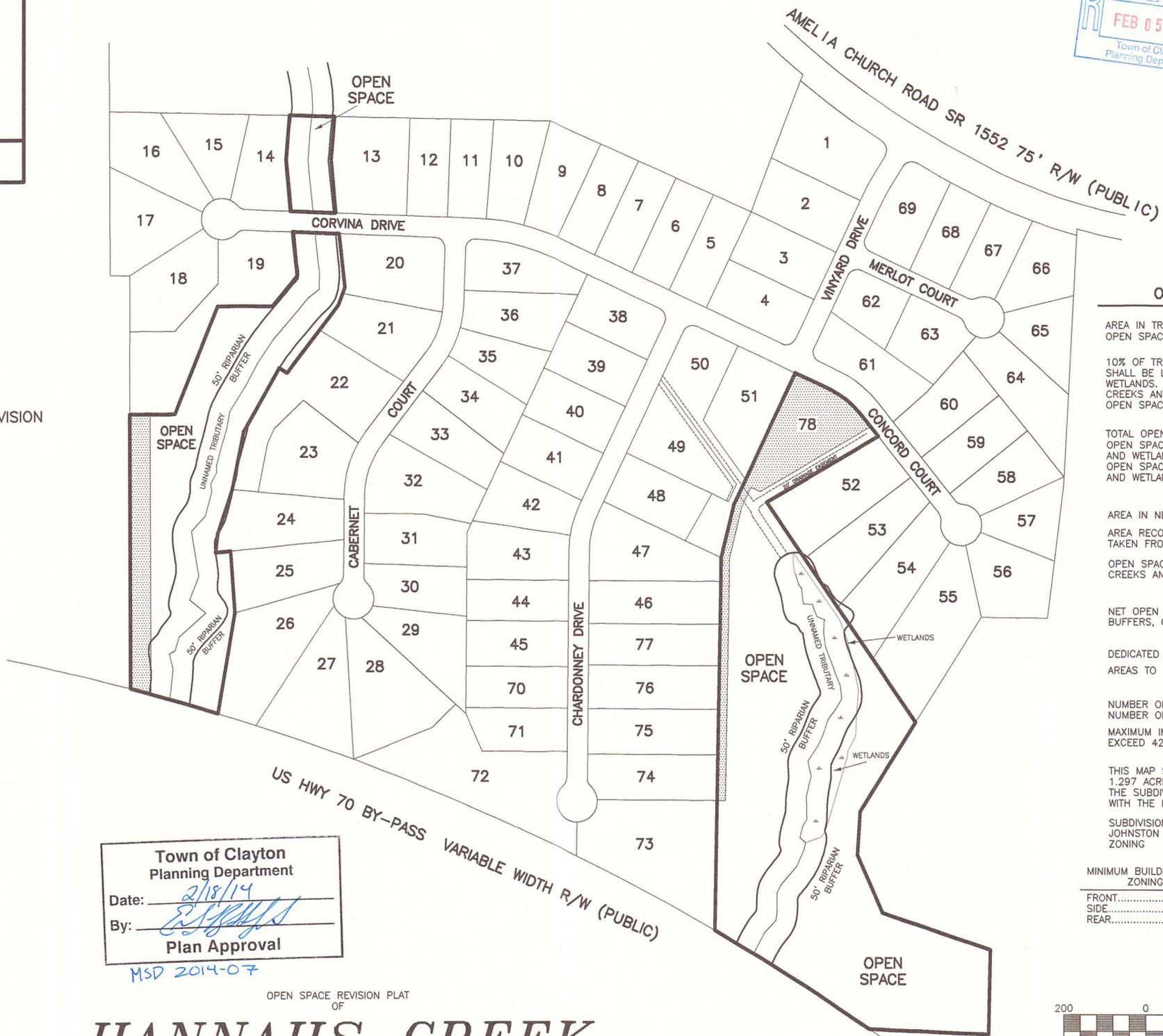
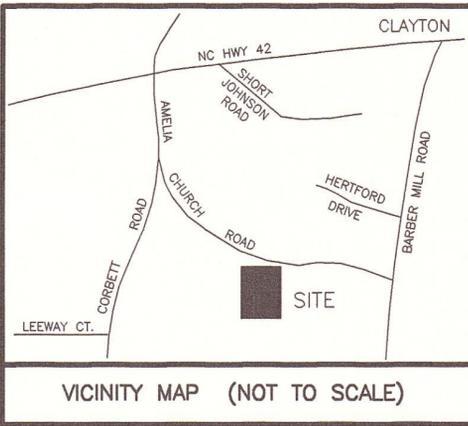
1. The development of the site is limited to the site design and uses approved by the Planning Director (plans with stamped approval dated 2/18/14). Modifications of the approved plans shall require additional review and approval, subject to requirements of the Unified Development Code.

Thank you for your cooperation in the review and approval process for this development. If you should have any questions regarding this matter please feel free to contact the Planning Department.

Sincerely,

Emily Beddingfield, AICP  
Town Planner

cc: Beth Franson, GIS Analyst



**OPEN SPACE CALCULATIONS**

AREA IN TRACT.....84.836 AC  
 OPEN SPACE REQUIRED.....8.484 AC

10% OF TRACT MUST BE DEDICATED TO OPEN SPACE. THAT 10% SHALL BE LOCATED OUTSIDE OF RIPARIAN BUFFERS, CREEKS AND WETLANDS. DEDICATED OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS DO NOT COUNT TOWARDS SUBDIVISION OPEN SPACE REQUIREMENT

TOTAL OPEN SPACE DEDICATED.....18.303 AC  
 OPEN SPACE INSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....5.997 AC  
 OPEN SPACE OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....12.306 AC

AREA IN NEW LOT 78 TAKEN FROM OPEN SPACE.....1.297 AC  
 AREA RECOMBINED TO NEW OLD FIELD SUBDIVISION TAKEN FROM OPEN SPACE.....0.767 AC  
 OPEN SPACE REMAINING OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....10.242 AC

NET OPEN SPACE REMAINING OUTSIDE RIPARIAN BUFFERS, CREEKS AND WETLANDS.....1.758 AC

DEDICATED OPEN SPACE SHOWN IN HEAVY LINES  
 AREAS TO NEW LOT 78 AND OLD FIELD SUBDIVISION ARE HATCHED

NUMBER OF LOTS EXISTING.....77  
 NUMBER OF LOTS PROPOSED.....78

MAXIMUM IMPERVIOUS SURFACE AREA PER LOT SHALL NOT EXCEED 4288 SF

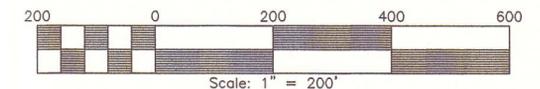
THIS MAP SHOWS A PROPOSED REVISION THAT ADDS A NEW 1.297 ACRE LOT (LOT 78) AND REMOVES 0.767 ACRES FROM THE SUBDIVISION'S EXISTING OPEN SPACE TO BE RECOMBINED WITH THE FUTURE OLD FIELD SUBDIVISION TO THE WEST.

SUBDIVISION IS ZONED R-E. IT WAS ORIGINALLY APPROVED IN JOHNSTON COUNTY'S SUBDIVISION JURISDICTION UNDER THEIR AR ZONING

MINIMUM BUILDING SETBACKS ZONING: A-R	
FRONT.....	20 FEET
SIDE.....	5 FEET
REAR.....	5 FEET

MINIMUM BUILDING SETBACKS ZONING: R-E	
FRONT.....	21 FEET
SIDE.....	9 FEET
REAR.....	18 FEET

**FILE COPY**



PRELIMINARY PLAT  
 NOT FOR RECORDATION  
 CONVEYANCES OR SALES

Town of Clayton  
 Planning Department  
 Date: 2/18/14  
 By: [Signature]  
 Plan Approval

MSD 2014-07

OPEN SPACE REVISION PLAT  
 OF

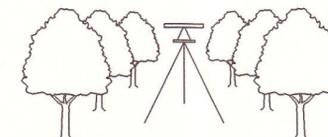
**HANNAHS CREEK  
 SUBDIVISION**

FOR  
**DARRYL D. EVANS, INC.**  
 CLAYTON TOWNSHIP, JOHNSTON COUNTY  
 NORTH CAROLINA  
 DECEMBER 15, 2013

REVISED 2-4-14: TOWN COMMENTS

SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.	

**TRUE LINE SURVEYING, P.C.**



205 WEST MAIN STREET  
 CLAYTON, N.C. 27520  
 TELEPHONE: (919) 359-0427  
 FAX: (919) 359-0428  
 www.truelinesurveying.com

## Jay McLeod

---

**From:** Keith Pagano <keithpagano@aol.com>  
**Sent:** Monday, October 19, 2015 1:04 PM  
**To:** Jay McLeod  
**Subject:** Hannah's Creek Community plea  
**Attachments:** Hannahs Creek Community Letter\_10192015\_final.pdf; HC petition.pdf; True Line Meeting Minutes\_10142015\_final2.pdf; Attachment #1 - 13-106-01-SD Hannah's Creek Application.pdf; Attachment #2 - HTR Marketing .pdf

Hi Jay,

Attached, please find the Hannah's Creek Community submission of concern in response to the Major Subdivision application submittal by Darryl D Evans Inc.

We respectfully request that you share the attached information with the Town Planning Board in preparation for the October 26, 2015 Public Hearing.

We respectfully request that James Libscomb recuse himself from this application process as we deem it to be a conflict of interest as he is an ETJ Alternate, Town Planning Board member and the listing Realtor representing homes for sale within the Hannah's Creek subdivision.

Best regards,

Hannah's Creek Community

10/19/2015

Greetings Town of Clayton Planning Board,

The neighborhood of Hannah's Creek respectfully submits the following to the Town of Clayton Planning Board (Planning Board) to be considered prior to the meeting to be held Monday, October 26, 2015 to discuss Darryl D. Evan's Major Subdivision application for the Hannah's Creek Subdivision. The following is meant to be a summary of our community's concerns regarding the application for Major Subdivision by Darryl D Evans, Inc. for the proposed Lot 78. The items presented in this letter relate to both environmental concerns regarding the prospective changes to support proposed Lot 78 as well as the verbal commitments made by Darryl D Evans, Inc. over the last decade to use the proposed Lot 78 as the common area for the community.

Many community members (especially in properties near the proposed Lot 78) have drainage and related environmental concerns regarding the proposed lot change. Some of these concerns have come to light following the meeting with True Line. The major points of contention related to this concern include:

- Many properties that border proposed lot 78, the wetlands, and "new" common area have frequent water drainage issues and are concerned this could potentially make them worse. Properties that do not border the immediate proposed lot #78 have also expressed that there are drainage issues with their properties and are concerned that the additional lot could cause additional drainage issues.
- The major subdivision application insufficiently addresses concerns with answers to important questions that are part of the Major Subdivision - Preliminary Plat Requirements checklist. Instead of providing clear answers they are instead marked as "N/A". Some examples of these questions include 31, 39, 41, 42,48, 49, 54 of the Major Subdivision application submitted by Darryl D. Evans, Inc (See Attachment #1 – Hannah's Creek Subdivision Major Subdivision application).
- Will the storm water conveyance and retention with this proposed change be adequate for pollution, sewage, and water flow control to prevent flooding and or contamination of nearby structure and properties?
- There is concern that the percolation tests were conducted at a time of unusual drought and not indicative of actual typical environment conditions experienced in our neighborhood.
- There are concerns that having a septic field so close to other property owners back yards, wetlands, and areas that experience water drainage issues that problems could results in serious environment and health concerns.

Due to the incompleteness of important questions on the form, there are concerns that there could be a negative environmental impact to the community.

Additionally, a major source of contention regarding the proposed Lot 78 is that Darry D Evans, Inc. had made commitments to the community that proposed lot #78 was a neighborhood common area that would be used as a common area for development by the HOA. Buyers through all three phases of development of Hannah's Creek were consistently told that the property in question was to be the

common area. Specifically, it was suggested that the residents of Hannah's Creek could use that property for a playground, pool, or whatever the desires of the HOA. For many buyers this was a significant selling point and led to their choice in purchasing a home in Hannah's Creek because comparable nearby neighborhoods had developed community common areas. This commitment to buyers continued even after Darryl D Evans, Inc. made plans for the proposed Lot 78. Over the years, this was reinforced by HOA Dues used to insure and maintain the property. Additionally, sales material continued to indicate the space was open space and/or permanent open space (see Attachment # 2 – Platt Maps). In many cases this commitment was made by HTR Realty, representatives of Darryl D. Evans Inc. In some cases, personal conversations with Darryl Evans were made to community members during and/or after the sales process. Although Hannah's Creek Subdivision development was delayed, it was never suggested that the community common area (now proposed lot 78) would ever be anything other than an eventual developed common area. The proposed change of status of proposed lot #78 was never communicated to the community directly or through the Home Owners Association. The HOA indicated as recently as the last community meeting that the lot was still available for future HOA development pending funding by the HOA.

In response to our concerns Darryl D. Evans, Inc. has proposed an alternate common area indicated as a "nature trail". However, the proposed area is very problematic for numerous reasons and far from a fair exchange. The proposed "nature trail" resides within a very undesirable location including wet, swampy and muddy areas. Parts of the proposed "nature trail" are classified restricted wetlands, cannot be developed, and has limited accessibility through easements mostly encompassing drainage easements and gas pipeline easements. There are additional concerns over safety, dangerous refuse that still exists in the area, and the high cost of the very limited development that could be done within that proposed common area. The proposed area does not allow any type of development beyond a dirt trail. The current lot is centrally located, convenient, ready for development, and safe and easy to secure - a far cry from the proposed common area which is exactly why it was so attractive to current and prospective buyers to the community. Lastly community members have concern over home value for a neighborhood such as ours with \$300k+ homes without an attractive common area and no potential for one in the future.

Over the years the community has waited patiently for the development of the common area despite routinely being told that we should wait for future phases of the neighborhood to be completed. After so many years the community feels deceived by Darryl D Evans Inc. and that Darryl D Evans Inc. has reneged on his commitments to the community. Additionally, the proposed lot 78 has continued to be advertised as a common area even after plans were already made to develop a house on the current common area. Hannah's Creek community has majority support for the position stated in this letter as demonstrated by a petition letter recently submitted to Darryl D Evans, Inc. and by the universal response at the True Line Neighborhood meeting. Throughout this process, and in unrelated dealings, Darryl D Evans Inc. has routinely responded to inquiries in an unhelpful, vague, callous, and dismissive manner as was plainly demonstrated at the True Line Neighborhood meeting.

With all of these factors in mind, the Hannah's Creek community feels that approval of this request by Darryl D Evans Inc. would be a detriment to the community and cause for potential environmental concerns. For the good of our community we would respectfully request that you deny Darryl D. Evans Inc.'s application for Major Subdivision.

Respectfully,

Hannah's Creek Community

## **True Line Meeting Minutes (submitted by Hannah's Creek Community)**

Meeting held Oct 14, 2015 at 6pm in Hayes room at the Clayton Center due to insufficient space at True Line for those in attendance.

Those in attendance: Approximately 40 Hannah's Creek residents (signatures of everyone in attendance obtained by Curk Lane from True Line Surveying), Curk Lane (True Line Surveying), Darryl D. Evans (developer), Lawyer (name unknown) representing Mr. Evans, Darryl D. Evans father, James Lipscomb (realtor from Home Towne Realty), Jay McLeod (Planner from Town of Clayton), Drew Jackson (staff writer for Clayton News Star).

Purpose of Meeting: To satisfy Town of Clayton regulations placed upon Darryl D. Evans, Inc. to provide information to area residents impacted by its land use proposal. Meeting was to provide information to residents regarding the nature of the proposal, explain the application, answer questions, and solicit comments.

### Topics:

#### **1. Explanation of proposed plan to increase Hannah's Creek's from 77 Lots to 78 lots.**

True Line Surveying (Curk Lane) presented Darryl D. Evans, Inc.'s proposal for adding a new proposed lot to the Hannah's Creek Subdivision. This is referred to as Lot 78 on the submitted application. Mr. Lane explained that phase 1 and phase 2 of s/d were under Johnston Co jurisdiction and that phase 3 had to be approved by Town of Clayton due to ETJ. Mr. Lane explained that proposed lot #78 was originally undeveloped due to not having enough perkable land in phases 1 and 2. Mr. Lane informed that once land was purchased and acquired for phase 3, there was enough perkable space now for proposed lot #78 to be built. Mr. Lane informed residents that the septic lines for proposed lot 78 will be in the land that was acquired in phase 3. He explained that adding proposed lot 78 would require a Major Subdivision application and approval from the Town of Clayton instead of a Minor Subdivision classification as was originally submitted.

Curk Lane and Darryl Evans explained that at the outset of developing the neighborhood, Lot 55's overall space extended substantially further back to abut up to Highway 70. At that time, Lot 55's septic was obligated to be set further back closer to Highway 70 (in relation to where Lot 55's residence now sits); however, as time has passed, that obligation is now not in effect anymore. Thus this allowed for the additional space located closer to Highway 70 (originally within Lot 55's parameters) to be changed. This change now constituted making this tract of land (formerly within Lot 55) the open and recreational use space for residents and in turn making proposed Lot 78 available for construction of a new house.

#### **2. Land advertised and marketed as common area to residents and potential buyers.**

Numerous residents in attendance stated that proposed lot 78 has always been portrayed as common area for the entire community of Hannah's Creek. Residents provided recollection of Mr. Evans and HTR realtors (James Lipscomb and Jerry Jones) personally referring to this area as the subdivision's common area during the sale of their respective homes. Residents stated that they were told by Mr.

Evans and realtors, Mr. Lipscomb and Mr. Jones, that the land could potentially have a playground built on it or that the residents could build a pool on it if they desired. Resident Joshua Carlisle (phase 1), stated that Mr. Evans told him the residents would be able to decide what they wanted to use the common area for once there were enough homes in the s/d and thus, enough HOA dues collected to use for such decision.

Resident Malinda Johnson (phase 1) introduced herself and her husband to Mr. Evans, and stated they were the first home buyers in the s/d. She asked of Mr. Evans, "Do you remember us?" to which Mr. Evans answered "yes". She stated and directed to Mr. Evans that he told her (and Jay Johnson) face to face, that the tract of land currently proposed as lot 78, was our common area and a playground would be placed on the property for resident use. She asked Mr. Evans if he remembered saying this to them. Mr. Evans shrugged his shoulders and stated "Did you get it in writing?" Mr. Evans also remarked, that he may have mentioned that in general conversation.

Resident, Misty Jackson (phase 1), stated that a plat map proposing Lot 78 was constructed on Dec 15, 2013 and informed Mr. Evans that multiple residents from phase 3, whom purchased after this date, were still being told that the tract of land was a common area for the residents of the subdivision by his representatives from HTR. When Mr. Evans was asked why this happened, he stated that was HTR's fault and he didn't know why they advertised it that way. Mr. Evans was asked directly if he informed the realtors (Mr. Lipscomb and Mr. Jones) that the tract of land was not to be a common area any longer. He replied he never informed them of this change. When asked why he didn't notify HTR, he stated "The plats are public record. They can go to Smithfield and look at them." Residents in attendance were upset by this response and many stated that it was not feasible or obligatory to remain up to date with plat changes – public record or not. Mr. Evans's veracity and candor were questioned time and again as to why what he and/or his contractors/real estate agents told residents at that time was now being changed for Mr. Evans's financial benefit.

Mr. Evans said multiple times that proposed Lot 78 was listed as reserved for future construction. When informed that some surveys and plats, that are registered, label the area as open space, he shrugged his shoulders. Mr. Evans was informed and shown a survey map that was available in the marketing mailbox at the front of s/d for potential buyers. Map showed the land to be "open space". When asked why it was advertised this way, he blamed HTR for advertising it in error. Several residents questioned time and again whether the verbal advertisement of "common area" (proposed Lot 78) as a future playground or pool was a binding contract.

As more and more residents stated they were always told the land was our common area, Mr. Evans replied multiple times "I couldn't know what might happen with that land 10 years later."

### **3. Proposed new open space plan presented to residents.**

With the new proposed lot #78, Mr. Evans informed residents that he would be constructing a nature trail between proposed Lot 78 and Lot 52 for residents to access the proposed open space. A preliminary plat map was presented by Mr. Lane. Residents asked how the nature trail would be constructed and for more details. Mr. Evans responded it would be "natural" and that there would not

be any asphalt or concrete used in its construction due to impervious surface requirements. Residents asked for specifics for the nature trail's construction. Mr. Evans never answered. Mr. Evans informed residents that the 20 ft drainage easement would be included in the required 30 ft access to open space. Majority of proposed open space is located on opposite side of the wetlands. Mr. Evans notified he would not be constructing a bridge for residents to have access to the open space. He informed the residents they could walk through the wetlands to obtain access to proposed open space. This open space is located on the southeast of the subdivision corner abutting Hwy 70 and the Piedmont gas pipeline.

Mr. Evans informed that the open space would be deeded to the HOA after he completes the s/d.

Residents voiced concern about how the homeowners (HOA) would maintain these proposed open spaces, not knowing how wide the nature path would be in order to get mowers through and not having access to the open space, landlocked by the wetlands. Concern was also expressed over the expense of such upkeep to the HOA once it is deeded over. Malinda and Jay Johnson explained that Caterpillar, his local employer, attempted to install a similar nature path walkway on their facility grounds and quickly determined the maintenance was too much to adequately handle. The weed growth became a major problem and Caterpillar ultimately decided to cancel any further maintenance. Many residents complained the proposed nature trail Mr. Evans had planned would end up with the same results.

Residents voiced that the new proposed open space was not a fair, comparable, or suitable exchange for the land that was now advertised as the common area.

Many residents voiced concern over the open space being adjacent to wetlands and going through woods that are tick and snake infested. Concern was raised that the only flat, not waterlogged, tick or snake infested proposed open space is located on the Piedmont Natural Gas line easement and that nothing permanent would be able to be constructed there. Concern was raised that a bulk of the proposed open space is not usable space, and that Mr. Evans had proposed deeding over land that will not be able to serve its intended purpose of a recreational space for residents.

#### **4. Reimbursement of HOA funds**

Residents voiced that HOA funds had been used for years to maintain lawn and carry liability insurance for the tract of land thought to be a common area, but was always owned by Mr. Evans. Further discussion arose of how some years back the proposed Lot 78, which the residents believed to be their common area, contained large dirt piles. After a long period of time residents complained that the dirt piles needed to be removed. Mr. Evans explained he removed the dirt piles as requested by the residents and that when he turned over the maintenance of the neighborhood's entrance and the "common area" (proposed lot 78) to Kohn Ell, he ensured that it would be kept visibly nice. Mr. Evans explained he did this for the residents; however, if it were up to him he would have simply "bushwhacked" the grass twice a year which would have been less cost. Residents countered Mr. Evans' claim that keeping the proposed Lot 78 groomed and visibly nice innately helped him with selling more properties in the neighborhood. If he left the area unkempt and overgrown he would be in violation of the covenants.

Residents asked Mr. Evans if he would be reimbursing the HOA for these expenditures. Mr. Evans responded he would reimburse the HOA, but was not obligated to. This contention of not having to reimburse the funds was seconded by one of Mr. Evan's representatives. No monetary amount was discussed or agreed upon.

Resident Kathi Pagano raised the concern that the community has not received the HOA annual financials from 2006 to 2012. Mr. Evans stated that no one ever asked for them. Resident Gerald Lee stated that he had. Ms. Pagano stated she had asked in the first HOA meeting. Mr. Evans stated that we could obtain them from Kohn-Ell. Ms. Pagano replied "back to 2006?" Mr. Evans replied "yes". Ms. Pagano said "I had already asked Kohn-Ell for them and they said they do not have them prior to 2013." Mr. Evans replied "Well, I'm not an accountant."

#### **5. Increased potential for more crime in Hannah's Creek**

Mr. Evans was informed that homes adjacent to the gravel road side of s/d have been accessed from the rear and broken into due to the ease of access from the gravel road. It was also notified that car break-ins and theft increased when the 70 bypass was constructed due to ease of access. Concern was raised that adding a nature trail that runs directly behind the homes on Chardonney Drive and Concord Court could potentially increase ease of access for crime to occur.

#### **6. Homeowner Valuation Impact**

Residents expressed that the land was advertised as a common area and enticed sells. Many residents claimed they purchased their specific lot based on this information. Concern was raised that home values could decrease with this land being taken away and used to build a new home instead. Resident Kathi Pagano requested of Mr. Evans to provide a homeowner valuation impact study from an entity with no ties to him. Mr. Evans did not give an answer as to whether he would provide this.

#### **7. Drainage Easement**

There was discussion regarding water backing up and not flowing well in drainage easement between Lot 52 and proposed Lot 78. Concern was raised regarding how the water will flow once the retention pond is filled at the completion of construction.

There was a discussion regarding 20 ft drainage easement between Lots 46 and 47. One concern raised was that the storm runoff would be directed to the proposed septic field for proposed Lot 78 which runs alongside the proposed nature trail. Questions were raised concerning sanitation and if this would create more standing water. Concern was raised about how this would impact the proposed accessibility and use of the proposed trail and access to proposed open space.

#### **8. Impervious Surface**

A question was raised regarding the impervious surface for each lot. Mr. Lane and Mr. Evans explained that each lot was allotted 4,288 square feet of impervious surface. Mr. Lane and Mr. Evans assured those in attendance that the new lot in question at proposed Lot 78 would not affect the current

impervious surface amount and that each lot would still remain at 4,288 square feet.

Resident Malinda Johnson asked if Mr. Evans would be open to residents making a fair offer to purchase proposed Lot 78. Ms. Johnson explained this offer was something that she just thought of and it would have to be agreed upon by the residents, but to hypothetically mitigate the current situation, she posed the question to Mr. Evans. Mr. Evans responded he would have to think about that. Mr. Evans was asked how much the lot would be in price. Mr. Evans responded he would have think about that and get back with residents at a later time.

#### **9. Maintenance of proposed open spaces**

Questions were raised regarding who is obligated to maintain these spaces. Land is currently owned by developer and not HOA. Many residents were mistakenly under the impression that proposed Lot 78 and other open spaces (entrance to Hannah's Creek) were already deeded over and owned by the HOA. Mr. Evans explained this was not true and his company was the owner. Residents countered that they should no longer, currently and prospectively, be funding any maintenance of these spaces. Mr. Evans gave no response and no resolution was obtained at this time.

#### **10. Minutes**

Resident Misty Jackson asked who was taking the minutes and Mr. Lane, who was presenting the meeting stated he would take care of the minutes. Jay McLeod said he was keeping notes. The residents were informed that the minutes would be available.

#### **11. Petition**

Darryl D Evans was asked if he received a copy of the Petition in the private meeting he had with HTR, James Libscomb and two (2) HOA Board Members and he confirmed receipt of the Petition.

I have received a copy of the Hannah's Creek, Clayton NC Petition

Sharon Lockamy  
Town of Clayton

9/22/15  
Date

Kristen Hoffman  
Kohn-Ell

9/22/15  
Date

Nancy House  
Johnston County Environmental Public Utilities

9/22/15  
Date

Michelle Sullivan  
Johnston County ~~Planning and Zoning~~  
ENVIRONMENTAL

22 Sept 2015  
Date

Dianne Spence  
Home Towne Realty

9-22-15  
Date

AT THE TRUE LINE MEETING 10/14/15  
DARRYL D EVANS STATED HE  
RECEIVED A COPY OF THE  
HANNAH'S CREEK PETITION

Sept 14, 2015

**Hannah's Creek Subdivision, Clayton NC Petition**

We the undersigned and resident of Hannah's creek would like to halt any building development of the common area (green space between Concord Ct and Corvina Ct, aka lot #78) until the subdivision community residents have full disclosure from builder / developer, Darryl D. Evans, regarding the following:

1) Why/how our HOA dues have been spent on the common area to :

A) maintain (mowing, seeding etc)

B) carry liability insurance

The builder / developer, Darryl D Evans, intends to build a home in the common area (lot #78) so why have the residents been paying expenses to maintain it?

2) How water (rain and spring) will be redirected if the retention pond is closed in the wooded space of the common area. We want to ensure that the new water flow direction does not affect the community homes or the Piedmont gas pipeline.

3) How the septic lines permitted by Johnston County for a specific number of bedroom dwelling is in contradiction with builder/developer's, Darryl D. Evans, actual bedroom, dwelling build and marketing material and MLS.

We want the opportunity for a proper HOA meeting with the builder, Darryl D Evans and Kohn-El Management Company present to address and rectify the issues above. Additionally, we want the opportunity to voice and vote on the common area (lot #78) development.

We intend this petition to reach:

Johnston County

Town of Clayton

Piedmont Gas

Darryl D Evans

North Carolina Licensing Board for General Contractors

Home Towne Realty

Local Media

1. Keith Dyer  
Name

Date 9/14/15

66 Concord Ct Clayton NC 27520  
Address

2. Melinda  
Name

Date 9/14/15

54 Vineyard Drive  
Address

3. Angela Warner  
Name

Date 9/14/15

65 Concord Ct Clayton NC 27520  
Address

4. John + Raquel Fleming  
Name

Date 9/14/15

17 Corvina Dr. Clayton N.C. 27520  
Address

5. Bennett Strickland  
Aileen Strickland  
Name

Date 9/14/15

86 Concord Court  
Address

6. Jody + Mike Mullins  
Name

Date 9/14/15

231 Corvina Dr.  
Address

7. Keith + Kim Connolly  
Name

Date 9-14-15

101 Vineyard Dr  
Address

8. Vincent + Kim Scavone  
Name

Date 9/14/15

14 Merlot Ct  
Address

9. Eun Elmore  
Name

Date 9/14/15

128 Corvina Dr  
Address

10. Wendy Vant  
Name 160 Corvina Drive

Date 9-14-15

Address \_\_\_\_\_

11. Karen McCann  
Name \_\_\_\_\_

Date 9/14/15

170 Corvina  
Address \_\_\_\_\_

12. Lauren Sabo  
Name \_\_\_\_\_

Date 9/14/15

188 Corvina Dr.  
Address \_\_\_\_\_

13. Paula Bm  
Name \_\_\_\_\_

Date 9/14/15

235 Corvina Dr.  
Address \_\_\_\_\_

14. Lee Stanton  
Name \_\_\_\_\_

Date 9/14/15

234 Corvina Dr.  
Address \_\_\_\_\_

15. Margaret B. Baker  
Name

Date 9-14-15

228 Corvina Dr  
Address

16. Glenn and Kelly McDowell  
Name

Date 9-15-15

58 Cabernet Ct, Clayton NC  
Address

17. Suzanne & James Flockhart  
Name

Date 9/15/15

53 Cabernet Ct. Clayton  
Address

18. Bill & Tammy Greiner  
Name

Date 9/15/15

GERALD LEE  
Address 54 Merlot Ct. -

19. Robert & Melinda Blackman  
Name

Date 9/15/15

73 Merlot Ct.  
Address

20. Holly E. O'Connor  
Name

Date 9-15-15

33 Vineyard Drive, Clayton, NC 27520  
Address

21. Bonnie Hicks  
Name

Date 9/15/15

24 Vineyard Dr.  
Address

22. 30 Corving Dr  
Name

Date 9/15/15

JOSHUA CARLISLE  
Address

23. Rachel Schoonover  
Name

Date 9/15/15

116 Chardonney Dr  
Address

24. Dave Allison  
Name

Date 9-15-15

121 Concord Ct  
Address

25. Will - Hartl  
Name

Date 9-15-15

20 CHARDONNAY  
Address

26. Melissa Ingram  
Name

Date 9/15/15

59 Chardoney Dr.  
Address

27. Misty and Jody Jackson  
Name

Date 9/15/15

87 Concord Ct Clayton NC  
Address

28. Jamese & Tammy Cudell  
Name

Date 9/15/15

140 Cervina drive, Clayton NC  
Address

29. Scott Smith  
Name

Date 9/15/15

102 Cabernet Ct,  
Address

30. Sarah Kapusta  
Name

Date 9-15-15

78 Vineyard Drive  
Address

31. Kisty Gomez  
Name

Date 9-15-15

107 Cabernet Ct  
Address

32. Brian Lipiec  
Name  
Mark J. Lipiec

Date 9/15/15  
9/15/15

150 CORINA DR.  
Address

33. Kathleen Evans  
Name

Date 9/15/15

106 Concord Court  
Address

34. Brad Schconover  
Name

Date 9/15/15

116 Chardonney DR  
Address

35. Kevin and Melissa Ingram  
Name Kevin Ingram

Date 9/15/15

59 Chardanney Dr.  
Address

36. Levana Dorenos  
Name Levana Dorenos

Date 9-15-15

55 Chardanney Dr  
Address

37. Jonathan Ellis  
Name Jonathan Ellis

Date 9/15/15

62 Corvina Dr Clayton, NC 27520  
Address

38. A B  
Name

Date 9/15/15

105 Concord Ct Clayton, NC 27520  
Address

39. Diana & John Tuttle  
Name

Date 9/15/15

95 Cabernet Clayton  
Address

40. EMMANUEL AND CARMELA ESLABON  
Name Emeslabon

Date 9/15/15

31 MERLOT CT. CLAYTON NC 27520  
Address

41. Lars & Carla Andersson  
Name 86 Chardonnay Drive

Date 9/15/15

Address

42. Henry Marcus + Tabitha Marcus  
Name

Date 9-15-15

70 Merlot Ct Clayton Ne 27520  
Address

43. Sue + Michael Beavers  
Name

Date 9-15-15

42 Chardonnay Drive Clayton NC 27520  
Address

44. David Miller Lynda Miller  
Name

Date 9/15/15

39 Cabernet Ct Clayton, NC 27520  
Address



50. KARI SAWYER  
Name 150 CHARDONNEY

Date 9-16-15

Address \_\_\_\_\_

51. Susan Fikes (Susan Fikes)  
Name \_\_\_\_\_

Date 9/16/15

77 Merlot Court  
Address \_\_\_\_\_

52. Alan Flowers  
Name \_\_\_\_\_

Date 9-16-15

112 Cabernet Ct  
Address \_\_\_\_\_

Frederick Bangert Kathy Bangert  
53. Frederick Bangert Kathy Bangert  
Name \_\_\_\_\_

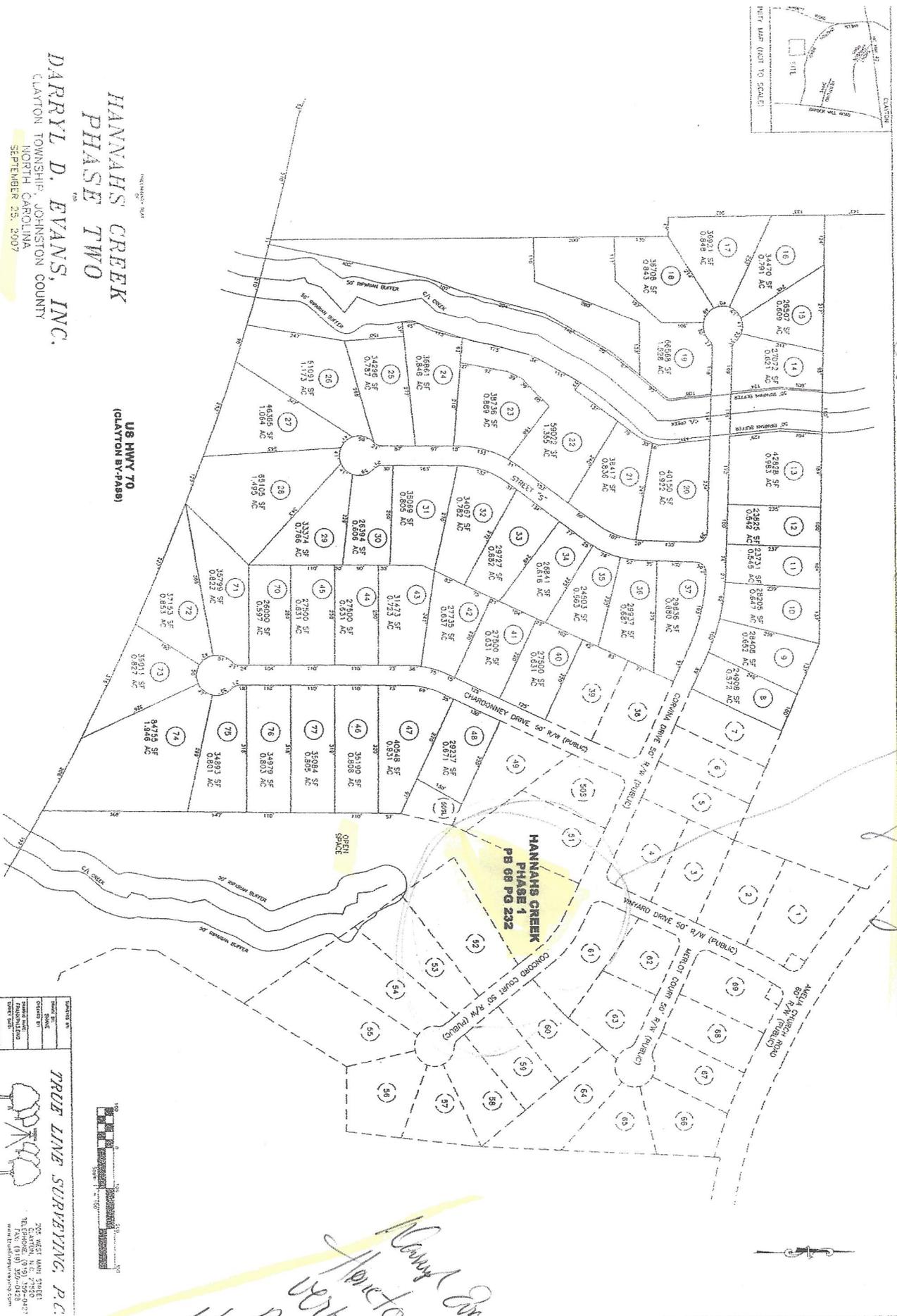
Date 9-17-15

9 Cabernet Court  
Address \_\_\_\_\_

54. \_\_\_\_\_  
Name \_\_\_\_\_

Date \_\_\_\_\_

Address \_\_\_\_\_



*See attached by articles for plans*

**HANNAHS CREEK  
PHASE TWO**  
DARRYL D. EVANS, INC.  
CLAYTON TOWNSHIP, JOHNSTON COUNTY  
NORTH CAROLINA  
SEPTEMBER 25, 2007

US HWY 70  
(CLAYTON BY-PASS)

PROJECT NO.	207-08-02381
DATE	09/25/07
CLIENT	DARRYL D. EVANS, INC.
PROJECT NAME	HANNAHS CREEK PHASE TWO
PROJECT ADDRESS	207 WEST MAIN STREET CLAYTON, NC 27009
PREPARED BY	TRIPLE LINE SURVEYING, P.C.
DATE	09/25/07

**TRIPLE LINE SURVEYING, P.C.**

207 WEST MAIN STREET  
CLAYTON, NC 27009  
PHONE: (919) 350-0428  
FAX: (919) 350-0428  
WWW.TLSURV.COM

*Many owners +  
Auctione Realty  
Vertically told  
Residents this  
New "Common  
Area" will  
be a world  
of playground  
for our grand  
residents*

5/10/2010

Hannah's Creek HOA  
Amelia Church Rd. Clayton, NC  
ATTN: Darryl D Evans  
919-795-1515

Mr. Evans,

This is the proposal for a yearly maintenance contract at the Hannah's Creek Community. This agreement is to include the both sides of the entrance and the common area at the "T" intersection. It will be a 12 month agreement with a monthly charge of \$490.00 or \$5,880.00 annually.

Services included;

Turf Areas:

- Mow/Trim/Edge/Blow Weekly during the active growing season (roughly 32 times)
- 2 Applications of Pre & Post Emergence to control troublesome weeds (Spring & Fall)
- 4 Applications of fertilizer to improve health and appearance

Bed Areas:

- Round up / Weed control
- Prune Shrubbery as needed in island beds around signs only

Thank you for allowing Barefoot & Associates the opportunity to provide you with this estimate. Please feel free to contact us if you have any questions.

Best Regards,

Harry N. Wilson III  
Sales Associate  
Barefoot & Associates, Inc.  
919-934-3554



-----Original Message-----

From: Keith Pagano <[keithpagano@aol.com](mailto:keithpagano@aol.com)>

To: jwmcleod <[jwmcleod@townofclaytonnc.org](mailto:jwmcleod@townofclaytonnc.org)>

Sent: Mon, Oct 19, 2015 4:42 pm

Subject: Proposed Lot 78, Hannah's Creek Lot 52 submitting questions and concerns for Oct 26 Hearing

**Katherine Pagano**

**66 Concord Court (Lot #52, Phase 1)**

**Clayton, NC 27520**

October 19, 2015

Town of Clayton

111 East Second Street

Post Office Box 879

Clayton, NC 27528

Attn : Jay McLeod

**Re: Major Subdivision Application by True Line Surveying for Darryl D. Evans for proposed lot #78 in Hannah's Creek Subdivision, Clayton, NC**

Dear Jay McLeod,

With regard to the above referenced subject matter and the attached, I want to share concern and input to the Planning Board for consideration and review at the October 26, 2015 Public Hearing.

There are inherent water drainage issues that occur from the north side of Merlot Court, to the east side of Vinyard Dr and carry through to Concord Ct. The 20' drainage easement that sits between lot 52 and Proposed lot 78 is always wet and marshy even when it is not raining. When it rains the water flow can easily get to 5' wide and 24 to 30" deep in this drainage easement. There is a huge sediment / retention pond that sits directly behind lot #52 and historically full of water and loaded with cat tail vegetation. Once that sediment / retention pond is filled by the developer, it will take some time for the topography to settle and the natural water flow re-establish itself. How can any perk or storm water evaluation occur for proposed Lot #78 when the abutting environment is knowingly going to change as soon as the sediment / retention pond is filled.

The proposed Lot 78 hand out (showing walking trail and septic layout) in the True Line Meeting on 10/14 is not the same map that is submitted in the Oct 1, 2015 application. The major subdivision application was made available after the True Line Meeting on 10/14 so here are some questions with regard to the application:

Section:

Required information:

6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed is not checked off.

11. Wastewater allocation request OR verification of wastewater allocation is marked N/A - How come?

Section:

Major Subdivision - Preliminary Plat Requirements Checklist

- Item 11 – Why is this section marked as N/A?

-Item 11 Within Town Limits of ETJ appears to be checked N/A but the actual check mark does not appear in the box allocated. Isn't Hannah's Creek in the ETJ?

-Item 11 - Sewer provider is not stated

-Item 11 -impervious for overall development and lot is not indicated

Item 11- Maximum allowable impervious is not shown

- Item 11 – Existing use vs proposed use not provided sufficiently and is misleading.

- The last plat map (dated Feb 21, 2005) of the application does not represent the current open space boundaries nor its characteristics.

-The wetlands are depicted in an area that differ from the recorded Plat.

-.Lot 55 is not accurately depicted plat map dated Feb 21, 2005. This lot was changed prior to the official recording of Phase 1 and should have no direct correlation/decision on Phase 3 or the newly proposed Lot 78.

- Lot 78 does not indicate septic layout or proposed community area changes.

-Item 19 – There is insufficient information of existing and proposed rights-of-way, easements, and public use areas. Existing clear land “common” areas have been replaced by a combination of wetlands, heavily wooded areas, non-buildable land, or areas not accessible to the community.

- Item 29 – Location, purpose, and dimensions of non-residential areas are not spelled out appropriately and therefore, do not designate responsible parties.

-Item 31 – Proposed stormwater retention/detention features and dimensions are not reflected. This is an area of known water drainage/retention problem areas that also is near a protected wetland and a current retention pond.

- Item 38 and 39, 40. – No information on landscaping shared.

- Item 41 – There are no details regarding the topography, but the application (and the presentation provided by True Line Surveying proposes swapping out clear, open land with combined land consisting of wetlands, heavily wooded, gas line easements and low lying drainage easement areas.

- Item 42 – Missing information on water/sewer and pipeline gas infrastructure easements.

- Item 49 – Missing existing and proposed changes to drainage structures. There is currently a retention pond in the drainage easement closest to protected wetlands.

-Item 51 – Missing existing and proposed easements for the plan presented by True Line on 10/14. Again, the application does not match the proposal presented in the meeting on 10/14.

-Item 54 – Missing storm water management system information in an area that contains a retention/detention pond next to wetlands that have a history of drainage issues.

As mentioned above, the plat maps presented in the application are not accurate for the current existing neighborhood. Also, the proposed plat changes proposed for Lot #78 and the new neighborhood common areas do not represent what True Line/Darryl D. Evans Inc presented during the 10/14 meeting.

There is a page omitted from the packet in the “Town of Clayton Subdivision Approval Sub 08-01 Granted” section. It is page 2 of 4.

Can the Town confirm with the following department if a determination of stream buffer was applied for:

James R. Graham Jr.  
Environmental Specialist  
Raleigh Regional Office  
NCDENR-Division of Water Resources  
3800 Barrett Drive  
Raleigh, NC 27609  
(919) 791-4256

[James.Graham@ncdenr.gov](mailto:James.Graham@ncdenr.gov)

Thanking you in advance for taking the time to thoroughly review all the questions and concerns.

Best regards,

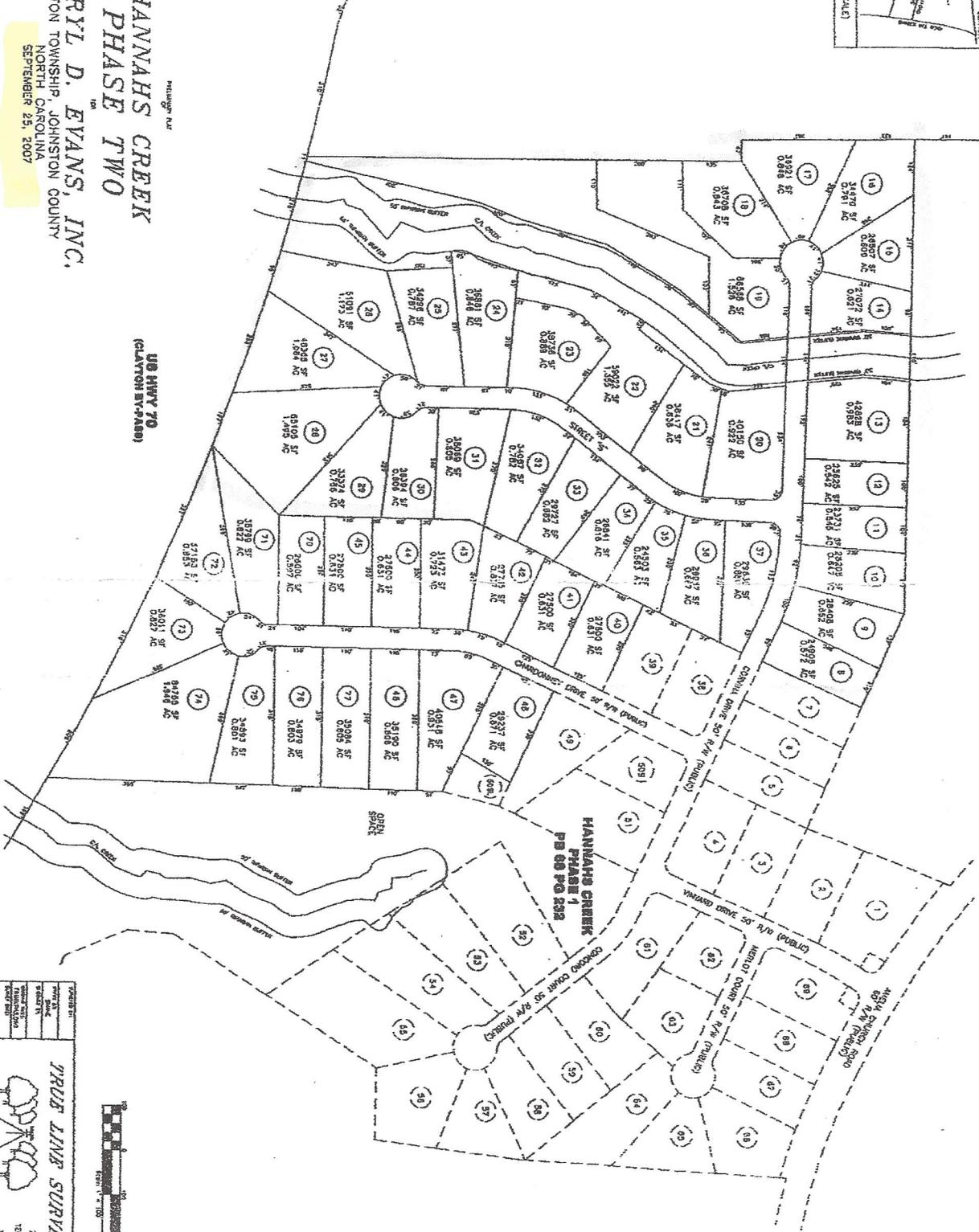
Katherine Pagano



**HANNAHS CREEK  
PHASE TWO**

**DARRYL D. EVANS, INC.**  
CLAYTON TOWNSHIP, JOHNSTON COUNTY  
NORTH CAROLINA  
SEPTEMBER 25, 2007

US HWY 70  
(CLAYTON BY-PASS)



**TRUB LANE SURVEYING, P.C.**

205 WEST MAIN STREET  
CLAYTON, NC 27925  
TEL: (716) 236-4422  
www.trublanesurveying.com

DATE: 09/25/07

PROJECT: HANNAHS CREEK PHASE TWO

DRAWN BY: [Signature]

CHECKED BY: [Signature]

SCALE: AS SHOWN





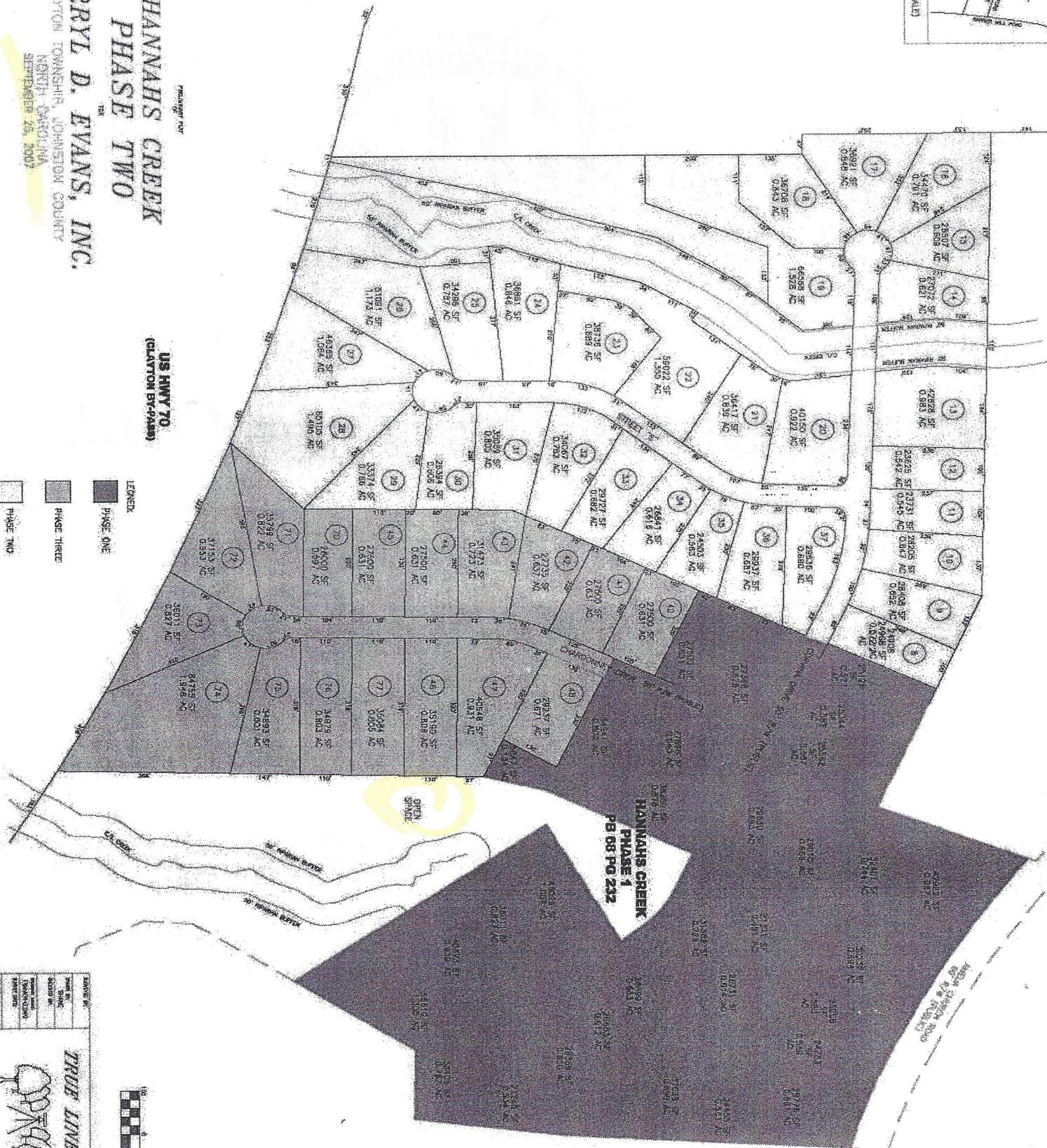
# HANNAHS CREEK PHASE TWO

**DARRYL D. EVANS, INC.**

CLAYTON TOWNSHIP, JOHNSON COUNTY  
NORTH CAROLINA  
SEPTEMBER 28, 2007

**US HWY 70  
(CLAYTON BY-PASS)**

- LEASED
- PHASE ONE
- PHASE THREE
- PHASE TWO



**HANNAH'S CREEK  
PHASE 1  
PB 08 PG 232**

DATE	2007.09.28
BY	D. D. Evans
FOR	D. D. Evans
PROJECT	Hanna's Creek Phase 2
SCALE	AS SHOWN



**TRACE LINE SURVEYING, P.C.**

200 WEST MAIN STREET  
CLAYTON, N.C. 27925  
TELEPHONE: (815) 332-1111  
FAX: (815) 332-1111







*James Lipscomb 919-422-4704*

*or*

*Jerry Jones 919-427-3713*

**FOR INFORMATION CALL**



Hi Jay,

Thanks for your explanation and assistance. It is greatly appreciated. Per your request, the community will be submitting information today for the Town Planning meeting on 10/26. Kathi Pagano has provided the package to you via email.

However, I will not be able to attend the 10/26 meeting and would like to submit my own comments/concerns in reference to the application dated 10/1/2015 that was submitted by True Line Surveying and Darryl D. Evans, Inc. The comments/concerns are specific to my residence, Lot # 60.

Attached is information that I would like to be submitted to the Clayton Town board for review as it relates to my Lot # 60 and the concerns with the presently submitted application. There are three attachments/packages provided:

- 1) Cover Letter
- 2) Letter Concerning Application
- 3) Major Subdivision application submitted on 10/1/2015.

Can you let me know if this will be included as review for the Clayton Town board?

Thanks in advance for your correspondence.

Thanks,

**Steve Warren**

65 Concord Ct  
Clayton, NC 27520  
Lot #60  
(919) 333-2318 (m)  
(919) 550-9353 (h)

P.S. – Copies of these attachments are being hand delivered to the Town office today.

Steve Warren  
65 Concord Ct  
Clayton, NC 27520  
October 19, 2015

Mr. McLeod  
Planner  
Town of Clayton  
111 East Second Street  
PO Box 879  
Clayton, NC 27528

Dear Mr. McLeod:

I am writing you in reference to the Major Subdivision application submitted by True Line Surveying on behalf of Darryl D. Evans, Inc. on 10/1/2015. The application is attached to this email as Attachment #1 for reference. Due to prior plans that cannot be changed, I will be unable to attend the 10/26 Planning Board meeting where this subject will be discussed. As such, I wanted to provide feedback on the application/proposal that is under consideration from the board. Please provide this letter to the Board for review prior to the 10/26 Planning Board.

As a precursor to the feedback/concerns below, I would like to state that my wife and I were one of the original buyers in the Hannah's Creek subdivision and reside in Lot #60 diagonally across from the proposed lot #78. Our lot has had water drainage issues (as well as septic line misrepresentation) that were not fully disclosed during the sales/closing of our property. These include the discovery of old drainage/sewage pipe buried on lots 52, 60, 61 and proposed new lot #78 that was broken during the construction of drainage easements for Phase 1 of the Hannah's Creek Subdivision. Additionally, a sink hole was discovered on lot 64 directly leading to the old terracotta pipe that was through my property (Lot #60).

As a result of the above mentioned, I have concerns with the application of proposed lot #78 and how it will affect existing water issues for not only the land on proposed lot #78, but the current drainage issues experienced in the community and specific to the drainage easement between lots 60, 61, 63, and 64. In reviewing the application submitted by True Line and Darryl D. Evans, it does not appear that the application has been submitted with all complete and/or relevant information. Below are the items requested in the application, but do not appear to be addressed.

- 1) The following checklist items in the application are not complete and/or incomplete:
  - a. Item 11 – Why is this section marked as N/A?
  - b. Item 11 - Sewer provider is not provided.
  - c. Item 11 – Existing use vs proposed use not provided sufficiently and is misleading.
    - i. The last plat map of the application does not reflect the current open space boundaries nor its characteristics.
    - ii. Lot 55 is falsely represented on the last page. This lot was changed prior to the official recording of Phase 1 and should have no direct correlation/decision on Phase 3 or the newly proposed Lot 78.
    - iii. Lot 78 does not indicate septic plan or proposed community area changes.
    - iv. The wet land areas are depicted differently on the two plat maps enclosed in the application.
    - v. Proposed Plat in application is not what was presented by True Line during the public meeting on 10/14.
  - d. Item 19 – There is inadequate information of existing and proposed rights-of-way, easements, and public use areas. Existing clear land “common” areas have been replaced by a combination of wetlands, heavily wooded areas, non-buildable land, or areas not accessible to the community.
  - e. Item 29 – Location, purpose, and dimensions of non-residential areas are not identified appropriately and thus do not designate responsible parties.
  - f. Item 31 – Proposed stormwater retention/detention features and dimensions are not reflected. This is an area of known water drainage/retention problem areas that also is near a protected wetland and a current retention pond.
  - g. Item 38 and 39, 40. – No information on landscaping provided.
  - h. Item 41 – There are no details regarding the topography, but the application (and the presentation provided by True Line Surveying proposes swapping out clear, open land with combined land consisting of wetlands, heavily wooded, gas line easements and low lying drainage easement areas.
  - i. Item 42 – Missing information on water/sewer and pipeline gas infrastructure easements.
  - j. Item 49 – Missing existing and proposed changes to drainage structures. There is currently a retention pond in the drainage easement closest to protected wetlands.
  - k. Item 51 – Missing existing and proposed easements for the plan presented by True Line on 10/14. Again, the application does not match the proposal presented in the meeting on 10/14.

Mr. McLeod  
October 19, 2015  
Page 3

1. Item 54 – Missing storm water management system information in an area that contains a retention/detention pond next to wetlands that have a history of drainage issues.
- 2) As mentioned in parts of item 1, the plat maps presented in the application are not accurate for the current existing neighborhood. Additionally, the proposed plat changes proposed for Lot #78 and the new neighborhood common areas do not represent what True Line/Darryl D. Evans Inc presented during the 10/14 meeting.
- 3) There is a page missing from the packet in the “Town of Clayton Subdivision Approval Sub 08-01 Granted” section. It is page 3 of 4.

Please advice on the next steps to address the concerns mentioned in this correspondence.

Sincerely,

Steve Warren



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

October 26, 2015

## STAFF REPORT

### Application Number: 15-50-01-SUP Project Name: Nick's Flippin Kids Special Use Permit

NC PIN / Tag #: 166800-84-0769 / 05104017  
Town Limits/ETJ: Town Limits  
Overlay: None  
Applicant: Nick's Flippin Kids  
Owner: Mooring Capital Fund, LLC  
Location: 9257 US 70 BUS HWY

#### Public Noticing:

- Neighborhood meeting October 15, 2015
- Sign posted October 8, 2015
- Newspaper ad prior to November 25, 2015

**REQUEST:** The applicant is requesting a special use permit to open "Nick's Flippin Kids", a gymnastics facility, in an existing & vacant building located in a Special Use District.

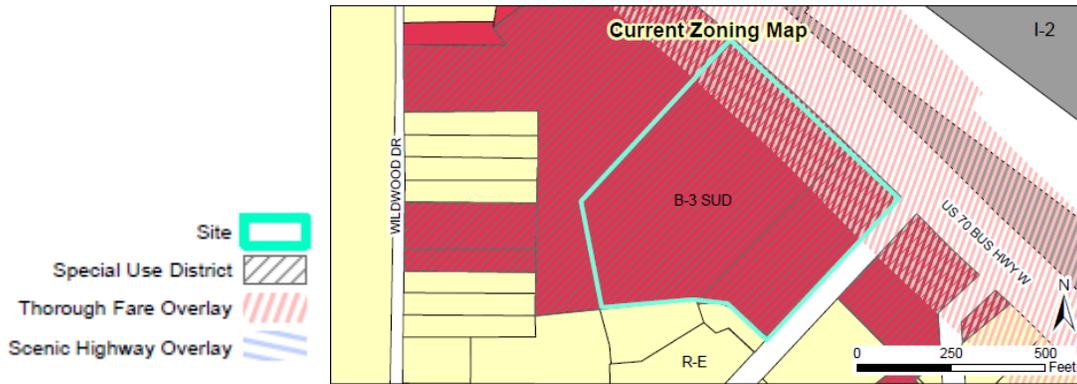
#### SITE DATA:

Acreage: 8.33  
Existing Use: Vacant



**ADJACENT ZONING AND LAND USES:**

Direction	Zoning	Existing Use
North	Highway-Business (B-3)	Vacant
South	Residential-Estate (R-E)	Single-Family Residences
East	Highway-Business (B-3)	Commercial
West	Highway-Business (B-3)	Single-Family Residences



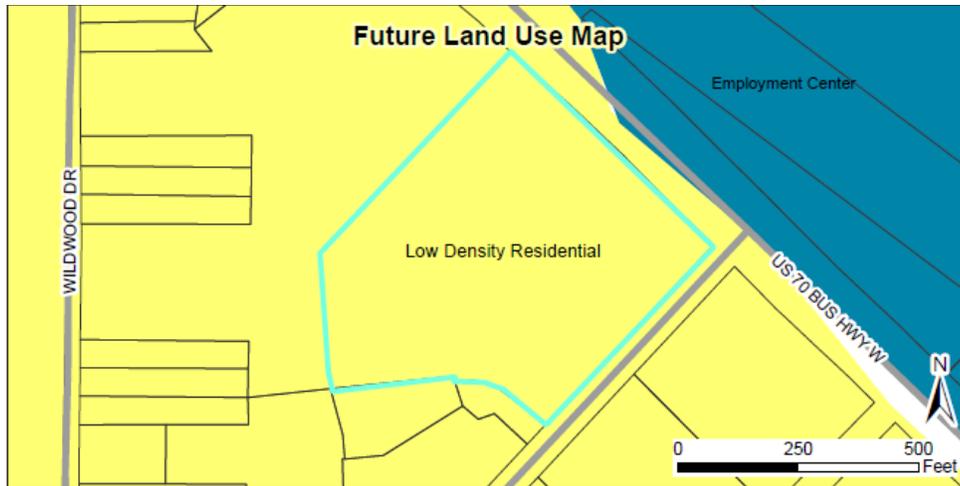
**DEVELOPMENT DATA:**

- Proposed Uses: Indoor Entertainment (gymnastics facility)
- Buildings: 1 building, existing
- Fire Protection: Town of Clayton
- Access/Streets: Access will be provided via 2 full-access existing driveways located off of Hardee Lane. There are also two stub-outs located on the Northern portion of the lot. These stub-outs connect to the undeveloped adjacent property.
- Water/Sewer Provider: Town of Clayton
- Electric Provider: Town of Clayton

**STAFF ANALYSIS:**

**Overview**

The applicant is requesting a special use permit to open up a gymnastics facility called "Nick's Flippin Kids" in a vacant existing building. The facility is proposing to occupy only the showroom portion of the building, which is 20,000 square feet. The remaining portions of the building will remain vacant at this time. Currently, the property is zoned B-3 SUD (Highway Business Special Use District). This use is permitted outright in B-3 zoning districts, but the Special Use Overlay requires any tenant to go through the special use process in order to operate at this location.



**Consistency with Adopted Plans:**

- **Strategic Growth Plan**

The 2040 Comprehensive Plan designates this parcel of land, as well as surrounding parcels, as “Low Density Residential”. However, the existing site is currently zoned B-3 SUD and will ultimately be used for commercial purposes because of this. While the proposed use is not consistent with the future land use map, it is consistent with Objective LU1.2 of the plan which encourages the redevelopment or adaptive reuse of under-utilized commercial development. The subject parcel has been vacant for some time, and permitting Nick’s Flippin Kids to utilize the front downstairs portion of the facility may attract other businesses to utilize the remaining portion of the 110,000 square foot building.

- **Unified Development Code**

The proposed development is consistent and meets the applicable requirements of the Unified Development Code (UDC).

**Background & History**

In 2007, Council approved this site for a Special Use Permit (SUP 07-03) and a Major Site Plan request. The building was originally used for the site of Ashley Furniture Store and distribution center. It was converted in 2011 into Chloe’s Furniture, which closed in 2013 leaving the 110,000 square foot building vacant.

**Associated Site Plan**

Since the applicant is requesting to locate in an existing building, and no changes are proposed to be made to the property, the applicant has submitted the existing site plan which was approved in 2007 for the Ashley Furniture Store. Staff has reviewed the existing plan and has determined that no changes are needed to the site to meet code requirements.

**Landscaping and Buffering**

The site has existing landscaping that is in compliance with UDC requirements. Street yard trees and shrubs are provided along Highway 70, a Class “A” buffer is provided along Hardee Lane, and a Class “C” landscape buffer is provided along the southern property line, which is where the property abuts parcels zoned R-E (Residential-Estate). The applicant will be required to maintain the existing landscaping as well as replace any missing plant material as shown on the original site plan approval.

**Recreation and Open Space**

N/A

**Environmental**

N/A

**Signs**

The applicant has not submitted any proposed signage for the subject property. All signs will be reviewed separately through the Planning Department and will be required to adhere to UDC requirements.

**Architecture**

No exterior changes are being made to the existing building. The existing architecture of the building is acceptable to staff.

**Waivers/Deviations/Variations from Code Requirements**

None.

---

**FINDINGS**

When considering a Special Use Permit application, the Town Council shall consider specific Findings of Fact. A Special Use which fails to meet any of these Findings shall be deemed adverse to the public interest and shall not be approved. The applicant has adequately addressed the Findings of Fact expressly established by Chapter 155.711(l) of the UDC, and these Findings are accepted as part of the completed application.

---

**CONSIDERATIONS:**

- The Town Council approves Special Use Permits. The Planning Board shall make a recommendation to the Town Council.
- 

**RECOMMENDATION:**

Staff is recommending approval of the above referenced Special Use Permit.

---

**ATTACHMENTS:**

- 1) Application
- 2) Staff Report Map
- 3) Existing Site Plan
- 4) Neighborhood Meeting Materials



Town of Clayton  
 Planning Department  
 111 E. Second Street, Clayton, NC 27520  
 P.O. Box 879, Clayton, NC 27528  
 Phone: 919-553-5002  
 Fax: 919-553-1720

## SPECIAL USE APPLICATION

*Pursuant to Article 7, Section 155.711 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to allow a Special Use. Special Uses are uses that may be appropriate in a particular district, but have the potential to create incompatibilities with adjacent uses.*

*Fee: The application fee is \$400.00. All fees are due when the application is submitted.*

*Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Special Use Permit applications.*

### APPLICATION TYPE

- New Special Use Permit
  Major Modification to an approved SUP  
Permit Modified: \_\_\_\_\_

### SITE INFORMATION

Name of Project: NICK'S FLIPPIN KIDS      Acreage of Property: 8.3  
 Parcel ID Number: 05104017      Tax ID: 4229047  
 Deed Book: 4124      Deed Page(s): 490  
 Address/Location: 9257 US 70 BUSINESS HWY W.

Existing Use: VACANT FURNITURE STORE      Proposed Use: INDOOR RECREATION

Is project within a Planned Development?       No       Yes

Planned Development District (if applicable): \_\_\_\_\_

Is project within an Overlay District: ?       No       Yes

Overlay District (if applicable): \_\_\_\_\_

### OFFICE USE ONLY

<div style="border: 2px solid blue; padding: 5px; text-align: center;"> <div style="font-size: 2em; font-weight: bold; letter-spacing: 5px; color: blue;">RECEIVED</div> <div style="font-size: 1.5em; font-weight: bold; color: red;">SEP 01 2015</div> <div style="font-size: 0.8em;">Town of Clayton Planning Department</div> </div>	Date Received: _____ Amount Paid: <u>\$500.00</u>	Permit Number: <u>15-50-01-SUP</u>
--	--	------------------------------------

**PROPERTY OWNER INFORMATION**

Name: MOORING CAPITAL FUND, LLC  
 Mailing Address: 8609 WESTWOOD CENTER DR STE 450 VIENNA VA  
 Phone Number: \_\_\_\_\_ Fax: 22182  
 Email Address: \_\_\_\_\_

**APPLICANT INFORMATION**

Applicant: NICKS FLIPPIN KIDS  
 Mailing Address: 101 BEST WOODS DR  
 Phone Number: 919-607-2618 - (NICK) Fax: \_\_\_\_\_  
 Contact Person: CHRIS OR NICK BRANCHEU - (JIM LEE 919-524-1019)  
 Email Address: NICK@NICKSFLIPPINKIDS.COM

**REQUIRED INFORMATION (to be submitted with the application)**

The following items must accompany a Conditional Use Permit (CUP) application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$400)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
3. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Adjacent property owners list (9 copies) <u>2 SETS</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
7. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
8. If applicant is concurrently applying for site plan approval, a copy of the proposed site plan.	<input type="checkbox"/>	<input type="checkbox"/>			
9. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements included in this packet</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
10. Set of stamped, addressed envelopes using the adjacent property owners list	May be provided at time of submittal OR no later than 25 days prior to the Town Council meeting.				
11. Neighborhood meeting summary form (9 copies) <i>Form is included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

Note: More information may be requested by the Planning Department depending on the project

**REQUIRED FINDINGS OF FACT**

Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

NICK'S IS A GYMNASTIC AND SPORT DANCING BUSINESS FOR CHILDREN AND TEENS. THE PARKING LOT AND INTERIOR STRUCTURE, LEND WELL FOR SAFETY. THE OUTSIDE AREA IS OPEN & WELL LIT FOR MAXIMUM OBSERVANCE OF CHILDREN. THE INTERIOR HAS HIGH CEILINGS TO PREVENT TRAMPOLINE INJURIES TO KIDS AND OPEN SPAN STRUCTURE REMOVES OBSTACLES THAT DON'T MOVE WHEN STRUCK BY A HIGH SPEED CHILD.

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

THERE ARE NO KNOWN CONFLICTS

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

THERE ARE NO KNOWN CONFLICTS WITH THE TOWN.

THERE IS NO RECOGNIZED REASON THE CHILDREN OR PARENTS WOULD DAMAGE NEIGHBORHOOD SAFETY OR PROPERTY VALUES.

- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

THERE ARE NO KNOWN CONFLICTS WITH TOWN ORDINANCES, PLANS OR POLICIES

**EXPLANATION OF PROJECT**

*Please provide detailed information concerning all requests. Attach additional sheets if necessary.*

THE NEW OCCUPANT WILL MAKE VERY FEW CHANGES TO THE INTERIOR EXCEPT REMOVAL OF DISPLAY WALLS AND SOME LIGHTS. OTHER THAN THE SIGN, THERE ARE NO PLANS TO MODIFY THE EXTERIOR.

**APPLICANT AFFIDAVIT**

*I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to approve the subject Special Use Permit. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.*

Jim Lee  
Print Name

  
Signature of Applicant

9-1-15  
Date

SEE ATTACHED DETAILED LIST

## ADJACENT PROPERTY OWNERS LIST

Project Name: NICK'S FLIPPING KIDS

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

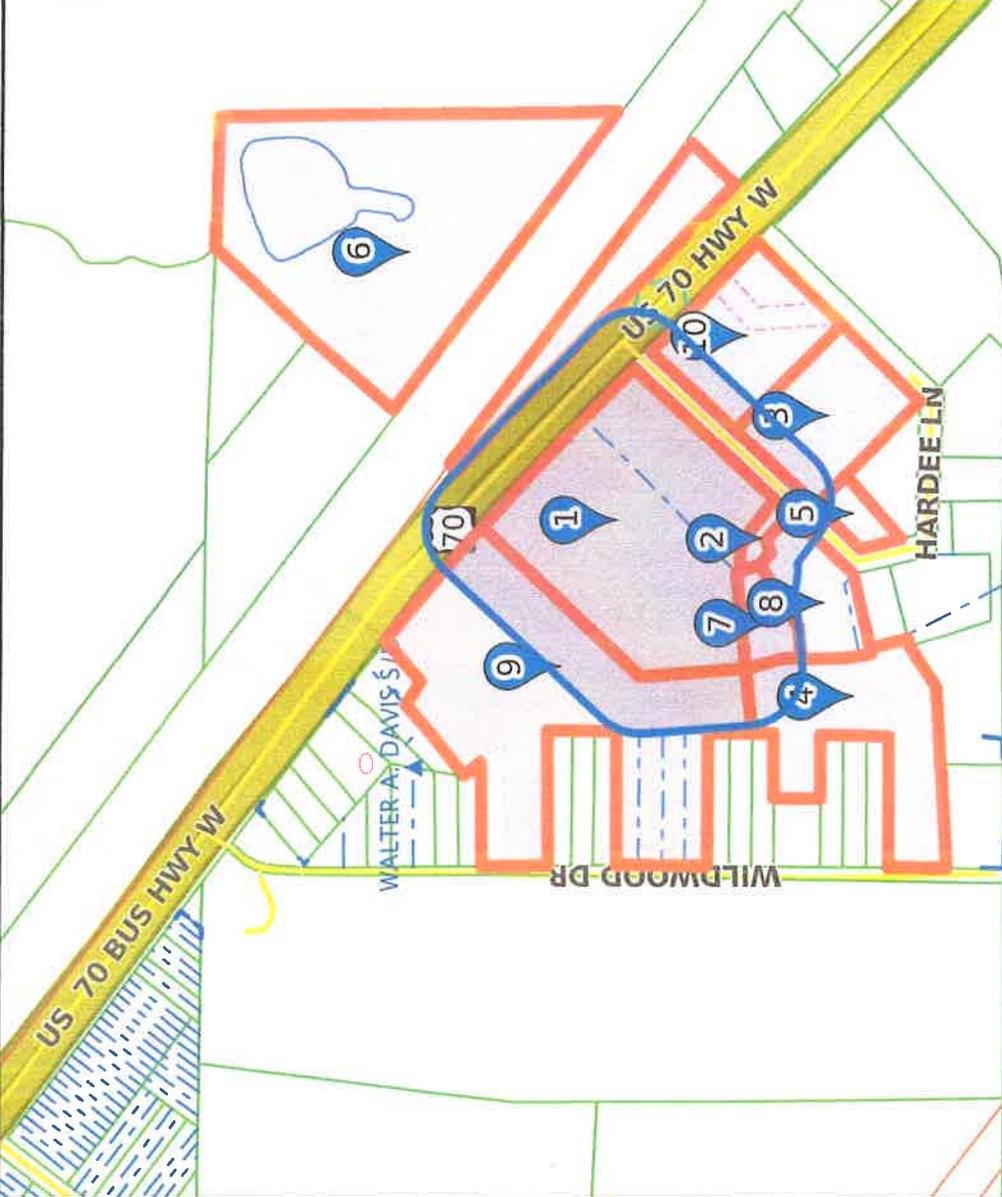
It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
1. 05104017	MODRING CAPITAL	
2. 05A01029M	HARDEE, B	
3. 05A01029K	HARDEE, B	
4. 05A01029E	HARDEE, B	
5. 05A01027	GUPTON	
6. 05A01029I	HARDEE, R+T	
7. 05A01029F	HARDEE & ODDO	
8. 05A01029A	HARDEE, A	
9. 05A01013	LITTLE CREEK VI	
10. 05A01029H	HARDEE, B+N	



\*\*\* DISCLAIMER \*\*\*

Johnston County assumes no legal responsibility for the information represented here.



**Result 1**

id: 05I04017  
 Tag: 05I04017  
 Tax Unique Id: 4229047  
 Owner Name 1: MOORING CAPITAL FUND LLC  
 Owner Name 2:  
 Mail Address 1: 8609 WESTWOOD CENTER DR  
 Mail Address 2: STE 450  
 Mail Address 3: VIENNA, VA 22182  
 Book: 04124  
 Page: 0490

**Result 2**

id: 05A01029M  
 Tag: 05A01029M  
 Tax Unique Id: 4258069  
 Owner Name 1: HARDEE, RANDALL  
 Owner Name 2: ODDO, PHILLIP  
 Mail Address 1: 2021 HARDEE LN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-9822  
 Book: 04518  
 Page: 0954

*BLUE LIMIT LINE IS 150 FEET TO ASSURE NO ERRORS OCCURRED USING 100 FEET*

Scale: 1:5874 - 1 in. = 489.52 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)





\*\*\* DISCLAIMER \*\*\*

Johnston County assumes no legal responsibility for the information represented here.

**Result 3**

**id:** 05A01029K  
**Tag:** 05A01029K  
**Tax Unique Id:** 4242225  
**Owner Name 1:** HARDEE, BOBBY HINTON  
**Owner Name 2:**  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 01307  
**Page:** 0563

**Result 4**

**id:** 05A01029E  
**Tag:** 05A01029E  
**Tax Unique Id:** 4223960  
**Owner Name 1:** HARDEE, BOBBY HINTON  
**Owner Name 2:**  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 01307  
**Page:** 0563

**Result 5**

**id:** 05A01027  
**Tag:** 05A01027  
**Tax Unique Id:** 4166743  
**Owner Name 1:** GUPTON, FRANCES BARNES  
**Owner Name 2:**  
**Mail Address 1:** 2011 HARDEE LANE  
**Mail Address 2:** P O BOX 445 27528  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Book:** 01193  
**Page:** 0454

**Result 6**

**id:** 05A01029I  
**Tag:** 05A01029I  
**Tax Unique Id:** 4232456  
**Owner Name 1:** HARDEE, RANDAL  
**Owner Name 2:** HARDEE, TERRY H  
**Mail Address 1:** PO BOS 634  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27528  
**Book:** 04362  
**Page:** 0970

**Result 7**

**id:** 05A01029F  
**Tag:** 05A01029F  
**Tax Unique Id:** 4258068  
**Owner Name 1:** HARDEE, RANDALL  
**Owner Name 2:** ODDO, PHILLIP  
**Mail Address 1:** 2021 HARDEE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 04518  
**Page:** 0954

**Result 8**

**id:** 05A01029A  
**Tag:** 05A01029A  
**Tax Unique Id:** 4166745  
**Owner Name 1:** HARDEE, ANN H  
**Owner Name 2:**  
**Mail Address 1:** 2000 HARDEE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Book:** 02745  
**Page:** 0609



**\*\*\* DISCLAIMER \*\*\***

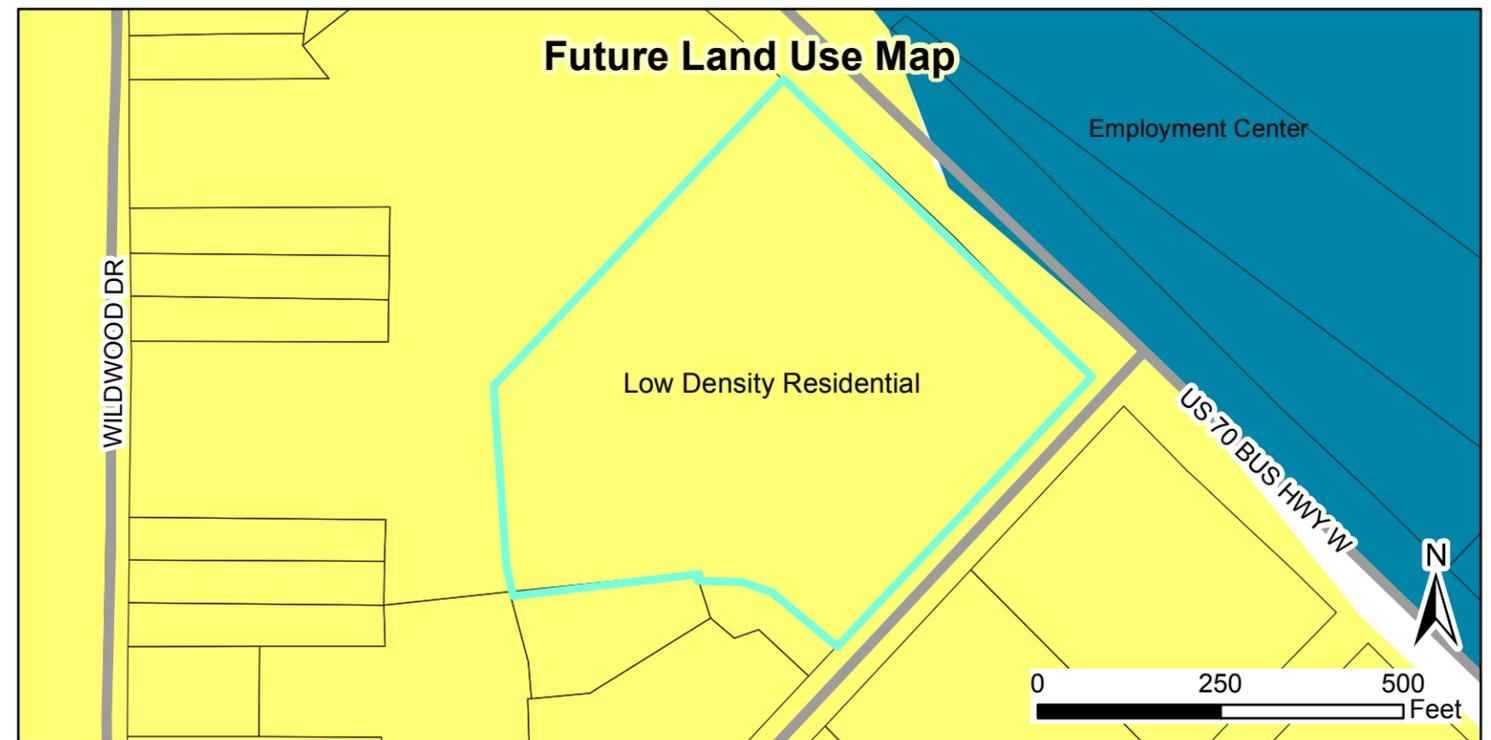
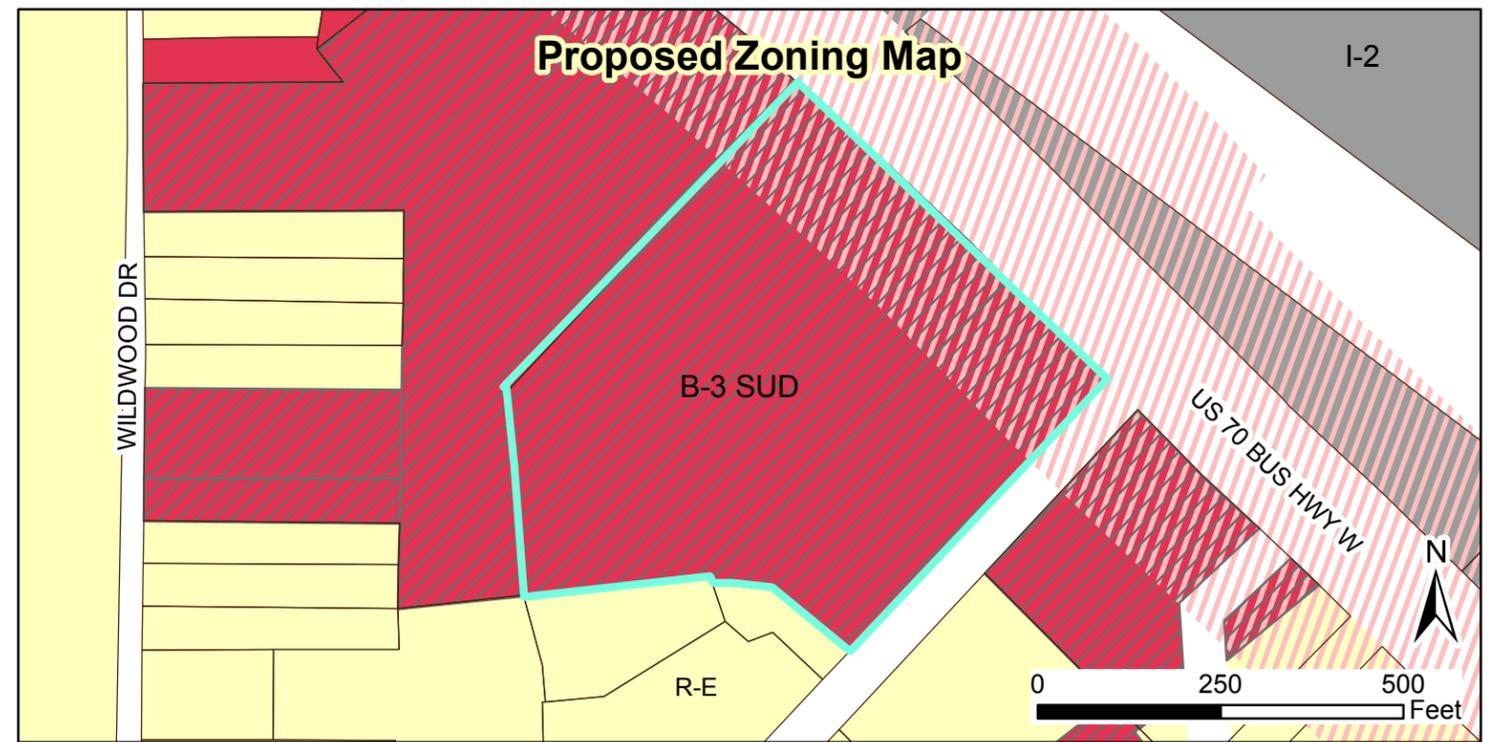
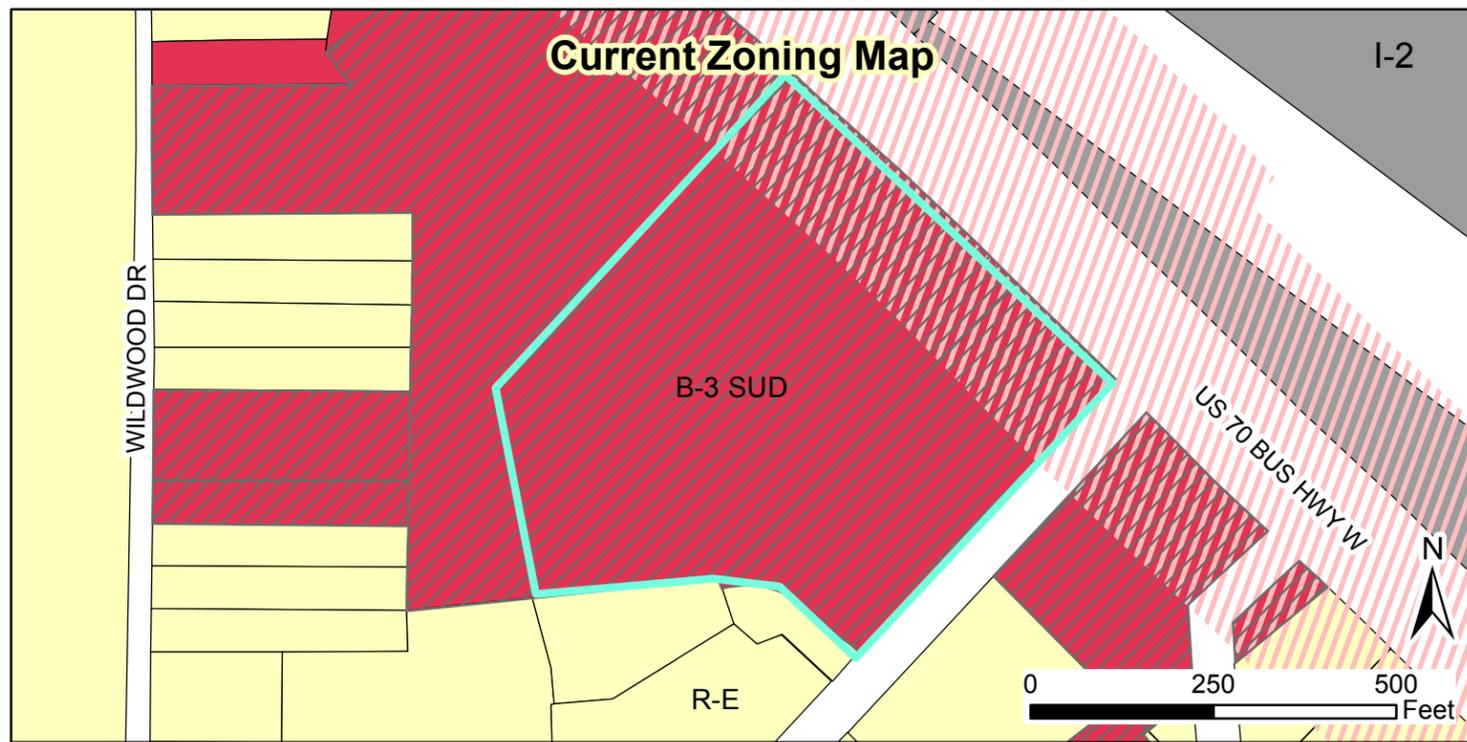
Johnston County assumes no legal responsibility for the information represented here.

**Result 9**

**id:** 05A01013  
**Tag:** 05A01013  
**Tax Unique Id:** 4218287  
**Owner Name 1:** LITTLE CREEK ELEVEN LLC  
**Owner Name 2:**  
**Mail Address 1:** 1255 CREEKSHIRE WAY  
**Mail Address 2:**  
**Mail Address 3:** WINSTON SALEM, NC  
27103-0000  
**Book:** 03986  
**Page:** 0356

**Result 10**

**id:** 05A01029H  
**Tag:** 05A01029H  
**Tax Unique Id:** 4242213  
**Owner Name 1:** HARDEE, BOBBY H  
**Owner Name 2:** HARDEE, NANCY O  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 02043  
**Page:** 0701



**15-50-01-SUP Nick's Flippin Kids**  
**Request: Special Use request to operate a gymnastics facility on the site**

Applicant: Nick's Flippin Kids  
 Property Owner: Mooring Capital Fund, LLC  
 Parcel ID Number: 166800-84-0769  
 Tag #: 05104017



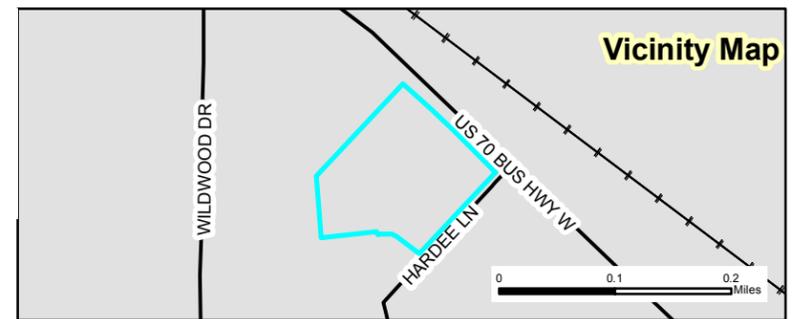
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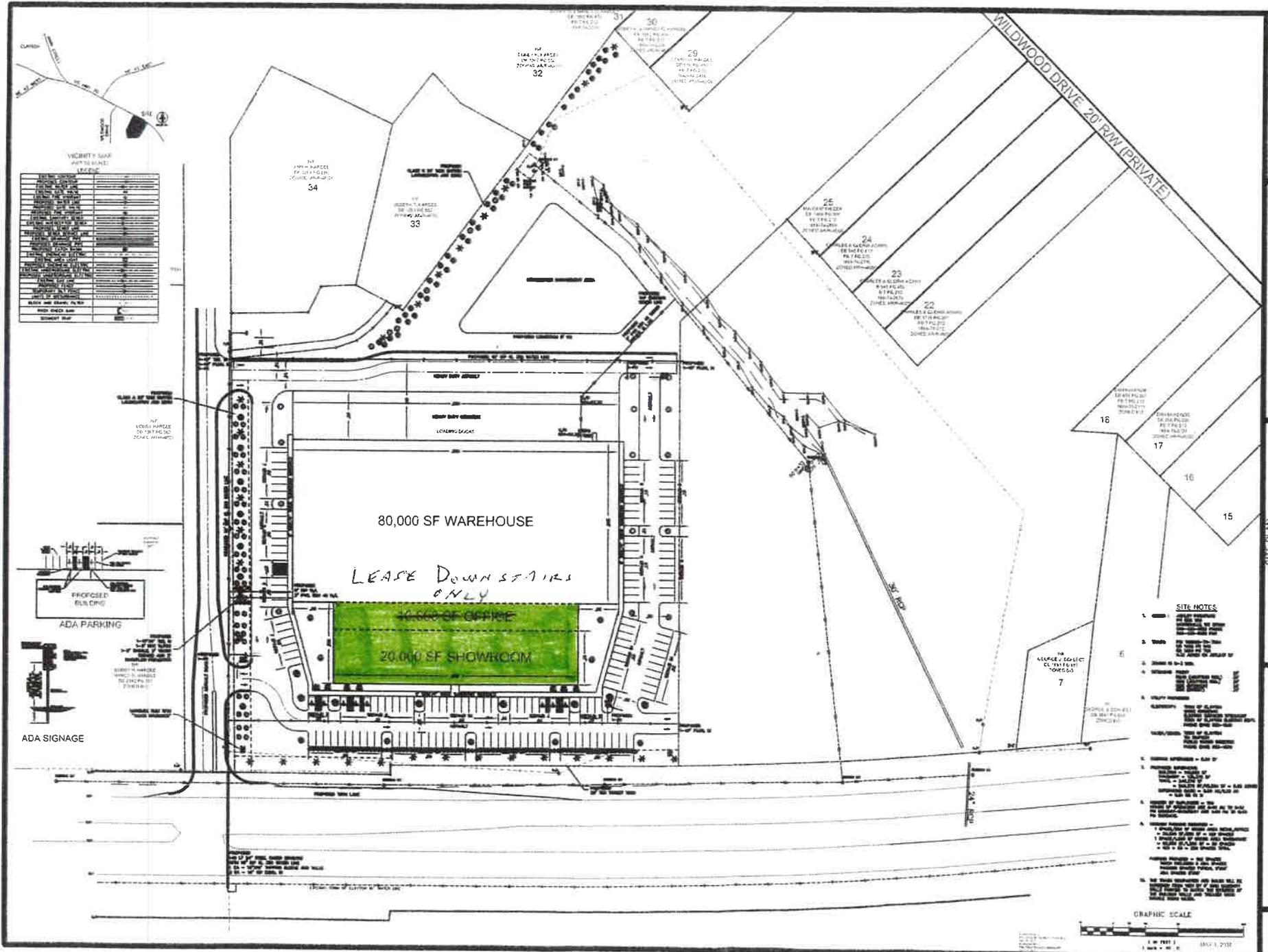


- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

10/15/2015

Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.





VICINITY MAP

LEGEND	DESCRIPTION
[Symbol]	EXISTING ROAD
[Symbol]	PROPOSED ROAD
[Symbol]	EXISTING LOT
[Symbol]	PROPOSED LOT
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING UTILITY
[Symbol]	PROPOSED UTILITY
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING TREES
[Symbol]	PROPOSED TREES
[Symbol]	EXISTING DRIVEWAY
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING LANDSCAPE
[Symbol]	PROPOSED LANDSCAPE
[Symbol]	EXISTING SIGNAGE
[Symbol]	PROPOSED SIGNAGE
[Symbol]	EXISTING ADA PARKING
[Symbol]	PROPOSED ADA PARKING
[Symbol]	EXISTING ADA SIGNAGE
[Symbol]	PROPOSED ADA SIGNAGE

- SITE NOTES**
1. ALL UTILITIES TO BE LOCATED AND DEPT. APPROVED PRIOR TO CONSTRUCTION.
  2. ALL EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO CONSTRUCTION.
  3. ALL EXISTING UTILITIES TO BE PROTECTED OR RELOCATED AS NECESSARY.
  4. ALL EXISTING TREES TO BE PRESERVED OR REPLACED AS NECESSARY.
  5. ALL EXISTING FENCES TO BE REMOVED OR RELOCATED AS NECESSARY.
  6. ALL EXISTING DRIVEWAYS TO BE RECONSTRUCTED AS NECESSARY.
  7. ALL EXISTING SIDEWALKS TO BE RECONSTRUCTED AS NECESSARY.
  8. ALL EXISTING CURBS TO BE RECONSTRUCTED AS NECESSARY.
  9. ALL EXISTING LANDSCAPE TO BE PRESERVED OR REPLACED AS NECESSARY.
  10. ALL EXISTING SIGNAGE TO BE REMOVED OR RELOCATED AS NECESSARY.
  11. ALL EXISTING ADA PARKING TO BE PRESERVED OR RELOCATED AS NECESSARY.
  12. ALL EXISTING ADA SIGNAGE TO BE PRESERVED OR RELOCATED AS NECESSARY.





Google earth

© 2015 Google

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE JURISDICTION OF THE TOWN OF CLAYTON, AND THAT I HEREBY ADOPT THIS SUBDIVISION PLAN WITH MY FREE CONSENT, ESTABLISH ALL MINIMUM SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I DEDICATE ALL ELECTRICAL SYSTEMS AND ALL SEWER AND WATER LINES TO THE TOWN OF CLAYTON.

GEORGIA  
FULTON COUNTY

Alex Williams, A NOTARY PUBLIC OF THIS COUNTY AND STATE AFORESAID, CERTIFY THAT W. D. Hodge IS THE OWNER OF SUBJECT MAPPED PROPERTY, PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT, WITNESS MY HAND AND OFFICIAL STAMP OR SEAL, THIS 16th DAY OF July, 2008.

NOTARY PUBLIC

MY COMMISSION EXPIRES 6-8-2010

Bobby H. Herndon  
DB 1883 PG 478  
PB 7 PG 213



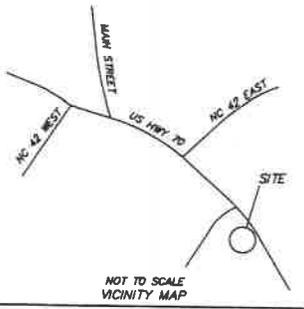
**LINE TABLE**

LINE	BEARING	DISTANCE
L-1	N80°17'25"W	38.81'
L-2	N10°08'44"W	35.22'
L-3	N87°11'38"W	34.84'

**DMD REFERENCES**  
Charles Adams and Wife  
DB 848 PG 408  
PB 7 PG 213  
Charles Adams and Wife  
DB 848 PG 408  
PB 7 PG 213  
Charles Adams  
DB 2880 PG 387  
PB 7 PG 213  
Charles Adams  
DB 1883 PG 478  
PB 7 PG 213  
Bobby H. Herndon  
DB 1883 PG 478  
PB 7 PG 213  
Bobby H. Herndon  
DB 1882 PG 474  
PB 7 PG 213

**Legend**  
EIP = Existing Iron Pipe  
EPIV = Existing Pin  
ERB = Existing Rebar  
RWM = Right-of-way Monument  
SRB = Set Rebar  
SMW = Set Masonry Wall

**SUBJECT PROPERTY REFERENCES**  
DB 3417 PG 230  
DB 2507 PG 424  
PB 62 PG 421  
DB 3417 PG 220  
DB 3417 PG 225  
PB 60 PG 153  
PB 62 PG 153



W. D. Hodge  
OWNER

I, John F. Downing, Professional Land Surveyor certify that this map is of another category such as the recombination of existing parcels, a court ordered survey or other exception to the definition of subdivision of subdivision.

John F. Downing  
John F. Downing PLS



**NORTH CAROLINA JOHNSTON COUNTY**  
I, John F. Downing, certify that this map was drawn under my supervision from an actual survey made under my supervision, deed description recorded in Book SEE, REFERENCES: that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE; that the ratio of precision as calculated is 1:15,000±; that this map was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 12th day of JUNE, A.D. 2008.

John F. Downing  
License No. L-4158



- Notes:**  
1. Combined Grid Factor = 0.9999842.  
2. Acreage computed by DMD method.  
3. All distances shown are horizontal ground unless otherwise noted.  
4. Property subject to any and all easements of record.

This plot represents a recombination of previously recorded parcels of land and does not constitute a subdivision as specified by the North Carolina General Statutes. Approval for recombination by the Town of Clayton is granted by certification below.

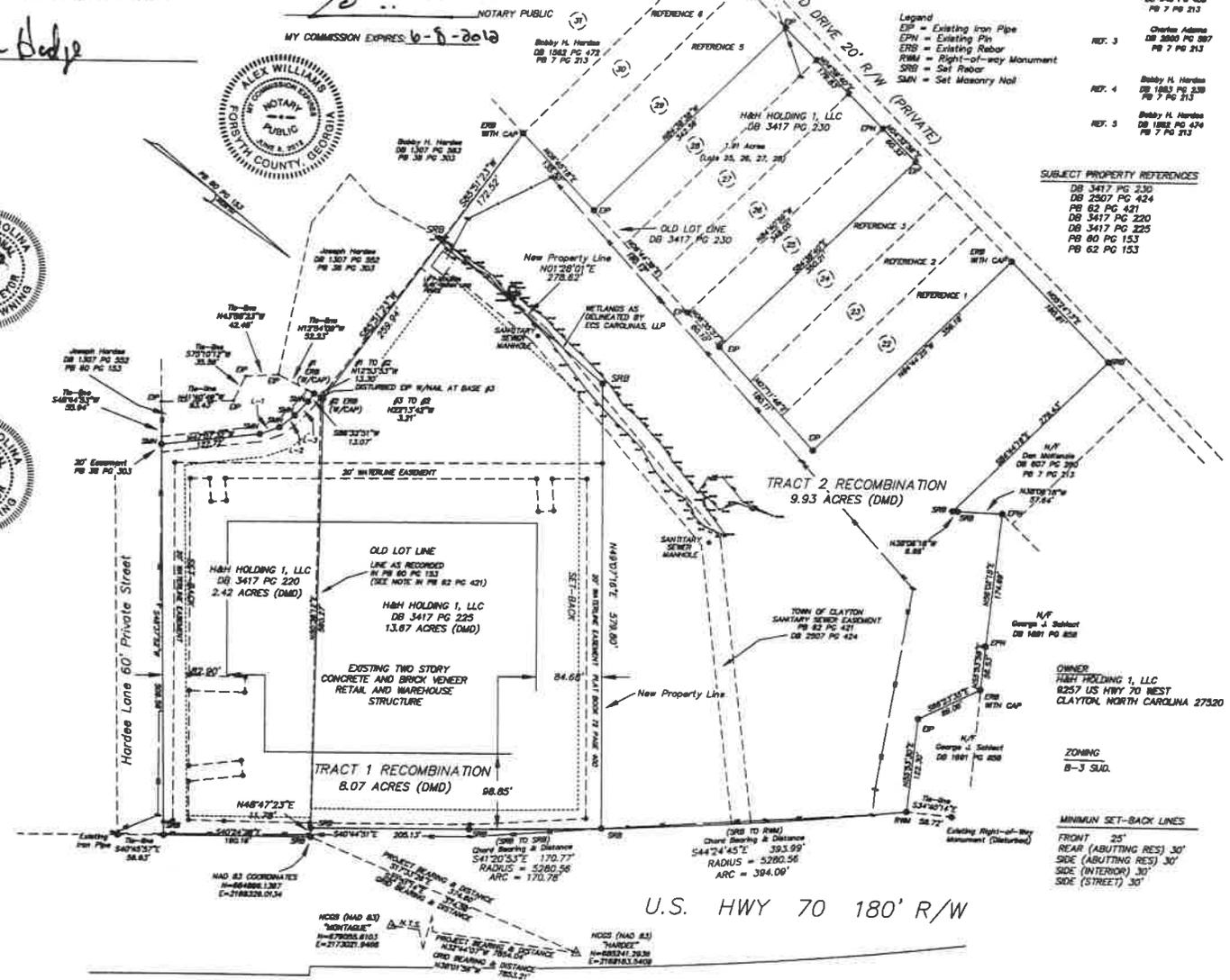
7/2/08  
DATE  
R. Blip Boardman AICP  
PLANNING DIRECTOR  
TOWN OF CLAYTON, N.C.

STATE OF NORTH CAROLINA  
COUNTY OF JOHNSTON

I, Kay B. Hatch, Review Officer of Johnston County certify that the map of plot to which this certification is affixed meets all statutory requirements for recording.

Kay B. Hatch  
Review Officer

Date July 22, 2008



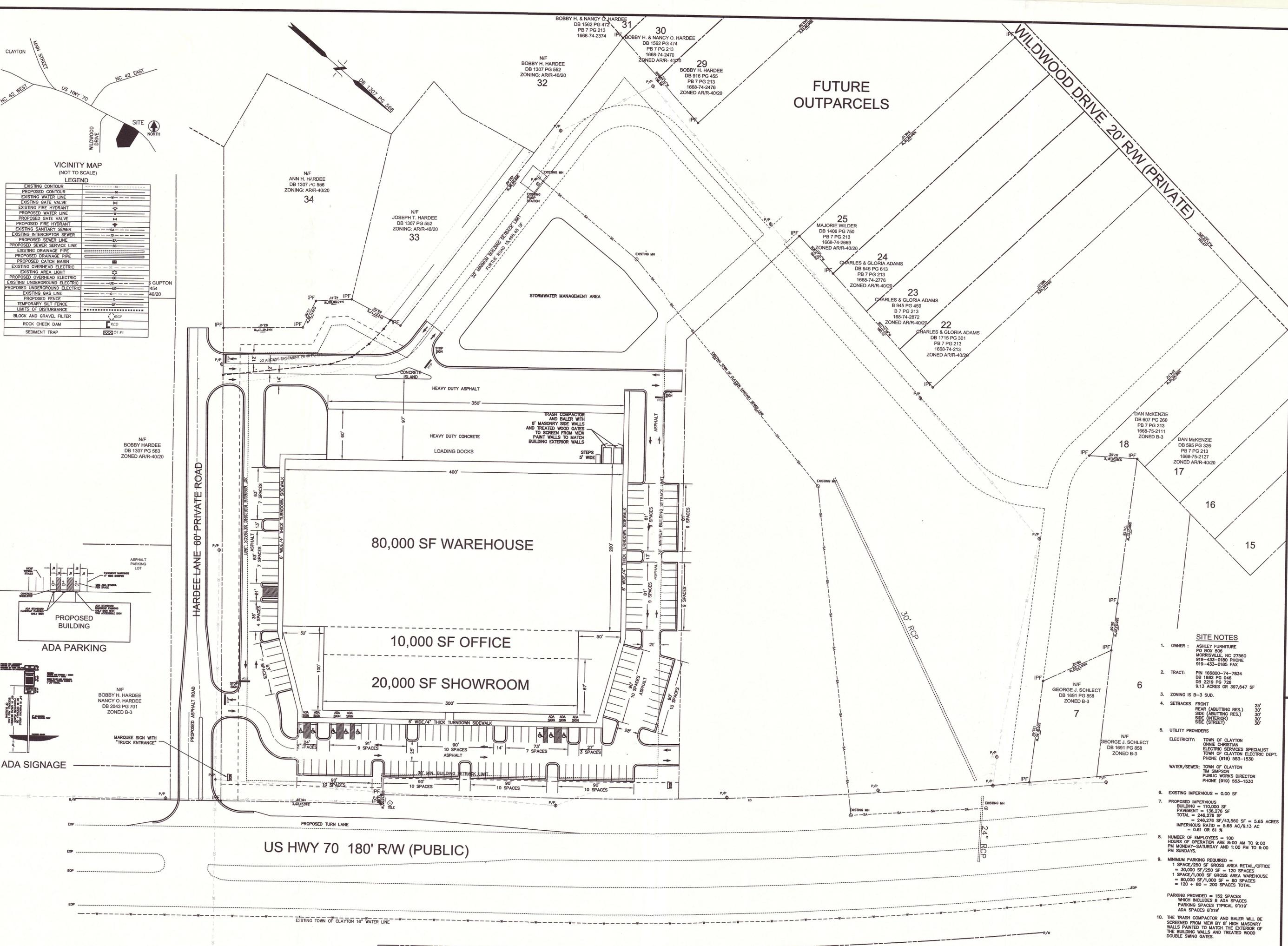
U.S. HWY 70 180' R/W

**RECOMBINATION SURVEY FOR H&H HOLDING 1, DEED BOOK 3417 PAGE 230, DEED BOOK 3417 PAGE 225, DEED BOOK 3417 PAGE 220**

STATE OF NORTH CAROLINA, JOHNSTON COUNTY  
THIS INSTRUMENT WAS PRESENTED FOR REGISTRATION AND RECORDING THIS 22 DAY OF July, 2008 AT 1:44:53 PM REGISTERED BY Christa Olive DEPUTY REG. OF DEEDS REGISTERED IN PB 72 PG 481

REVISIONS		PROPERTY OF		DOWNING & ASSOCIATES SURVEYING INC.	
		H & H HOLDING 1, LLC.		5451 FIVE BRIDGE ROAD CLINTON, NORTH CAROLINA 28328 910-564-2103	
		TOWNSHIP: CLAYTON	COUNTY: JOHNSTON	DATE: JUNE 12 '08	SURVEYED BY: JFD
		STATE: NORTH CAROLINA		SCALE: 1" = 100'	DRAWN BY: JFD
		ZONE:	TAX MAP:	PARCEL: 05101017	CHECKED & CLOSURE BY: JFD
					FIELD BOOK
					DRAWING NO.

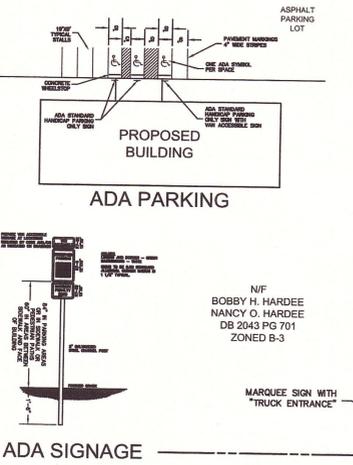




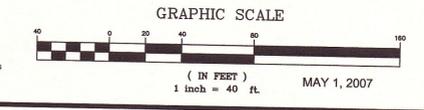
VICINITY MAP (NOT TO SCALE)

LEGEND

EXISTING CONTOUR	---
PROPOSED CONTOUR	- - - -
EXISTING WATER LINE	—W—
EXISTING GATE VALVE	GV
EXISTING FIRE HYDRANT	FH
PROPOSED WATER LINE	- - - - W - - - -
PROPOSED GATE VALVE	GV
PROPOSED FIRE HYDRANT	FH
EXISTING SANITARY SEWER	—SS—
EXISTING INTERCEPTOR SEWER	IS
PROPOSED SEWER LINE	- - - - S - - - -
PROPOSED SEWER SERVICE LINE	SS
EXISTING DRAINAGE PIPE	—DP—
PROPOSED DRAINAGE PIPE	- - - - DP - - - -
PROPOSED CATCH BASIN	CB
EXISTING OVERHEAD ELECTRIC	—OE—
EXISTING AREA LIGHT	AL
PROPOSED OVERHEAD ELECTRIC	- - - - OE - - - -
EXISTING UNDERGROUND ELECTRIC	—UE—
PROPOSED UNDERGROUND ELECTRIC	- - - - UE - - - -
EXISTING GAS LINE	—GL—
PROPOSED FENCE	—F—
TEMPORARY SILT FENCE	—TSF—
LIMITS OF DISTURBANCE	—LOD—
BLOCK AND GRAVEL FILTER	BGF
ROCK CHECK DAM	RCD
SEDIMENT TRAP	ST

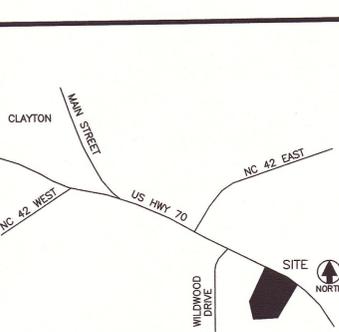


- SITE NOTES**
- OWNER : ASHLEY FURNITURE  
PO BOX 508  
MORRISVILLE, NC 27560  
919-433-0180 PHONE  
919-433-0185 FAX
  - TRACT: PIN 166800-74-7834  
DB 1682 PG 046  
DB 2218 PG 726  
9.13 ACRES OR 397,847 SF
  - ZONING IS B-3 SUD.
  - SETBACKS FRONT 25'  
REAR (ABUTTING RES.) 30'  
SIDE (ABUTTING RES.) 30'  
SIDE (INTERIOR) 30'  
SIDE (STREET) 30'
  - UTILITY PROVIDERS  
ELECTRICITY: TOWN OF CLAYTON  
ONNIE CHRISTIAN  
ELECTRIC SERVICES SPECIALIST  
TOWN OF CLAYTON ELECTRIC DEPT.  
PHONE (919) 553-1530  
WATER/SEWER: TOWN OF CLAYTON  
TIM SIMPSON  
PUBLIC WORKS DIRECTOR  
PHONE (919) 553-1530
  - EXISTING IMPERVIOUS = 0.00 SF
  - PROPOSED IMPERVIOUS BUILDING = 110,000 SF  
PAVEMENT = 136,276 SF  
TOTAL = 246,276 SF  
= 246,276 SF / 43,560 SF = 5.65 ACRES  
IMPERVIOUS RATIO = 5.65 AC / 9.13 AC  
= 0.61 OR 61 %
  - NUMBER OF EMPLOYEES = 100  
HOURS OF OPERATION ARE 8:00 AM TO 8:00 PM MONDAY-SATURDAY AND 1:00 PM TO 8:00 PM SUNDAYS.
  - MINIMUM PARKING REQUIRED =  
1 SPACE/250 SF GROSS AREA RETAIL/OFFICE  
= 30,000 SF / 250 SF = 120 SPACES  
1 SPACE/1,000 SF GROSS AREA WAREHOUSE  
= 80,000 SF / 1,000 SF = 80 SPACES  
= 120 + 80 = 200 SPACES TOTAL  
PARKING PROVIDED = 152 SPACES  
WHICH INCLUDES 8 ADA SPACES  
PARKING SPACES TYPICAL 9'X19'  
ADA SPACES 8'X19'
  - THE TRASH COMPACTOR AND BALER WILL BE SCREENED FROM VIEW BY 8' HIGH MASONRY WALLS PAINTED TO MATCH THE EXTERIOR OF THE BUILDING WALLS AND TREATED WOOD DOUBLE SWING GATES.



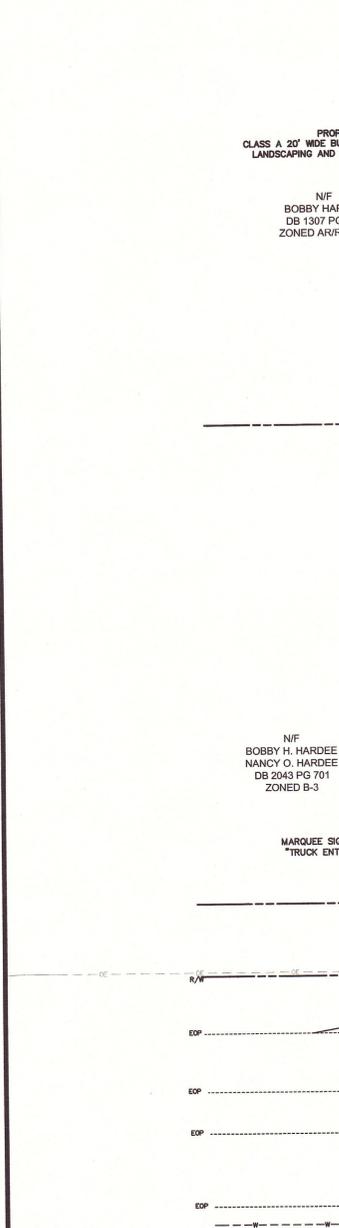
SUP 07-03

REVISION NO. 2  
TRC SECOND REVIEW COMMENTS  
MAY 16, 2007  
REVISION NO. 1  
TRC FIRST REVIEW COMMENTS  
MAY 11, 2007



VICINITY MAP (NOT TO SCALE)  
LEGEND

EXISTING CONTOUR	---
PROPOSED CONTOUR	- - - -
EXISTING WATER LINE	—W—
EXISTING GATE VALVE	—GV—
EXISTING FIRE HYDRANT	—FH—
PROPOSED WATER LINE	- - - -
PROPOSED GATE VALVE	—GV—
PROPOSED FIRE HYDRANT	—FH—
EXISTING SANITARY SEWER	—SS—
EXISTING INTERCEPTOR SEWER	—IS—
PROPOSED SEWER LINE	- - - -
PROPOSED SEWER SERVICE LINE	- - - -
EXISTING DRAINAGE PIPE	—DP—
PROPOSED DRAINAGE PIPE	- - - -
PROPOSED CATCH BASIN	—CB—
EXISTING OVERHEAD ELECTRIC	—OE—
EXISTING AREA LIGHT	—AL—
PROPOSED OVERHEAD ELECTRIC	- - - -
EXISTING UNDERGROUND ELECTRIC	—UE—
PROPOSED UNDERGROUND ELECTRIC	- - - -
EXISTING GAS LINE	—GL—
PROPOSED FENCE	—F—
TEMPORARY SILT FENCE	—SF—
LIMITS OF DISTURBANCE	—LOD—
BLOCK AND GRAVEL FILTER	—BGF—
ROCK CHECK DAM	—RCD—
SEDIMENT TRAP	—ST—



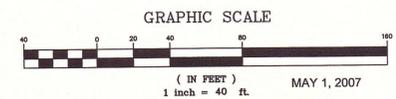
LANDSCAPING REQUIREMENTS

AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FOOTAGE/ LINEAL FEET OF PROPERTY LINE	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	COMMENTS
TOD STREET YARD	TREES = 1 PER 1,000 SF SHRUBS = 9 PER 1,000 SF	11,110 SF / 1,000 SF = 11	11 * 1 = 11 TREES 11 * 9 = 99 SHRUBS	11 * 1 = 11 TREES 11 * 9 = 99 SHRUBS	
STREET YARD	CANOPY TREES = 1 PER 100' OF DRIVE SMALL TREES = 2 PER 100' OF DRIVE SHRUBS = 8 PER 100'	548 LF - 27 LF DRIVE - 27 LF DRIVE = 481 BUFFER	481 / 100 = 4.81 4.81 * 1 = 5 LARGE TREES 4.81 * 2 = 10 SMALL TREES 4.81 * 8 = 40 SHRUBS	7 LARGE TREES 10 SMALL TREES 40 SMALL SHRUBS	
SOUTHERN PROPERTY LINE CLASS C-2 BUFFER YARD	LARGE TREES = 2 PER 100' OF DRIVE SMALL TREES = 1 PER 100' OF DRIVE SHRUBS = 12 PER 100'	873 LF PROPERTY LINE - 40 LF - 20 LF = 813 LF	813 / 100 = 8.13 8.13 * 2 = 16 LARGE TREES 8.13 * 1 = 8 SMALL TREES 8.13 * 12 = 98 SHRUBS	4 SMALL TREES 7 LARGE SHRUBS 3 SMALL SHRUBS	

LANDSCAPING PLANT LIST

COMMON NAME	BOTANICAL NAME	HT	TR	FR	FR
FR	RIVER BIRCH	BETULA NIGRA	2'	2'	8'
OP	WILLOW OAK	QUERCUS PHELLEUS	12'	2'	8'
LA	WAX LEAF LIGUSTRUM	LIGUSTRUM APOCYNUM	47'	3'	0'
CD	DEODAR CEDAR	CEDRUS DEODARA	7'	2'	10'
MC	WAX MYRTLE	MIRICA CERIFERA	15'	2'	10'
LM	LIMBUSH	LINDSEY MYRSINE	18'	1'	0'
IL	GAMBIA HOLLY	ILEX CORNUTA CARIBAEA	48'	2'	0'
CC	FOREST PANSY REBORN	CERCIS CANADENSIS	8'	2'	8'
RI	INDIA HATHORNE	RAPHANOPHYS INDICA	18'	1'	0'

- LANDSCAPING NOTES
- GENERAL PLANT QUALITY SHALL BE AS SPECIFIED IN THE "USA STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE NURSERY GROWN AND HAVE A FULL HABIT OF GROWTH AS IS CHARACTERISTIC OF THAT SPECIES AND SHALL BE FREE OF DISEASE OR INSECTS.
  - THE TOPSOIL USED IN AREAS TO RECEIVE LANDSCAPING SHALL BE TESTED TO DETERMINE THE NECESSARY LIME/FERTILIZER. FERTILIZER AND LIME USED SHALL COMPLY WITH THE RULES OF THE NC DEPARTMENT OF AGRICULTURE.
  - THE ROOT BALL OF CONTAINER GROWN PLANTS IS TO BE SCRAPPED IN THE SEVERAL PLACES PRIOR TO PLANTING. TREES AND SHRUBS ARE TO BE PLANTED SO THAT AFTER SETTLEMENT THE TOP OF ROOT BALLS WILL BE EVEN OR JUST ABOVE THE SURROUNDING SOIL.
  - TREES SHALL BE STAKED AS NEEDED. A 5 FT DIAMETER MULCH CIRCLE SHALL BE PROVIDED AROUND ALL TREES IN LAWN AREAS.
  - SEED BEDS SHALL BE PROPERLY PREPARED WITH LIME AND FERTILIZER WORKED INTO THE SOIL 4 TO 6 INCHES DEEP. SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE PREPARED SEED BED AT THE SPECIFIED RATE AND IMMEDIATELY DRAGGED OR RAKED OR OTHERWISE WORKED SO AS TO COVER THE SEED WITH A LAYER OF SOIL. WITHIN 24 HOURS AFTER SEEDING ALL AREAS SHALL BE MULCHED WITH MULCH HELD IN PLACE BY APPROVED BINDING MATERIAL.
  - A MINIMUM OF 2 INCHES OF COMPOSTED PINE BARK SHALL BE ADDED TO ALL BED AREAS. ADD 1 INCH OF COMPOSTED MANURE TO ALL SEASONAL COLOR BEDS AND MULCH WITH GROUND PINE BARK.
  - A MINIMUM OF 3 INCHES CLEAN PINE STRAW MULCH SHALL BE PLACED ON ALL PLANTINGS.
  - TREES NOTED SHALL BE PRESERVED IN ACCORDANCE TO THE TOWN OF CLAYTON'S LANDSCAPE AND TREE PRESERVATION ORDINANCE AND DESIGN GUIDELINES.

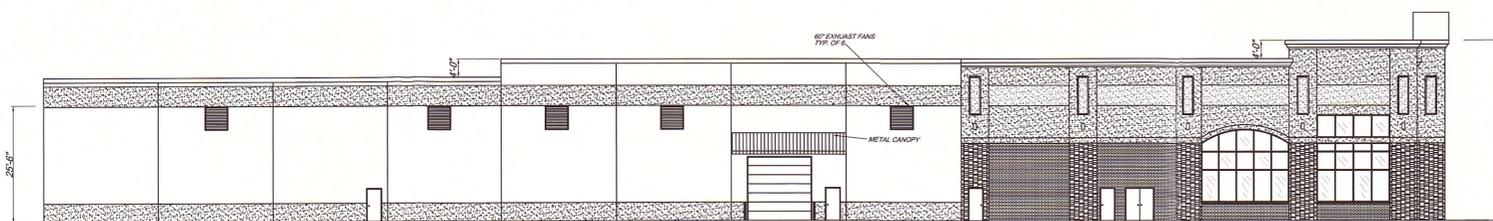


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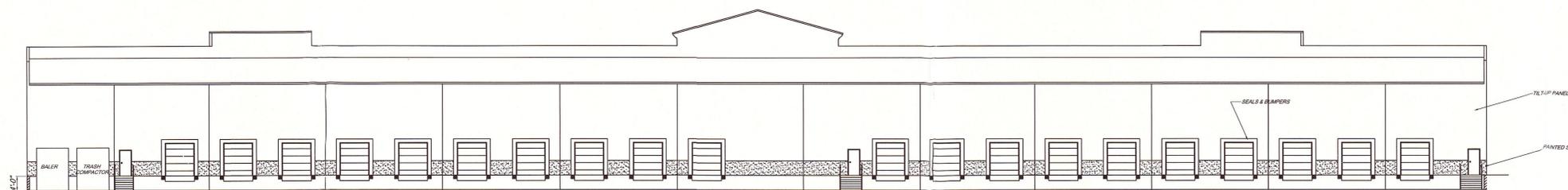
REV.	DATE	DESCRIPTION	BY



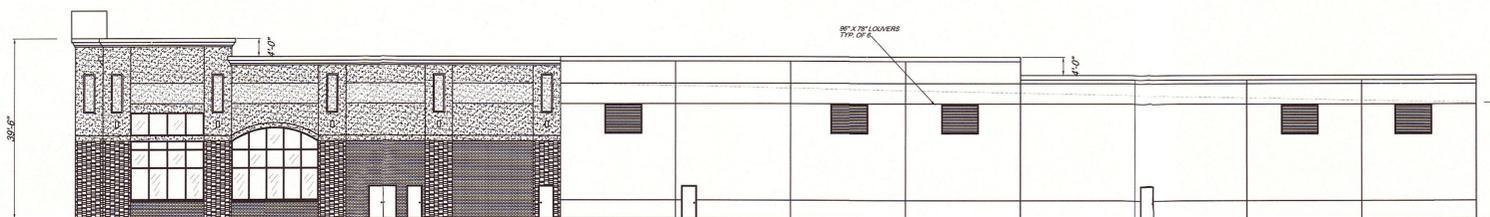
1 FRONT ELEVATION  
A3 SCALE: 1/16"=1'-0"



2 LEFT ELEVATION  
A3 SCALE: 1/16"=1'-0"



3 REAR ELEVATION  
A3 SCALE: 1/16"=1'-0"



4 RIGHT ELEVATION  
A3 SCALE: 1/16"=1'-0"

PRELIM. DRW.'S

SUP 07-03

**Nick's Flippin Kids  
101 Bestwoods Dr.  
Clayton, NC 27520**

October 1, 2015

Dear Clayton Area Property Owner,

This letter is to notify you of an application filed with the Town of Clayton for a development proposal involving property adjacent to you according to Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting regarding this project will be held to provide information to area residents about the proposal. A representative of the applicant will be present to explain the application, answer questions, and obtain comments.

The meeting will be held Thursday, October 15, 2015, at the office of Jim Lee in downtown Clayton at 442½ E. Main St. which is directly behind First Federal Bank. It will begin at 6PM in offices downstairs and conclude at 7PM unless needed to proceed longer.

The proposal is for a Conditional Use Permit at 9257 US 70 Business West to consider the showroom area of the Chloe Furniture building for use as a gymnasium for children and young children. There are no planned changes for the exterior and minimal demolition to the showroom area.

At the Neighborhood Meeting, there will be a copy of the application, scale drawings or photos that show your relationship, and a representative of the applicant, Nick's Flippin Kids, will be available to answer questions. Nick and Chris Brancheau have been in business nearby on Powhattan Road for over six years.

A map is attached that shows the property location that is under consideration.

If you have questions prior to or after this meeting, you may contact Jim Lee at 919-524-1019 or contact the Planning Department at 919-553-5002.

Sincerely,

Jim Lee

SEE ATTACHED DETAILED LIST

## ADJACENT PROPERTY OWNERS LIST

Project Name: NICK'S FLIPPIN KIDS

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

	PARCEL NUMBER	NAME	ADDRESS
1.	05104017	MOORING CAPITAL	
2.	05A01029M	HARDEE, R	
3.	05A01029K	HARDEE, B	
4.	05A01029E	HARDEE, B	
5.	05A01027	GUPTON	
6.	05A01029I	HARDEE, R+T	
7.	05A01029F	HARDEE & ODDO	
8.	05A01029A	HARDEE, A	
9.	05A01013	LITTLE CREEK VI	
10.	05A01029H	HARDEE, B+N	



**\*\*\* DISCLAIMER \*\*\***

Johnston County assumes no legal responsibility for the information represented here.

**Result 9**

**id:** 05A01013  
**Tag:** 05A01013  
**Tax Unique Id:** 4218287  
**Owner Name 1:** LITTLE CREEK ELEVEN LLC  
**Owner Name 2:**  
**Mail Address 1:** 1255 CREEKSHIRE WAY  
**Mail Address 2:**  
**Mail Address 3:** WINSTON SALEM, NC  
27103-0000  
**Book:** 03986  
**Page:** 0356

**Result 10**

**id:** 05A01029H  
**Tag:** 05A01029H  
**Tax Unique Id:** 4242213  
**Owner Name 1:** HARDEE, BOBBY H  
**Owner Name 2:** HARDEE, NANCY O  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 02043  
**Page:** 0701



**\*\*\* DISCLAIMER \*\*\***

Johnston County assumes no legal responsibility for the information represented here.

**Result 3**

**id:** 05A01029K  
**Tag:** 05A01029K  
**Tax Unique Id:** 4242225  
**Owner Name 1:** HARDEE, BOBBY HINTON  
**Owner Name 2:**  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 01307  
**Page:** 0563

**Result 4**

**id:** 05A01029E  
**Tag:** 05A01029E  
**Tax Unique Id:** 4223960  
**Owner Name 1:** HARDEE, BOBBY HINTON  
**Owner Name 2:**  
**Mail Address 1:** 2019 HARDEE LANE  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 01307  
**Page:** 0563

**Result 5**

**id:** 05A01027  
**Tag:** 05A01027  
**Tax Unique Id:** 4166743  
**Owner Name 1:** GUPTON, FRANCES BARNES  
**Owner Name 2:**  
**Mail Address 1:** 2011 HARDEE LANE  
**Mail Address 2:** P O BOX 445 27528  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Book:** 01193  
**Page:** 0454

**Result 6**

**id:** 05A01029I  
**Tag:** 05A01029I  
**Tax Unique Id:** 4232456  
**Owner Name 1:** HARDEE, RANDAL  
**Owner Name 2:** HARDEE, TERRY H  
**Mail Address 1:** PO BOS 634  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27528  
**Book:** 04362  
**Page:** 0970

**Result 7**

**id:** 05A01029F  
**Tag:** 05A01029F  
**Tax Unique Id:** 4258068  
**Owner Name 1:** HARDEE, RANDALL  
**Owner Name 2:** ODDO, PHILLIP  
**Mail Address 1:** 2021 HARDEE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-9822  
**Book:** 04518  
**Page:** 0954

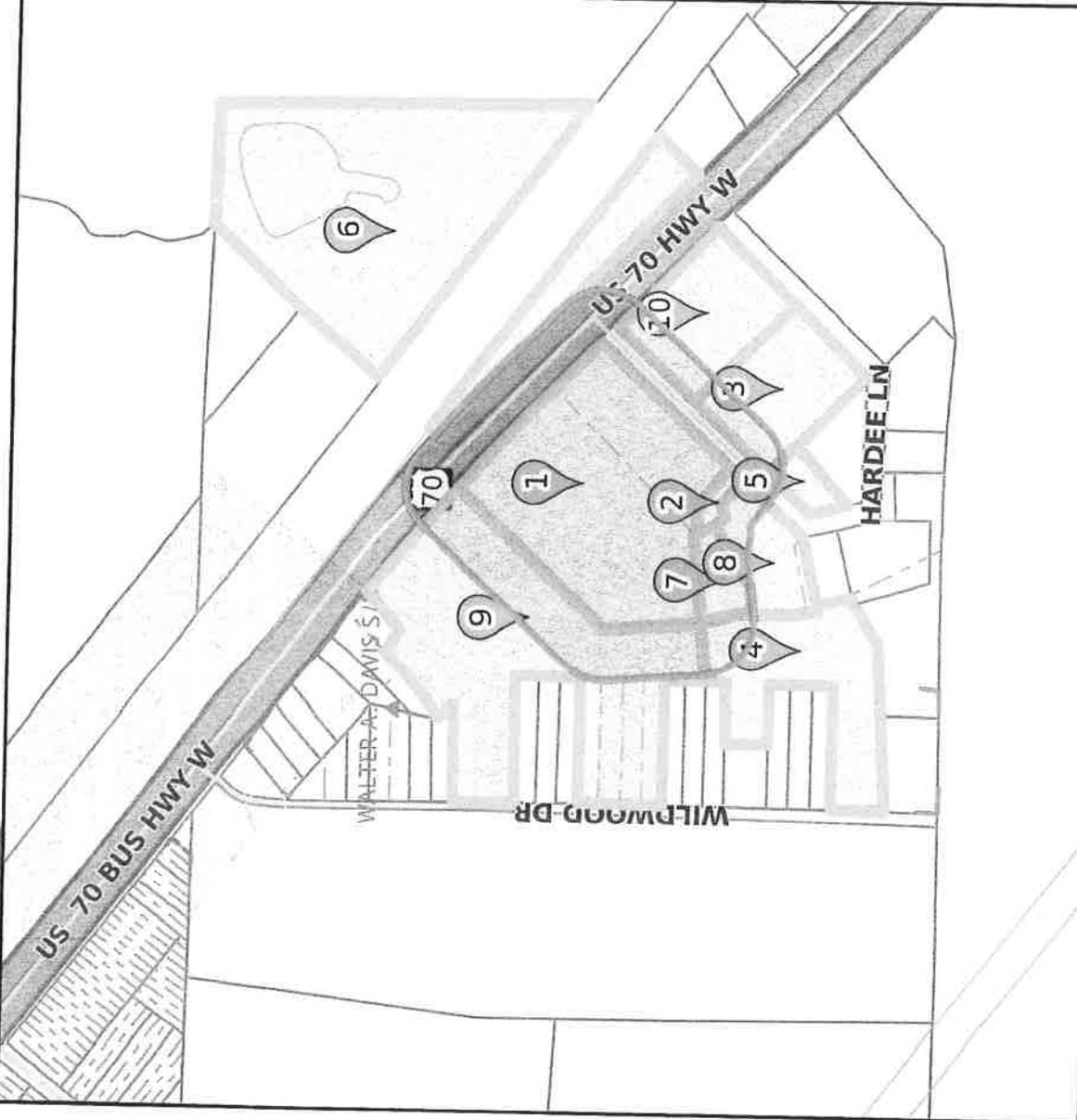
**Result 8**

**id:** 05A01029A  
**Tag:** 05A01029A  
**Tax Unique Id:** 4166745  
**Owner Name 1:** HARDEE, ANN H  
**Owner Name 2:**  
**Mail Address 1:** 2000 HARDEE LN  
**Mail Address 2:**  
**Mail Address 3:** CLAYTON, NC 27520-0000  
**Book:** 02745  
**Page:** 0609



\*\*\* DISCLAIMER \*\*\*

Johnston County assumes no legal responsibility for the information represented here.



**Result 1**

id: 05I04017  
 Tag: 05I04017  
 Tax Unique Id: 4229047  
 Owner Name 1: MOORING CAPITAL FUND LLC  
 Owner Name 2:  
 Mail Address 1: 8609 WESTWOOD CENTER DR  
 Mail Address 2: STE 450  
 Mail Address 3: VIENNA, VA 22182  
 Book: 04124  
 Page: 0490

**Result 2**

id: 05A01029M  
 Tag: 05A01029M  
 Tax Unique Id: 4258069  
 Owner Name 1: HARDEE, RANDALL  
 Owner Name 2: ODDO, PHILLIP  
 Mail Address 1: 2021 HARDEE LN  
 Mail Address 2:  
 Mail Address 3: CLAYTON, NC 27520-9822  
 Book: 04518  
 Page: 0954



Scale: 1:5874 - 1 in. = 489.52 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: NICK'S FLIPPIN' KIDS

Application: \_\_\_\_\_

Location/Date: 442 1/2 E. MAIN ST, CLAYTON 10-15-15

	NAME	ADDRESS
1	NO VISITORS	
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

# NEIGHBORHOOD MEETING SUMMARY FORM

## FILL OUT THE FOLLOWING:

Application: \_\_\_\_\_

Date of Mailing: 10-3-15

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: JIM LEE

Signature: 

Date of Meeting: 10-15-15

Time of Meeting: 6:00 PM

Location of Meeting: 442 1/2 E. MAIN ST. CLAYTON

**Meeting Summary/Minutes:** provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.

there have been no phone call and there were no visitors to the meeting

*Please write clearly (or submit a typed summary). Use additional sheets if necessary.*



Town of Clayton  
Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

Planning Board  
October 26, 2015

## STAFF REPORT

### Application Number: 15-48-01-PDD Project Name: NC 42 East Mixed Use Rezoning/Master Plan

**NC PIN / Tag #:** 167800-29-8988 / 05104003  
**Town Limits/ETJ:** ETJ  
**Overlay:** Thorough Fare Overlay  
**Applicant:** Brantley Tillman, Commercial Properties Inc.  
**Owner:** James B. Hunt Jr.  
**Location:** 1430 NC Hwy 42, located at the Southeast corner of NC 42 and Glen Laurel Road

#### Public Noticing:

- Neighborhood meeting October 12, 2015
- Sign posted October 8, 2015
- Adjacent Property Letters mailed, prior to November 25, 2015
- Newspaper Ad published, prior to November 25, 2015

**REQUEST:** Rezoning 45.75 acres from Industrial-Heavy (I-2) and Residential-Estate (R-E) to Planned Development Mixed Use (PD-MU).

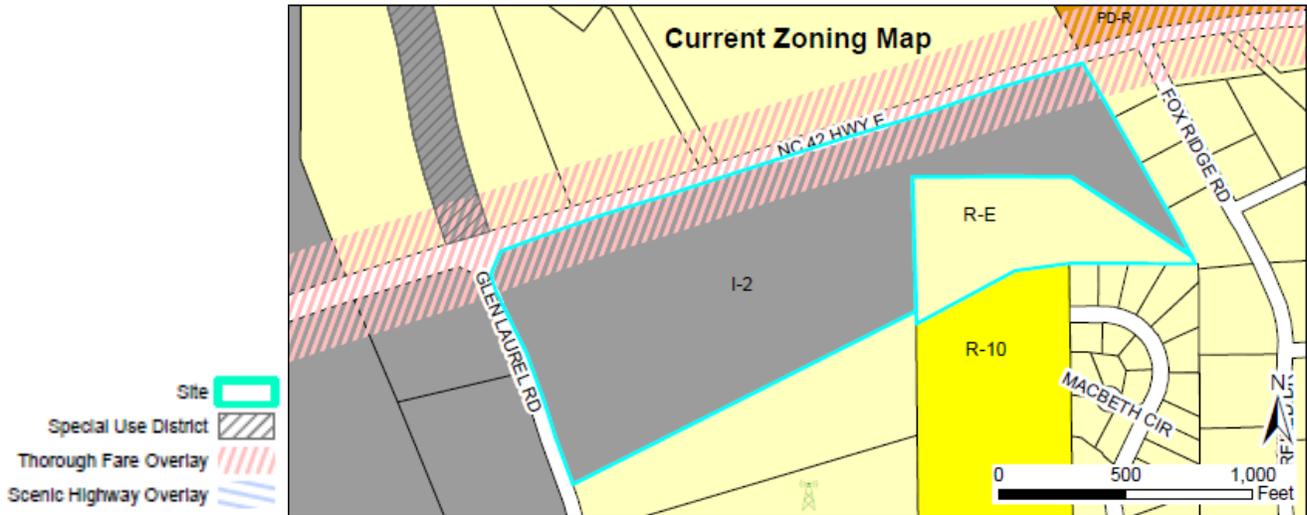
#### SITE DATA:

**Acreage:** 45.75 acres  
**Existing Use:** Vacant



**ADJACENT ZONING AND LAND USES:**

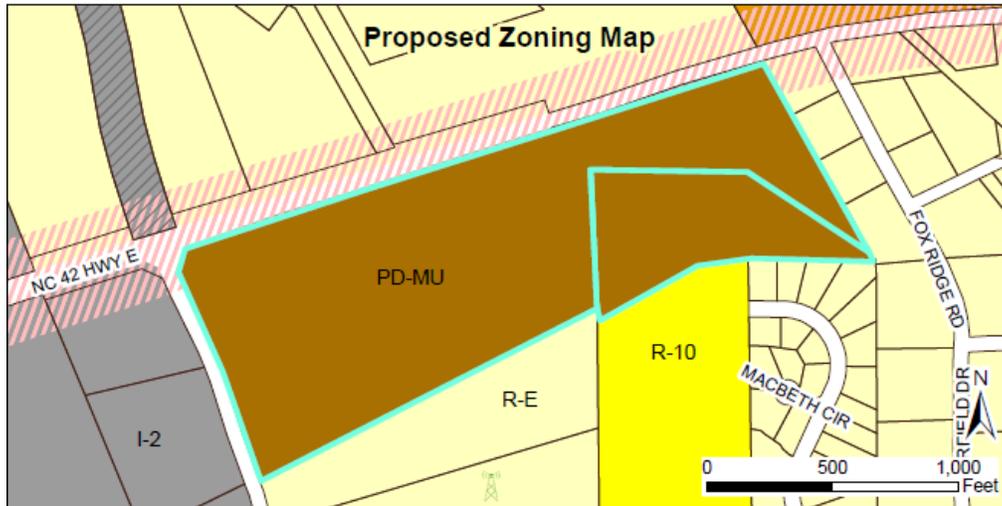
Direction	Zoning	Existing Use
North	Residential Estate (R-E)	Vacant
South	Residential Estate (R-E)	Vacant and Single-Family Residential
East	Residential Estate (R-E)	Single-Family Residential
West	Industrial-Heavy (I-2)	Industrial



**STAFF ANALYSIS AND COMMENTARY:**

**Overview**

The applicant is requesting to rezone 45.75 acres of land from Industrial-Heavy (I-2) and Residential-Estate (R-E) to Planned Development Mixed Use (PD-MU). The parcel is currently vacant and is located at the corner of NC 42 East and Glen Laurel Road. In addition to this request, the applicant has also submitted a Master Plan for the site. Per UDC requirements, applicants shall submit a master plan concurrent with a request for planned development rezoning to govern the development and maintenance of the land within the planned development. The plan proposes a 240 unit apartment site on the eastern portion of the parcel, with a commercial/retail site on the western portion of the parcel, and a self-storage site located at the southwest corner of the parcel. The site will have three access points off of NC Hwy 42 East. Two of these will be right-in/right-out only, and the third will be a signaled full access. Additionally, there will be two access points off of Glen Laurel Road. The one closest to the intersection of NC Hwy 42 East and Glen Laurel Road will be a right-in/right-out only, and the second access will be a full access. Individual site plans will come in for each development that will be located on this site.



### Development Summary

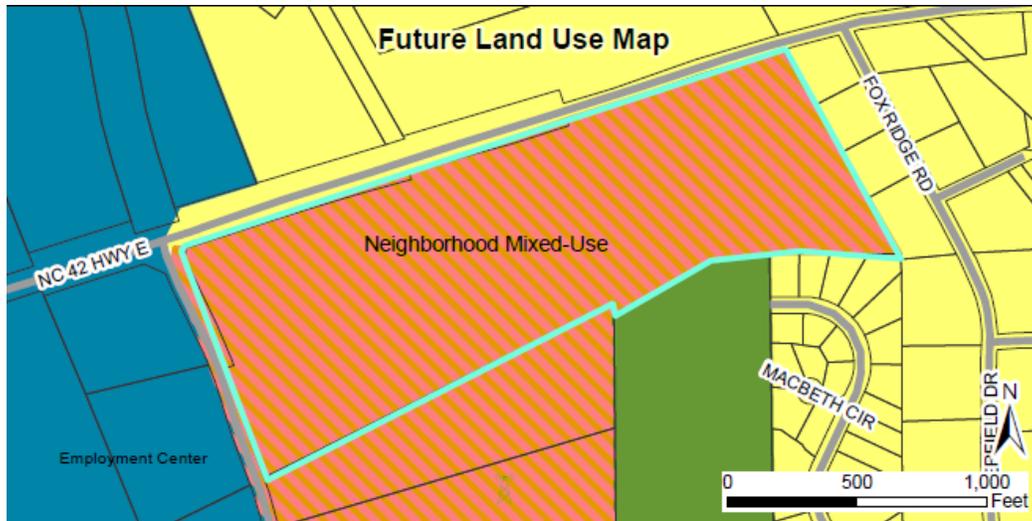
The intended development plan is to develop an apartment site, commercial/retail site, and a self-storage site on the subject property. The apartment site is proposed to be located on the eastern portion of the property which consists of 20 acres of land. The applicant is proposing 240 units, with a density of 12 dwelling units per acre. To the west of the apartment site, there will be a commercial/retail site. This will be located on 21.26 acres and will be a roughly 180,000 square foot development. Additionally, there will be a self-storage facility located in the southwest portion of the property along Glen Laurel Road. This site will be 4.49 acres, with the development of about 67,600 square feet. All of these proposed developments will be required to go through Major Site Plan approval.

### Compatibility with Surrounding Land Uses

The parcel located North of the subject site is currently vacant, and the property located to the west is used as the Caterpillar operating site. To the South and East, surrounding land uses are primarily single family residences, East Clayton Community Park and a vacant parcel. While the proposed mixed use development is not directly compatible with some of the surrounding land uses, the master plan shows that a 40 foot landscape buffer will be provided along the north, east and south property lines and a 15 foot buffer is proposed adjacent to Glen Laurel Road (west side).

### Consistency with the Comprehensive Plan 2040

Clayton's Comprehensive Plan 2040 designates this parcel as High Density Residential/Neighborhood Center. The parcel is proposed to be Planned Development Mixed Use, with a master plan that combines a high-density apartment complex and a large commercial/retail site on the same parcel of land making it compatible with what this plan envisioned. The commercial/retail site would serve not only the apartment complex that is located on the same parcel, but also the surrounding neighborhoods. The proposed rezoning/master plan is also compatible with Objective LU1.3 of the Comprehensive Plan, which encourages a mix of residential and non-residential uses within Neighborhood and Community Centers identified on the Future Land Use Map, such as this parcel.



---

**CONSIDERATIONS:**

- Rezoning is decided by the Town Council. The Planning Board shall make a recommendation to the Town Council.
- When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with adopted plans and/or policies of the Town and explaining why the Council considers the action taken to be reasonable and in the public interest.

---

**FINDINGS:**

The applicant has addressed the Rezoning Approval Criteria outlined in §155.705. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

---

**STAFF RECOMMENDATION:**

Staff is recommending approval of the Rezoning/Master Plan request of the subject parcel.

---

**ATTACHMENTS:**

- 1) Application
- 2) Staff Report Maps
- 3) Master Site Plan
- 4) Neighborhood Meeting Materials



## PROPERTY OWNER INFORMATION

**Name:** James B. Hunt, Jr.,

**Mailing Address:** 1441 NC 42E. Clayton, NC 27527

**Phone Number:** N/A

**Fax:** N/A

**Email Address:** N/A

## EXPLANATION OF PROJECT

***Please provide detailed information concerning all requests. Attach additional sheets if necessary.***

The proposed rezoning from I-2 to PDD-MU will facilitate development of the property in a unified manner, combining

residential apartments, shopping center with outparcels, and a self storage facility. These uses are supportive of each other.

The initial application establishes intended uses and general location of each. Specific site plans for review and approval shall be submitted at a later time.

## REQUIRED INFORMATION *(to be submitted with the application)*

***The following items must accompany a Rezoning application.***

To be completed by the applicant:			To be completed by staff:		
<i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i>	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>7-6-2015</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$500 for standard rezoning <u>OR</u> \$1,000 + \$5.00/acre for Planned Developments)	<input checked="" type="checkbox"/>				
3. Completed application	<input checked="" type="checkbox"/>				
4. <b>Owner's Consent Form</b> <i>Required if applicant is not property owner.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	<input checked="" type="checkbox"/>				
6. <i>If property to be rezoned is a portion of a parcel:</i>					
- Property legal description typed (10 pt. font or greater). The legal description must also be submitted electronically in Microsoft Word format.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
- Plat showing property to be rezoned, matching legal description.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	<input checked="" type="checkbox"/>				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town – thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	<input checked="" type="checkbox"/>				

## APPROVAL CRITERIA

*All applications for a Rezoning must address the following findings:*

1. Consistency with the adopted plans of the Town.

The proposed rezoning is consistent with the current Strategic Growth Plan and proposed Comprehensive Plan Update, both of which indicate this property for commercial use. Inclusion of the residential component is supportive of the commercial uses and serves as a transition to existing residences in the area. Roadway and utility improvements will be in accordance with Town and/or State plans.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The current zoning (I-2) permits a number of uses such as heavy manufacturing, automotive repair, warehousing/freight with associated large truck traffic, which may not be complimentary to the surrounding properties. The proposed PDD-MU will limit the uses to multi-family housing, shopping center/general retail/office, and self-storage in the locations indicated in the application. This mix of uses will be compatible and serve the surrounding neighborhoods and industry.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed uses will be utile and convenient for providing basic services for the surrounding properties as well as the growing residential areas on Glen Laurel Road which have no nearby shopping facilities.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

The proposed developer has assembled a group of notable professionals to assist in the physical development of the site - including traffic, grading and utilities, landscaping and architecture. This group will coordinate with the Town of Clayton professional staff and others, if necessary, to minimize or alleviate any potentially difficult issues before and after construction.

5. It has been determined that the legal purposes for which zoning exists are not violated.  
The proposed PDD-MU district is consistent with all standards and procedures prescribed in the Unified  
Development Code.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless  
such effect can be justified by the overwhelming public good or welfare.  
This development, in the manner designed and planned, will provide a convenient service to the nearby residents  
and others travelling by the site. The site will be easily and safely accessible to all users. All development will be  
buffered from adjacent properties.

7. It has been determined that no one property owner or small group of property owners will benefit  
materially from the change to the detriment of the general public.  
This well-planned mixed use project will be an asset to the surrounding area and Town of Clayton as a whole.  
There are no known conflicts of interest that create any unusual benefit this property.

## APPLICANT AFFIDAVIT

*I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.*

Garry P. Walston, RLA

Print Name

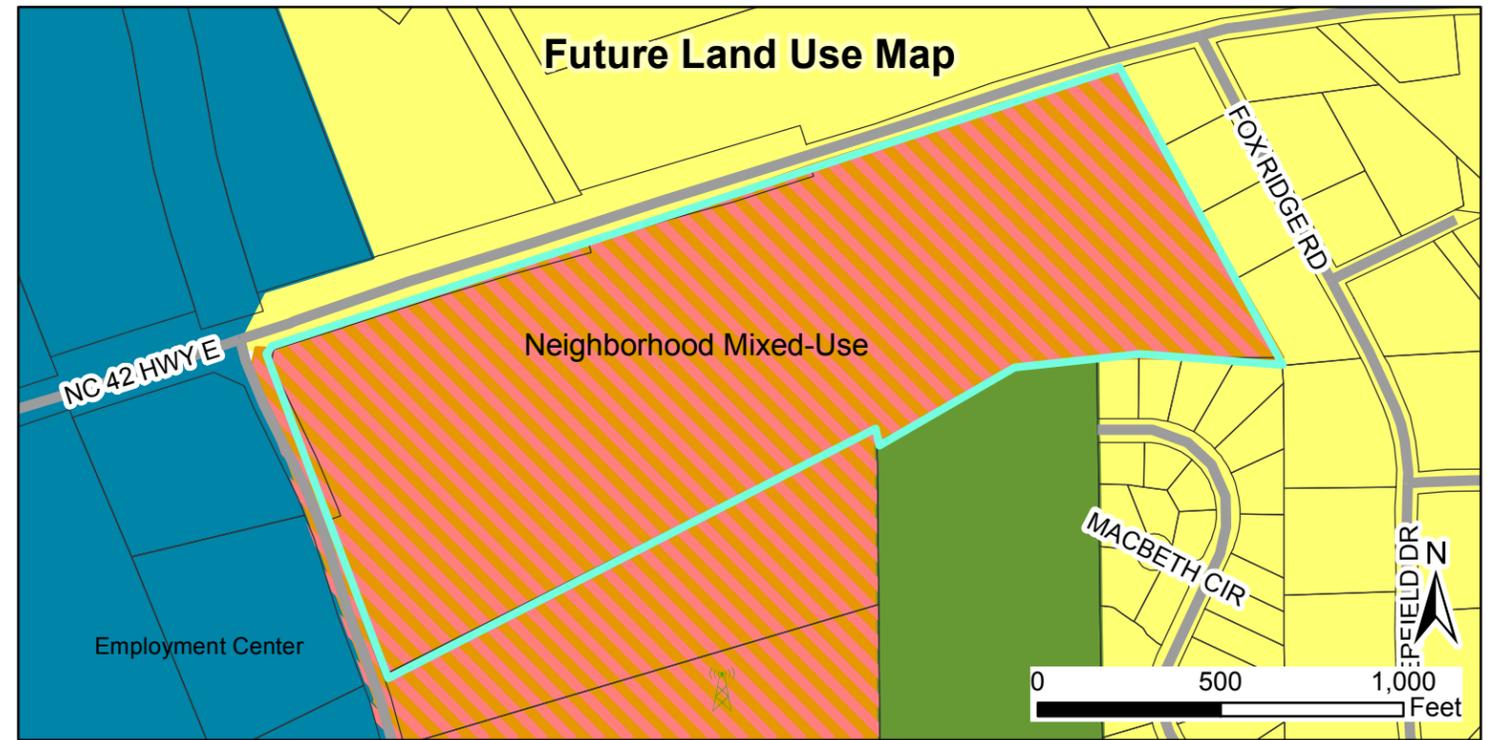
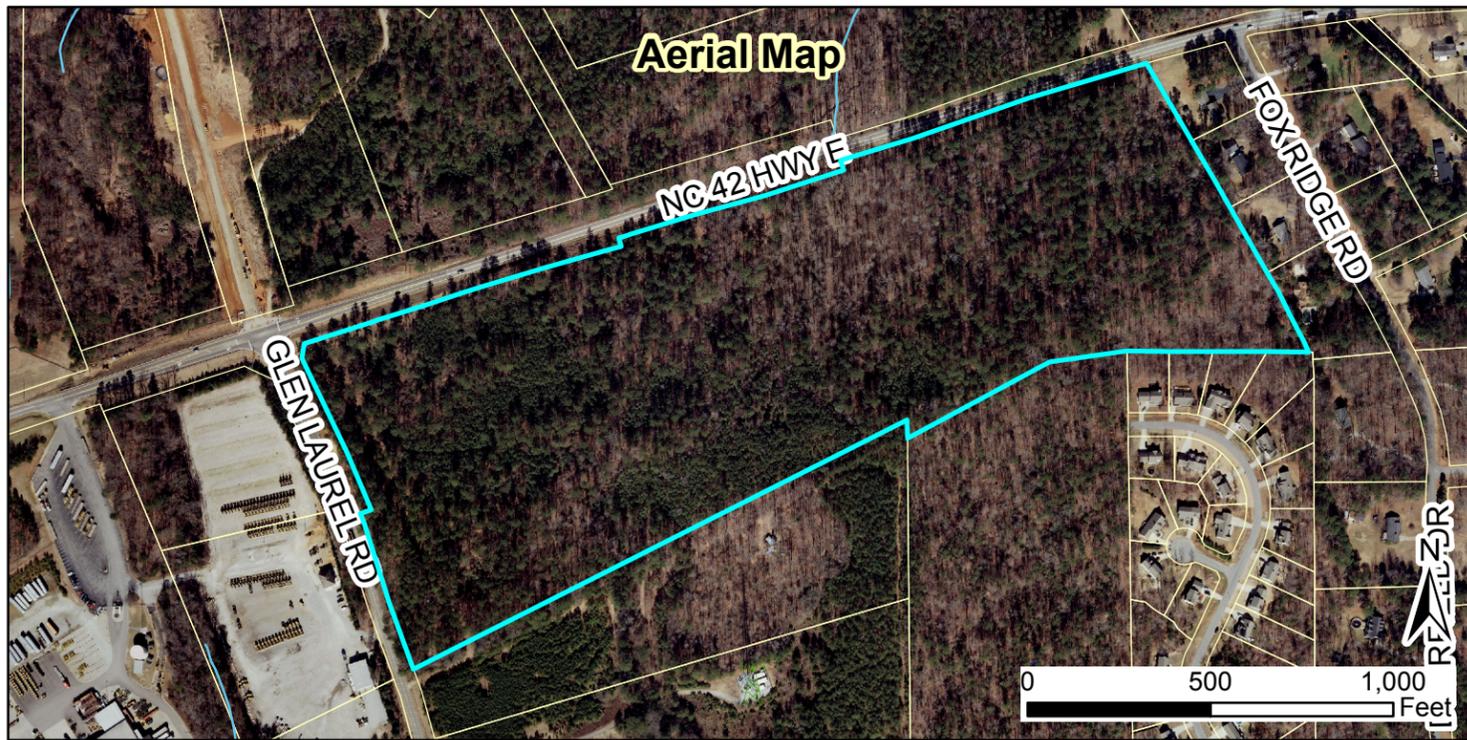
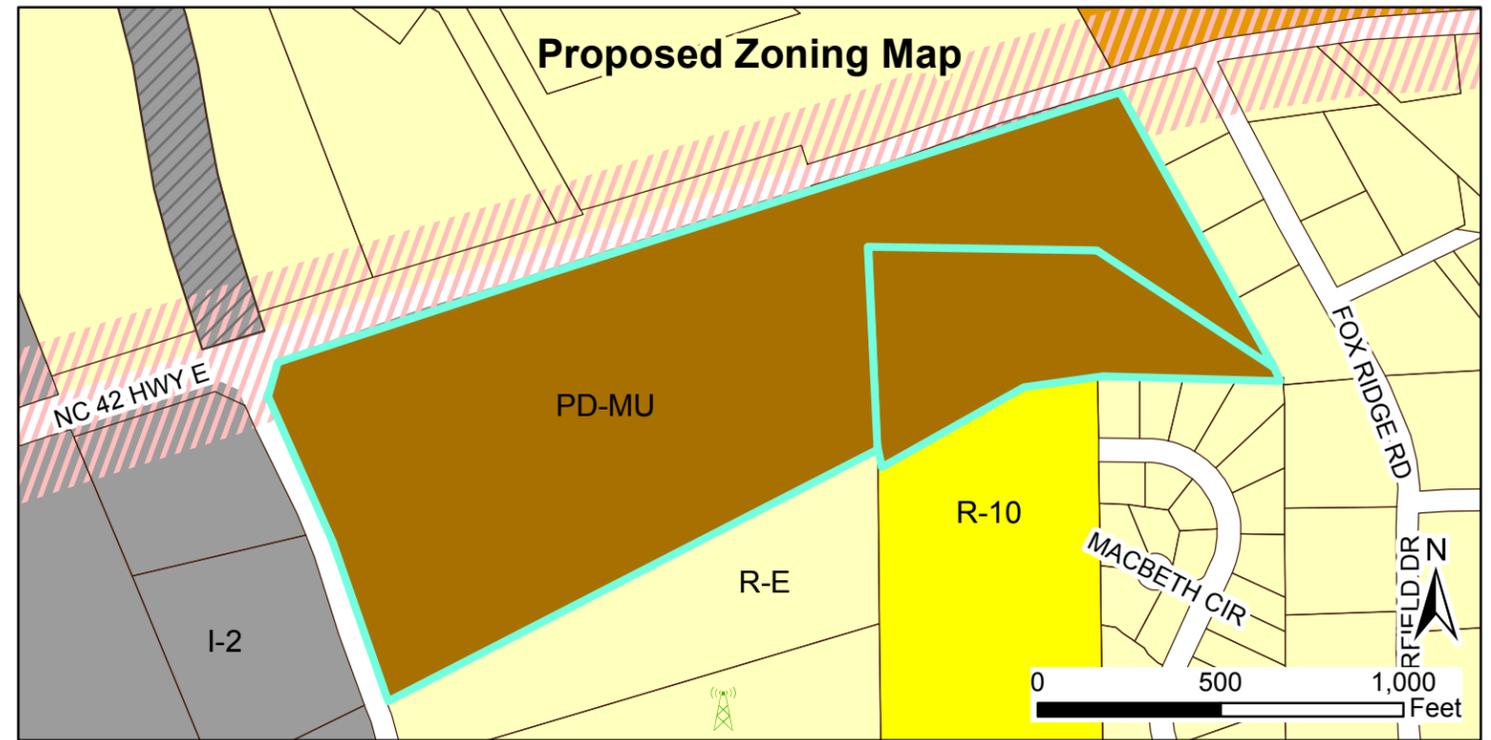
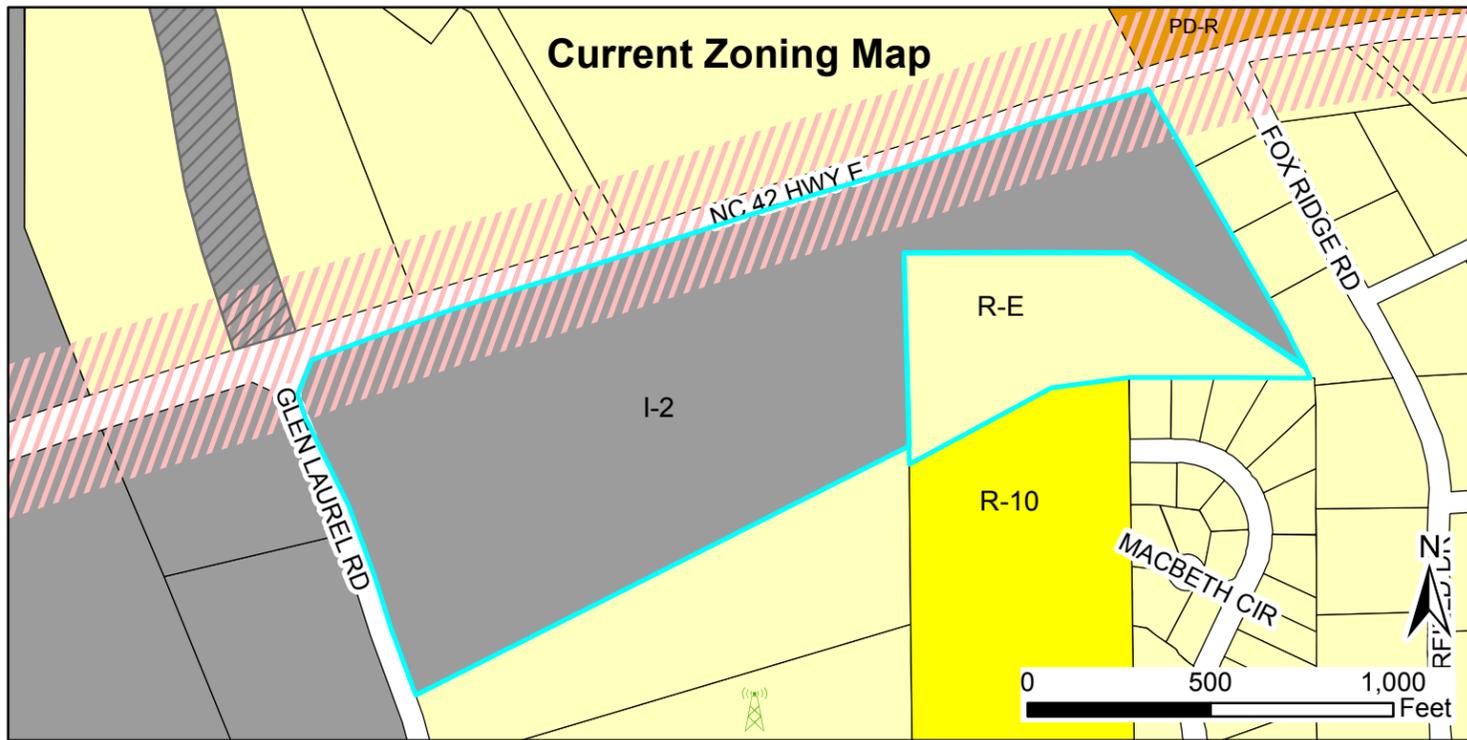
  
Signature of Applicant

9-1-2015

Date

## Adjacent Property Owners

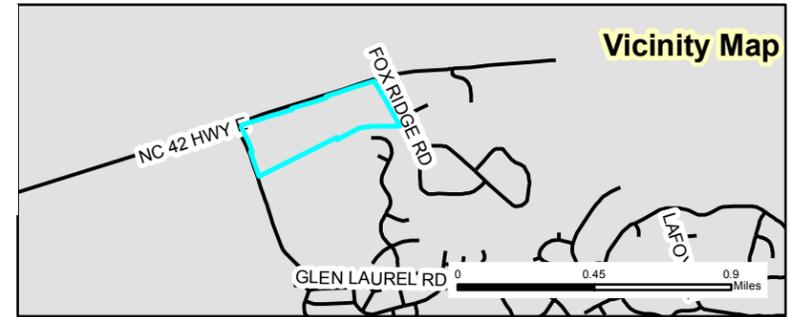
Property #	NC P.I.N.	Name	Address
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8	167900-40-0306	Kevin Thomas Hamilton	2008 Fox Ridge Road, Clayton, NC 27527
9	167800-49-3664	Patsy B Stine & Nancy J Brantley	202 Deerfield Drive, Clayton, NC 27527
10	167800-49-0761	Venable Babcock Burwell, Jr.	417 Black Forest Dr, Clayton, NC 27527
11	167800-39-9754	June E & Genevieve Tocci	421 Black Forest Dr, Clayton, NC 27527-5373
12	167900-32-0758	Falcon Hamlet LLC	PO Box 979, Cary, NC 27513-0979
13	167900-40-0290	Nilous Banks, Jr	286 Camden Place St, Princeton, NC 27569-9416
14	167800-49-1621	Walter Kevin & Tammy Jo White	413 Black Forest Drive, Clayton, NC 27520
15	167900-30-9508	Earl Stevenson & Marjorie Wilson	2000 Fox Ridge Road, Clayton, NC 27527
16	167800-39-8745	Susan Craig	425 Black Forest Drive, Clayton, NC 27520
17	167900-11-2193	James B Jr & Robert Brame Hunt	1441 NC 42 East, Clayton, NC 27527
18	167800-29-4176	Shirley Smith Bullock	5101 Raynor Rd, Garner, NC 27529-9446
19	167800-19-2673	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633
20	167800-39-7744	David R and Sarah J Wagoner	429 Black Forest Drive, Clayton, NC 27527
21	167900-20-3564	Robert B and Margaret H Hunt	1441 NC 42 East, Clayton, NC 27527
22	167800-19-4135	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633



**15-48-01-PDD - NC 42 East Mixed Use**  
**Request: Rezoning from I-2 and R-E to PD-MU & Master Site Plan Approval**  
 Applicant: Commercial Properties, Inc.  
 Property Owner: James B. Hunt Jr.  
 Parcel ID Number: 167800-29-8988  
 Tag #: 05104003



10/15/2015  
 Produced by: TOC Planning  
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



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**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS**

# NC HWY 42 MIXED USE PDD-MIXED USE REZONING

TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

## TOWN OF CLAYTON PROJECT NO. 15-48-01-PDD

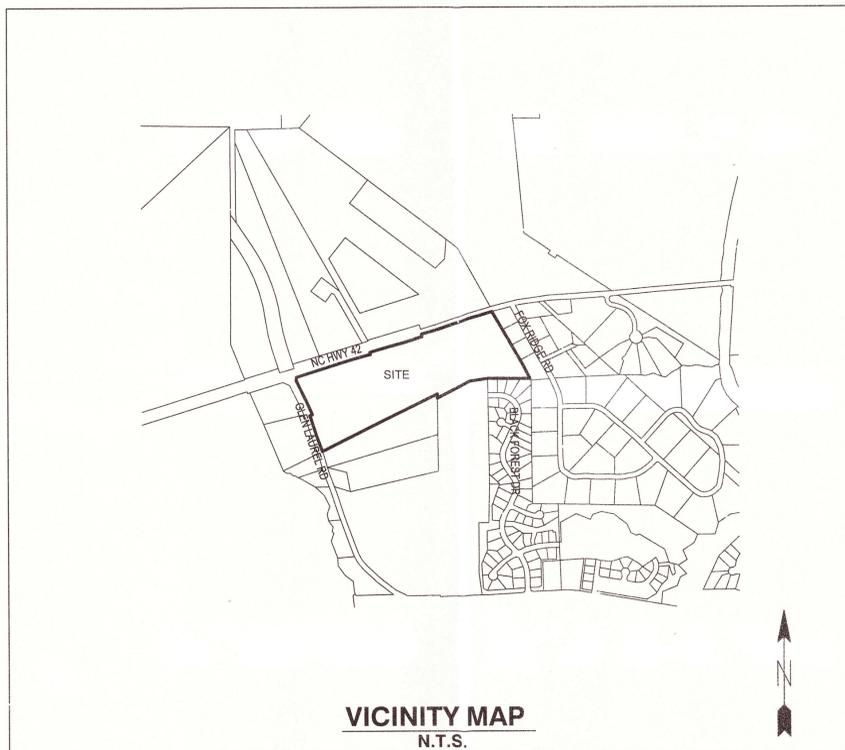
### SHEET INDEX

COVER  
MP1.1 PDD LAND USE PLAN

### SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE	▬	EXISTING CURB INLET
ALUM	ALUMINUM	▬	EXISTING GRATE INLET/YARD INLET
AST2	ALUMINIZED STEEL - TYPE 2	▬	EXISTING FLARED END SECTION
B-B	BACK TO BACK	⊕	EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY	⊕	EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER	⊕	EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND	▬	EXISTING REDUCER
CI	CURB INLET	⊕	EXISTING WATER METER
CL	CENTER LINE	⊕	EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE	⊕	EXISTING CLEAN OUT
CO	CLEAN OUT	⊕	EXISTING POWER POLE
COM	COMMUNICATION	⊕	EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE	⊕	EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE	⊕	EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE	⊕	NEW CURB INLET
DI	DROP INLET	⊕	NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE	⊕	NEW FLARED END SECTION
EASE	EASEMENT	⊕	NEW FIRE HYDRANT
ELEC	ELECTRIC	⊕	NEW BLOW-OFF ASSEMBLY
EX	EXISTING	⊕	NEW GATE VALVE
FES	FLARED END SECTION	⊕	NEW REDUCER
FH	FIRE HYDRANT	⊕	NEW WATER METER
FM	FORCE MAIN	⊕	NEW TEE
FT	FEET	⊕	NEW PLUG
FT/SEC	FEET PER SEC	⊕	NEW MANHOLE
GALV	GALVANIZED	⊕	NEW CLEAN OUT
GV	GATE VALVE	⊕	NEW SIGN
HDPE	HIGH DENSITY POLYETHYLENE	⊕	IRON PIPE
L	LENGTH	⊕	BENCHMARK
LF	LINEAR FEET	⊕	TEMP SILT FENCE
MH	MANHOLE	⊕	TEMP TREE PROTECTION FENCE
PAVE	PAVEMENT	⊕	TEMP COMBINATION SILT/TREE PROTECTION FENCE
PE	FINISHED PAD ELEVATION	⊕	TEMP DIVERSION DITCH
PP	POWER POLE	⊕	DISTURBED LIMITS
PVC	POLYVINYL CHLORIDE	⊕	STREAM
R	RADIUS	⊕	EXISTING GAS LINE
R/W	RIGHT-OF-WAY	⊕	EXISTING COMMUNICATIONS LINE
RED	REDUCER	⊕	EXISTING UNDERGROUND TELEPHONE
RCP	REINFORCED CONCRETE PIPE	⊕	EXISTING UNDERGROUND ELECTRIC
RPZ	REDUCED PRESSURE ZONE	⊕	EXISTING OVERHEAD ELECTRIC
SS	SANITARY SEWER	⊕	EXISTING WATER LINE
STA	STATION	⊕	EXISTING SANITARY SEWER FORCE MAIN
TDD	TEMPORARY DIVERSION DITCH	⊕	EXISTING SANITARY SEWER
TELE	TELEPHONE	⊕	EXISTING STORM DRAINAGE
TSB	TEMPORARY SEDIMENT BASIN	⊕	NEW STORM DRAINAGE
UG	UNDERGROUND	⊕	NEW WATER LINE
WCR	WHEELCHAIR RAMP	⊕	NEW SANITARY SEWER
W/L	WATER LINE	⊕	NEW SANITARY SEWER FORCE MAIN
WM	WATER METER	⊕	NEW GAS MAIN
YI	YARD INLET	⊕	HANDICAPPED ACCESSIBLE ROUTE

**NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT**



#### OWNER:

JAMES B. HUNT, JR.  
1441 NC 42 EAST  
CLAYTON, NC 27527

CONTACT: N/A  
PHONE: N/A  
EMAIL: N/A

#### DEVELOPER:

COMMERCIAL PROPERTIES, LLC  
1004 WAKE FOREST RD.  
RALEIGH, NC 27604

CONTACT: BRANTLEY TILLMAN, CCIM  
PHONE: (919) 872-5702  
EMAIL: brantley@commprop.net

#### ENGINEER:

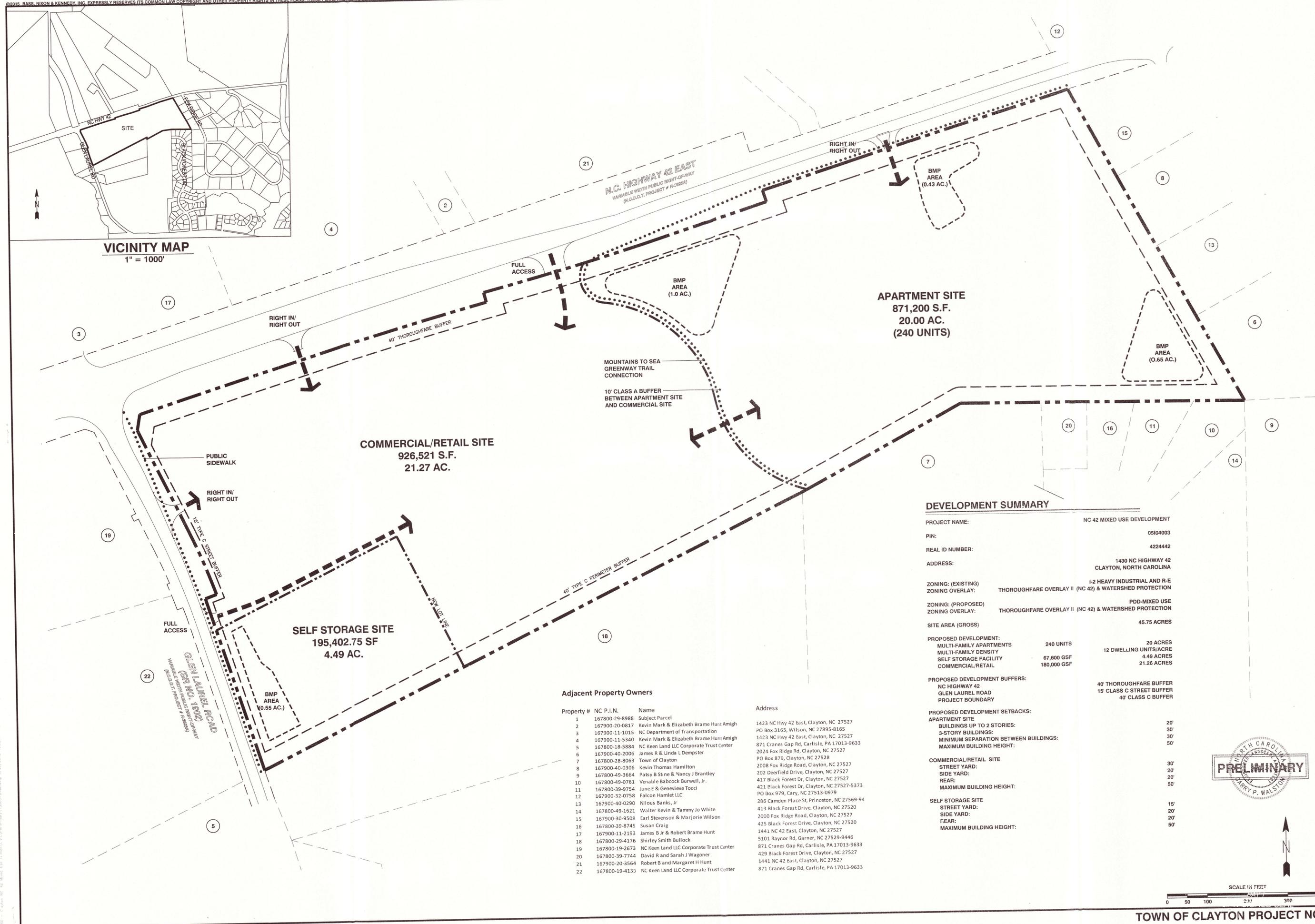


BASS, NIXON & KENNEDY, INC.  
CONSULTING ENGINEERS  
6310 CHAPEL HILL ROAD, SUITE 250  
RALEIGH, NORTH CAROLINA 27607  
TELEPHONE: (919) 851-4422 or (800) 354-1879  
FAX: (919) 851-8968  
CERTIFICATION NUMBERS: NCBELS (C-0110)  
NCBOLA (C-0267)

CONTACT: GARRY WALSTON, RLA  
EMAIL: Garry.Walston@BNKinc.com



TOWN OF CLAYTON PROJECT NO. 15-48-01-PDD  
BASS, NIXON & KENNEDY, INC.  
REZONING SUBMITTAL  
03-15060 NC HWY 42 MIXED USE



**VICINITY MAP**  
1" = 1000'

**APARTMENT SITE**  
871,200 S.F.  
20.00 AC.  
(240 UNITS)

**COMMERCIAL/RETAIL SITE**  
926,521 S.F.  
21.27 AC.

**SELF STORAGE SITE**  
195,402.75 SF  
4.49 AC.

**DEVELOPMENT SUMMARY**

PROJECT NAME:	NC 42 MIXED USE DEVELOPMENT
PIN:	05104003
REAL ID NUMBER:	4224442
ADDRESS:	1430 NC HIGHWAY 42 CLAYTON, NORTH CAROLINA
ZONING: (EXISTING)	I-2 HEAVY INDUSTRIAL AND R-E
ZONING OVERLAY:	THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
ZONING: (PROPOSED)	PDD-MIXED USE
ZONING OVERLAY:	THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
SITE AREA (GROSS)	45.75 ACRES
PROPOSED DEVELOPMENT:	
MULTI-FAMILY APARTMENTS	240 UNITS
MULTI-FAMILY DENSITY	12 DWELLING UNITS/ACRE
SELF STORAGE FACILITY	67,600 GSF
COMMERCIAL/RETAIL	180,000 GSF
PROPOSED DEVELOPMENT BUFFERS:	
NC HIGHWAY 42	40' THOROUGHFARE BUFFER
GLEN LAUREL ROAD	15' CLASS C STREET BUFFER
PROJECT BOUNDARY	40' CLASS C BUFFER
PROPOSED DEVELOPMENT SETBACKS:	
APARTMENT SITE	
BUILDINGS UP TO 2 STORIES:	20'
3-STORY BUILDINGS:	30'
MINIMUM SEPARATION BETWEEN BUILDINGS:	30'
MAXIMUM BUILDING HEIGHT:	50'
COMMERCIAL/RETAIL SITE	
STREET YARD:	30'
SIDE YARD:	20'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	50'
SELF STORAGE SITE	
STREET YARD:	15'
SIDE YARD:	20'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	50'

**Adjacent Property Owners**

Property #	NC P.I.N.	Name	Address
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**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
8310 CHAPEL HILL ROAD, SUITE 200, RALEIGH, NC 27607  
TELEPHONE: (919)851-4422 OR (800)954-1879 FAX: (919)851-8868  
CERTIFICATION NUMBERS: NOBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-28-15	PE TO C COMMENTS	GW

JOB NO.	DATE	DRAWN BY	CHK. BY
03-15860	09-01-15	GW	KRB

**NC HWY 42 MIXED USE**  
**1430 NC HIGHWAY 42**  
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

MP1.1



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS  
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
919/851-4422 FAX 919/851-8968 [www.bnkinc.com](http://www.bnkinc.com)

Date: October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday, October 12, 2015

Location: Clayton Center (Meeting will be in the Poole Room)  
111 E. 2<sup>nd</sup> Street  
Clayton, NC 27520

Time: 6:30 p.m.

Type of Application: Rezoning

General Description: Approximately 45.75 acres at the southeast intersection of NC Highway 42 and Glen Laurel Road is being rezoned from Industrial-2 to Planned Development District – Mixed Use. A copy of the Master Plan for the development has been included with this letter.

If you have any questions prior to or after this meeting, you may contact Garry Walston, RLA at (919) 851-4422.

Sincerely,

A handwritten signature in black ink that reads "Garry P. Walston". The signature is written in a cursive style.

Garry P. Walston, RLA, ASLA, LEED

cc: Clayton Planning Dept.



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS  
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
919/851-4422 FAX 919/851-8968 [www.bnkinc.com](http://www.bnkinc.com)

Date: October 1, 2015

#### Neighborhood Meeting Notes

1. The project was introduced by Garry Walston with BNK and the purpose of the meeting was explained.
2. There was only one adjacent property owner in attendance at the meeting.
3. The purpose of the rezoning was explained and the different components of the development were introduced.
4. BNK presented the rezoning plan as well as the development plans for the self-storage facility and the apartments.
5. Jim Dempster (neighbor) expressed concern with regards to stormwater leaving the site adjacent to his property. BNK explained that stormwater would be controlled to pre-development levels and indicated that there are rules in place to protect downstream property owners from increased run-off. The developer and BNK agreed to meet on-site with Jim Dempster to discuss his concerns and address any run-off issues during the Site Plan Phase of the development.
6. Brantley Tillman briefly discussed plans for the future shopping/retail portion of the development and presented preliminary building elevations for the self-storage facility.

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: MC 42 MIXED USE DEVELOPMENT

Application: REZONING / SITE PLAN

Location/Date: CLAYTON CENTER / POOLE ROOM @ 6:30

	NAME	ADDRESS
1	JIM DEMPSTER	2024 Fox Ridge Rd
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		





**Town of Clayton  
Planning Board  
2016 Meetings**  
(Adopted \_\_\_\_\_)

**January 25, 2016**

**February 22, 2016**

**March 28, 2016**

**April 25, 2016**

**May 23, 2016**

**June 27, 2016**

**July 25, 2016**

**August 22, 2016**

**September 26, 2016**

**October 24, 2016**

**November 28, 2016**

**December 20, 2016**

**Meetings are held the fourth Monday of the month at 6 PM in the Council Chambers located at 111 East Second Street, unless otherwise noted.\***

**In accordance with NC GS 143-318.10, this is an official meeting of the board and it is open to the public.**

**Clayton - Premier Community for Active Families**  
[www.townofclaytonnc.org](http://www.townofclaytonnc.org)