

AGENDA
CLAYTON PLANNING BOARD MEETING

Monday, June 22, 2015

6:00 PM

TOWN COUNCIL CHAMBERS

111 E. SECOND STREET

For Information: (919) 553-5002

I. CALL TO ORDER

II. ADJUSTMENTS TO THE AGENDA

III. APPROVAL OF MINUTES

A. May 26, 2015 Meeting

IV. REPORTS AND COMMENTS

V. OLD BUSINESS

A. PSD 2014-97 Magnolia Pointe Major Subdivision

Request to recommend approval for a major preliminary subdivision for a property located on the west of Shotwell Road, between US 70 Business Highway West and Amelia Church Road.

VI. NEW BUSINESS

A. 15-18-01-RZ Young Family Tract Rezoning

Request to rezone 69.58 acres located on Gordon Rd, near US Hwy 70 Business from Residential-Estate (R-E) to Light Industrial (I-1).

B. 15-19-01-RZ Wiggins Family Tract Rezoning

Request to rezone 45.73 acres located on Gordon Rd, near US Hwy 70 Business from Residential-Estate (R-E) to Light Industrial (I-1).

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

VIII. ADJOURN

**MINUTES
CLAYTON PLANNING BOARD
MAY 26, 2015**

The regular meeting of the Clayton Planning Board for the month of May was held at 6:00pm at Town Hall, 111 East Second Street.

PRESENT: David Teem (Vice Chair) (TL), George “Bucky” Coats (TL), Jim Lee (ETJ), Ronald L. Johnson (TL), Marty D. Bizzell (ETJ), Robert J. Ahlert (TL), James Lipscomb (ETJ) [Alt.], Sarah Brooks (TL);, Michael Grannis (Councilman), Bob Satterfield (Councilman)

ABSENT: Dana Pounds (ETJ), Frank Price (Chair) (ETJ), Jean M. Sandaire (TL) [Alt.],

ALSO PRESENT: David DeYoung, Planning Director; Jay McLeod, Planner; John McCullen, Town Engineer; Rebecca Powers, Clerk to Planning Board

I. CALL TO ORDER:

At 6:04PM David Teem called the meeting to order and Rebecca Powers took roll.

II. ADJUSTMENTS TO THE AGENDA:

Mr. DeYoung states that there are no adjustments to the agenda.

III. APPROVAL OF MINUTES FROM THE APRIL 27, 2015:

Sarah Brooks makes a motion to approve the April 27, 2015. Bucky Coats seconds the motion and it passes unanimously at 6:05PM.

IV. REPORTS/COMMENTS:

David DeYoung introduces the Town of Clayton Infrastructure Analysis with the following PowerPoint presentation; herewith attached and incorporated into the record

TOWN OF CLAYTON INFRASTRUCTURE ANALYSIS

*Land Use Analysis
Traffic Analysis
Water + Wastewater Analysis*

URS

Introduction



The goal of this study is to evaluate the adequacy of existing infrastructure and determine the need for infrastructure investments of two interchanges:

- US 70 Business Hwy West and US 70 Hwy W Scenic
- NC Hwy 42 W and Scenic 70 Bypass

Three main elements are analyzed and addressed: **Land Use Analysis, Traffic Operations Analysis, and Utility Analysis.**



Land Use



Methodology

Existing and Future Land use was assessed using Traffic Analysis Zone data, parcel data, aerial photography and zoning

A future land use scenario was created for each Interchange study area

Interviews with local developers and real estate agents and Town staff and consultant interpretation of future land uses

Land Use



NC Hwy 42 W & US Scenic 70 Bypass

Findings:

Large amounts of land available for development

Significant study area growth from 3,698 to 14,537 residents in 2040

Dramatic increase in commercial and medical office space, notably the Spring Branch Park development

Increases in all housing types, and increases in employment, service employment

Significant growth expected at N. Tech Drive and Gordon Road

David DeYoung points out that N. Tech Drive and Gordon Road should not be in this slide, as they are not part of this intersection.

Land Use



**US 70 Bus Hwy W & US 70 Hwy W (Scenic)
Findings:**

- Study area population increases from 3,400 to over 8,000 in 2040
- Large increase in industrial employment, with overall employment increases
- Increase in all housing types

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Traffic Analysis



Methodology

- A traffic operational analysis (Synchro) was conducted
- CAMPO's Triangle Regional Model (TRM) was utilized and traffic counts collected at key intersections
- 2013 Base Year No-Build and traffic was projected using growth rates of the TRM, and a 2040 Future Year Build Scenario
- Analysis evaluates existing traffic conditions and future (2040) traffic in study areas

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Traffic Analysis



NC Hwy 42 W & US Scenic 70 Bypass
Findings:

All intersections currently operate under capacity and at acceptable Levels of Service (LOS)

Additional signalization is warranted for future development at NC 42 and Springbrook Avenue

CAMPO MTP recommends road widening improvements between I-40 and Amelia Church Road

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David DeYoung mentions two projects that two of the widening projects should be making it into the State Transportation and Improvement Plans. Bob Ahlert asked why the map only shows the widening up to Amelia Church Road. Mr. DeYoung explains that when the applicant submitted the presentation they were not up to speed on the CAMPO projects.

Traffic Analysis



US 70 Bus Hwy W & US 70 Hwy W (Scenic)
Findings:

All intersections currently operate under capacity and at acceptable Levels of Service (LOS)

Based on projected 2040 peak hour AM and PM traffic volumes, an additional storage lane is required at US 70 Business and Powhatan Road

All other intersections are anticipated to operate under capacity at acceptable LOS and no signalization is required

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Water and Wastewater



Methodology –Existing sanitary sewer collection, conveyance and water distribution were analyzed for this study.

GIS data, utility plans, reports and studies, record drawings and meter data and reports were analyzed

Both interchanges are assumed to become wastewater collection sub-basins containing gravity collection systems

Water and Wastewater

NC Hwy 42 W & US Scenic 70 Bypass Findings:

The existing 8-inch gravity sewer, estimated to be approximately 1 MGD would be inadequate to convey the estimated 3 MGD future peak flow from the study area

Additional downstream infrastructure are undersized, and continued discussions with the County to access the existing underutilized 8-inch Swift Creek force main are recommended

Recommend the Town consult with the County to confirm adequacy of 16-inch transmission main, elevated storage, and pressure zone to supply 2.9 MGD peak demand

Water and Wastewater



US 70 Bus Hwy W & US 70 Hwy W (Scenic)

Findings:

The existing 12-inch force main appears to be at capacity.

Additional downstream infrastructure are undersized

It is recommended the Town confirm with the County the available capacity remaining in the 20/16-inch transmission line/booster station/elevated storage, perform hydrant testing to confirm adequate fire flow and pressure, and discuss with County impacts of additional flows on treatment and distribution

Conclusion

Potential upgrades to the existing roadway and utility networks were identified in order to support the predicted future growth in the study areas.

These upgrades and service improvements are identified and opinions of probable cost of those improvements were developed to use in planning and prioritizing future infrastructure investments for each interchange.

Developers will likely be responsible for a significant portion of traffic and utility improvement costs.

**Opinion of Probable
Costs for Future
Infrastructure
Investments**

**NC Hwy 42 W & US Scenic 70 Bypass
Findings:**

Transportation	\$12.3 Million
Sanitary Sewer	\$15 to 25 Million
Water System	\$5 to 7 Million

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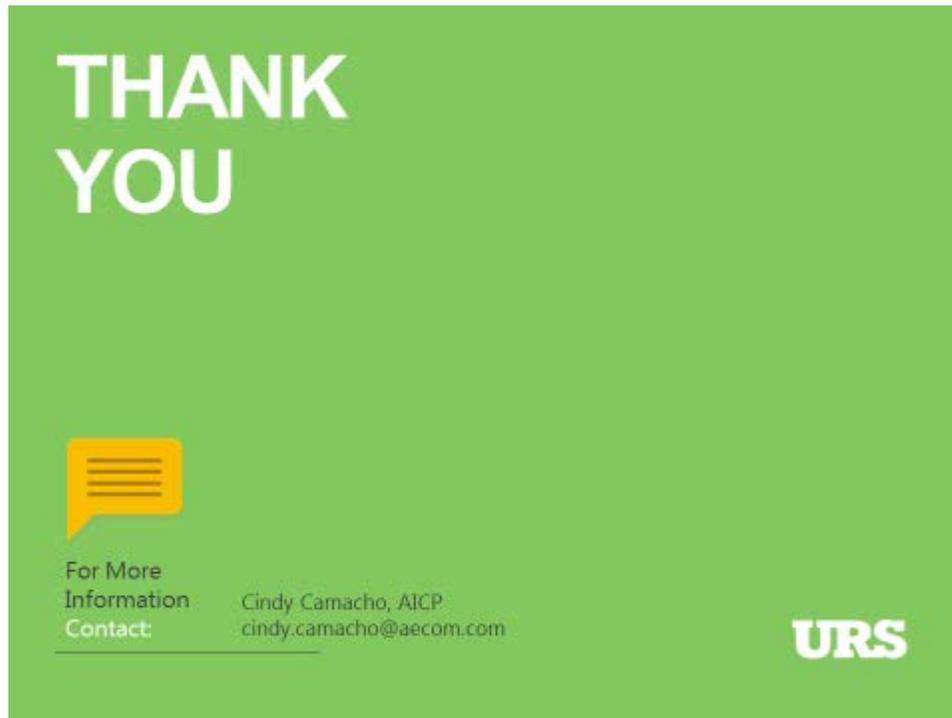
Mr. DeYoung points out that costs are given in today's dollars, not forecasted to 2040.

**Opinion of Probable
Costs for Future
Infrastructure
Investments**

**US 70 Bus Hwy W & US 70 Hwy W (Scenic)
Findings:**

Transportation	\$10 Million
Sanitary Sewer	\$17 to \$20 Million
Water System	\$4 to \$6 Million

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Ronald Johnson asks if there is any mention of widening Hwy 42 up to Hwy 70. Mr. DeYoung answers that he has not seen any plans and doubts it based on there not being enough available land. Mr. DeYoung also states that he hopes the southern collectors will help with bypass traffic. James Lipscomb asks if the 2.9 million gallons of sewer for 42/70 includes the 40/42 area. Mr. DeYoung explains that it does not include capacity for the 40/42 area and that it just includes that substantial residential increase. Mr. Ahlert states that it significantly understates the expectation of need in that area. There is a discussion between Mr. DeYoung, Mr. McCullen, and Mr. Ahlert about the need for sewer expansion at the Hwy 42 and bypass 70 intersection.

V. OLD BUSINESS:

A. PSD 2014-97 Magnolia Pointe Major Subdivision

Mr. Teem points out that this project was tabled at the previous meeting and asks that they focus on those questions that were left unanswered.

Jay McLeod introduces PSD 2014-97 with the following PowerPoint presentation; herewith attached and incorporated into the record.



Planning Board May 26, 2015

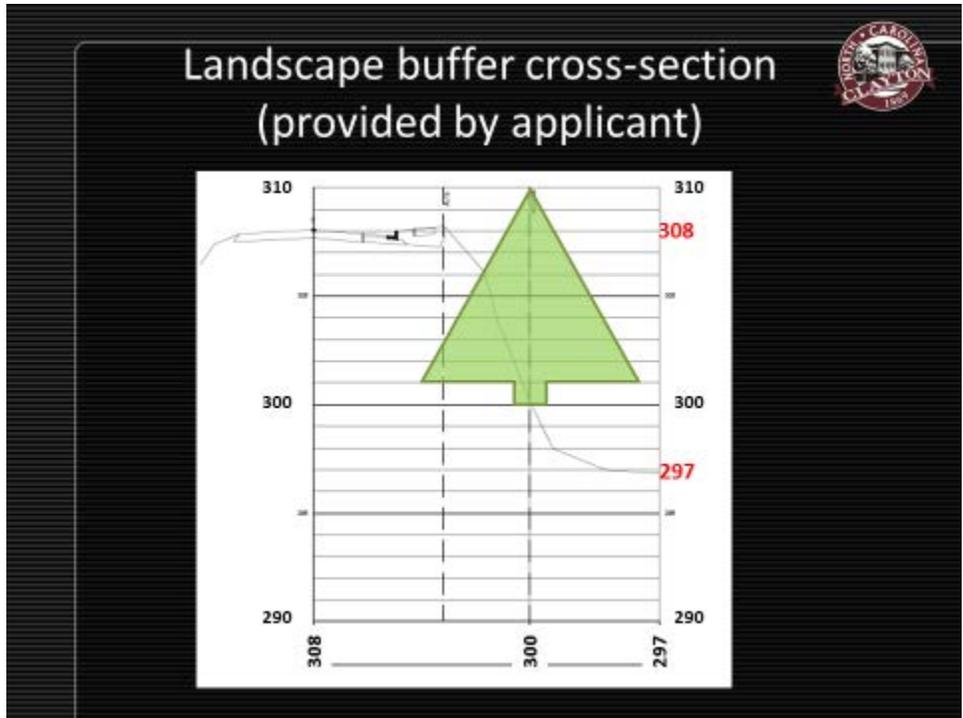
PLANNING DEPARTMENT

**Magnolia Pointe
PSD2014-97
(2nd presentation)**

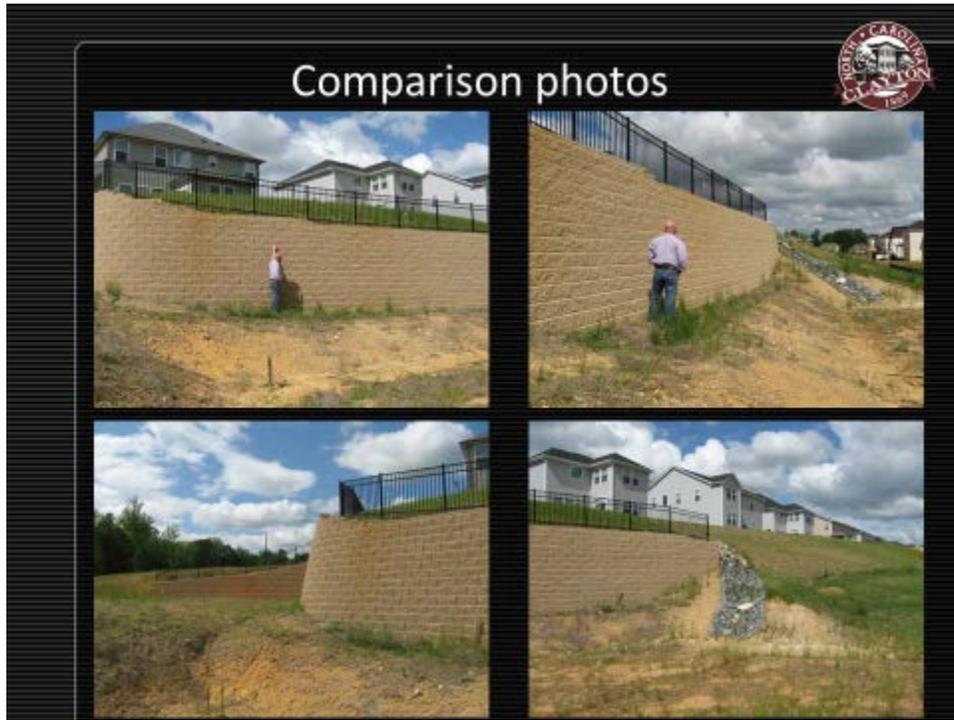
Request:

- ◆ Approval of a preliminary subdivision plan / open space subdivision on 13.89 acres.
- ◆ Neighborhood meeting held May 8, 2015.
- ◆ Applicant/Developer: ASCO Builders, Inc.

A map of the Magnolia Pointe area. The subject site is highlighted in yellow and labeled "Subject Site" with an arrow. The map shows several roads: Dogwood Pk, Mulberry Rd, Shovel Rd, Kershaw Ln, and Amelia Church Rd. A highway (US 70) is also visible. The map is overlaid with a grid.

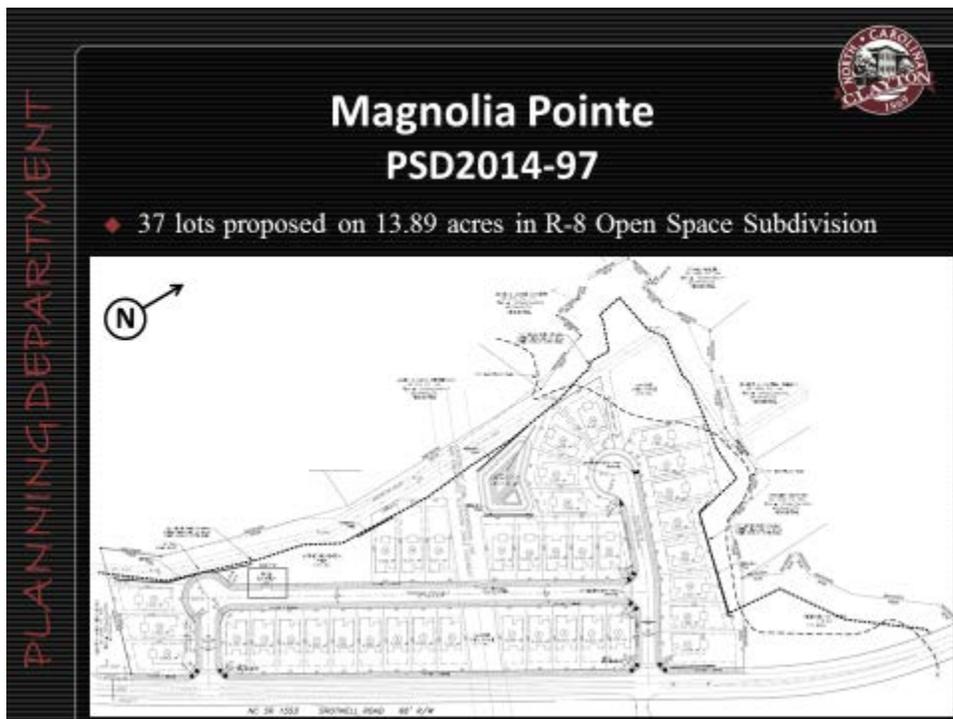








Bob Ahlert asks if the slope of the proposed project is more or less severe than the slope shown in the presentation of comparable sites. Jay McLeod states that he believes the proposed slope is a little more severe.



PLANNING DEPARTMENT

**Magnolia Pointe
PSD2014-97**



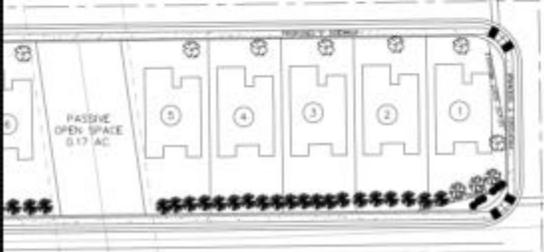
- ◆ Development Standards:
 - R-8 Open Space Subdivision requirements
 - Max. allowed density (as R-8 O.S.) = 7 du/acre
 - Proposed density = 2.95 du/acre
 - Sidewalks on both sides of streets and along Shotwell Rd.
- ◆ Landscaping & Buffering:
 - Open Space Subdivision requires Class C perimeter buffer
 - Min. 6' continuous visual buffer
 - Ex - 2 canopy trees, 3 understory trees, 12 shrubs per 100 linear feet at minimum 10' width
 - Requesting waiver for landscaping buffer along Shotwell Rd.

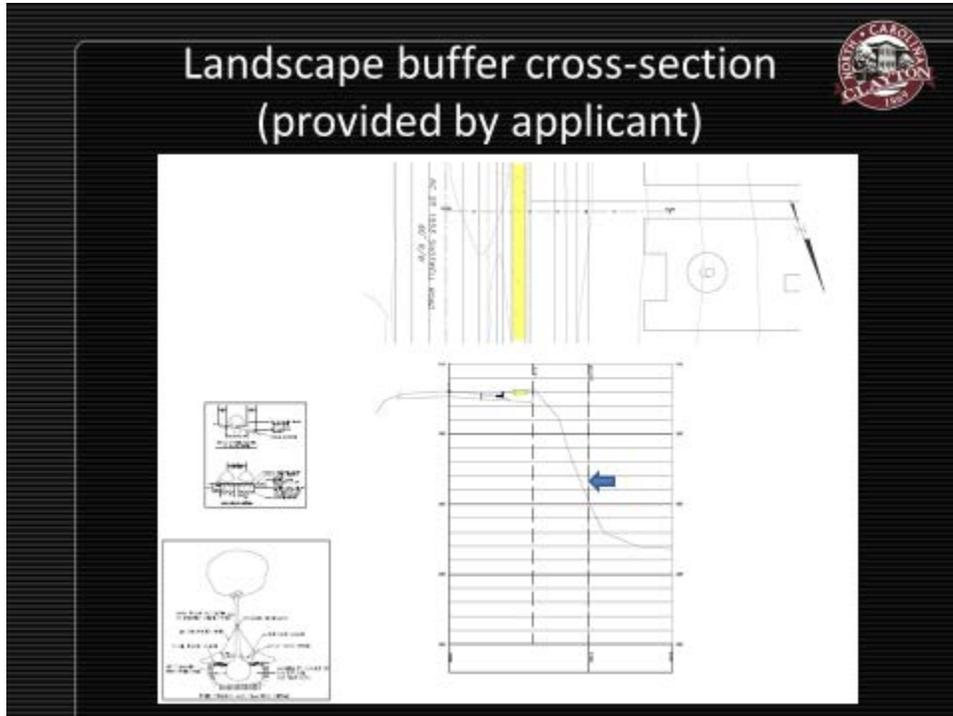
PLANNING DEPARTMENT

**Magnolia Pointe
PSD2014-97**



- ◆ Waivers or Deviations:
 - Waiver request from Section 155.402(E)(2)(d)(1) of the UDC to allow an alternate landscaping buffer along Shotwell Rd.
 - Leyland Cypress trees 10' O.C.

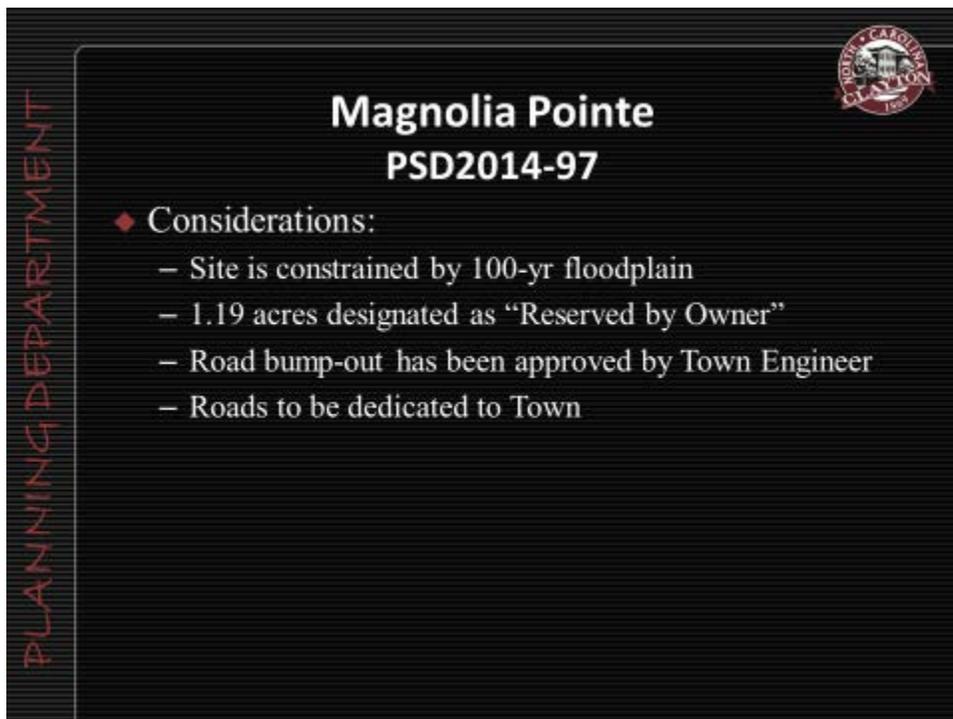
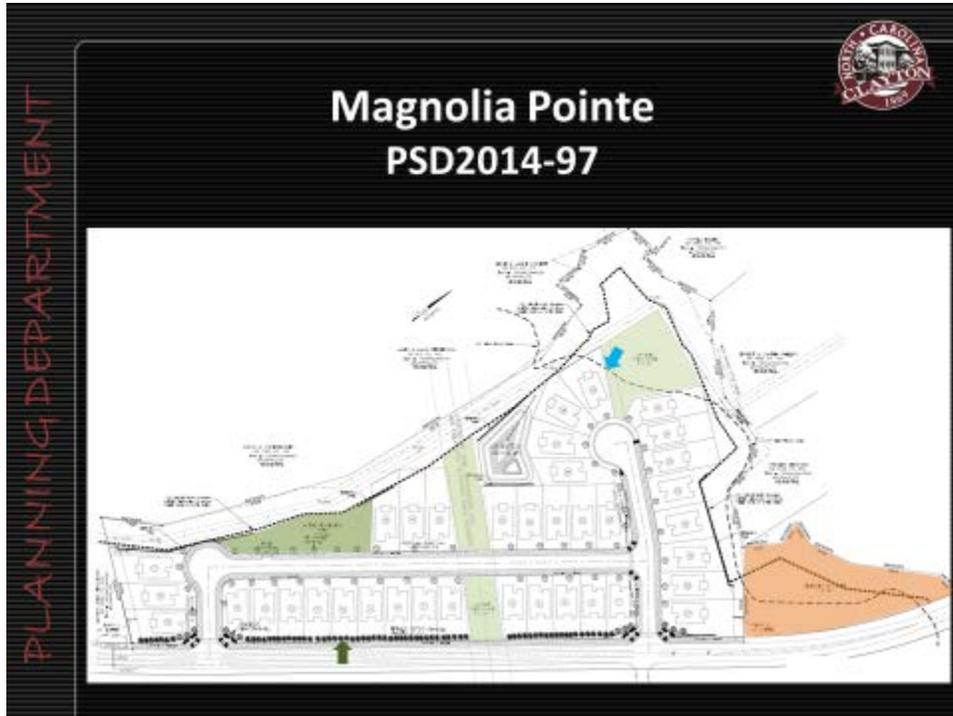




PLANNING DEPARTMENT

Magnolia Pointe PSD2014-97

- ◆ Recreation & Open Space:
 - Required:
 - Open Space = 1.74 acres
 - Active Recreation Space = 0.43 acres
 - Open Space provided = 4.39 acres
 - 0.44 acres active recreation
 - 3.78 acres of passive recreation (mostly in 100-yr flood plain)
- ◆ Recreation will be private and maintained by the HOA





Magnolia Pointe PSD2014-97

The proposed development is generally consistent with:

- ◆ Strategic Growth Plan
 - Goal 2: Manage Growth Producing Quality Development
 - Consistent with Proposed Land Use Map, which designates land as “residential-medium.”
- ◆ Surrounding Land Uses
 - Zoning dimensional standards are consistent with the zoning on adjacent properties
- ◆ Neighborhood Meeting:
 - Held March 12, 2015



PLANNING DEPARTMENT

Magnolia Pointe Staff Recommendation

- ◆ **Subdivision PSD2014-97**
 - Approval with conditions as stated in the staff report
 - Approval of the waiver request subject to modification which verifies proper spacing at full height and landscaping within power line easement

*Planning Board shall make a recommendation.
Final decision shall be made by Town Council.*



Subdivision conditions

PSD2014-97

CONDITIONS:

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. Following Board approvals, three copies of the final Preliminary Subdivision Plat meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plat. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.
3. All development fees shall be paid prior to final plat recordation, except that Capacity fees shall be paid prior to issuance of building permits.
4. A sidewalk shall be constructed along Shotwell Rd along the entirety of the parcel, site, or development, including areas that will remain undeveloped or are reserved for future development.
5. No buildings shall be constructed within 20' of any riparian buffer, per UDC §155.502(D). A Class C buffer (or other Planning Dept. approved buffer) will be installed on the perimeter of the development, per Open-Space Subdivision development regulations. A waiver must be obtained for any alternate landscape buffer areas.



Subdivision conditions cont.

PSD2014-97

CONDITIONS:

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

6. Five foot wide sidewalks shall be installed on both sides of all internal roads, including around the entirety of all cul-de-sacs, and shall be constructed or bonded prior to plat recordation for the associated phase.
7. A homeowners' association document shall be reviewed by staff and recorded prior to final plats. Such document shall assure responsibility for maintenance of all common areas/facilities and provide adequate means for funding to do so.
8. Resource conservation areas as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.
9. The perimeter landscaping buffer along Shotwell Rd must be installed prior to the issuance of a Certificate of Occupancy for the first dwelling.
10. All scheduled improvements to Shotwell Rd must be constructed or bonded prior to the issuance of a Certificate of Occupancy for the first dwelling.
11. An updated wastewater allocation request must be approved by the Town Manager.

Jim Lee clarifies that at last month's meeting it was decided that four things would need to be submitted to the Planning Department by last Thursday in order for the item to be heard tonight. Jay McLeod explains that staff had just received some of the information this afternoon and most of the requested information was still missing. Mr. Lee states that he doesn't see what the item is even being heard tonight then with so many things still missing. Mr. Ahlert asks if the invite for the first meeting was ever received. Jay answers no. Mr. Ahlert asks if staff didn't request information on the second meeting that was held. Jay explains that he should have followed up with the applicant more closely. David Teem clarifies that staff is seeing some things provided by the applicant for the first time tonight. Jay answers in the affirmative. Mr. Teem states that that is a little odd and asks for any information from the applicant.

Mike Stewart, representing ASCO Builders, approaches the podium and first addresses the neighborhood meeting in questions. He states that the first meeting had no record on file with the Town. He goes on to explain that since the zoning for the parcel was changed for this project the requirements were different for the neighborhood meeting so they decided to have a second meeting. He stated that only one resident, Jesse Corbett, showed up with worries about traffic. Mr. Stewart stated that Mr. Corbett had no opposition to the project and would be willing to say so. Mr. Stewart then moves on to explain that the grading plan had been adjusted to give at least 20 feet and some retaining walls. He explained that they did now in fact have a landscape architect and just received updated information from him today regarding the slope from the right of way to the sidewalk, landscaping, and slope information, and offered to show them the paper copy of the plans and stated that it should address everyone's concerns on those subjects from last month's meeting. Mr. Stewart takes the paper plans to the Board and has them pass it around. Mr. Stewart then explains landscape updates, which include them moving to Myrtles and Carolina Cherries instead of Leyland Cypress. He states that this was a recommendation from the landscape architect, Joe Lyle. Mr. Stewart also explains that they kept the owner reserved area of the property in the plans for now and points out that none of the other 3 surrounding business owners have carried any sidewalks, walk ways, or anything of that nature further than their driveway. Mr. Teem asked if there were any elevations available tonight. Mr. Stewart states that he does and passes those out to the Board and explains the home layout with square footage, garage capacity, and a price range. James Lipscomb asks a question, but is inaudible. Mr. Stewart replies stating that they went with 20 foot rear lots before starting the slopes. There is clarification needed about whether that is 20 feet from the building or set-back. Mr. Stewart states that it is 20 feet from the building. Mr. Ahlert asks for drawings or retaining walls and their locations. Mr. Stewart points them out on the PowerPoint. Mr. Lee asks what a varying retaining wall. Mr. Stewart explains that they taper off at the area in which they are not needed.

Mr. Lee states that there is not much on the plans showing the 20 feet. Mr. Stewart approaches and explains the scale. There is discussion about there being two scales and how confusing it is. Mr. Ahlert states that he doesn't feel he has sufficient information to make a recommendation. Ronald Johnson asks Mr. DeYoung if he feels comfortable with the Board making a decision based on the information they have received. Mr. DeYoung answers that no, staff is still waiting on information and that the applicant has made an effort to get in in on time

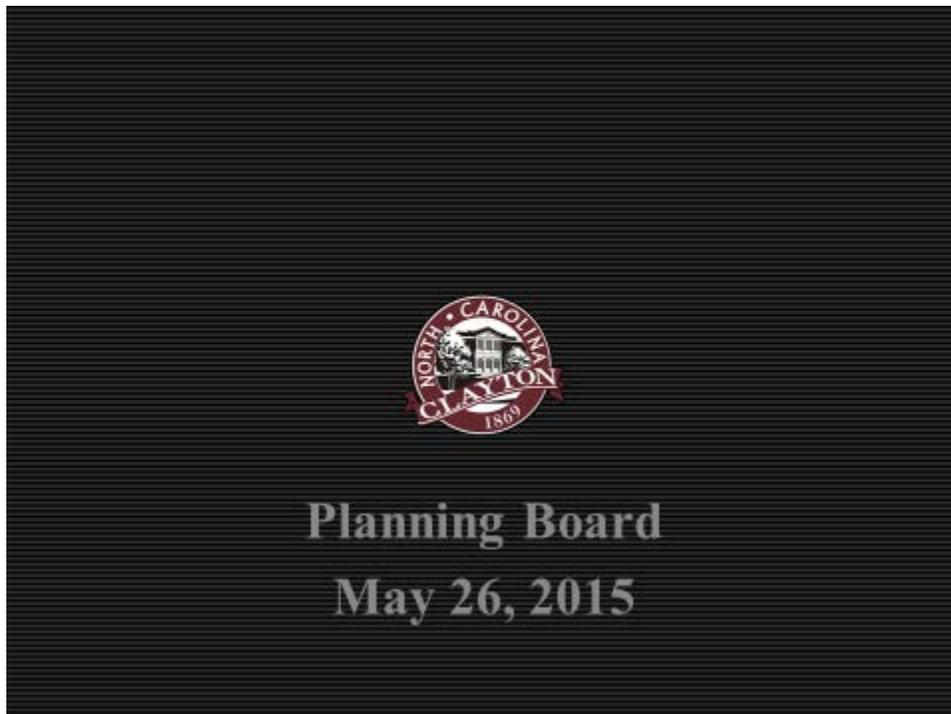
and although it didn't happen, he has been working hard. Mr. DeYoung states that staff still needs to review some things. Mr. Johnson makes a motion to table the item. Mrs. Brooks seconds the motion. Mr. Stewart asks if there is anything else he can clarify as he doesn't want any more gaps. Mr. Teem mentions sidewalks and Mr. Stewart explains that they are prepared to bond. Mr. Lee asks for visuals, same scales for drawings, and plantings in some empty space. Mr. Lee clarifies that the same scale is needed in order to see an accurate slope. Mr. Teem states that an elevation needs to be included. Mr. DeYoung confirms that for the June meeting the applicant needs to provide updated subdivision plans, landscape plan, retaining wall information, architecture elevations, and a cross section of the berm in scale.

Mr. Lee questions the \$130,000 price tag of a 2,000 sq ft home with a garage. Mr. Stewart explains that True Builders really wants to enter this area and want to make a good first impression. It is also confirmed that everyone is good on the neighborhood meeting information. Mr. Teem returns to the motion on the table to table the item until June. The motion passes unanimously at 6:52PM.

VI. NEW BUSINESS:

A. SP 2015-16 Edward Jones Site

Jay McLeod introduces SP 2015-16 with the following PowerPoint presentation; herewith attached and incorporated into the record.



PLANNING DEPARTMENT

SP 20155-16
Edward Jones Site Plan

Request:

- ◆ Site Plan for office building
- ◆ Owner: Boll Weevil LLC
- ◆ Applicant: Dalton Engineering and Assoc.
- ◆ Residential and Offices Surrounding



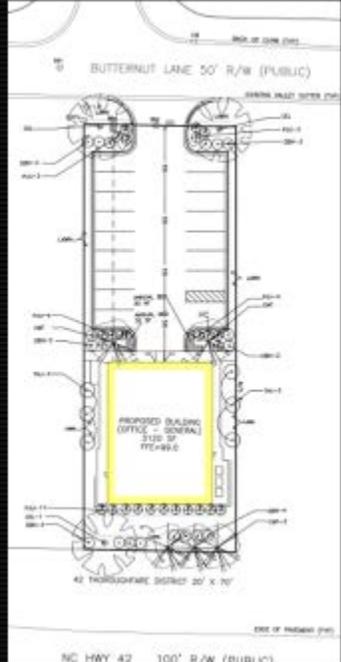
PLANNING DEPARTMENT

Edward Jones Site Plan

- ◆ Size: 0.31 acres
- ◆ Offices permitted
- ◆ Thoroughfare Overlay District (hatched) requires extra landscape plantings
- ◆ Neighborhood Meeting: May 7, 2015



Edward Jones Site Plan



- ◆ One 3,120 SF building
- ◆ Meets parking (1/300 SF)



Mr. McLeod explains that there is no sidewalk proposed on the south side along Hwy 42, nor is it requested by staff. Mr. Lee asks about sidewalks. Mr. McLeod explains that there is sidewalk on the north side along Butternut Lane and explains that with the potential widening of Hwy 42 staff is not recommending sidewalks right now, but will revisit after the widening project.

Edward Jones Elevations



Edward Jones Site Plan



- ◆ Multi-Modal access
 - Sufficient parking and road access
 - Internal sidewalk with one bike rack
- ◆ Sidewalks
 - Present on other side of Butternut Ln
 - Internal sidewalk spans lot
 - No sidewalk along Hwy 42
- ◆ Signage
 - None requested at present
- ◆ Site Lighting
 - Zero spillover onto adjacent properties

Edward Jones Site Plan



The proposed development is generally consistent with:

- ◆ Strategic Growth Plan
 - Objective 2.1: Balanced Development: Old & New
 - Objective 2.2: Infrastructure and Services Capacity to Support Growth
- ◆ Unified Development Code

Staff Recommendation: Approval with conditions

PLANNING DEPARTMENT

Edward Jones Site Plan

Conditions:

1. Following Board approvals, three copies of the Final Site Plan, Landscape Plan and Architectural Elevations meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. All mechanical equipment shall be completely screened from view.
3. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
4. Utility fees shall be paid to the Town prior to issuance of any building permits.
5. All signage shall require a sign permit from the Planning Department and shall meet standards of the Unified Development Code.
6. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy. All site improvements shall be installed prior to the site inspection.

Mr. Lee asks for clarification on whether or not sidewalks are included as he's hearing that they are not. Mr. DeYoung explains that at the time of the original approval of the office development sidewalks were only required on the one side. Mr. DeYoung further explains that it would not be appropriate to require as a condition at this point. Mr. Jonathan Barnes of Dalton Engineering approaches the podium and explains that the office was initially submitted many years ago and was approved. Since no action was ever taken the approval has expired and the owner now has another interested client. He explains they are resubmitting to bring it up to code and receive approval again. There are no questions for the applicant. Mr. Ahlert makes a motion to approve the Site Plan with conditions. Mr. Johnson seconds the motions and it passes unanimously at 7:01PM.

B. Comprehensive Plan

Mr. DeYoung gives a brief presentation about the Comprehensive Plan. He explains that he reviewed the Comprehensive Plan and felt that it was not ready to present in full yet. He tells the Board about the State of the Town for their own consumption and explains the data and inventory used to compose the Comprehensive Plan. He states that Town Council will be receiving the same information later this week and that Land Design will be at the June meeting to present in full. Mr. Bizzell Mr. DeYoung where he sees the Comprehensive Plan now. Mr. DeYoung explains that staff and Land Design began eight months ago thinking that this would be an 8-10 month project. He explains that he feels that the process is going well and gives



June 2, 2015

Planning Staff
Town of Clayton – Planning Department

RE: PSD 2014-97 MAGNOLIA POINT (PRELIMINARY SUBDIVISION PLAT)
Comments from second Planning Board meeting (held on 05/26/2015)

Please see the responses to comments in red.

Planning Department – Jay McLeod, *Town Planner* (919) 359-9335

General Comments from staff:

1. Please update drawings with the date that the drawing was made and/or revised. **Please see revised plans with seal and date.**
2. When showing trees or plantings, please note that canopy trees must be a minimum height of 8' and understory trees must be a minimum of 6'. This is especially relevant in site data notes, and in cross-sections that show buffer plantings. For instance, Section A shows a buffer planting that is 4' tall. Please revise this. **Please see site data notes for added note as well as on cross section plan view that shows buffer planting along Shotwell Rd.**
3. Since an alternative landscaping buffer using non-canopy trees is being proposed along Shotwell Road, please state the width of the landscape buffer on the landscaping plan, and designate it as a buffer. This area will be required to be maintained in perpetuity as a landscape buffer. **Please see the revised landscape plan showing a 20' landscape buffer along majority of Shotwell Rd. Also, added note to be maintained by HOA.**
 - a. It may also be beneficial to the applicant to show an eye-level elevation of the landscaping buffer from the sidewalk of Shotwell Road, with the homes behind the buffer. This is highly recommended when proposing an alternative landscape buffer. **Please see cross section view showing elevation of trees and homes.**
4. In the most recently submitted site plan (received 05/26/2015 at about 3:45pm), it appears that the lots and building envelopes include areas above and below the retaining wall that runs along Shotwell Road. It seems to staff that the area on the Shotwell Road side of the retaining wall is not actually buildable area, and so cannot be counted toward the building envelope. Please either revise the drawing (with attention to lot area minimums) or justify the current design. **Please see revised plan showing building envelopes stopped at retaining wall.**
5. Since the retaining wall along Shotwell Road appears to be 3.5' tall with 3:1 slopes above and below, please consider some sort of safety fencing along the top of the wall. This could be shown in cross-sections. **Areas between sidewalk and retaining wall to be considered none pedestrian traffic areas. Also, propose landscape trees to act as deterrent from entering.**

6. Please show the height difference at regular intervals along all retaining walls throughout the site, including those walls not along Shotwell Road. Please also include maximum heights for each stretch of wall. *Please see plan view and cross section views for areas of the highest elevation difference along all retaining walls.*
7. Please extend the sidewalk along the entirety of the cul-de-sac, as requested during the first TRC comments, or explain why this did not occur. *Showing see sidewalk around entirety of cul-de-sac.*
8. Please consider how the retaining wall at the bump-out in the road (in front of Lot 17) will be able to support the weight of the road and sidewalk, while also not disturbing the adjacent Resource Conservation Area and landscape buffer during construction. *Please see note on Site plan for retaining wall to be engineered and be able to handle any lateral pressures from road and sidewalk.*
9. The mail kiosk location will require a pull off that can accommodate two cars in a parallel parking arrangement, with tapered curbing up to the spaces, and striping designating that as a pull-off area. *Please see added parking for kiosk location.*

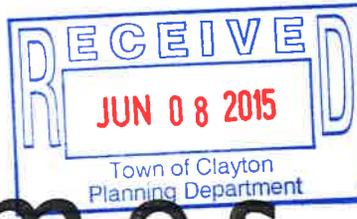
General Comments from Planning Board:

10. The Planning Board asked that the applicant use an identical scale for horizontal and vertical slopes in their cross-sections. In all cross-sections, please include landscape plantings, retaining walls, and/or fences, roads, sidewalks, and buildings, as appropriate, all to scale. Including human figures or cars for scale, but will assist in conveying relative scale to Planning Board members. *Please see plan view and cross section view with identical scale for horizontal and vertical.*
11. The applicant stated during the meeting that all slopes have been adjusted to be less steep than 3:1, and that all lots have 20' of flat yard in the rear of the building before sloping again. Please demonstrate this on the plan with appropriate cross-sections at appropriate locations. These include but are not limited to:
 - a. Maximum height change areas along Shotwell Road. It may be beneficial to show several cross-sections. *Please see cross sections with the biggest differences in elevation.*
 - b. Maximum height change areas in rear of lots, with particular attention to lots where the backyard slopes directly into stormwater BMPs. It may be beneficial to show several cross-sections. *Please see added cross section at BMP.*
 - c. Also be aware that the grading plan at the corner of Lot 37 shows slopes of 1.5:1 (3' rise in 5' horizontal). *Please see adjusted grades on lot.*

13. Please show the sidewalk extended along the entirety of the parcel, including the area labeled as "reserved by owner". This was requested during the first Planning Board meeting, and during the second Planning Board meeting, the applicant indicated that this was acceptable. Please see added sidewalk with note of payment in-lieu of construction of sidewalk.
14. The Planning Board accepted the applicant's update/replacement of the May 8th neighborhood meeting minutes for the previous meeting minutes. So noted.
15. Planning Board found the elevation drawings that you presented at the meeting were sufficient to determine the architectural character of the proposed development. So noted.

If you have any questions or need additional information please do not hesitate to contact me @ (919)779-1855. Your cooperation in this matter is appreciated.
Sincerely,

John Teel



True Homes

IT'S ALL ABOUT YOU

THE INVERNESS MASTER SET ELEMENTS

True Homes
IT'S ALL ABOUT YOU
2649 Brekon Ridge, Centra Dr.
Suite 104
Monte, N.C. 28110
704-226-9486

COMMUNITY
COMMUNITY

LOT #

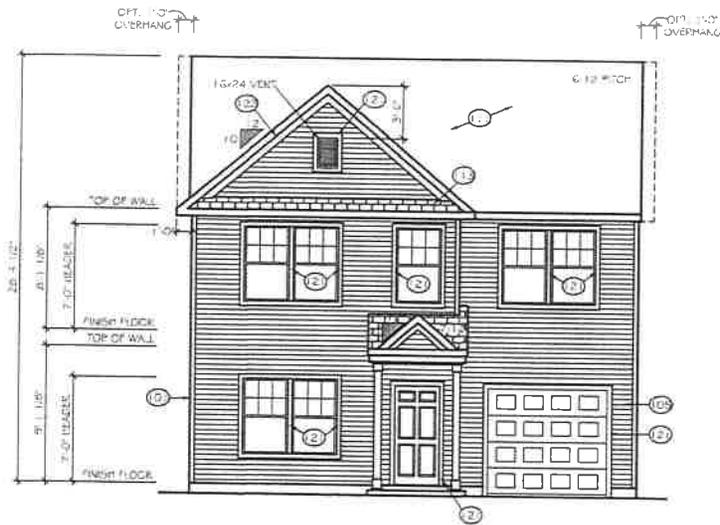
COVER SHEET
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THE INVERNESS

ELECTRICAL LEGEND	GENERAL NOTES	KEY NOTES	TABLE OF CONTENTS																																																														
50' CARRIAGE LIGHT OUTLET 120V OUTLET 110V OUTLET 110V WATER PROOF OUTLET 110V GFI SWITCH OUTLET FRIGNE CO DETECTOR SMOKE DETECTOR SWITCH 4-WAY SWITCH SPEAKER SWITCH THERMOSTAT CABLE TV CEILING LIGHT FUNCTION LIGHT SWITCHER EXHAUST FAN EXHAUST FAN LIGHT FLOOD LIGHT UNDER CABINET LIGHT FLUSH BUTTON ELECTRIC PANEL DAY LIGHT PENDANT LIGHT CEILING FAN W/ WIRE	<p>1. MANY PERMITTED IN NORTH CAROLINA ARE REQUIRED TO MEET THE 2012 NCIRC CAROLINA RESIDENTIAL BUILDING CODE. LATEST EDITION W/ 2013 AMENDMENTS, AS ISSUED BY THE STATE OF NORTH CAROLINA, AND PLANS PERMITTED IN SOUTH CAROLINA DESIGNED TO MEET NCIRC INTERNATIONAL RESIDENTIAL BUILDING CODE AS ISSUED BY THE STATE OF SOUTH CAROLINA, WITH MODIFICATIONS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH APPLICABLE JURISDICTION.</p> <p>2. DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT PRODUCTION CAD DEPARTMENT FOR FURTHER CLARIFICATION.</p> <p>3. THE THORPE COLUMNS A MINIMUM OF 3" FROM SLAB EDGE TO COLUMN EDGE.</p> <p>4. PROVIDE 7 STUDS BETWEEN ALL WINDOWS.</p> <p>5. ACCESS DOORS BETWEEN HOUSE AND GARAGE AREAS TO BE 20 MINUTE FIRE RATED.</p> <p>6. ALL EXTERIOR WALLS & INTERIOR WALLS TO BE 2x4 STUDS @ 6" O.C. UNLESS NOTED OTHERWISE.</p> <p>7. ALL STRUCTURAL FRAMING LUMBER DISPOSED DIRECTLY TO THE WEATHER OR BEARING DIRECTLY ON MASONRY OR CONCRETE SHALL BE TREATED. ALL WOOD IN CONTACT WITH THE GROUND MUST BE GROUND CONTACT APPROVED. ALL WOOD EXPOSED DIRECTLY TO THE WEATHER SHALL BE PROTECTED TO PREVENT THE OCCURRENCE OF ROT.</p> <p>8. ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.</p> <p>9. WINDOWS ARE LABELED AS NOMINAL SIZES. SEE ELEVATIONS AND ROUGH OPENING SCHEDULES FOR FRAMING SIZES. SEE ELEVATION PLAN FOR WINDOW HEADER HEIGHTS.</p> <p>10. DIMENSIONS ARE FROM FACE OF STUDS.</p> <p>11. PROVIDE BLOCKING ABOVE WINDOWS AND DOORS @ 16" O.C.</p> <p>12. PROVIDE EXTRA STUDS AS INDICATED AT BEAM BEARING LOCATIONS.</p> <p>13. WALLS TO BE FRAMED WITH STUDS AT 16" O.C. AT KITCHEN WALLS WITH CABINETS.</p> <p>14. ALL WALLS WITH HABITABLE SPACE ABOVE REQUIRES MINIMUM 1/2" GWB COMMON WALLS BETWEEN HOUSE AND GARAGE TO RECEIVE A 1/2" LAYER OF GWB @ GARAGE SIDE. COMMON CEILINGS BETWEEN GARAGE TO HOUSE PROVIDE 5/8" TYPE X GWB PER GARAGE SEPARATION REQUIREMENTS PER IRC ALL JOINTS TO BE TAPED & Mudded FOR FIRE SEPARATION.</p> <p>15. SEPARATE GARAGE FROM ATTIC WITH 5/8" TYPE X GWB SCUTTL MINIMUM AND 2x SCUTTL FRAMING MATERIAL. SEE HEIGHTS - SEE ELEVATIONS SHEETS FOR TOP OF FASCIA DIMENSIONS TO GATHER PROPER HEIGHT REQUIREMENTS.</p> <p>16. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES AND PER MANUFACTURER SPECS.</p> <p>17. STAIR TREAD DESIGN TO BE VERIFIED WITH SELECTIONS AND POS.</p> <p>18. PROVIDE 1" X 1" FLAT WALL FRAMING FOR ALL 1/4" CHASES UNLESS NOTED OTHERWISE. SEE FRAMING SHEETS/CSS FOR ADDITIONAL NOTES PER LOCAL CODES.</p> <p>19. FOR TRADITIONAL ELEMENTS INTEGRITY AND TRULITE SERIES, DOORS SHOULD BE LOCATED 4" OFF ADJACENT WALLS OR CENTERED IN THE WALL UNLESS NOTED OTHERWISE. DESIGNER SERIES SHOULD BE LOCATED 7" OFF ADJACENT WALLS OR CENTERED IN THE WALL UNLESS NOTED OTHERWISE.</p> <p>20. ALL DIMENSIONS START AT THE BACK REAR CORNER OF HOME OPPOSITE GARAGE.</p>	<p>1. CORNER TRIM</p> <p>2. FLUSH RAMP</p> <p>3. HORIZONTAL SIDING</p> <p>4. HORIZONTAL SHUTTER SIDING</p> <p>5. UNCALCULATED SIDING</p> <p>6. SHARPE SIDING</p> <p>7. COMPOSITE SHINGLES</p> <p>8. METAL FLOORING</p> <p>9. SHINGLES RETURN</p> <p>10. FUS-FASCIA</p> <p>11. PLASTER</p> <p>12. VINYL SUTTER</p> <p>13. TRIM BOARD AT OVERHEAD DOOR</p> <p>14. DR. CARMOLO TRIM</p> <p>15. 1/4" TRIM BOARD</p> <p>16. 1/2" TRIM BOARD</p> <p>17. 3/4" TRIM BOARD</p> <p>18. SYNTHETIC CROSS HEAD</p> <p>19. 1/4" FREEZE TRIM BOARD</p> <p>20. 1/2" SPRUCE FASCIA W/ SOL WRAP & VINYL SOFFIT</p> <p>21. 1/2" THICK STONE CAP</p> <p>22. 5" FACE BRICK VENEER</p> <p>23. ROWLOCK SILL</p> <p>24. BRICK ARCH ARCH</p> <p>25. HOLDER COURSE</p> <p>26. PRECAST CONCRETE</p> <p>27. 1/2" THICK STONE VENEER</p>	<p>CS COVER SHEET</p> <p>A1 REVISION SHEET</p> <p>A2 FOUNDATION & OPTIONS</p> <p>A3 FIRST FLOOR PLANS & OPTIONS</p> <p>A4 SECOND FLOOR PLANS & OPTIONS</p> <p>A5 EXTERIOR ELEVATIONS & OPTIONS</p> <p>GEN GENERAL STRUCTURAL NOTES</p> <p>A6 FLOOR FRAMING & OPTIONS</p> <p>A7 ROOF FRAMING & OPTIONS</p> <p>A8 STAIR SECTIONS</p> <p>E1 FIRST FLOOR ELECTRICAL PLANS</p> <p>E2 SECOND FLOOR ELECTRICAL PLANS</p> <p>D DETAILS</p> <p>C CABINET PLANS</p>																																																														
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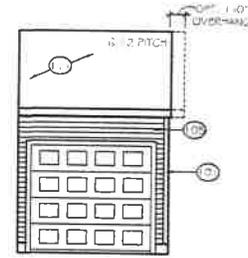
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SHEET: CS



FRONT ELEVATION
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ELEVATION E-A1



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A2, E-A4 - E-A6, E-B2, E-B4 - E-B6, E-C2, E-C4 - E-C6, E-D2, E-D4 - E-D6

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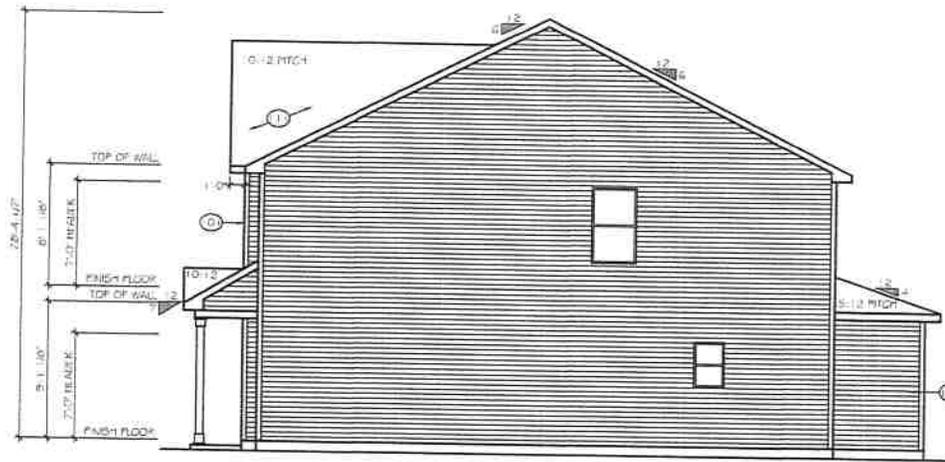
COMMUNITY
COMMUNITY
LOT #

FRONT & REAR ELEVATIONS
ELEVATION E-A1
THE INVERNESS

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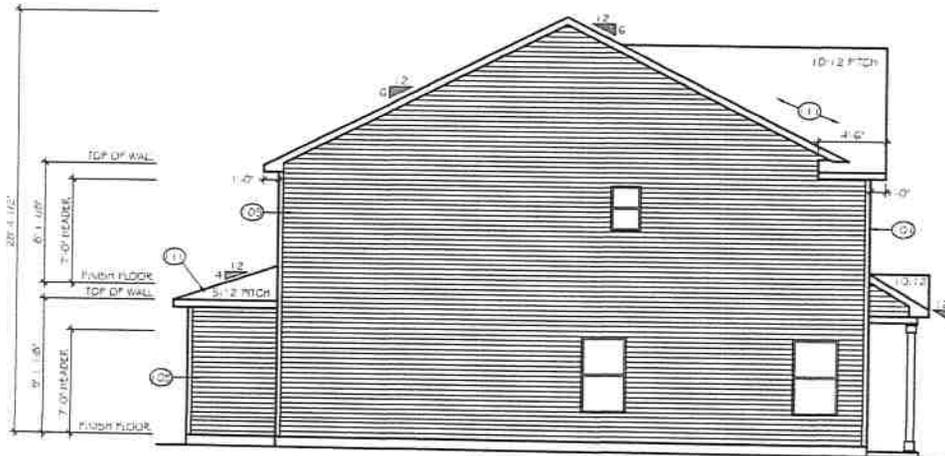
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RIGHT ELEVATION
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ELEVATION E-A1, E-A3, E-B1, E-B3, E-C1, E-C3, E-D1, E-D3



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A1, E-A3, E-B1, E-B3, E-C1, E-C3, E-D1, E-D3

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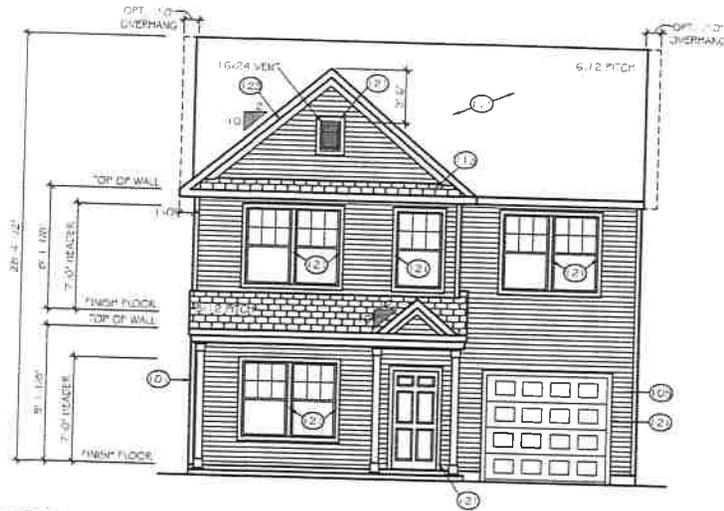
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LEFT & RIGHT ELEVATION
OPEN - PARTIAL PORCH (A-D)
THE INVERNESS

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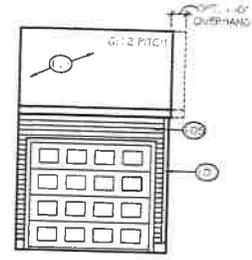
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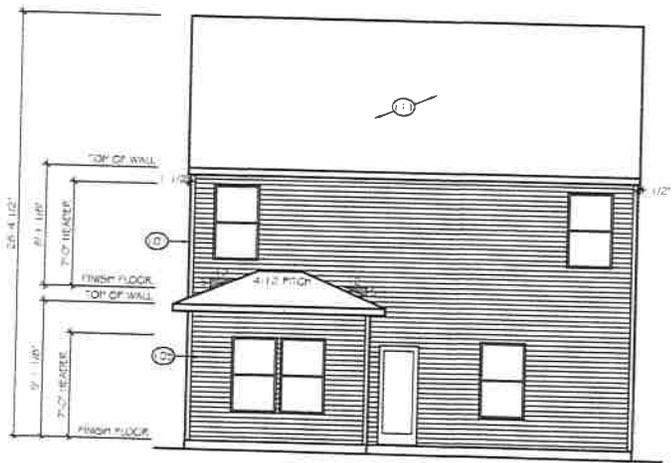


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ELEVATION E-A2



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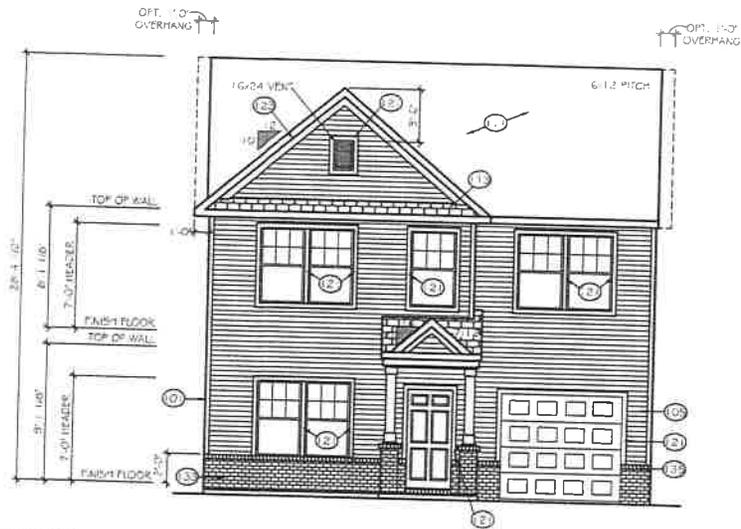
FRONT ELEVATION
ELEVATION E-A2

THE INVERNESS

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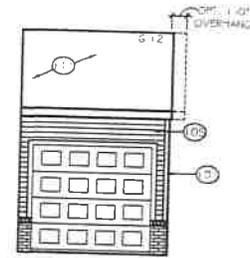
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SHEET:
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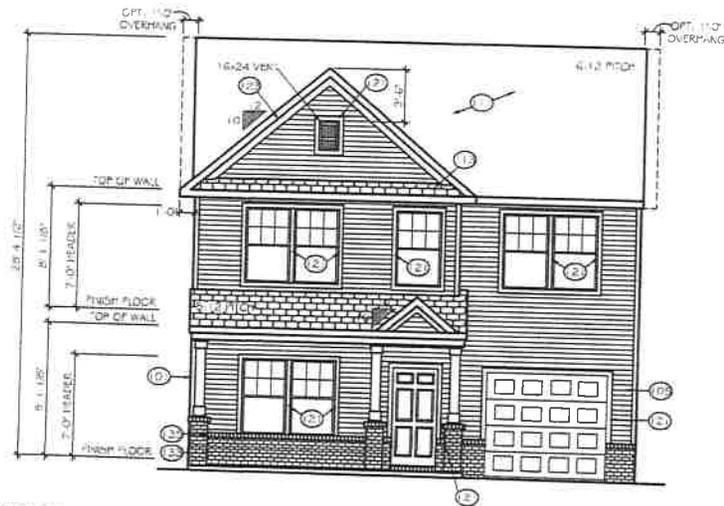


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A3

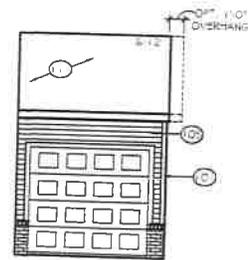


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

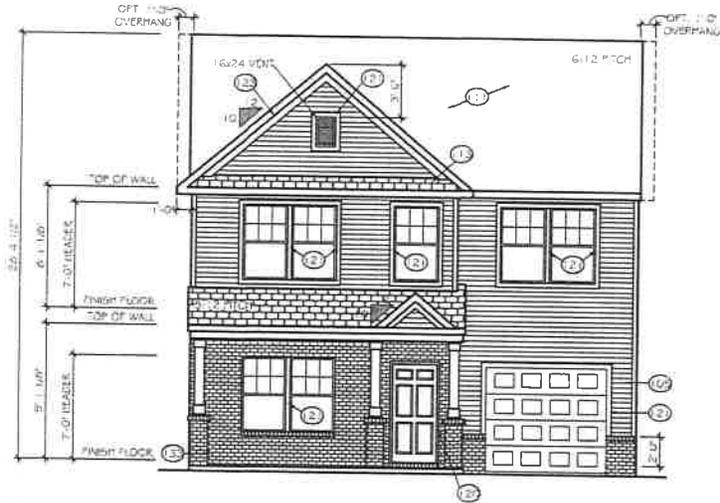
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FRONT ELEVATIONS
ELEVATIONS E-A3, E-A4
THE INVERNESS

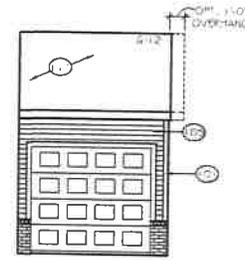
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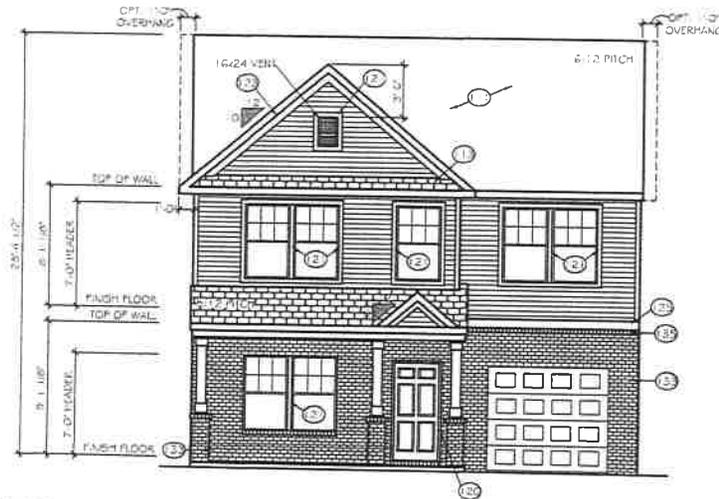


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A5

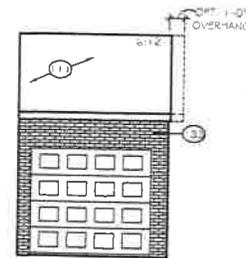


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-A6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

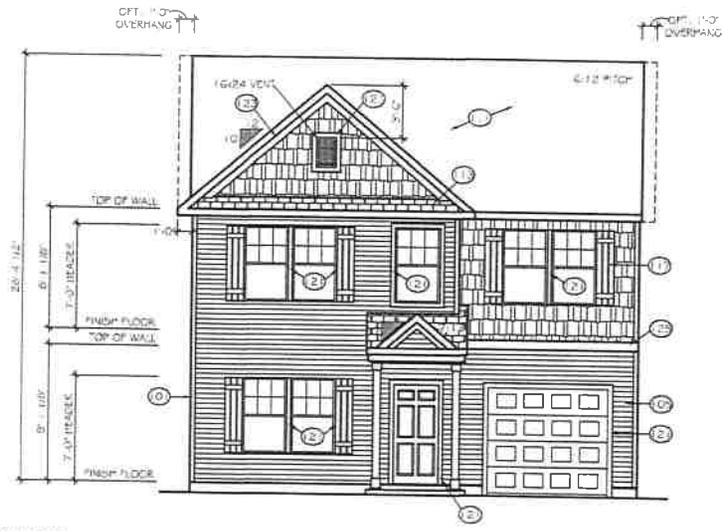
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FRONT ELEVATION
ELEVATIONS E-A5, E-A6
THE INVERNESS

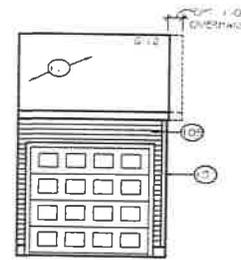
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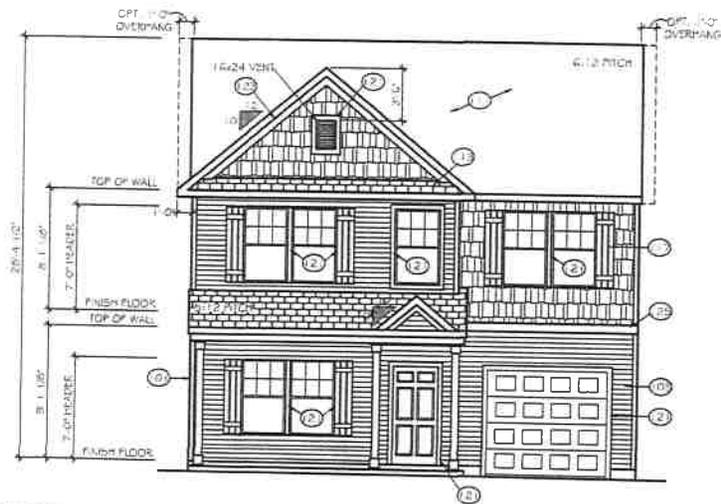


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-B1

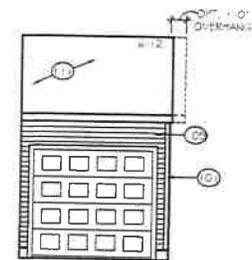


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-B2



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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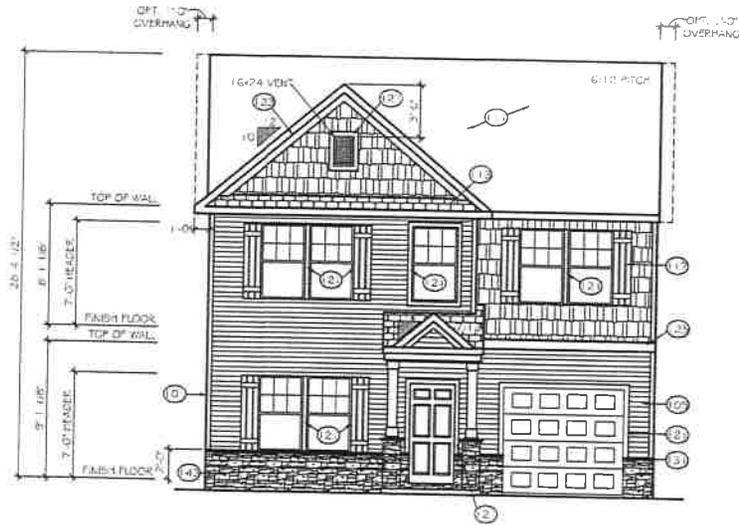
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FRONT ELEVATIONS
ELEVATION E-B1, E-B2
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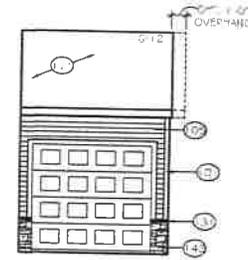
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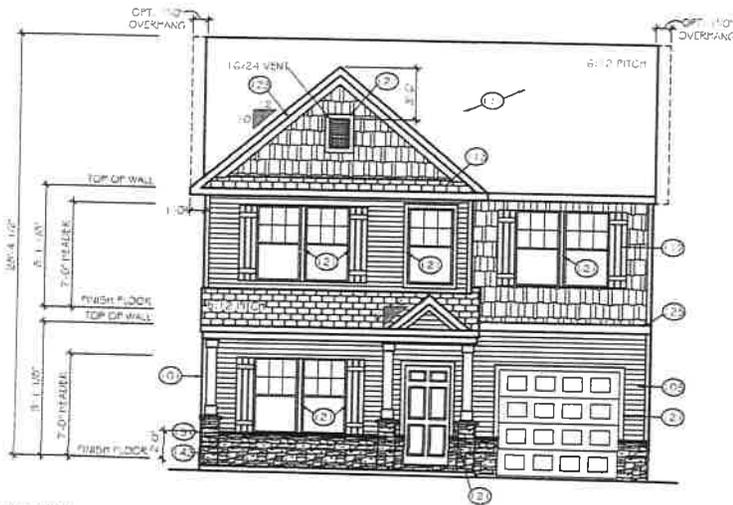


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-83

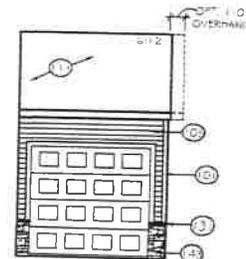


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-84



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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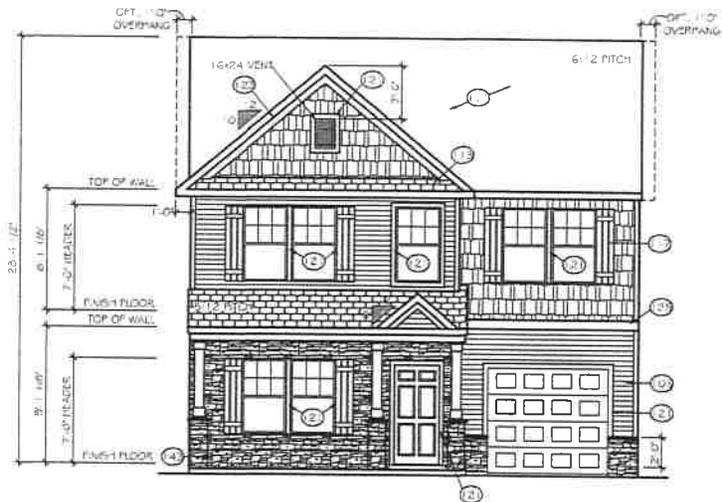
FRONT ELEVATIONS
ELEVATIONS E-83, E-84

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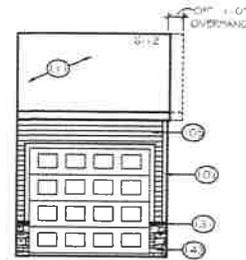
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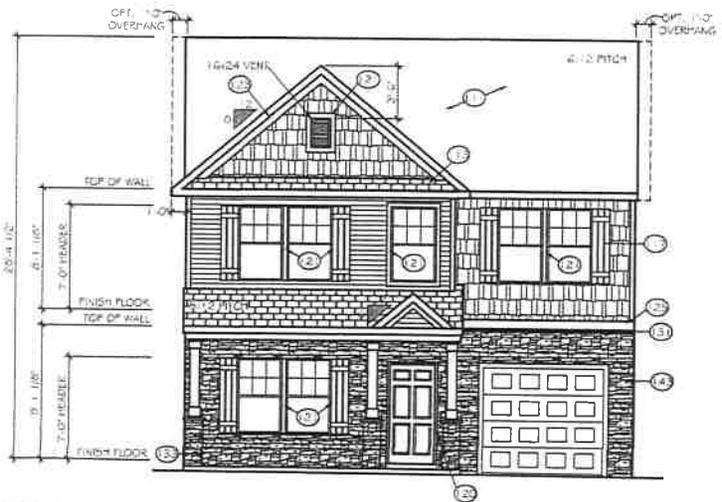


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-B5

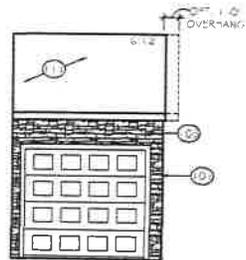


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-B6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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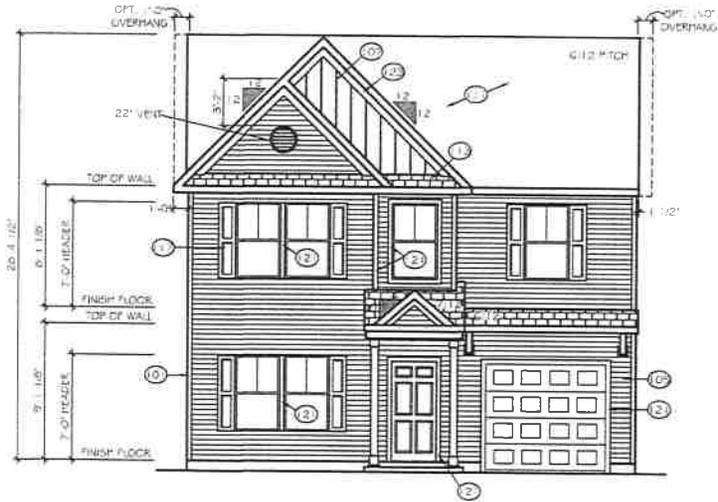
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FRONT ELEVATION
ELEVATIONS E-B5, E-B6
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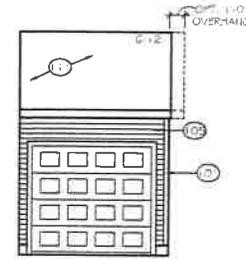
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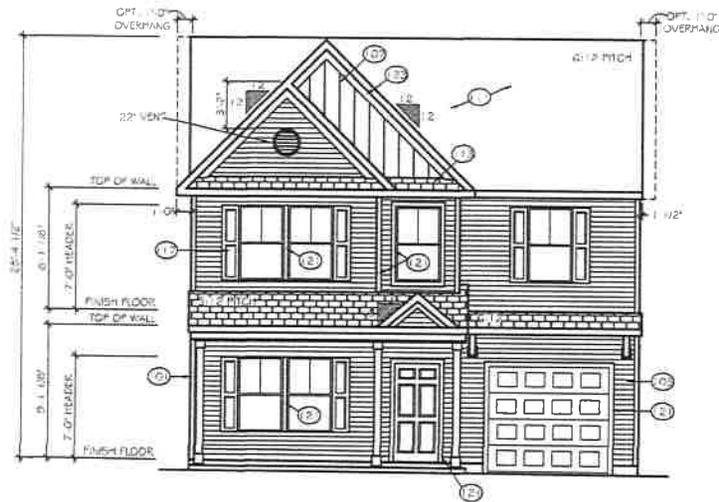


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C1

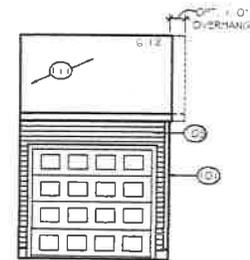


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C2



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

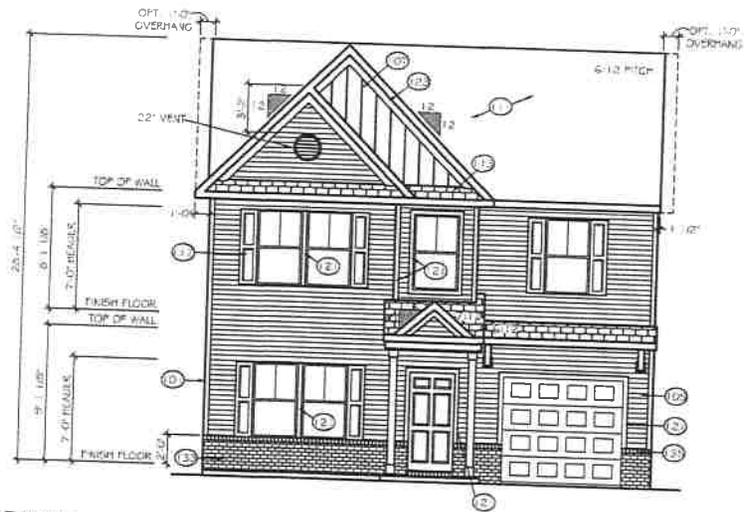
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FRONT & REAR ELEVATIONS
ELEVATION E-C1, E-C2
THE INVERNESS

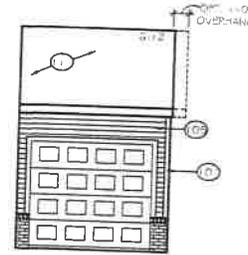
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DATE: 10/21/14
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CHECKED BY: SPS

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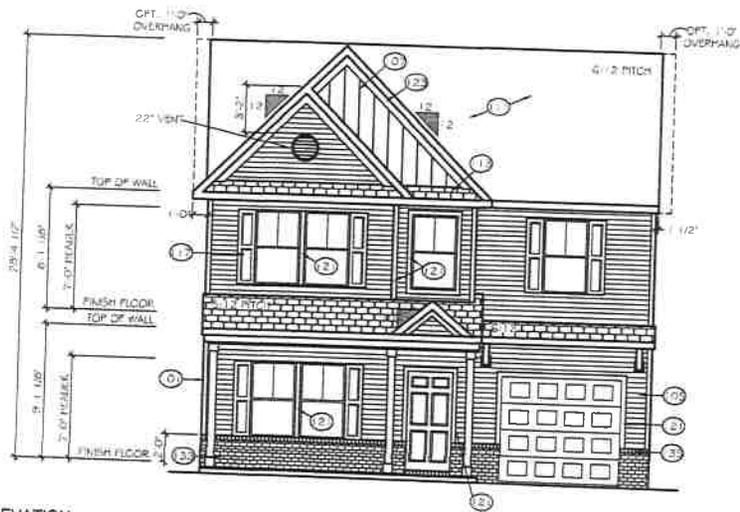


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C3

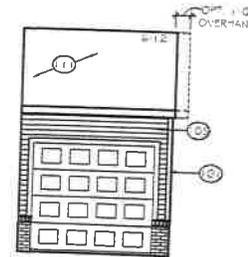


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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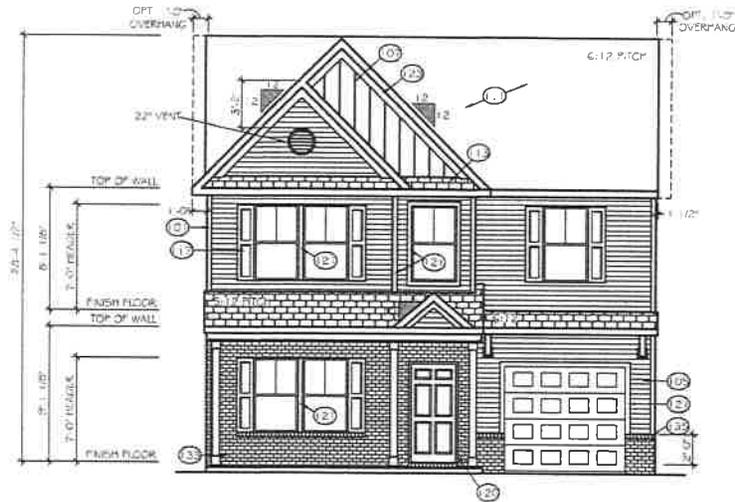
FRONT ELEVATIONS
ELEVATIONS E-C3, E-C4

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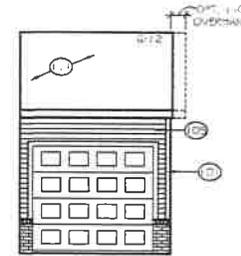
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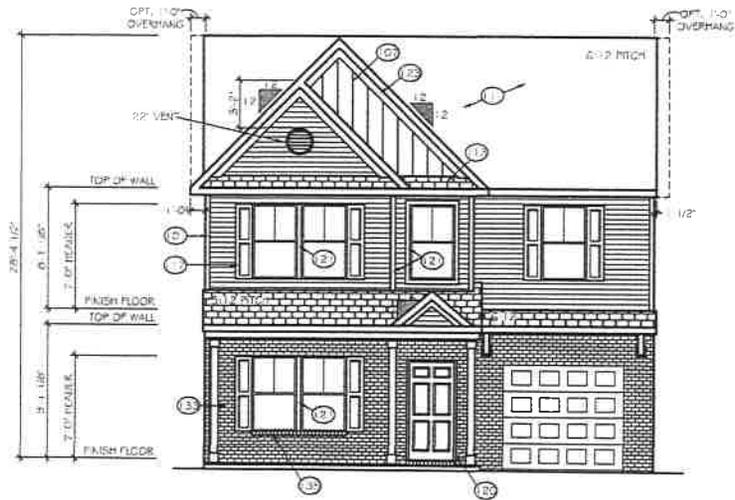


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C5

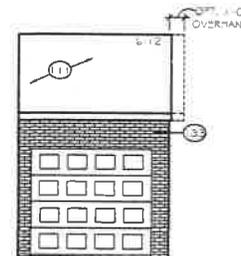


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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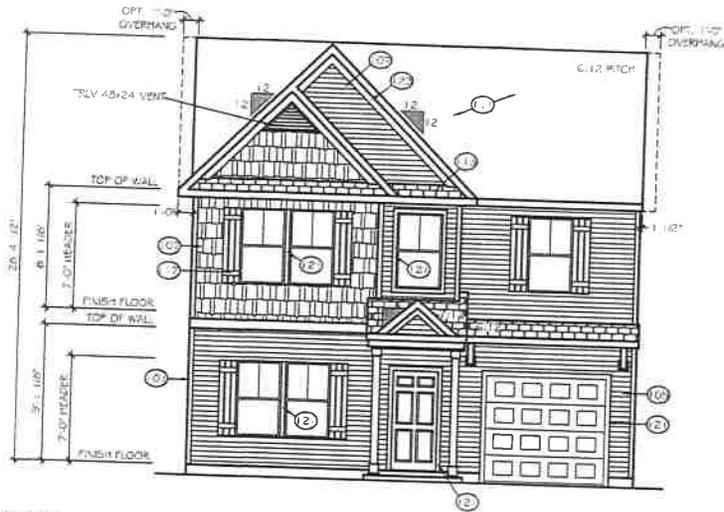
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FRONT ELEVATIONS
ELEVATION E-C5, E-C6
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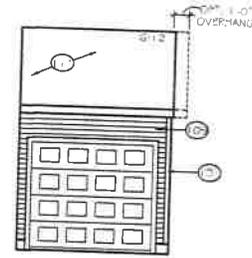
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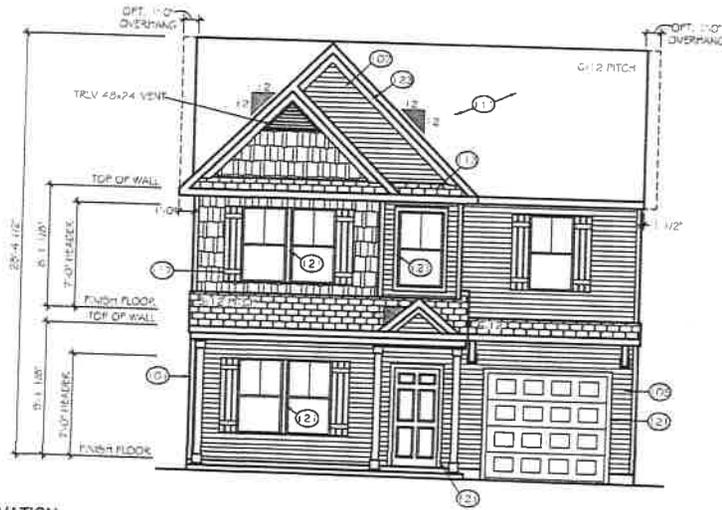


FRONT ELEVATION
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ELEVATION E-D1

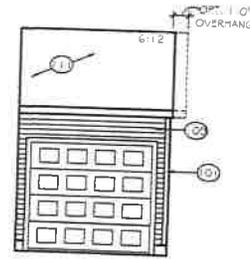


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-D2



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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FRONT ELEVATIONS
ELEVATIONS E-D1, E-D2

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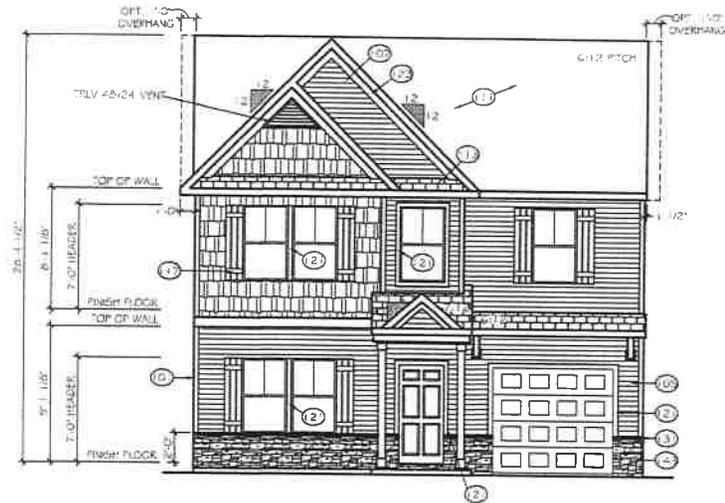
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DATE:
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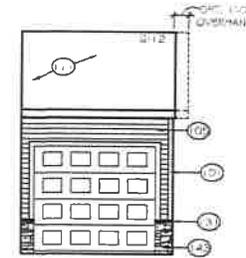
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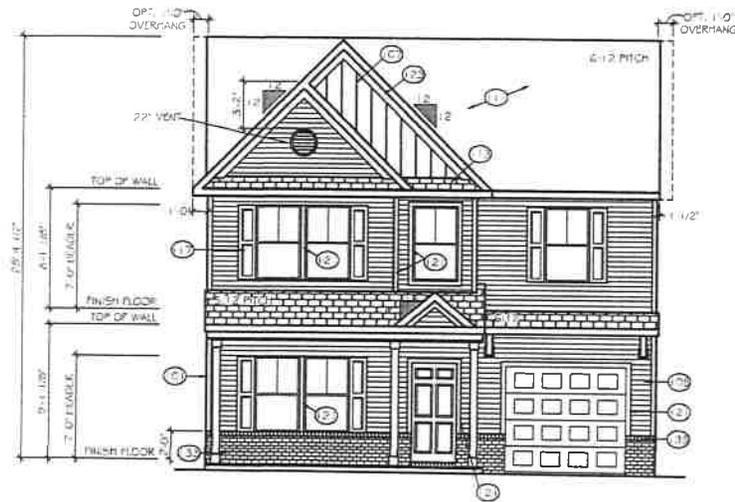


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-D3

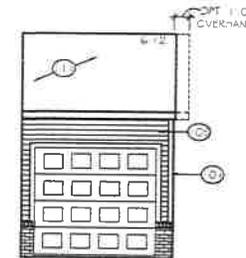


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-C4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

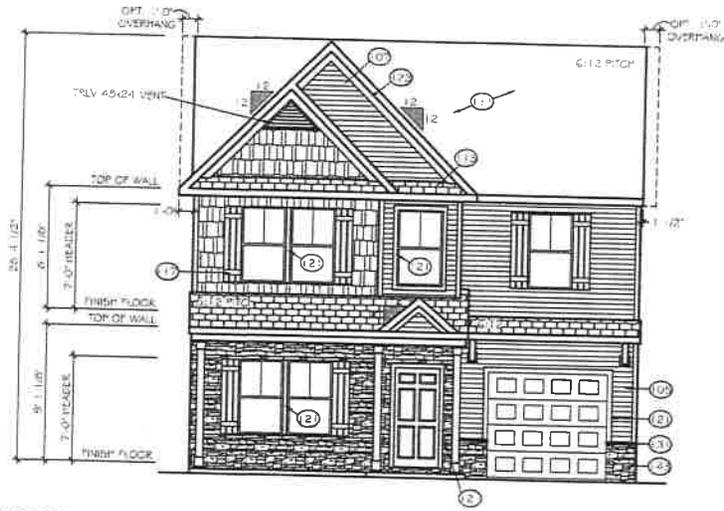
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FRONT ELEVATIONS
ELEVATIONS E-D3, E-D4
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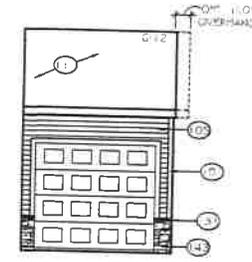
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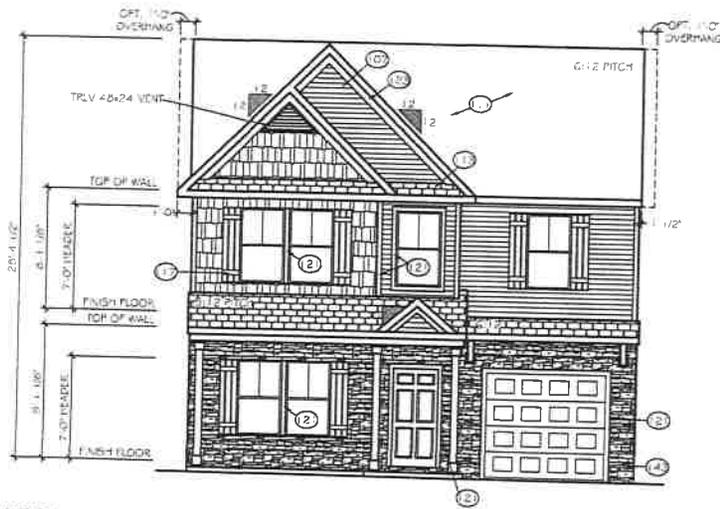


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-D5

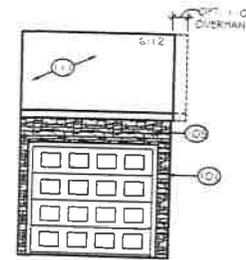


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-D6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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FRONT ELEVATION
ELEVATIONS E-D5, E-D6

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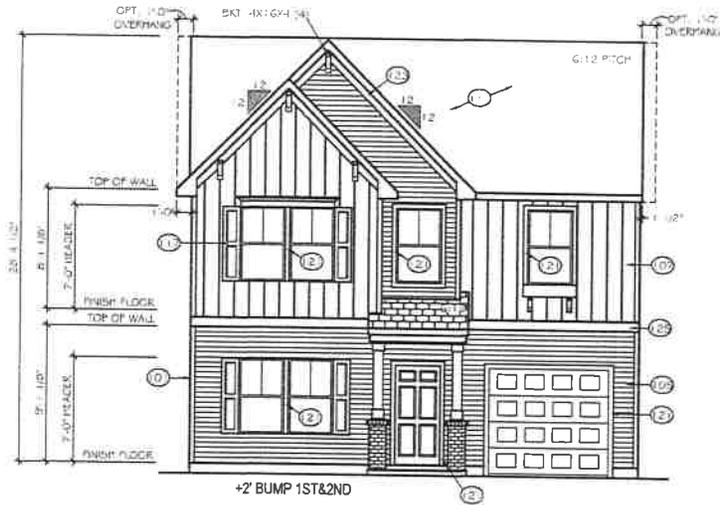
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TJC

DATE:
10/21/14

SCALE:
3/8" = 1'-0"

CHECKED BY:
DPS

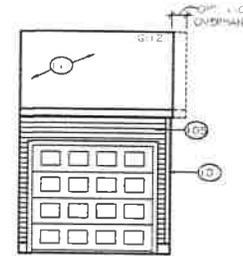
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FRONT ELEVATION

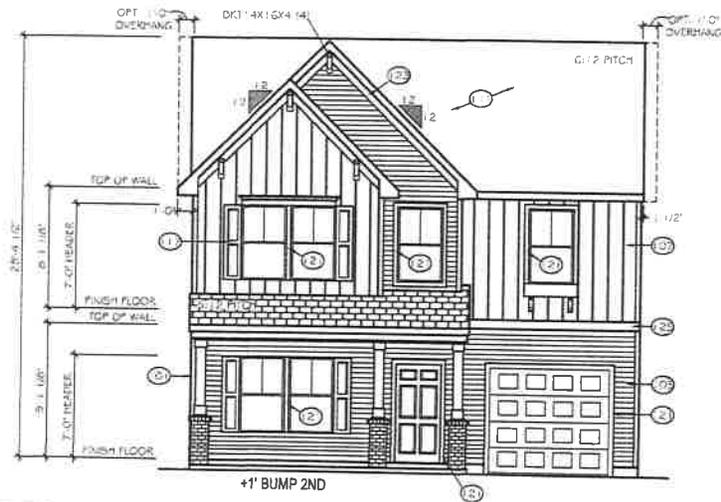
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ELEVATION E-E1



2-CAR GARAGE OPT.

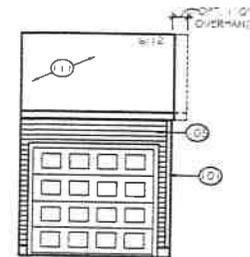
SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION E-E2



2-CAR GARAGE OPT.

SCALE: 1/8" = 1'-0"

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FRONT ELEVATIONS
ELEVATIONS E-E1, E-E2

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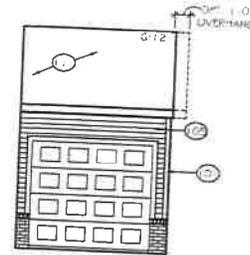
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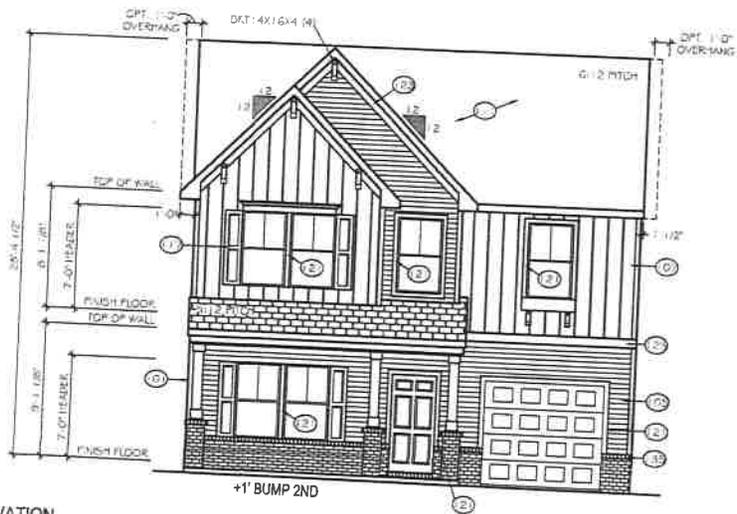
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

+2' BUMP 1ST&2ND

ELEVATION E-E3



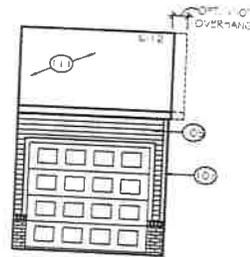
2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

+1' BUMP 2ND

ELEVATION E-E4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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FRONT ELEVATION
ELEVATIONS E-E3, E-E4

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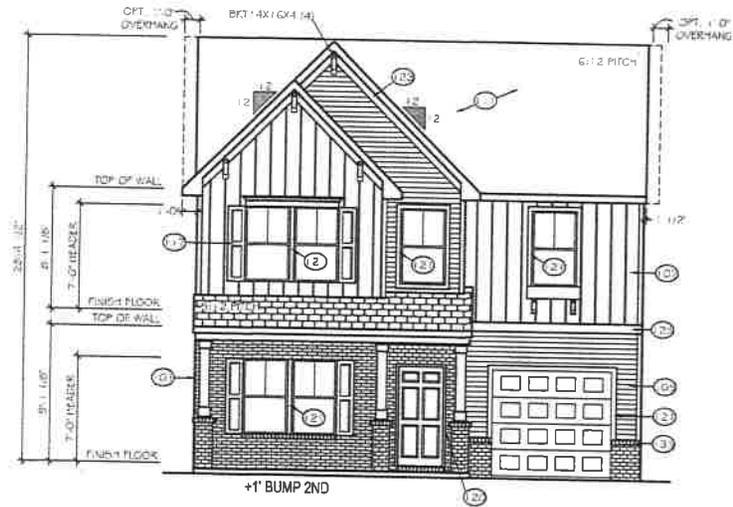
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TJC

DATE:
10/21/14

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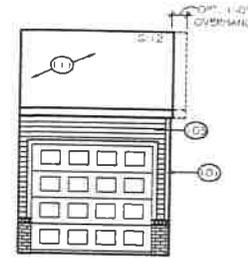
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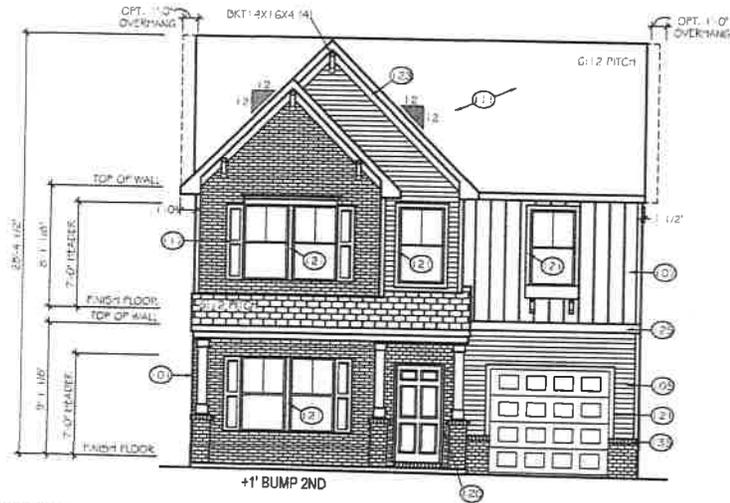


FRONT ELEVATION
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ELEVATION E-E5

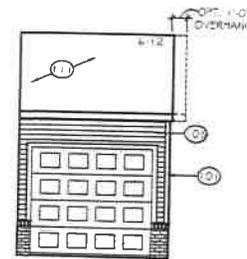


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-E6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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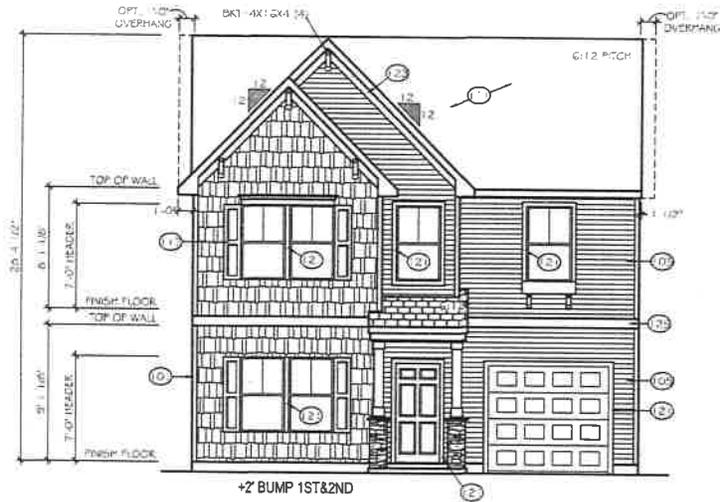
FRONT ELEVATION
ELEVATIONS E-E5, E-E6

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CHECKED BY: SPB

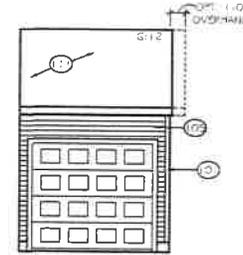
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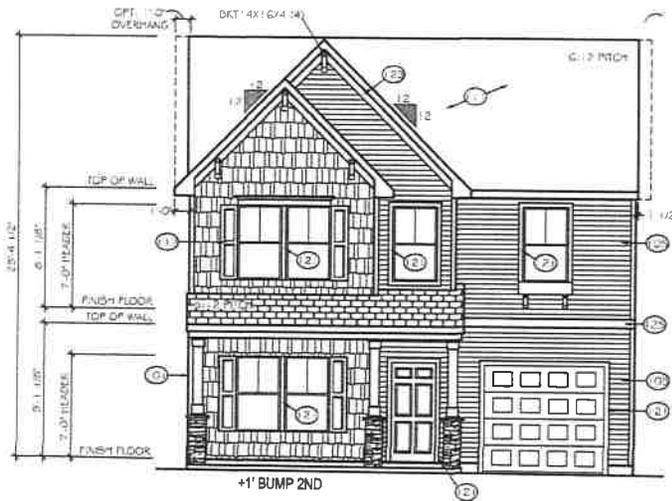
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SCALE: 1/8" = 1'-0"

ELEVATION E-F1

+2' BUMP 1ST&2ND



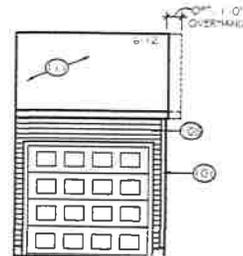
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SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-F2

+1' BUMP 2ND



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

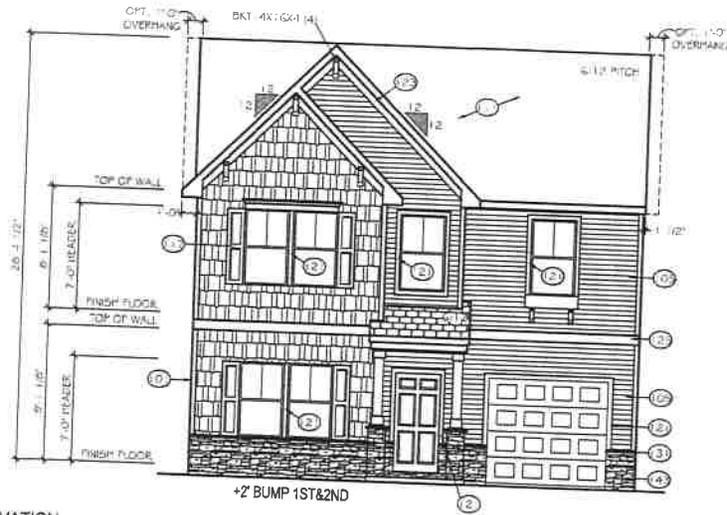
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FRONT ELEVATIONS
ELEVATION E-F1, E-F2
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CHECKED BY: DJS

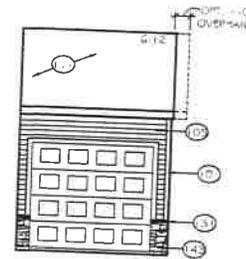
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FRONT ELEVATION
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+2' BUMP 1ST&2ND

ELEVATION E-F3



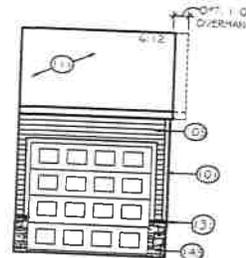
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SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

+1' BUMP 2ND

ELEVATION E-F4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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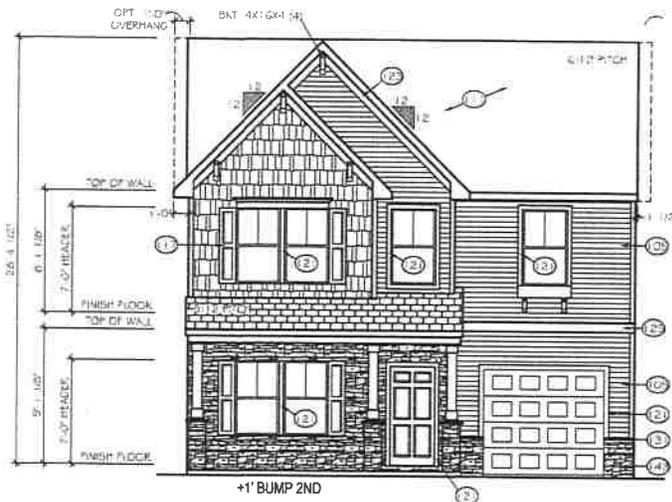
FRONT ELEVATIONS
ELEVATION E-F3, E-F4

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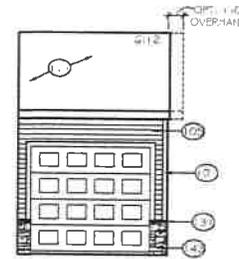
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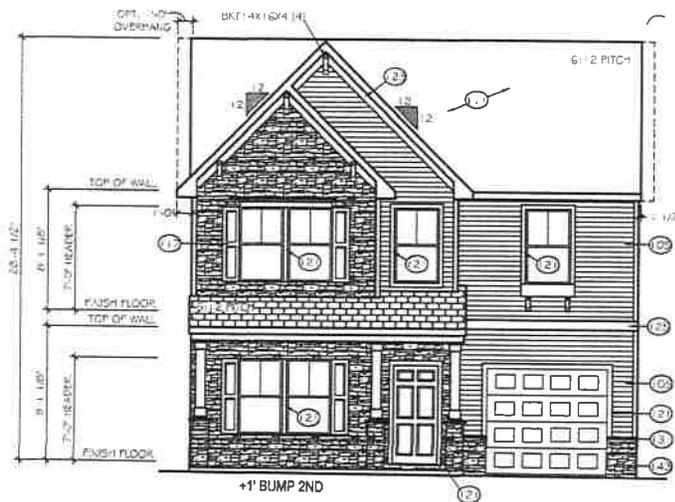


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-F5

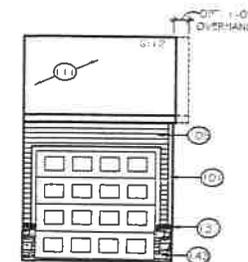


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-F6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

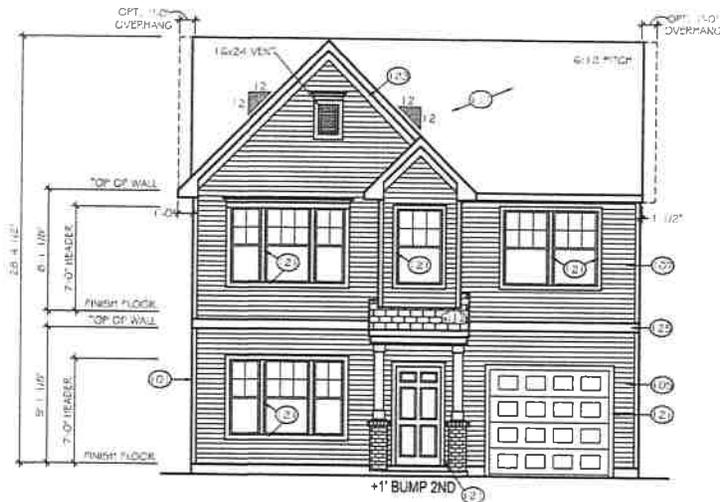
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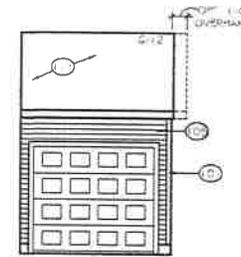
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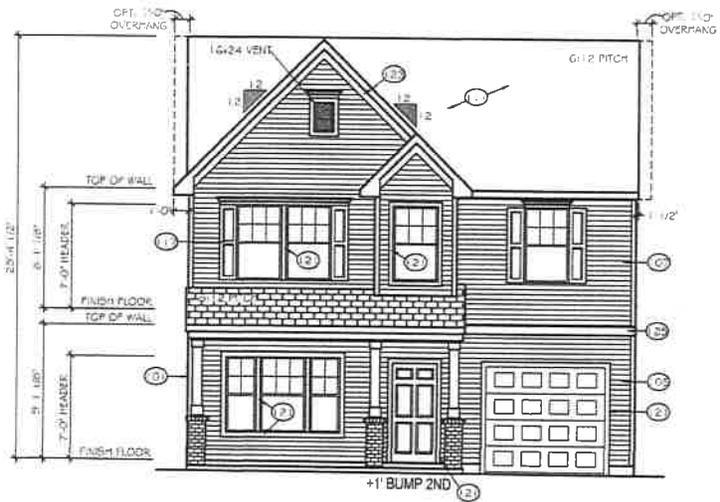


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-G1

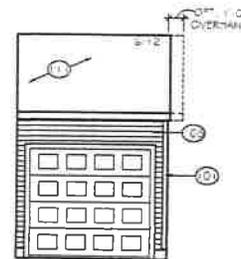


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-G2



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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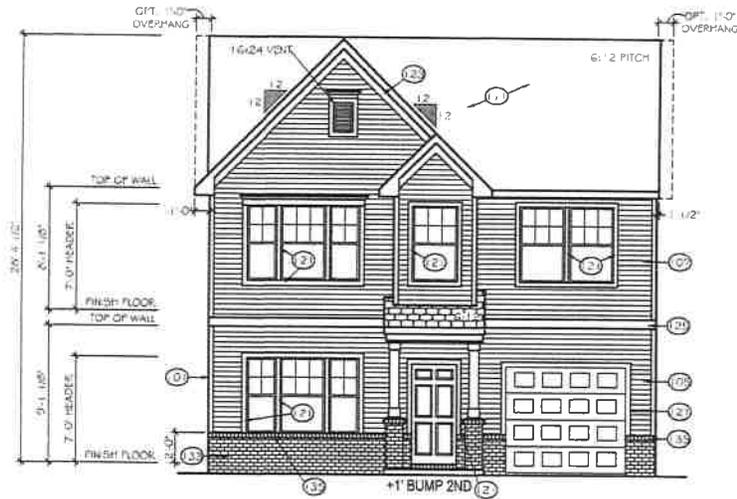
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FRONT ELEVATIONS
ELEVATIONS E-G1, E-G2
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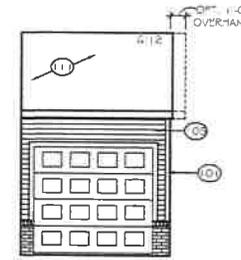
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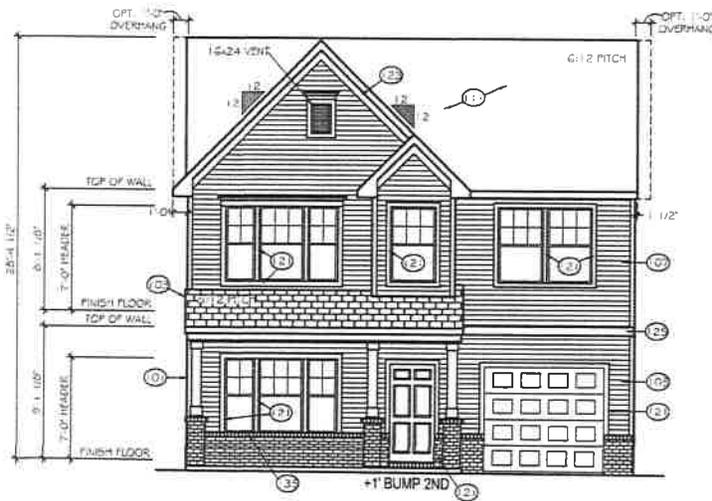


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-G3

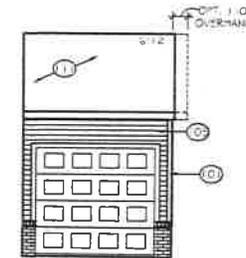


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-G4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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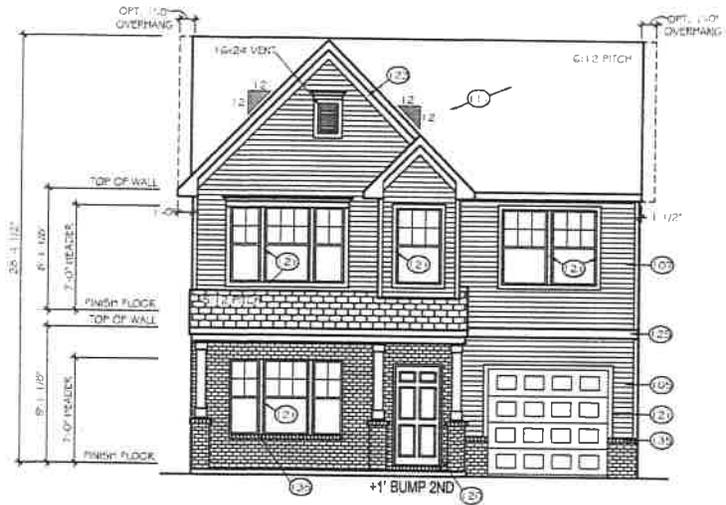
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FRONT ELEVATIONS
ELEV. E-G3, E-G4
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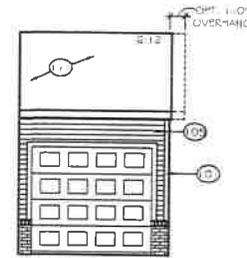
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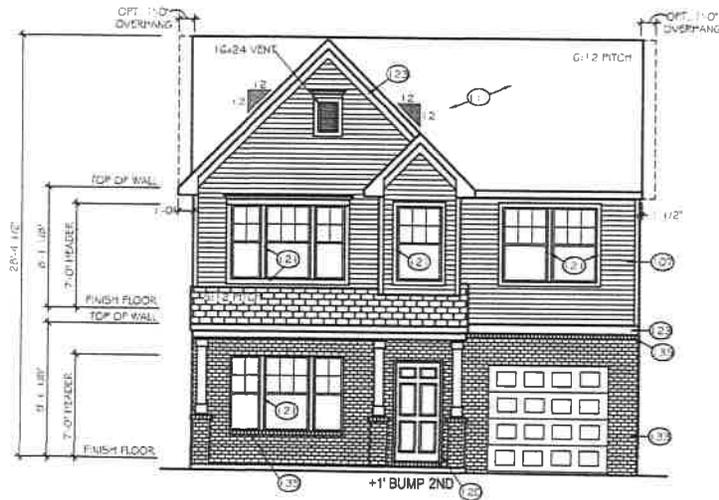


FRONT ELEVATION
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ELEVATION E-G5

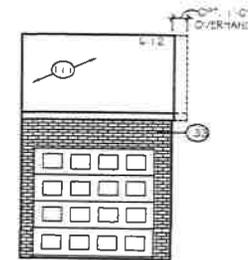


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-G6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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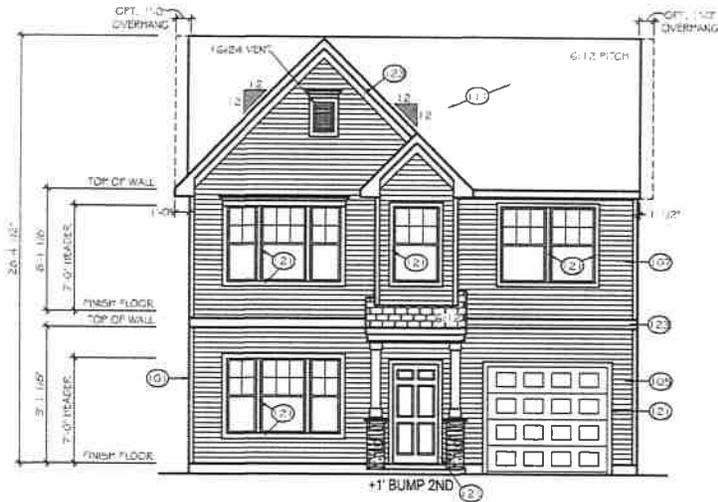
FRONT ELEVATIONS
ELEVATIONS E-G5, E-G6

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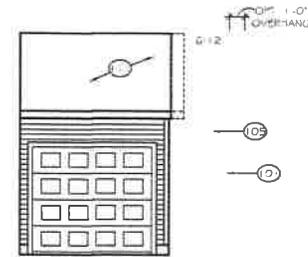
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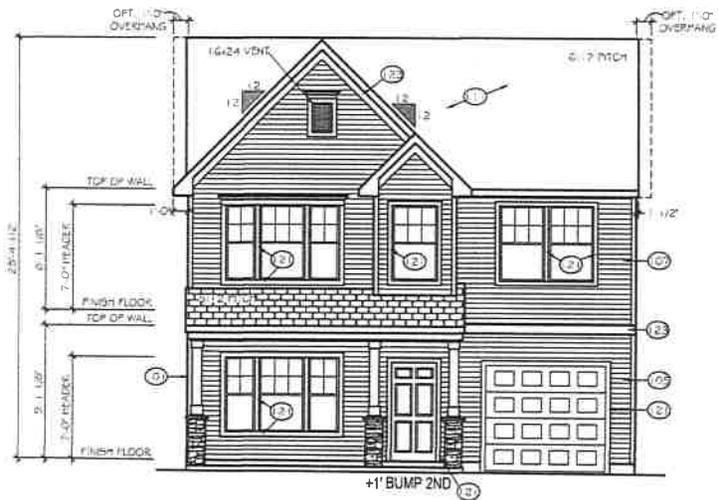


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-H1

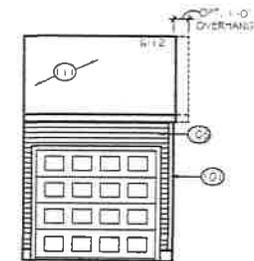


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-H2



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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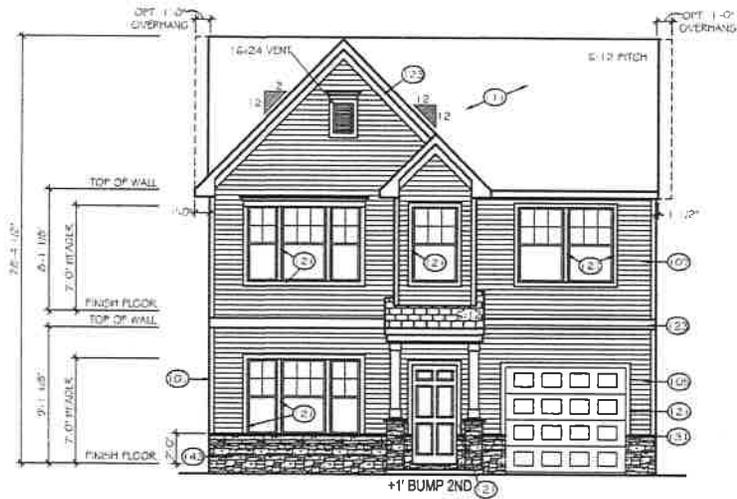
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FRONT ELEVATIONS
ELEV. E-H1, E-H2
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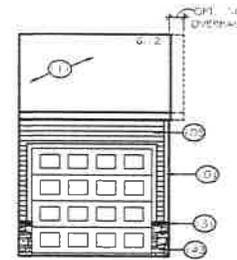
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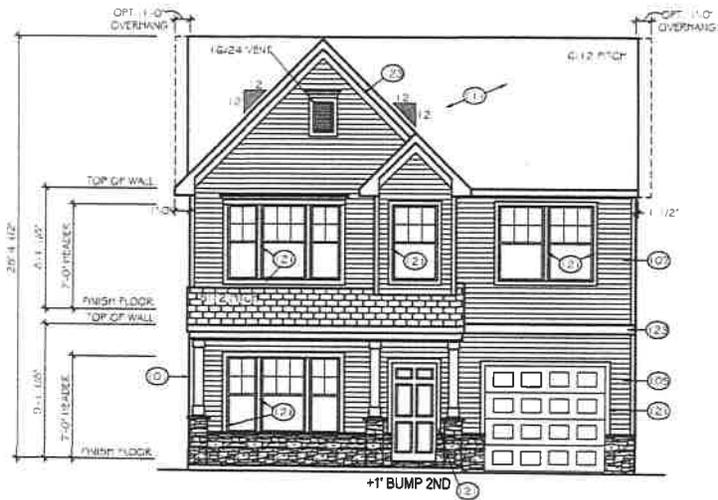


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SCALE: 1/8" = 1'-0"

ELEVATION E-H3

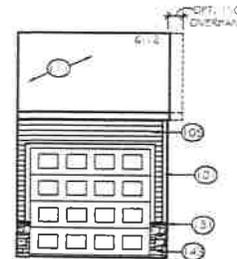


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-H4



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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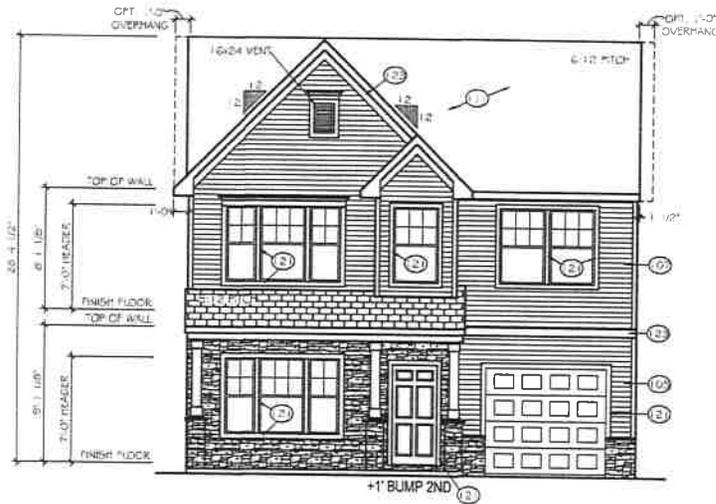
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ELEVATIONS E-H3, E-H4
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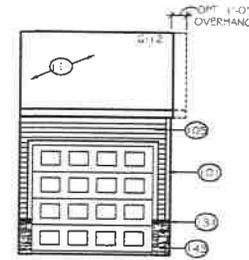
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DATE: 02/11/14
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CHECKED BY: D.P.S.

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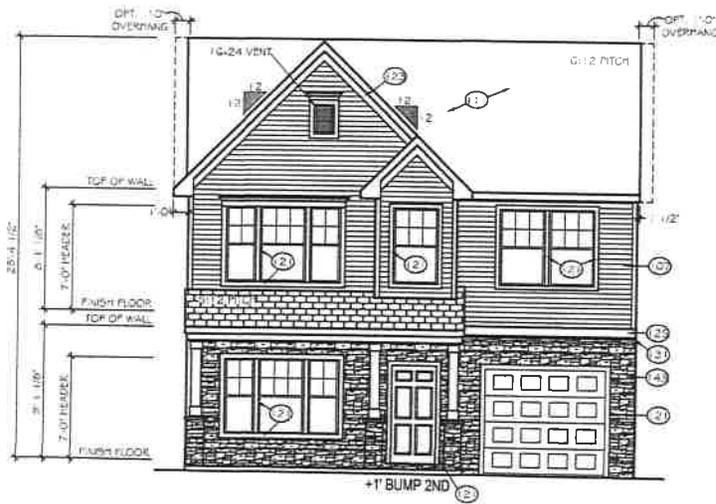


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ELEVATION E-H5

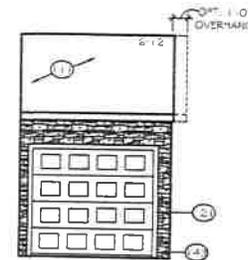


2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION E-H6



2-CAR GARAGE OPT.
SCALE: 1/8" = 1'-0"

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DATE:
10/21/14

SCALE:
3/4" = 1'-0"

CHECKED BY:
BPS

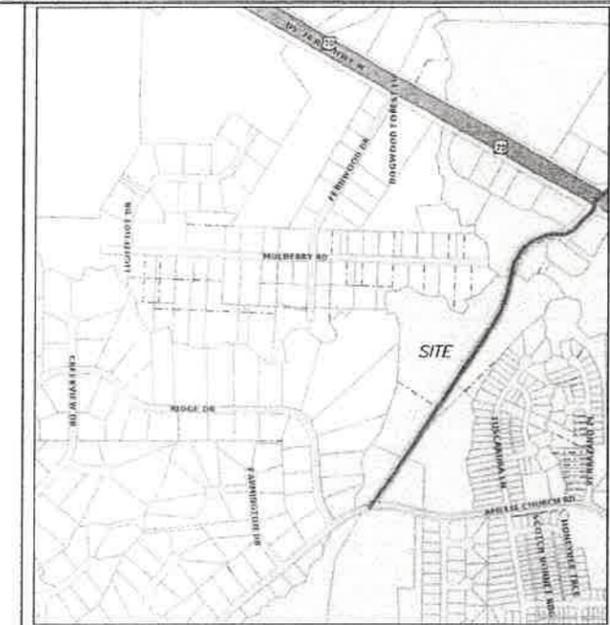
SHEET:
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PRELIMINARY PLANS MAGNOLIA POINTE SUBDIVISION

(FORMERLY KNOWN AS EDENTON SUBDIVISION)

OWNER/DEVELOPER: ASCO BUILDERS INC.

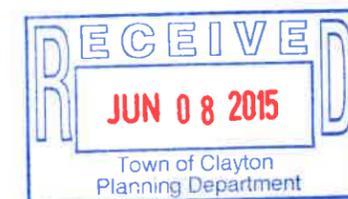
319 CHAPANOKE ROAD SUITE 106
RALEIGH, NC 27603



VICINITY MAP
SCALE: 1"=500'

INDEX TO PLANS

SHEET 1	COVER SHEET
SHEET 2	PRELIMINARY SITE PLAN
SHEET 3	PRELIMINARY UTILITY PLAN
SHEET 4	PRELIMINARY GRADING AND DRAINAGE PLAN
SHEET 5	PRELIMINARY LANDSCAPE PLAN
SHEET 6	PRELIMINARY ROAD WIDENING PLAN



SHEET 1

GENERAL PROJECT NOTES

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN OF CLAYTON PRIOR TO START OF CONSTRUCTION.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON.
- CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON TO REFER TO DURING CONSTRUCTION OF THE PROJECT. SEE CONST. DRAWINGS AND DETAIL SHEETS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION AND COORDINATE THE RELOCATION OF THESE UTILITIES WITH THE APPROPRIATE AUTHORITIES.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NORTH CAROLINA SEDIMENT AND EROSION CONTROL ORDINANCE.
- ALL STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CLAYTON AND THE NORTH CAROLINA DEPT. OF TRANSPORTATION.

STEWART – PROCTOR
ENGINEERING and SURVEYING

319 CHAPANOKE ROAD SUITE 100
RALEIGH, NC 27603
TEL. 919 779-1855 FAX 919 779-1661

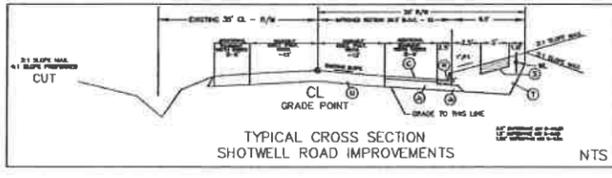
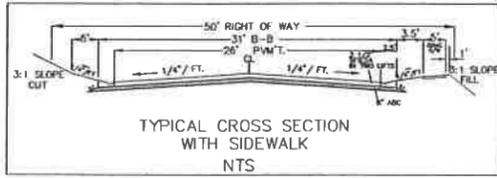
SURVEY INFORMATION FROM
MAP BY MICHAEL D. BARR
PROFESSIONAL LAND SURVEYOR
PO BOX 30217
RALEIGH, NC 27622-0217
(919) 783-6918

FOR REVIEW ONLY—
NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS DURING
THE CONSTRUCTION APPROVAL PROCESS

REVISED PER TOC 6/3/15



6-3-15



NO.	DESCRIPTION
1	1\"/>

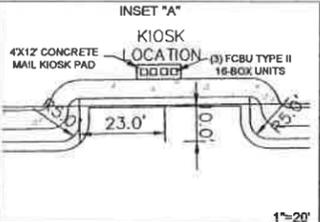
NO.	DESCRIPTION	AREA (AC)	PERCENT
1	ACTIVE PARK AREA	0.44	2.5%
2	PASSIVE OPEN SPACE	4.65	27.5%
3	RESIDENTIAL	13.75	77.5%
TOTAL		13.75	100%

SITE DATA

TOTAL SITE AREA: 13.75 AC.
 NUMBER OF LOTS: 37
 MAX. ALLOWED DENSITY: 2.95 UNITS/ACRE
 PROPOSED DENSITY: 5.58 AC
 OPEN SPACE: 5.09 AC
 100-YR FLOOD PLAINS (RCA): 2.41 AC
 RIPARIAN BUFFER OUTSIDE 100 YR (RCA): 1.39 AC
 TOTAL RESOURCE CONSERVATION AREAS: 3.80 AC
 ACTIVE PARK AREA: 0.44 AC
 PASSIVE AREA: 4.65 AC
 STORMWATER POND AREA: 0.32 AC
 LINEAR FEET OF STREET: 1,450 R
 AREA IN STREETS: 1.79 AC
 IMPERVIOUS IN STREETS: 1.49 AC
 AREA IN LOTS: 0.38 AC
 AVERAGE LOT SIZE: 7,511 SF
 SMALLEST LOT SIZE: 6,500 SF
 MAX. IMPERVIOUS SURFACE PER LOT: 55%
 OWNER: ASCO BUILDERS INC.
 PARCEL ID#: 165914-33-6257
 SETBACKS: 20' FRONT, 15' REAR, 0' SIDE, 10' CORNER

SITE WITHIN TOWN LIMITS AND OUTSIDE OF THE WATERSHED PROTECTION OVERLAY

- NOTES:**
- PRESENT LAND USE IS WOODED AND FALLOW.
 - ALL STREETS WITHIN THE SUBDIVISION SHALL HAVE A MIN. 50' R/W.
 - ALL CUL-DE-SACS WILL HAVE A R.O.W. RADIUS OF 50'
 - ALL STREET INTX. SHALL HAVE A 25' RADIUS ALONG THE R.O.W.
 - ALL STREET INTX. SHALL HAVE A 30' RADIUS ALONG THE E.O.P.
 - ALL STREETS WILL BE PUBLIC AND CONSTRUCTED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - WATER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - SEWER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - ALL EROSION CONTROL MEASURES WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL FEDERAL FLOOD HAZARD REGULATIONS WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL STATE AND LOCAL GOVERNMENT APPROVALS SHALL BE SUBMITTED TO THE SUBDIVISION OFFICE BEFORE FINAL PLAT APPROVAL.
 - TOPO FIELD SURVEYED BY MICHAEL D. BARR.
 - CONTOUR INTERVAL IS 2'
 - BOUNDARY INFORMATION TAKEN FROM OTHERS, ACTUAL BOUNDARY SURVEY IN PROGRESS BY THIS OFFICE.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NC SEDIMENT AND EROSION CONTROL ORDINANCE.
 - ALL STORM DRAINAGE PIPES SHALL BE DESIGNED TO HANDLE THE 25 YEAR STORM.
 - ALL STORM DRAINAGE PIPES SHALL HAVE A F.E.S. AT THE OUTLET.
 - ALL STORM DRAINAGE PIPES SHALL HAVE AN ENERGY DISSIPATOR AT THE OUTLET.
 - NO LOT TO HAVE DIRECT ACCESS TO SHOTWELL ROAD.
 - COMMON AREAS (DETENTION POND, OPEN SPACE, KIOSK) TO BE MAINTAINED BY HOME OWNER ASSOCIATION.
 - PROPOSED ROADS TO BE DEDICATED TO THE TOWN OF CLAYTON AND PUBLICLY MAINTAINED.
 - CANOPY TREES MUST BE A MINIMUM HEIGHT OF 8' AND UNDERSTORY TREES MUST BE A MINIMUM OF 6'.



LOCATION, QUANTITY, AND PLACEMENT OF DRAINAGE PIPES AND EROSION CONTROL DEVICES MAY VARY TO BETTER CONFORM TO FIELD CONDITIONS.

ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON, JOHNSTON COUNTY AND NORTH CAROLINA DEPT. OF TRANSPORTATION. THE CONTRACTOR SHALL OBTAIN A COPY OF THESE STANDARDS PRIOR TO CONSTRUCTION.

BYRON & JOYCE HAYNES
 DB 1180, PG. 106
 TAX # 1659-22-8465
 AR/R-40/20
 RESIDENTIAL

JESSE & JANICE CORBETT
 DB 874, PG. 771
 TAX # 1659-23-8059
 AR/R-40/20
 RESIDENTIAL

JAMES & MARY STEPHENSON
 DB 915, PG. 142
 TAX # 1659-22-9747
 AR/R-40/20
 RESIDENTIAL

DONALD HULTH
 DB 1898, PG. 194
 TAX # 1659-33-2711
 AR/R-40/20
 RESIDENTIAL

ERNEST & CYNTHIA PHILLIPS
 DB 1898, PG. 194
 TAX # 1659-33-1762
 AR/R-40/20
 RESIDENTIAL

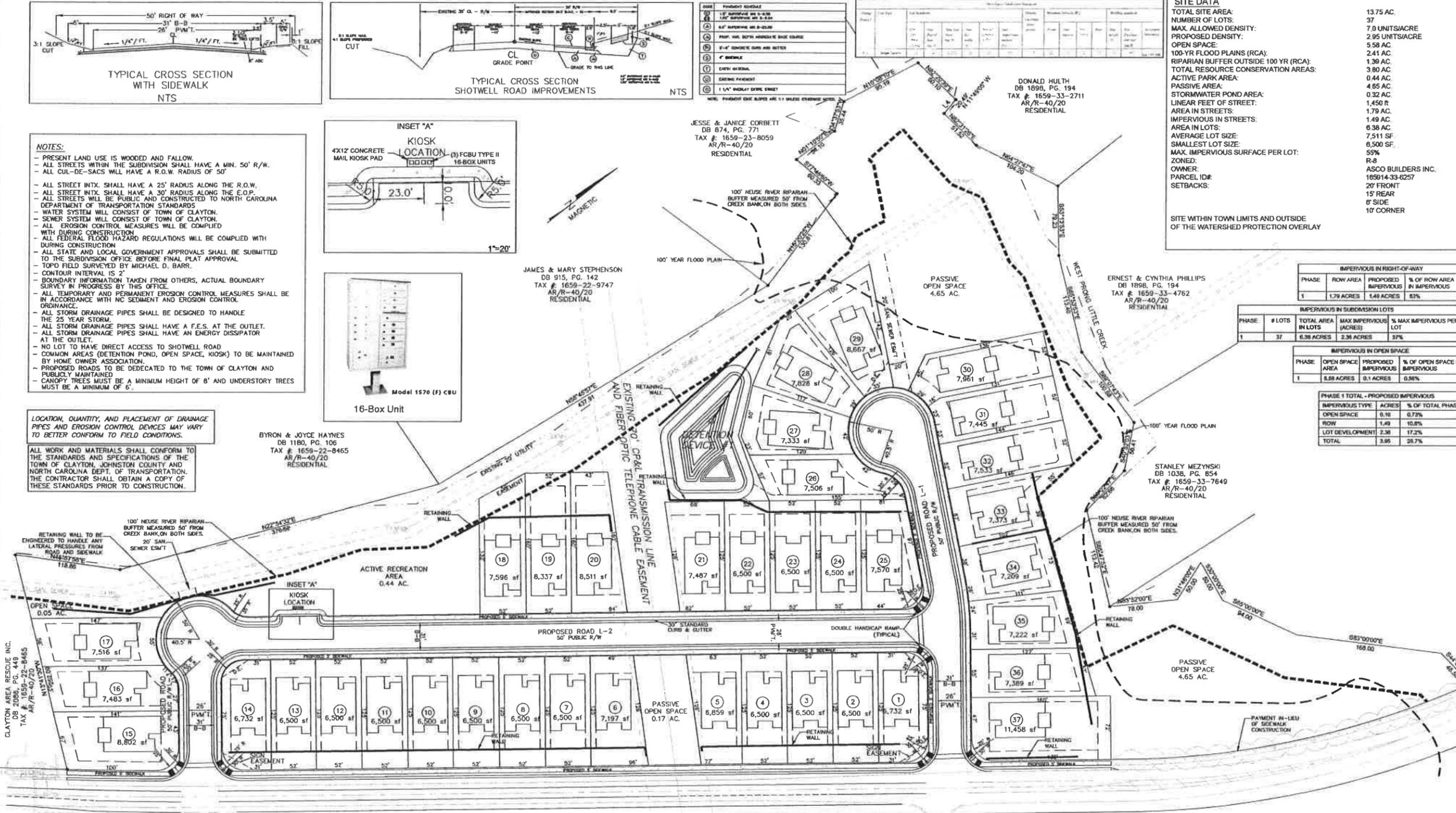
STANLEY MEZYSKI
 DB 1038, PG. 854
 TAX # 1659-33-7649
 AR/R-40/20
 RESIDENTIAL

IMPERVIOUS IN RIGHT-OF-WAY			
PHASE	ROW AREA	PROPOSED IMPERVIOUS	% OF ROW AREA IN IMPERVIOUS
1	1.79 ACRES	1.48 ACRES	83%

IMPERVIOUS IN SUBDIVISION LOTS			
PHASE	# LOTS	TOTAL AREA IN LOTS (ACRES)	% MAX IMPERVIOUS PER LOT
1	37	6.38 ACRES	2.36 ACRES 31%

IMPERVIOUS IN OPEN SPACE			
PHASE	OPEN SPACE AREA	PROPOSED IMPERVIOUS	% OF OPEN SPACE IN IMPERVIOUS
1	6.59 ACRES	0.1 ACRES	0.56%

PHASE 1 TOTAL - PROPOSED IMPERVIOUS			
IMPERVIOUS TYPE	ACRES	% OF TOTAL PHASE	
OPEN SPACE	0.10	0.73%	
ROW	1.49	10.8%	
LOT DEVELOPMENT	2.36	17.2%	
TOTAL	3.95	28.7%	



NOTE:
 20' LANDSCAPE BUFFER ALONG SHOTWELL ROAD TO BE MAINTAINED IN PERPETUITY BY HOME OWNER ASSOCIATION.

LIONSGATE VILLAGE
 DB 2207, PG. 867
 TAX # 1659-42-3853
 R-10
 RESIDENTIAL

LIONSGATE VILLAGE
 DB 2207, PG. 867
 TAX # 1659-43-2406
 R-10
 RESIDENTIAL



NOTE:
 THERE ARE NO EXISTING BUILDINGS ON SITE, OPEN SPACE TO BE OWNED AND MAINTAIN BY HOMEOWNERS ASSOCIATION

OWNER/DEVELOPER
 ASCO BUILDERS INC
 C/O MATT STEPHENS
 319 CHAPANOKE ROAD SUITE 106
 RALEIGH, NC 27603

FOR REVIEW ONLY - NOT FOR CONSTRUCTION
 PLAN IS SUBJECT TO REVISIONS DURING THE CONSTRUCTION APPROVAL PROCESS



SURVEY INFORMATION FROM MAP BY MICHAEL D. BARR PROFESSIONAL LAND SURVEYOR PO BOX 30217 RALEIGH, NC 27622-0217 (919) 783-6918

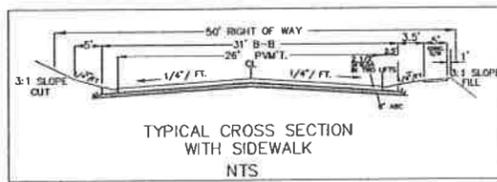


STEWART-PROCTOR, PLLC
 ENGINEERING and SURVEYING
 319 CHAPANOKE ROAD SUITE 100
 RALEIGH, NC 27603
 TEL: 919 779-1855 FAX 919 779-1861

DATE 1-9-15	SURVEYED BY OTHERS	JOB
SCALE 1\"/>		
REVISIONS 4-14-15, 5-8-15, 6-3-15	DRAWN BY MLS	DWG. NO. SA-SHOTWELL

PRELIMINARY SITE PLAN FOR
MAGNOLIA POINTE SUBDIVISION

TOWN OF CLAYTON	NORTH CAROLINA
JOHNSTON COUNTY	OWNER
ZONED R-B	P.I.N. 1659-43-3036



- NOTES:**
- PRESENT LAND USE IS WOODED AND FALLOW.
 - ALL STREETS WITHIN THE SUBDIVISION SHALL HAVE A MIN. 50' R/W.
 - ALL CUL-DE-SACS WILL HAVE A R.O.W. RADIUS OF 50'
 - ALL STREET INTX. SHALL HAVE A 25' RADIUS ALONG THE R.O.W.
 - ALL STREET INTX. SHALL HAVE A 30' RADIUS ALONG THE E.O.P.
 - ALL STREETS WILL BE PUBLIC AND CONSTRUCTED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS
 - WATER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - SEWER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - ALL EROSION CONTROL MEASURES WILL BE COMPLIED WITH DURING CONSTRUCTION
 - ALL FEDERAL FLOOD HAZARD REGULATIONS WILL BE COMPLIED WITH DURING CONSTRUCTION
 - ALL STATE AND LOCAL GOVERNMENT APPROVALS SHALL BE SUBMITTED TO THE SUBDIVISION OFFICE BEFORE FINAL PLAT APPROVAL
 - TOPO FIELD SURVEYED BY MICHAEL D. BARR.
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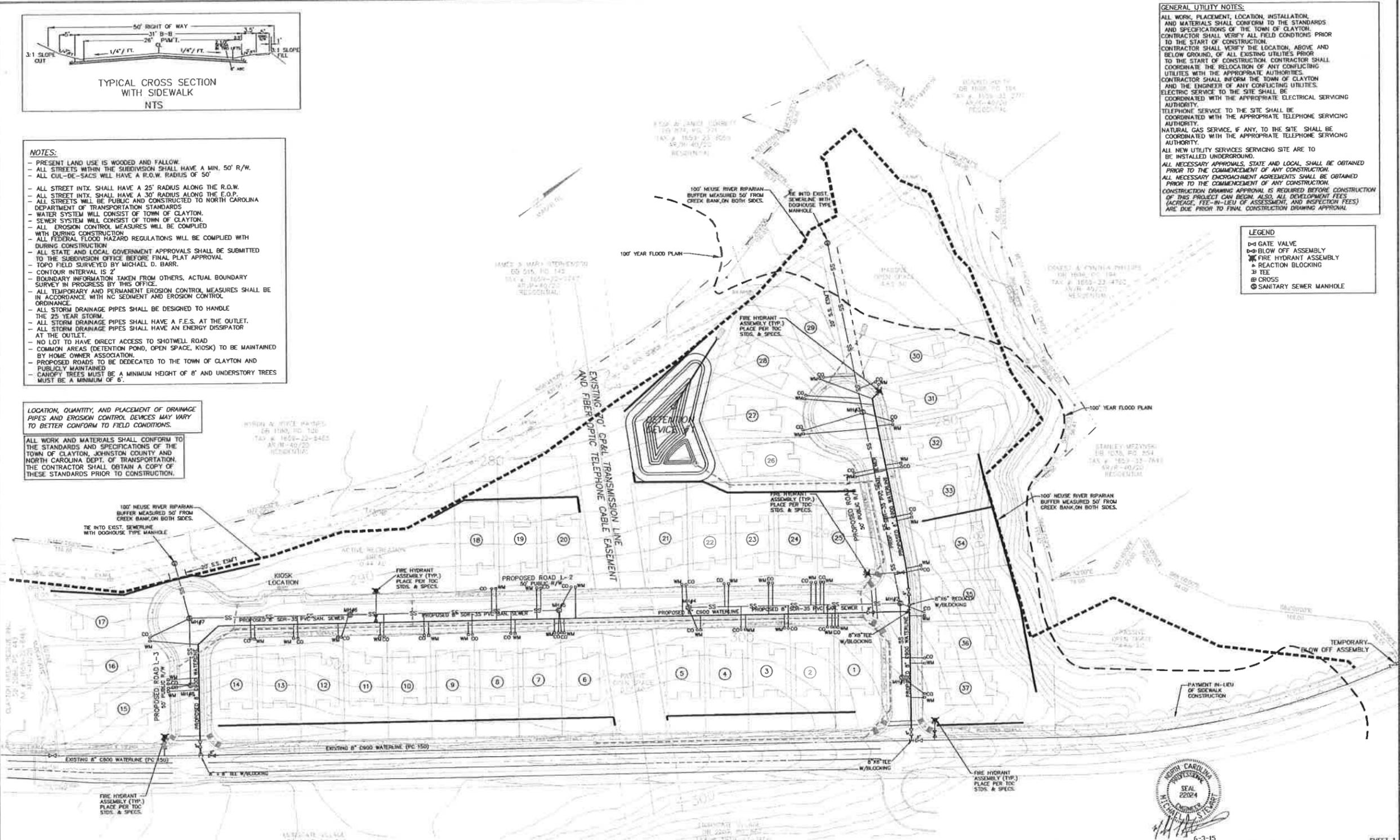
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GENERAL UTILITY NOTES:

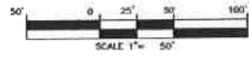
ALL WORK, PLACEMENT, LOCATION, INSTALLATION, AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING UTILITIES WITH THE APPROPRIATE AUTHORITIES. CONTRACTOR SHALL INFORM THE TOWN OF CLAYTON AND THE ENGINEER OF ANY CONFLICTING UTILITIES. ELECTRIC SERVICE TO THE SITE SHALL BE COORDINATED WITH THE APPROPRIATE ELECTRICAL SERVING AUTHORITY. TELEPHONE SERVICE TO THE SITE SHALL BE COORDINATED WITH THE APPROPRIATE TELEPHONE SERVING AUTHORITY. NATURAL GAS SERVICE, IF ANY, TO THE SITE SHALL BE COORDINATED WITH THE APPROPRIATE TELEPHONE SERVING AUTHORITY. ALL NEW UTILITY SERVICES SERVING SITE ARE TO BE INSTALLED UNDERGROUND. ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES (ACREAGE, FEE-IN-LIEU OF ASSESSMENT, AND INSPECTION FEES) ARE DUE PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL.

- LEGEND**
- ⊕ GATE VALVE
 - ⊕ BLOW OFF ASSEMBLY
 - ⊕ FIRE HYDRANT ASSEMBLY
 - ⊕ REACTION BLOCKING
 - ⊕ TEE
 - ⊕ CROSS
 - ⊕ SANITARY SEWER MANHOLE



OWNER/DEVELOPER
ASCO BUILDERS INC
C/O MATT STEPHENS
319 CHAPANOKE ROAD SUITE 106
RALEIGH, NC 27603

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SURVEY INFORMATION FROM
MATT STEPHENS & ASSOCIATES
1000 W. HARRIS ST. SUITE 100
RALEIGH, NC 27603
TEL: 919-779-1855 FAX: 919-779-1661



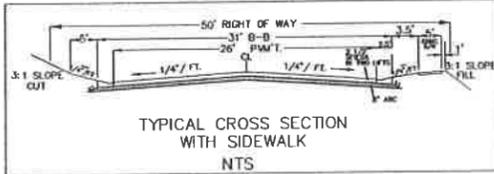
STEWART-PROCTOR, PLLC
ENGINEERING and SURVEYING
319 CHAPANOKE ROAD SUITE 100
RALEIGH, NC 27603
TEL: 919 779-1855 FAX 919 779-1661

DATE 1-9-15	SURVEYED BY OTHERS	JOB	TOWN OF CLAYTON	NORTH CAROLINA
SCALE 1"=50'	DRAWN BY MLS	DWG. NO.	JOHNSTON COUNTY	OWNER
REVISIONS 4-14-15, 6-3-15		SA-3070101	ZONED R-10	P.I.N. 1659-43-3036

PRELIMINARY UTILITY PLAN FOR
MAGNOLIA POINTE SUBDIVISION

6-3-15 SHEET 3





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- LEGEND**
- LIMITS OF DISTURBANCE
 - STORM SEWER PIPE
 - DIVERSION DITCH
 - S- SILT FENCE
 - GRAVEL CONSTRUCTION ENTRANCE
 - GRAVEL DONUT
 - CURB INLET
 - RIP RAP ENERGY DISSIPATOR
 - GRADE BREAK

GENERAL EROSION CONTROL NOTES

PLAN SHALL BE USED FOR EROSION CONTROL MEASURES ONLY.

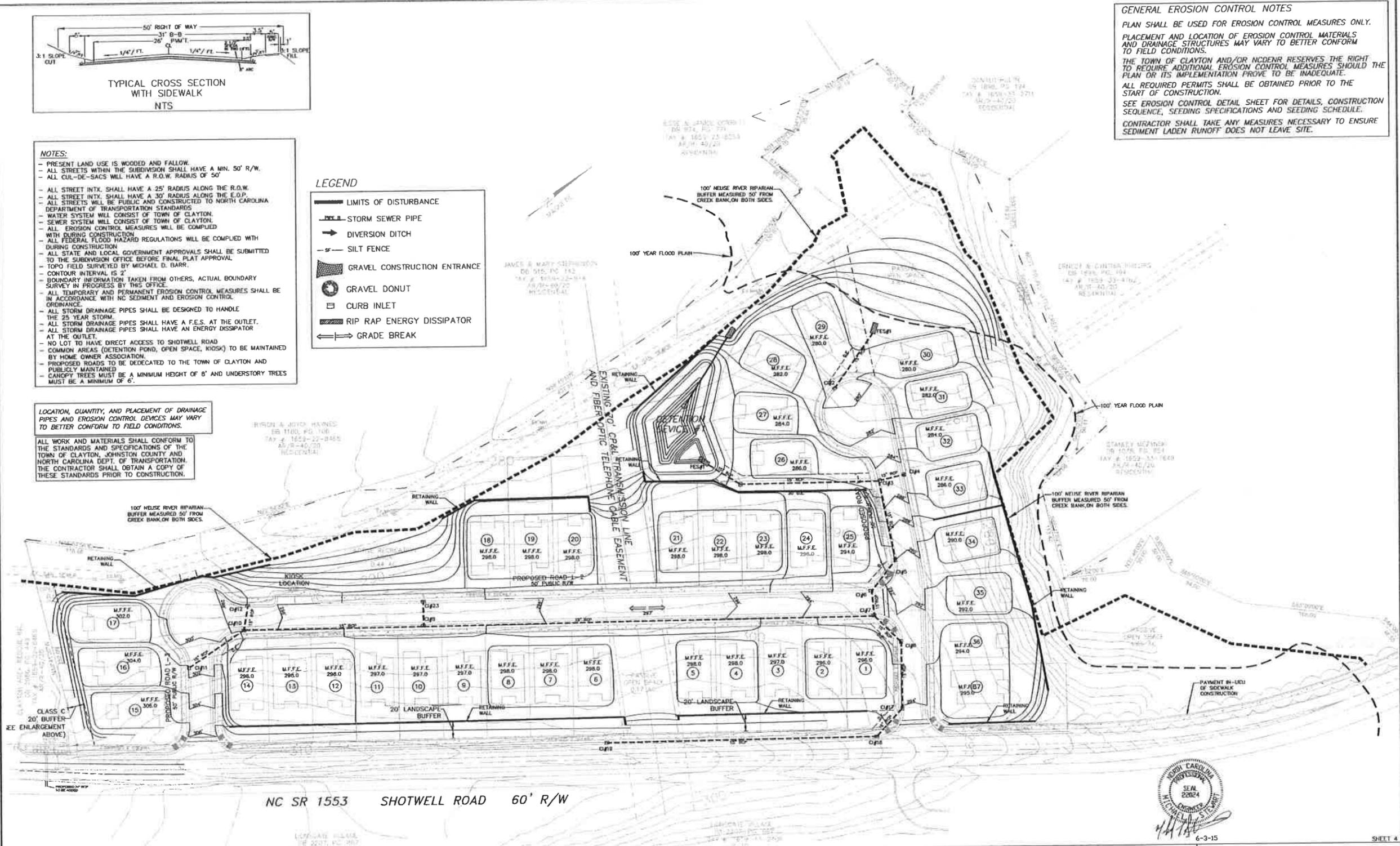
PLACEMENT AND LOCATION OF EROSION CONTROL MATERIALS AND DRAINAGE STRUCTURES MAY VARY TO BETTER CONFORM TO FIELD CONDITIONS.

THE TOWN OF CLAYTON AND/OR MCDENR RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

SEE EROSION CONTROL DETAIL SHEET FOR DETAILS, CONSTRUCTION SEQUENCE, SEEDING SPECIFICATIONS AND SEEDING SCHEDULE.

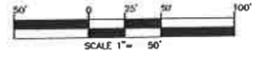
CONTRACTOR SHALL TAKE ANY MEASURES NECESSARY TO ENSURE SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE.



OWNER/DEVELOPER:
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C/O MATT STEPHENS
319 CHAPANOKE ROAD SUITE 106
RALEIGH, NC 27603

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VERIFY INFORMATION FROM
MAP BY MICHAEL D. BARR
PROFESSIONAL LAND SURVEYOR
FOUNDED 2011
NORTH CAROLINA
(MIR) 334-4410



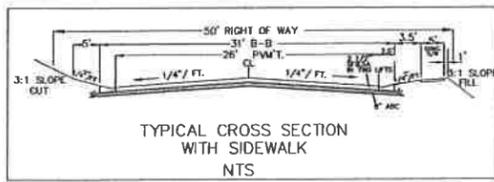
STEWART-PROCTOR, PLLC
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TEL. 919 778-1855 FAX 919 778-1061

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SCALE 1"=50'	DRAWN BY MLS	DWG. NO.
REVISIONS 4-14-15, 5-8-15, 6-3-15		SA-SHOTWELL

PRELIMINARY GRADING AND DRAINAGE PLAN
MAGNOLIA POINTE SUBDIVISION

TOWN OF CLAYTON	NORTH CAROLINA
JOHNSTON COUNTY	OWNER
ZONED R-10	P.L.N. 1659-43-3036

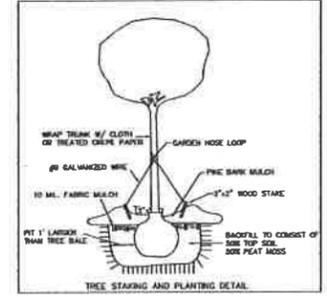
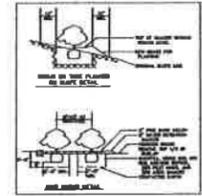
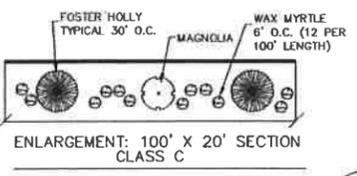




SUGGESTED PLANTING LIST

TREE	SIZE	QUANTITY
YOSHINO CHERRY (PRUNUS x YEDDONGE)	2.5" CAL. @ 8' HT.	12
RED MAPLE (ACER RUBRUM)	2.5" CAL. @ 8' HT.	33
CAROLINA CHERRY LAUREL	2" CAL. @ 8' HT.	43
WAX MYRTLE	2" CAL. @ 8' HT.	54

GENERAL NOTE:
ALL PLANTS AND PLANTING PROCEDURES TO MEET OR EXCEED A.L.A. STANDARDS AS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK 1986 OR LATEST EDITION.
ALL TREES AND SHRUBS SHALL BE FULL WELL BRANCHED PLANTS WHICH ARE TYPICAL OF THE SPECIES.
DEAD OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN 30 MONTHS WITH TYPICAL PLANT MATERIAL.
CANOPY TREES MUST BE A MINIMUM HEIGHT OF 8' AND UNDERSTORY TREES MUST BE A MINIMUM OF 6'.



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- NOTE:**
1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
 2. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
- NOTE:**
EXISTING VEGETATION AROUND PERIMETER SHALL BE USED TO MEET BUFFER REQUIREMENTS FOR 20' CLASS C BUFFER. ADDITIONAL PLANTING WILL BE ADDED TO SATISFY REQUIREMENTS IF NEEDED.

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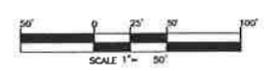
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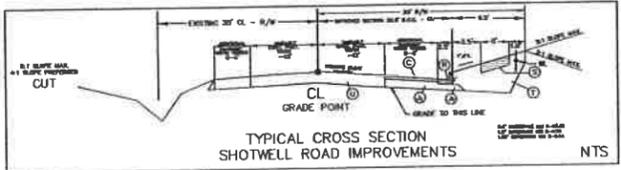
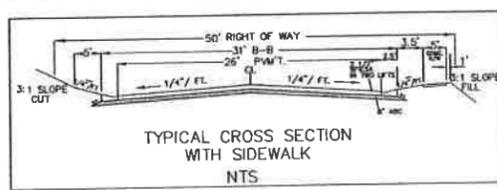


STEWART-PROCTOR, PLLC ENGINEERING and SURVEYING 319 CHAPANOKE ROAD SUITE 100 RALEIGH, NC 27603 TEL. 919 778-1855 FAX 919 778-1861		JOB	TOWN OF CLAYTON	NORTH CAROLINA
DATE 1-9-15	SURVEYED BY OTHERS	DWG. NO.	JOHNSTON COUNTY	OWNER
SCALE 1"=50'	DRAWN BY MLS	SA-SHOTWELL	ZONED R-10	P.L.N. 1659-43-3036
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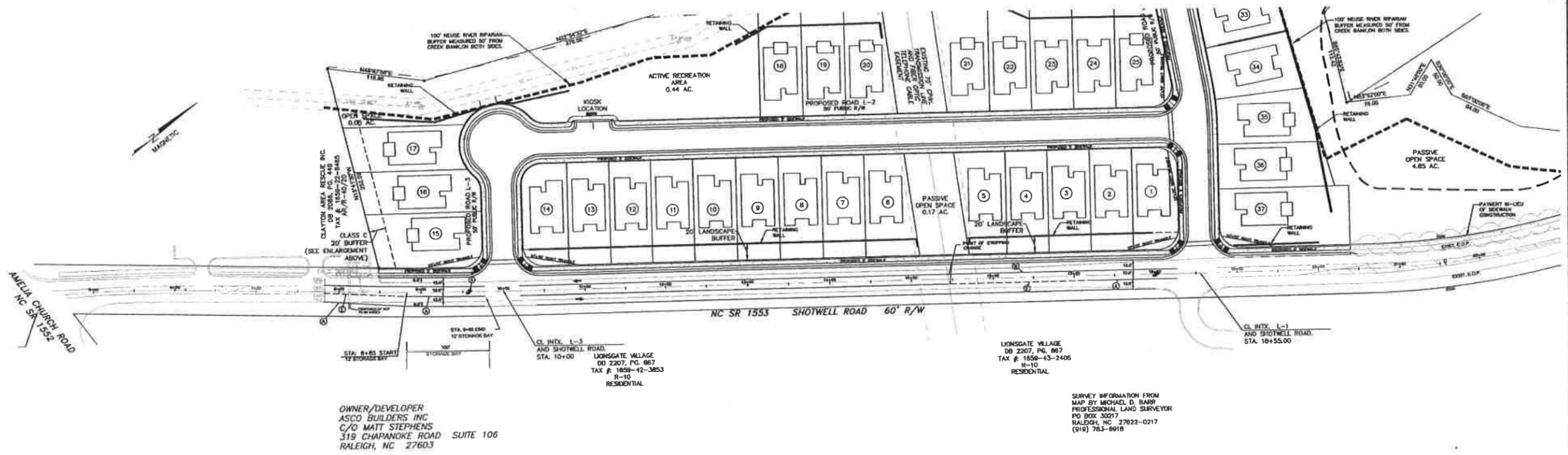
THE LANDSCAPE ARCHITECTURE COLLABORATIVE
3609 Willow Bluff Drive
RALEIGH, NC 27604
TEL. 919/210-9516

PRELIMINARY LANDSCAPE PLAN FOR
MAGNOLIA POINTE SUBDIVISION

SHEET 5



ITEM	DESCRIPTION
1	1.5" DIA. STORM SEWER
2	4" CURB
3	10" CONCRETE CURB AND GUTTER
4	4" SHOULDER
5	10" TRAVEL LANE
6	4" CURB
7	1.5" DIA. STORM SEWER

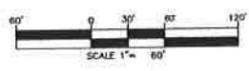


- PAVEMENT MARKING SCHEDULE**
- A 4" SOLID WHITE (THERMO PLASTIC)
 - B 4" DOUBLE SOLID YELLOW (THERMO PLASTIC)
 - C 4" SOLID YELLOW LINE (THERMO PLASTIC)
 - D 4" x 10" SKIPPED WHITE LINE (THERMO PLASTIC)
 - E 4" x 2" MINI SKIPPED WHITE WHITE LINE (THERMO PLASTIC)
 - F 4" SOLID YELLOW LINE W/ 10" SKIPPED YELLOW LINE INSIDE
 - G TURN ARROWS - WHITE (THERMO PLASTIC)

1. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS ON FINAL WEARING SURFACE AS SHOWN.
2. CONTRACTOR SHALL REMOVE ALL EXISTING CONFLICTING PAVEMENT MARKINGS.
3. CONTRACTOR SHALL REPLACE ALL EXISTING MARKINGS DISTURBED DURING CONSTRUCTION.
4. CONTRACTOR SHALL CONTACT N.C. DOT TO INSPECT THE PAVEMENT "PRE-MARKINGS" PRIOR TO FINAL PAVEMENT MARKING PLACEMENT.
5. ALL MARKING SHALL COMPLY WITH THE MUTCD STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:
 PLANS REFLECT A CONCEPTUAL VIEW OF PROPOSED ROADWAY IMPROVEMENTS
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION
 CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO GRADING FOR ROADWAY IMPROVEMENTS
 CONTRACTOR SHALL VERIFY EXISTING TYPICAL SECTION PRIOR TO CONSTRUCTION
 ALL WORK SHALL BE DONE IN ACCORDANCE TO NC DOT STANDARDS AND SPECIFICATIONS
 ALL MARKING, SIGNAGE, AND STRIPPING SHALL BE DONE IN ACCORDANCE TO MUTCD
 PLAN SHOWN IS NOT BASED ON FIELD SURVEYED INFORMATION

FOR REVIEW ONLY -
 NOT FOR CONSTRUCTION
 PLAN IS SUBJECT TO REVISIONS DURING
 THE CONSTRUCTION APPROVAL PROCESS



STEWART-PROCTOR, PLLC
 ENGINEERING AND SURVEYING
 319 CHAPANOKE ROAD SUITE 100
 RALEIGH, NC 27603
 TEL. 919 778-1855 FAX 919 778-1661

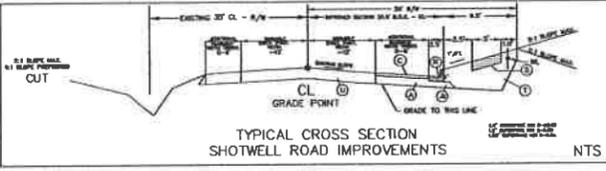
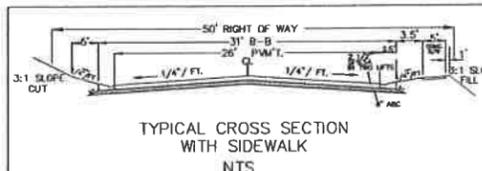
DATE 1-9-15 SURVEYED BY OTHERS JOB
 SCALE 1"=60' DRAWN BY MLS DWG. NO.
 REVISIONS 4-14-15, 6-3-15 SA-SHOTWELL ZONED R-10 P.I.N. 1659-43-3036

LOCATION, QUANTITY, AND PLACEMENT OF DRAINAGE PIPES AND EROSION CONTROL DEVICES MAY VARY TO BETTER CONFORM TO FIELD CONDITIONS.



ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON, JOHNSTON COUNTY AND NORTH CAROLINA DEPT. OF TRANSPORTATION. THE CONTRACTOR SHALL OBTAIN A COPY OF THESE STANDARDS PRIOR TO CONSTRUCTION.

SHEET 8



PROPOSED FINISHES

1	1\"/>
---	-------

PROPOSED UTILITIES

ITEM	DESCRIPTION	DEPTH	LOCATION
1	1\"/>		

SITE DATA

TOTAL SITE AREA: 13.75 AC.
 NUMBER OF LOTS: 37
 MAX. ALLOWED DENSITY: 7.0 UNITS/ACRE
 PROPOSED DENSITY: 2.95 UNITS/ACRE
 OPEN SPACE: 5.58 AC.
 100-YR FLOOD PLAINS (RCA): 2.41 AC.
 RIPARIAN BUFFER OUTSIDE 100 YR (RCA): 1.39 AC.
 TOTAL RESOURCE CONSERVATION AREAS: 3.80 AC.
 ACTIVE PARK AREA: 0.44 AC.
 PASSIVE AREA: 4.65 AC.
 STORMWATER POND AREA: 0.32 AC.
 LINEAR FEET OF STREET: 1,450 FT.
 AREA IN STREETS: 1.79 AC.
 IMPERVIOUS IN STREETS: 1.49 AC.
 AREA IN LOTS: 6.38 AC.
 AVERAGE LOT SIZE: 7,511 SF.
 SMALLEST LOT SIZE: 6,500 SF.
 MAX. IMPERVIOUS SURFACE PER LOT: 55%
 ZONED: R-8
 OWNER: ASCO BUILDERS INC.
 PARCEL ID#: 165914-33-6257
 SETBACKS: 20' FRONT, 15' REAR, 6' SIDE, 10' CORNER

- NOTES:**
- PRESENT LAND USE IS WOODED AND FALLOW.
 - ALL STREETS WITHIN THE SUBDIVISION SHALL HAVE A MIN. 50' R/W.
 - ALL CUL-DE-SACS WILL HAVE A R.O.W. RADIUS OF 50'
 - ALL STREET INTX SHALL HAVE A 25' RADIUS ALONG THE R.O.W.
 - ALL STREET INTX SHALL HAVE A 30' RADIUS ALONG THE E.O.P.
 - ALL STREETS WILL BE PUBLIC AND CONSTRUCTED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - WATER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - SEWER SYSTEM WILL CONSIST OF TOWN OF CLAYTON.
 - ALL EROSION CONTROL MEASURES WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL FEDERAL FLOOD HAZARD REGULATIONS WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL STATE AND LOCAL GOVERNMENT APPROVALS SHALL BE SUBMITTED TO THE SUBDIVISION OFFICE BEFORE FINAL PLAT APPROVAL.
 - TOPO FIELD SURVEYED BY MICHAEL D. BARR.
 - CONTOUR INTERVAL IS 2'
 - BOUNDARY INFORMATION TAKEN FROM OTHERS, ACTUAL BOUNDARY SURVEY IN PROGRESS BY THIS OFFICE.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NC SEDIMENT AND EROSION CONTROL ORDINANCE.
 - ALL STORM DRAINAGE PIPES SHALL BE DESIGNED TO HANDLE THE 25 YEAR STORM.
 - ALL STORM DRAINAGE PIPES SHALL HAVE A F.E.S. AT THE OUTLET.
 - ALL STORM DRAINAGE PIPES SHALL HAVE AN ENERGY DISSIPATOR AT THE OUTLET.
 - NO LOT TO HAVE DIRECT ACCESS TO SHOTWELL ROAD
 - COMMON AREAS (DETENTION POND, OPEN SPACE, KIOSK) TO BE MAINTAINED BY HOME OWNER ASSOCIATION.
 - PROPOSED ROADS TO BE DEDICATED TO THE TOWN OF CLAYTON AND PUBLICLY MAINTAINED
 - CANOPY TREES MUST BE A MINIMUM HEIGHT OF 8' AND UNDERSTORY TREES MUST BE A MINIMUM OF 6'.

LOCATION, QUANTITY, AND PLACEMENT OF DRAINAGE PIPES AND EROSION CONTROL DEVICES MAY VARY TO BETTER CONFORM TO FIELD CONDITIONS.

ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CLAYTON, JOHNSTON COUNTY AND NORTH CAROLINA DEPT. OF TRANSPORTATION. THE CONTRACTOR SHALL OBTAIN A COPY OF THESE STANDARDS PRIOR TO CONSTRUCTION.

BYRON & JOYCE HAYNES
 DB 1180, PG. 106
 TAX # 1659-22-8465
 AR/R-40/20
 RESIDENTIAL

JAMES & MARY STEPHENSON
 DB 815, PG. 142
 TAX # 1659-22-9747
 AR/R-40/20
 RESIDENTIAL

JESSE & JANICE CORBETT
 DB 874, PG. 771
 TAX # 1659-23-8059
 AR/R-40/20
 RESIDENTIAL

DONALD HULTH
 DB 1898, PG. 194
 TAX # 1659-33-2711
 AR/R-40/20
 RESIDENTIAL

ERNEST & CYNTHIA PHILLIPS
 DB 1898, PG. 194
 TAX # 1659-33-4762
 AR/R-40/20
 RESIDENTIAL

STANLEY MEZYNSKI
 DB 1038, PG. 854
 TAX # 1659-33-7649
 AR/R-40/20
 RESIDENTIAL

IMPERVIOUS IN RIGHT-OF-WAY

PHASE	ROW AREA	PROPOSED IMPERVIOUS	% OF ROW AREA IN IMPERVIOUS
1	1.79 ACRES	1.49 ACRES	83%

IMPERVIOUS IN SUBDIVISION LOTS

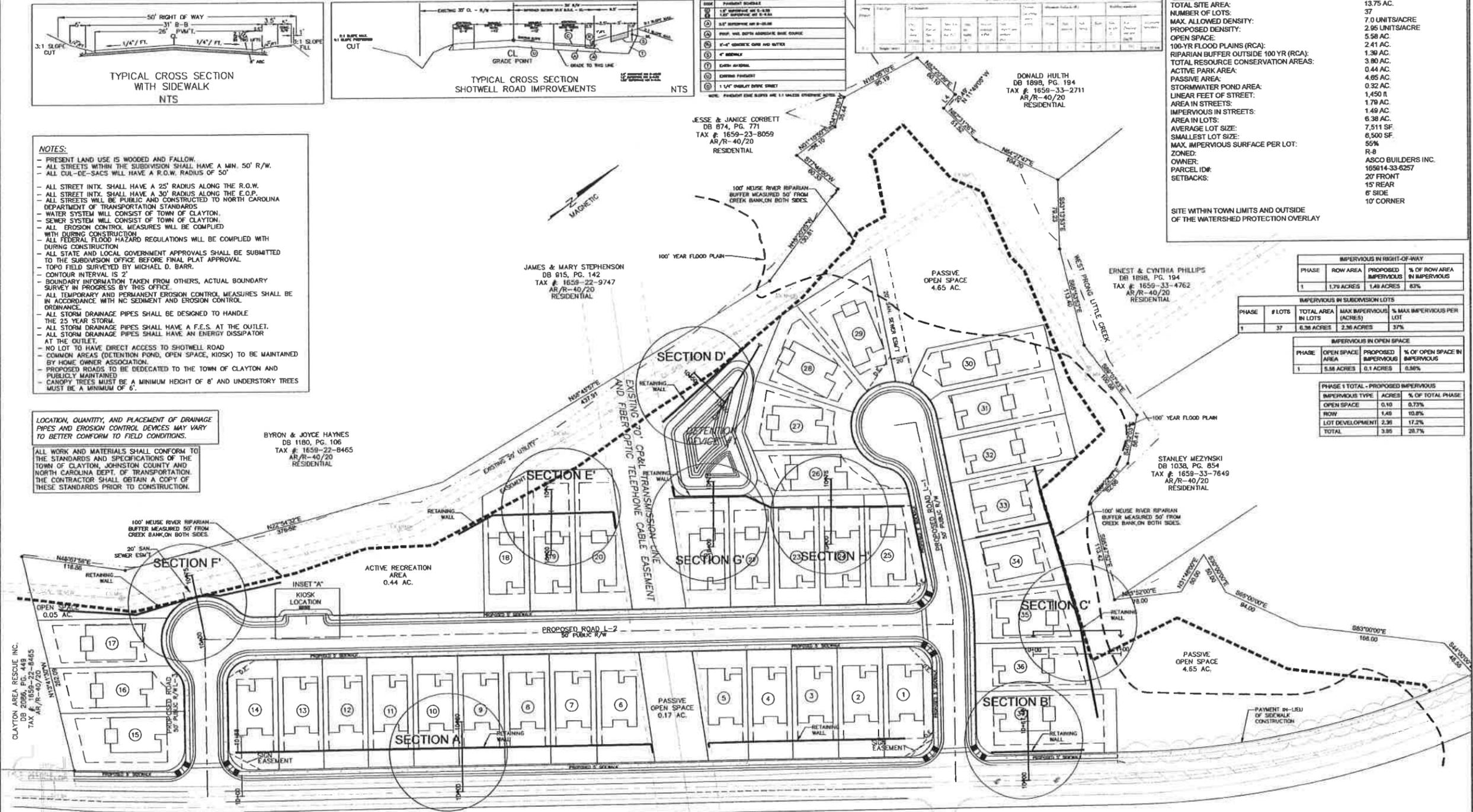
PHASE	# LOTS	TOTAL AREA IN LOTS	MAX IMPERVIOUS (ACRES)	% MAX IMPERVIOUS PER LOT
1	37	6.38 ACRES	2.36 ACRES	37%

IMPERVIOUS IN OPEN SPACE

PHASE	OPEN SPACE AREA	PROPOSED IMPERVIOUS	% OF OPEN SPACE IN IMPERVIOUS
1	5.58 ACRES	0.1 ACRES	0.8%

PHASE 1 TOTAL - PROPOSED IMPERVIOUS

IMPERVIOUS TYPE	ACRES	% OF TOTAL PHASE
OPEN SPACE	0.10	0.73%
ROW	1.49	10.8%
LOT DEVELOPMENT	2.36	17.2%
TOTAL	3.95	28.7%



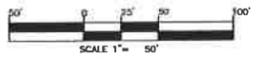
NC SR 1553 SHOTWELL ROAD 60' R/W

LIONSGATE VILLAGE
 DB 2207, PG. 867
 TAX # 1659-42-3853
 R-10
 RESIDENTIAL

LIONSGATE VILLAGE
 DB 2207, PG. 867
 TAX # 1659-43-2406
 R-10
 RESIDENTIAL

OWNER/DEVELOPER
 ASCO BUILDERS INC
 C/O MATT STEPHENS
 319 CHAPANOKE ROAD SUITE 106
 RALEIGH, NC 27603

FOR REVIEW ONLY - NOT FOR CONSTRUCTION
 PLAN IS SUBJECT TO REVISIONS DURING THE CONSTRUCTION APPROVAL PROCESS



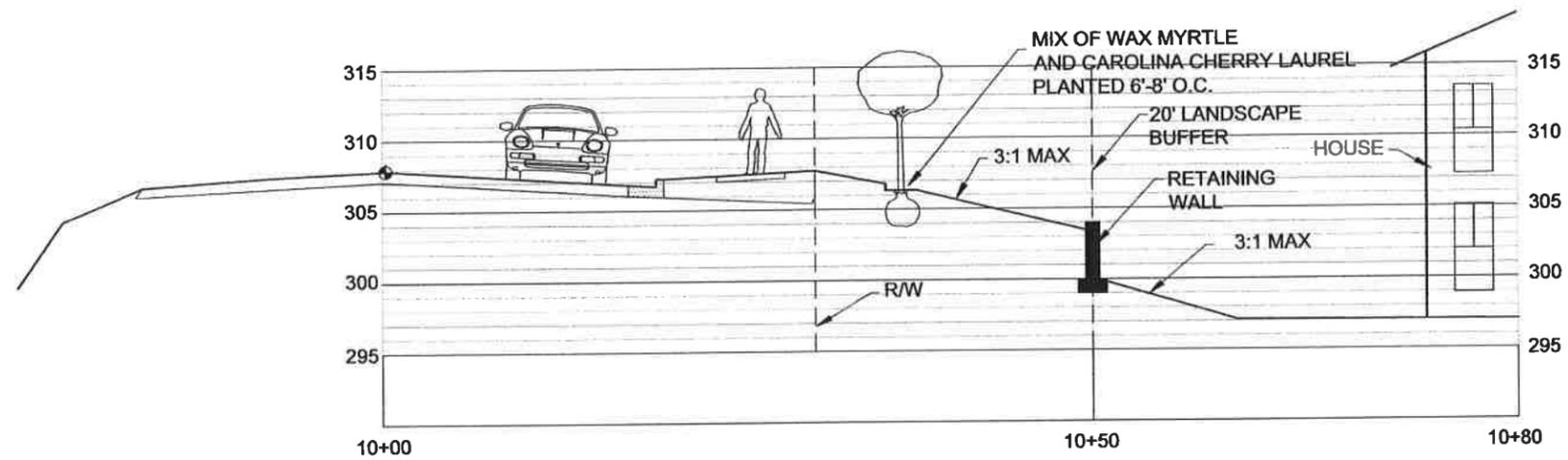
SURVEY INFORMATION FROM MAP BY MICHAEL D. BARR PROFESSIONAL LAND SURVEYOR PO BOX 30217 RALEIGH, NC 27622-0217 (919) 783-6918



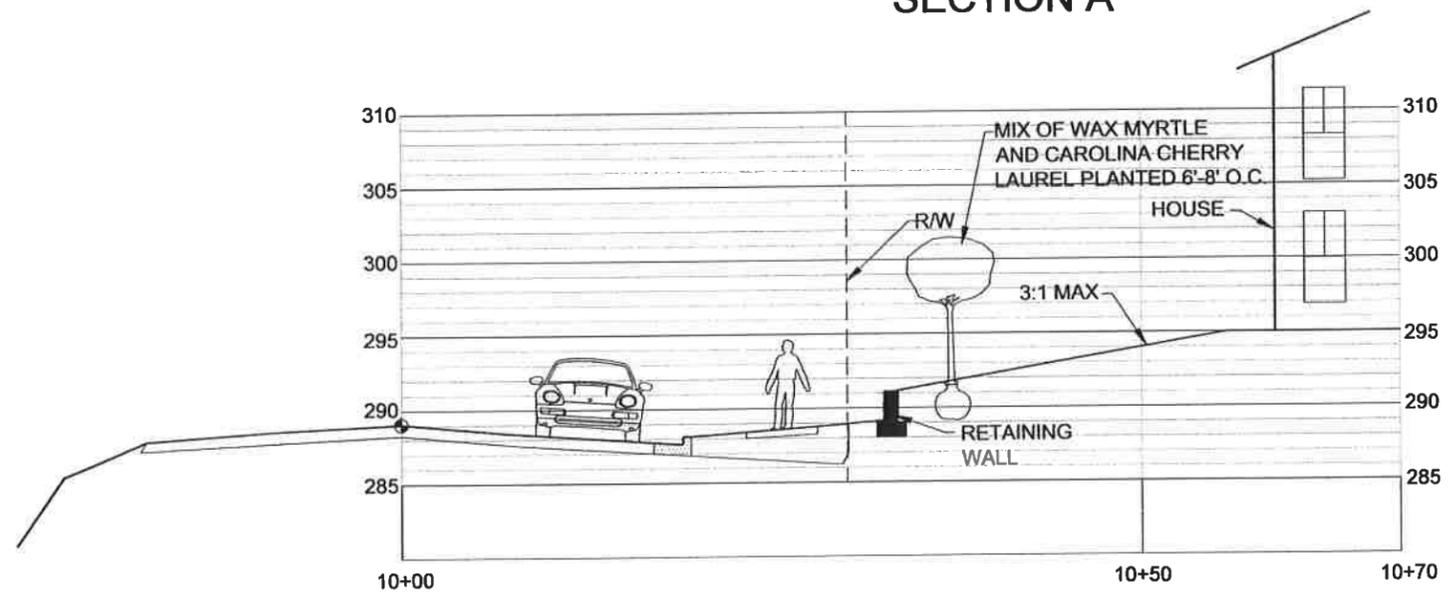
STEWART-PROCTOR, PLLC
 ENGINEERING and SURVEYING
 319 CHAPANOKE ROAD SUITE 100
 RALEIGH, NC 27603
 TEL 919 779-1855 FAX 919 779-1661

DATE 1-9-15	SURVEYED BY OTHERS	JOB
SCALE 1"=50'	DRAWN BY MLS	TOWN OF CLAYTON
REVISIONS	DWG. NO.	JOHNSTON COUNTY
	SA-SHOTWELL	OWNER
		ZONED R-8
		P.L.N. 1659-43-3036

PRELIMINARY SITE PLAN FOR
 MAGNOLIA POINTE SUBDIVISION



SECTION A'



SECTION B'

NOTE:
CANOPY TREES MUST BE A MINIMUM
HEIGHT OF 8' AND UNDERSTORY
TREES MUST BE A MINIMUM OF 6'.

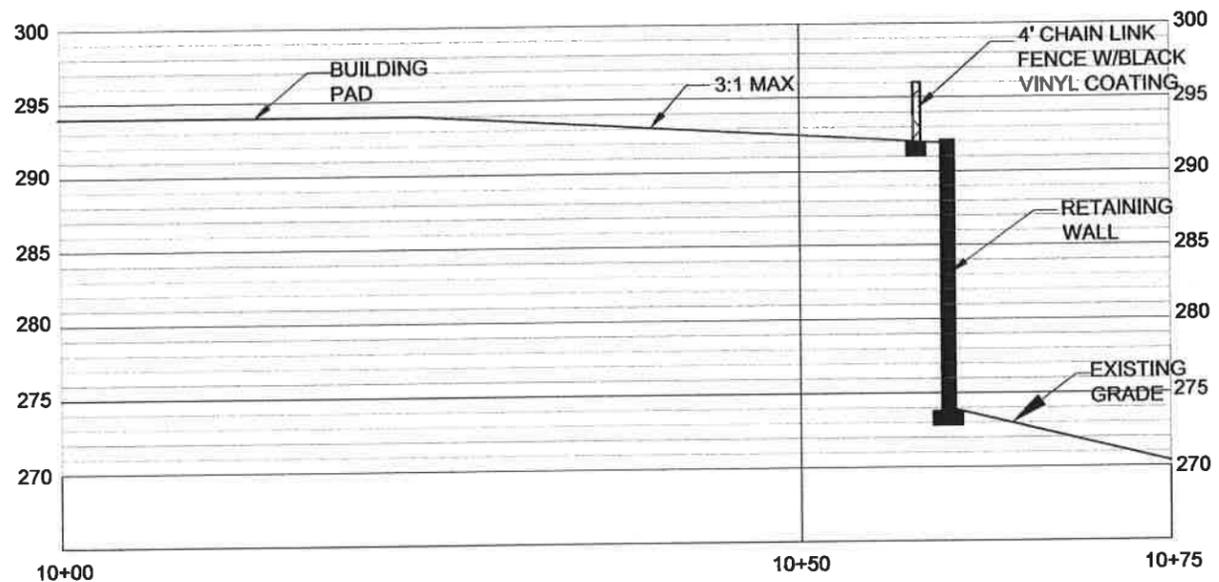
SCALE: 1" = 5' (HORIZONTAL)
1" = 5' (VERTICAL)

SP

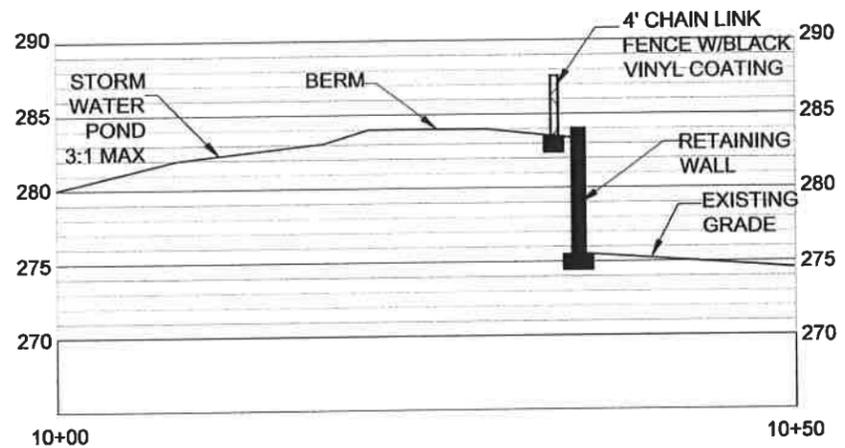
STEWART-PROCTOR, PLLC
ENGINEERING and SURVEYING
319 CHAPARRAL ROAD SUITE 100
RALEIGH, NC 27603
TEL 919 778-1855 FAX 919 778-1861

CROSS SECTION VIEW A AND B
MAGNOLIA POINTE SUBDIVISION

DATE 4-27-15	SURVEYED BY OTHERS	JOB	TOWN OF CLAYTON	NORTH CAROLINA
SCALE	DRAWN BY MLS	DWG. NO.	JOHNSTON COUNTY	OWNER
REVISIONS	SA-BHOTWELL	ZONED R-10	P.L.N. 1659-43-3036	



SECTION C'



SECTION D'

SCALE: 1" = 5' (HORIZONTAL)
1" = 5' (VERTICAL)

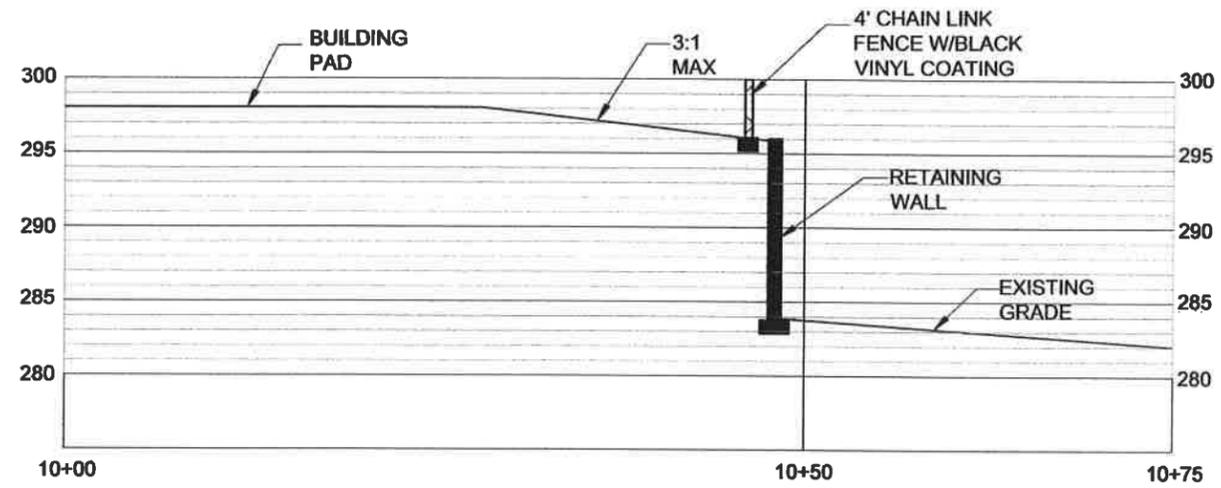


STEWART-PROCTOR, PLLC
ENGINEERING and SURVEYING
319 CHAPMAN ROAD SUITE 100
RALEIGH, NC 27603
TEL. 919 779-1855 FAX 919 779-1861

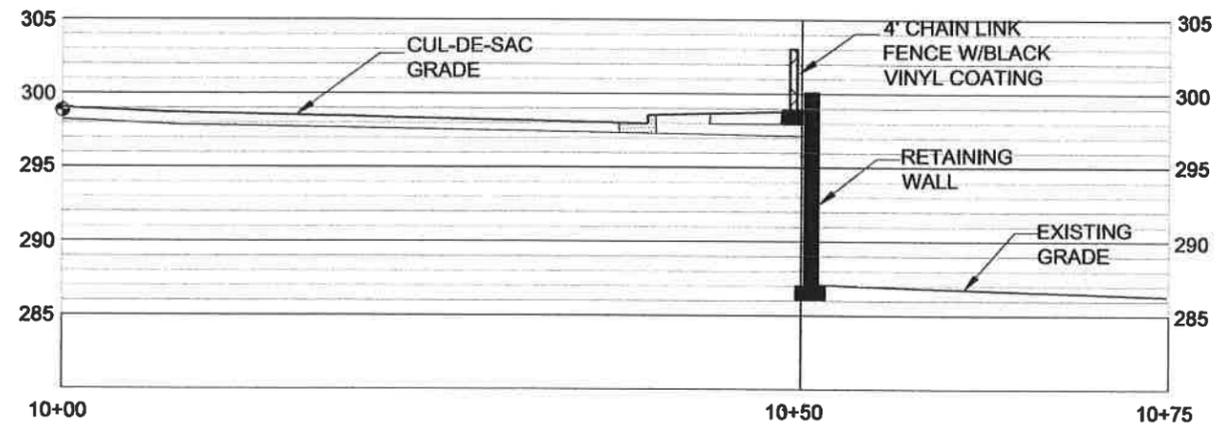
DATE 4-27-15	SURVEYED BY OTHERS	JOB
SCALE	DRAWN BY MLS	DWG. NO.
REVISIONS	SA-SHOWELL	ZONED R-10

CROSS SECTION VIEW C AND D
MAGNOLIA POINTE SUBDIVISION

TOWN OF CLAYTON	NORTH CAROLINA
JOHNSTON COUNTY	OWNER
P.I.N. 1659-43-3036	



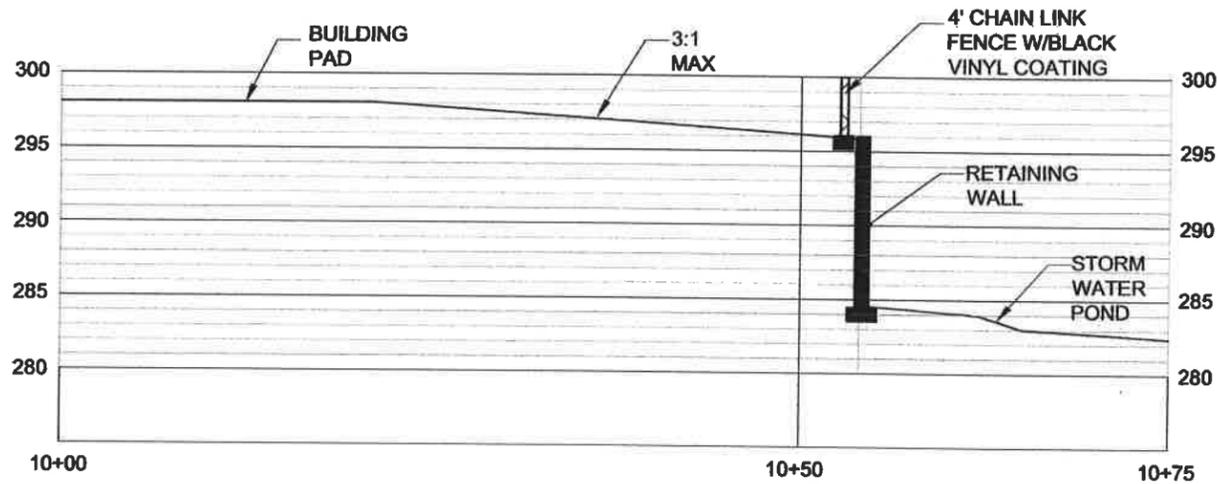
SECTION E'



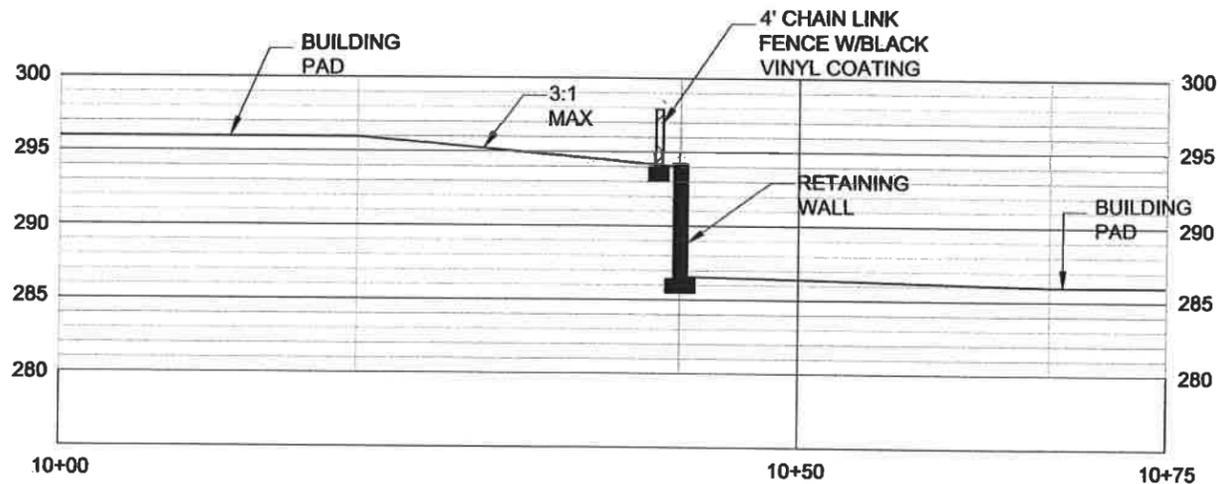
SECTION F'

SCALE: 1" = 5' (HORIZONTAL)
1" = 5' (VERTICAL)

SP	STEWART-PROCTOR, PLLC ENGINEERING and SURVEYING 310 CHAPMAN ROAD SUITE 100 RALEIGH, NC 27603 TEL. 919 779-1855 FAX 919 779-1561			CROSS SECTION VIEW E AND F MAGNOLIA POINTE SUBDIVISION	
	DATE 4-27-15	SURVEYED BY OTHERS	JOB	TOWN OF CLAYTON	NORTH CAROLINA
	SCALE	DRAWN BY MLS	DWG. NO.	JOHNSTON COUNTY	OWNER
	REVISIONS		SA-982926L	ZONED R-10	P.I.N. 1659-43-3036



SECTION G'



SECTION H'

SCALE: 1" = 5' (HORIZONTAL)
1" = 5' (VERTICAL)



STEWART-PROCTOR, PLLC
ENGINEERING and SURVEYING
310 CHAPMAN ROAD SUITE 100
BALDWIN, NC 27803
TEL. 919 778-1855 FAX 919 778-1861

CROSS SECTION VIEW G AND H
MAGNOLIA POINTE SUBDIVISION

DATE 4-27-15	SURVEYED BY OTHERS	JOB	TOWN OF CLAYTON	NORTH CAROLINA
SCALE	DRAWN BY MLS	DWG. NO.	JOHNSTON COUNTY	OWNER
REVISIONS	SA-840186LL	ZONED R-10	P.L.N. 1659-43-3036	



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-1545
Fax: 919-553-1720

Planning Board
June 22, 2015

STAFF REPORT

Application Number: 15-18-01-RZ Project Name: Young Family Tract Rezoning

NC PIN / Tag #: 167700-47-9545 / 05I05021A
Town Limits/ETJ: ETJ
Overlay: Small Area Plan (Future Land Use) / Scenic Highway Interchange (Scenic Highway Overlay) / Johnston County Research & Training Zone (Johnston County Economic Training Zone)
Applicant: Norwood Thompson
Owner: Young Family Irrevocable Trust c/o Jenny Kelling (Trustee)
Location: The property is located on Gordon Rd, near US Hwy 70 Business (see map).

Public Noticing:

- Neighborhood meeting May 12, 2015
- Sign posted June 09, 2015
- Letters mailed prior to July 22, 2015
- Newspaper ad posted prior to July 22, 2015

REQUEST: Rezoning from Residential-Estate (R-E) to Light Industrial (I-1).



SITE DATA:

Acreage: 69.58 acres
Existing Use: Agriculture

ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Light Industrial (I-1)	Industrial, warehousing, businesses
South	Residential-Estate (R-E), County Agricultural Residential (AR)	Rural residential, agricultural
East	Residential-Estate (R-E)	Agricultural
West	Light Industrial (I-1), Residential-Estate (R-E), Highway Business (B-3)	Industrial, businesses, vacant

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting to rezone 69± acres from Residential-Estate to Light Industrial. This piece of land is currently agricultural and primarily fronts along Gordon Rd, although some frontage also occurs along Wise Rd, US Hwy 70 Business, and North Tech Drive, just north of the intersection of Hwy 70 Business and Hwy 70 Bypass. The land is on the outside border of the Town’s Extraterritorial Planning Jurisdiction (ETJ).

Compatibility with Surrounding Land Uses

The site is located on the outside boundary of the industrial and technology-oriented uses that currently occupy the industrially-zoned land to the north. It is on the developing fringe of Clayton’s ETJ.

A small residential subdivision (Edinburgh) lies southeast of the property on the southern side of Gordon Rd. This subdivision’s sole access in and out is by Gordon Rd. The neighborhood does have a stub-out street heading east, but the adjacent property is not yet developed, and even when it is the second connection will still be to Gordon Rd.

Other uses surrounding the subject property are primarily agricultural or industrial/business.

Access/Streets:

Access to the bulk of the property is primarily from Gordon Rd and it is also possible to make a second connection from the north off of North Tech Dr. There is no way for a direct connection from the property to US Hwy 70 Business, nor is it likely that it would be permitted by NCDOT. The proximity to the US Hwy 70 Business and Hwy 70 Bypass interchange is supportive of an industrial-type use that might involve utilization of freight shipping corridors.

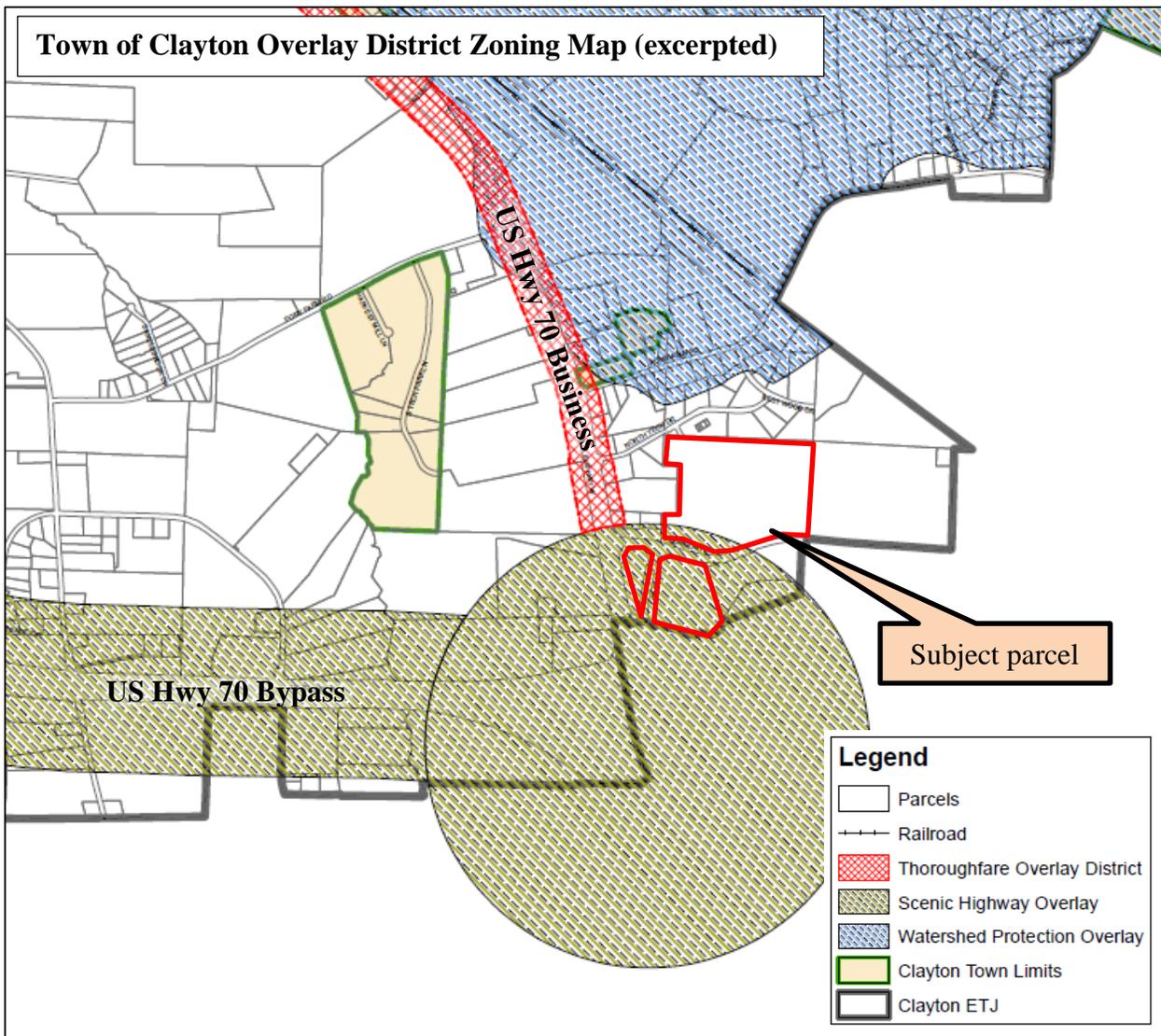
The two smaller sub-tracts of the Young Family property have access to US Hwy 70 Business, Gordon Rd, and Wise Rd.

Consistency with the Strategic Growth Plan

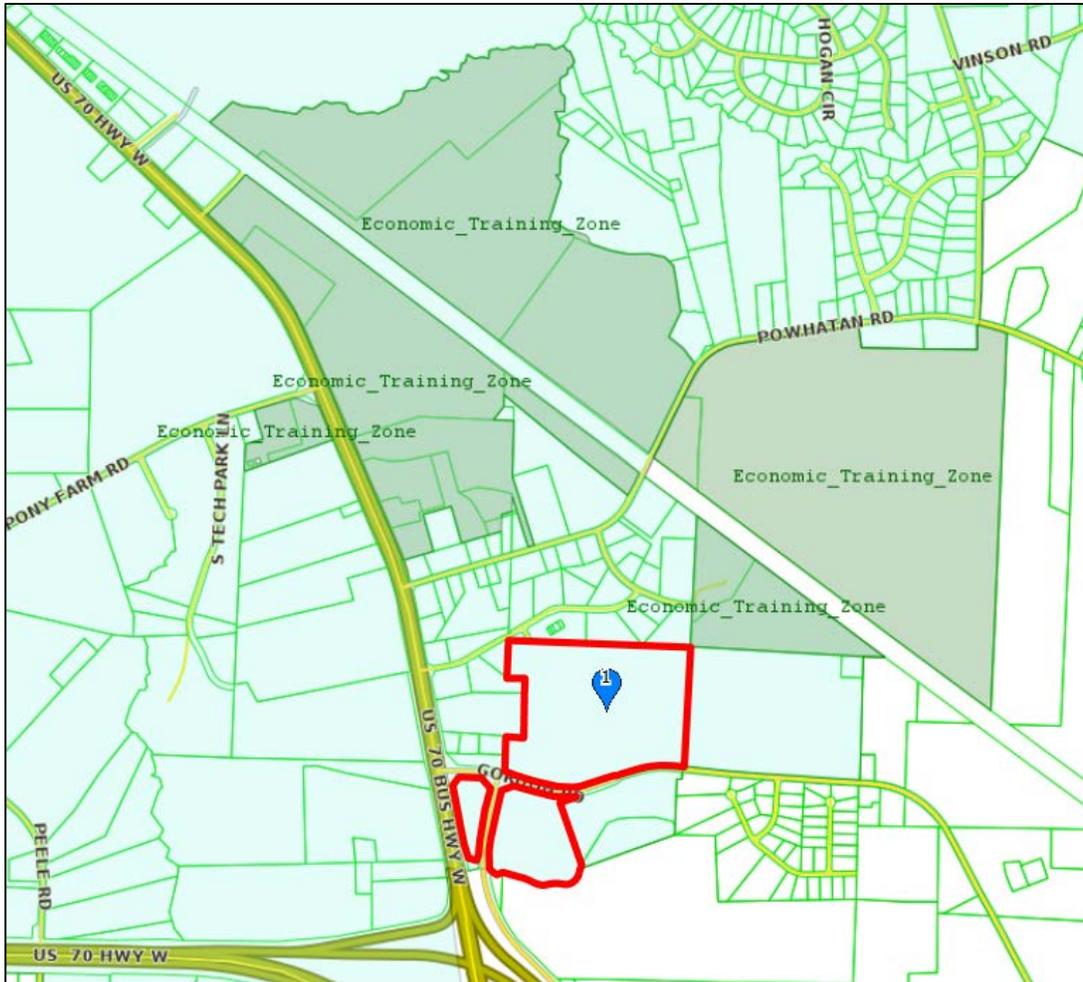
The 2008 Strategic Growth Plan designates this area as a “Small Area Plan” adjacent to Industrial Future Land Use on the north, and the highway interchange on the southwest. This rezoning is consistent with the intent of the Future Land Use for these and surrounding lands, as controlled by the Scenic Highway Overlay discussed below.

Consistency with Overlays

The Young Family Tract overlaps partially with the Scenic Highway Overlay (SHO). This regulates the uses within a certain distance of intersections and interchanges through the Scenic Highway Overlay interchange development criteria (§155.204(C)(8)). Only one type of industrial use is allowed within the SHO area – Research and Development (§155.306(H)) – and it is allowed at interchanges as a Conditional Use. Research and Development includes research and development of new products, offices and other facilities to support these activities, prototype production facilities, pilot plants, and scientifically-oriented production facilities. Mixed use developments are encouraged within the SHO, and specific design guidelines are taken into account during the site planning process.



This rezoning is likely in anticipation of subsequent inclusion of the subject property into the Johnston County Research and Training Zone (aka Economic Training Zone). The Johnston County Research and Training Zone (RTZ) is a specialized taxing district which houses the biotech, chemical, and pharmaceutical manufacturing companies along the US Hwy 70 Business corridor such as Grifols, Novo Nordisk, etc. If this should occur, Board of County Commissioners and Town Council permission is required prior to any inclusion into the RTZ. Properties included in the RTZ are not allowed to be annexed by the Town and have their property taxes fixed at a rate set when they are accepted into the RTZ.



CONSIDERATIONS:

- Rezoning decisions are made by the Town Council. The Planning Board shall provide a recommendation to the Town Council.
- When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with adopted plans and/or policies of the Town and explaining why the Council considers the action to be reasonable and in the public interest.

- The Town may wish for a subdivision of this oddly shaped parcel prior to a rezoning. Currently, this particular parcel is divided into three different sub-tracts, separated by Gordon Rd and Wise Rd. It would seem more appropriate to rezone the main body of the Young Family Tract parcel to I-1, but for the other two sub-tracts to assume some other type of zoning which might be more suitable to their particular locations.
-

STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning of the subject parcel.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Proposed Land Use Map
- 4) Application
- 5) Neighborhood Meeting Materials



15-18-01-RZ Young Family Tract Rezoning Rezoning from R-E to I-1

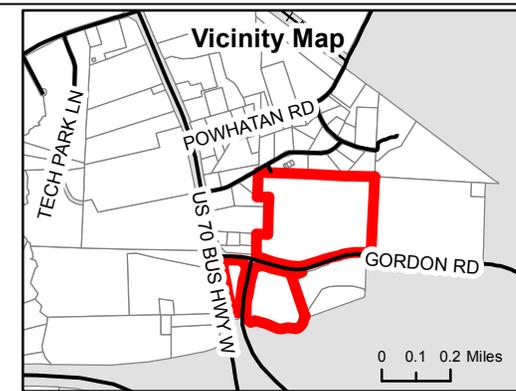
Applicant: Norwood Thompson
 Property Owner: Young Family Irrevocable Trust
 Parcel ID Number: 167700-47-9545
 Tag #: 05105021A

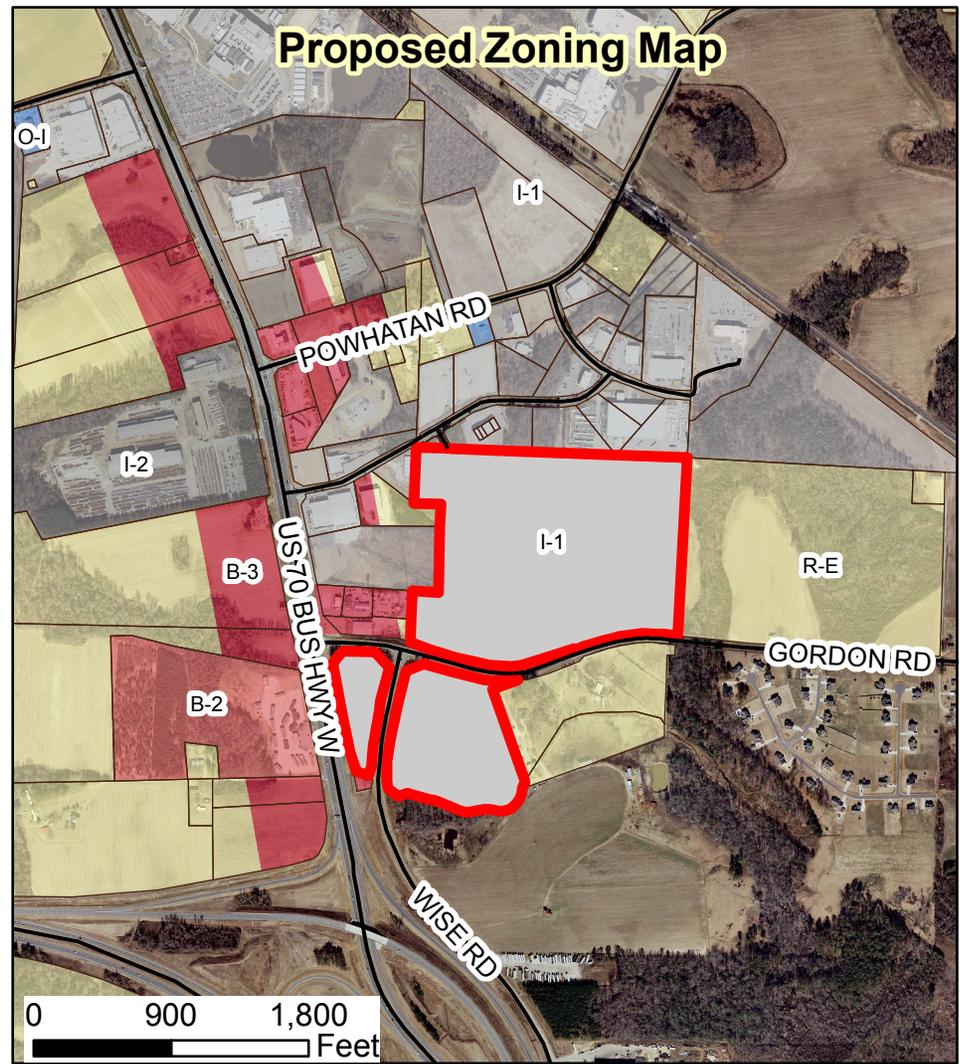
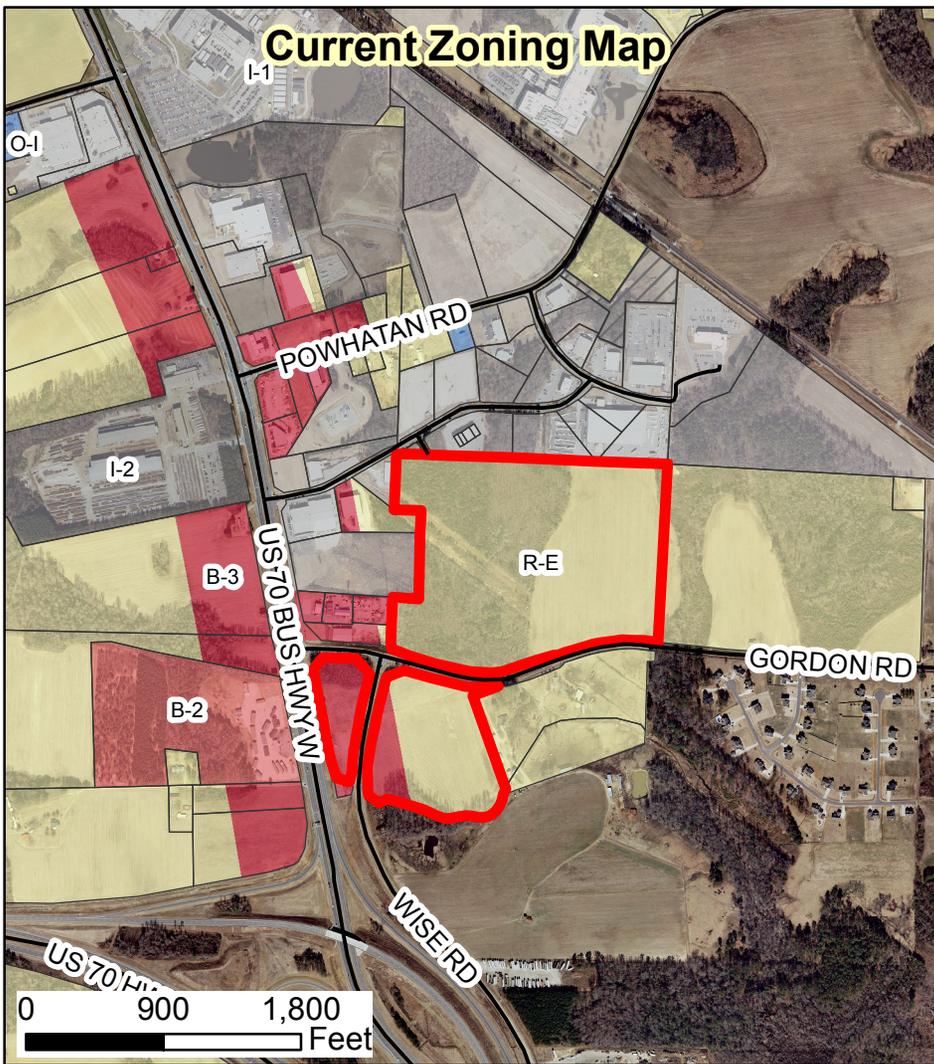
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



03/14/2015





15-18-01-RZ Young Family Tract Rezoning Rezoning from R-E to I-1

Applicant: Norwood Thompson
 Property Owner: Young Family Irrevocable Trust
 Parcel ID Number: 167700-47-9545
 Tag #: 05105021A

Produced by: TOC Planning

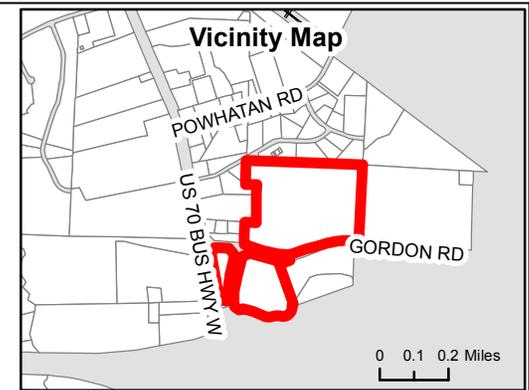
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06/15/2015

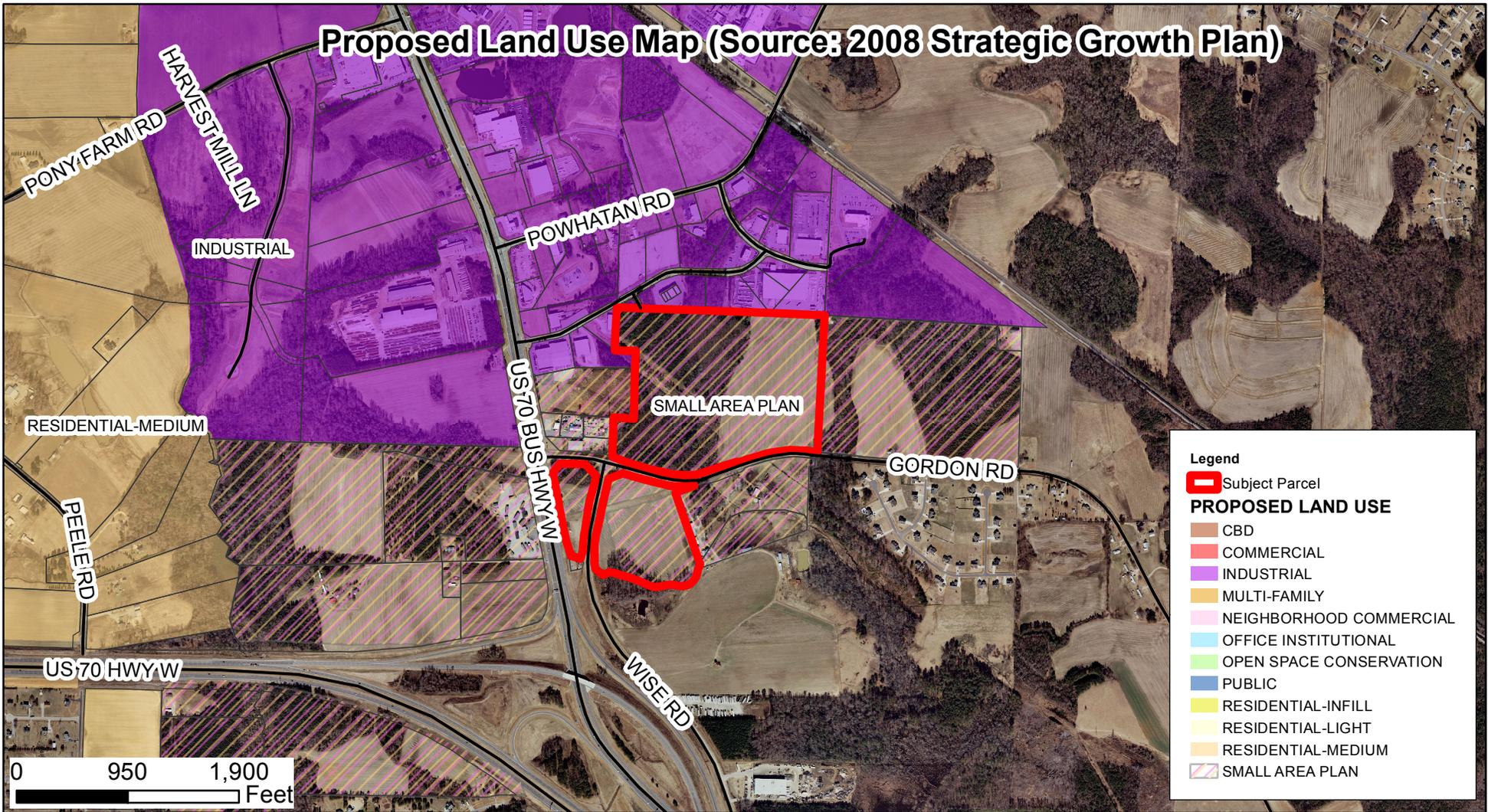


Legend

subject parcel	R-E	B-2
	R-10	B-3
	R-8	PD-C
	R-6	I-1
	PD-R	I-2
	O-R	O-1
	B-1	PD-MU



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)



Legend

- Subject Parcel
- PROPOSED LAND USE**
- CBD
- COMMERCIAL
- INDUSTRIAL
- MULTI-FAMILY
- NEIGHBORHOOD COMMERCIAL
- OFFICE INSTITUTIONAL
- OPEN SPACE CONSERVATION
- PUBLIC
- RESIDENTIAL-INFILL
- RESIDENTIAL-LIGHT
- RESIDENTIAL-MEDIUM
- SMALL AREA PLAN

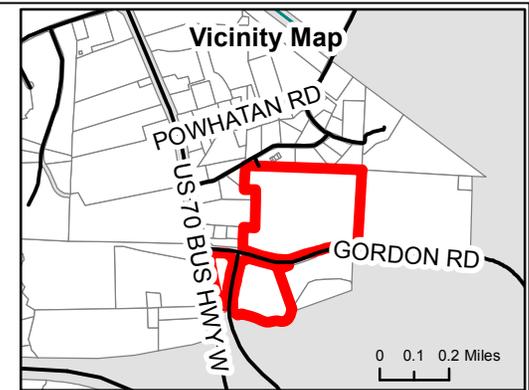
15-18-01-RZ Young Family Tract Rezoning Rezoning from R-E to I-1

Applicant: Norwood Thompson
 Property Owner: Young Family Irrevocable Trust
 Parcel ID Number: 167700-47-9545
 Tag #: 05105021A

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



06/15/2015



PROPERTY OWNER INFORMATION

Name: Young Family Irrevoc Trust, Jenny Kelling Trustee

Mailing Address: 3739 National Dr. Ste 227

Phone Number: _____

Fax: _____

Email Address: Raleigh NC, 27612

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

For the for purpose of marketing light industrial sites to prospective purchasers, it is the desire of the applicant and owners to ask for rezoning so that they may work with the Johnston County EDC to have this tract certified by the County of Johnston, as a "Johnston County Ready Sites". It is the applicants belief that the rezoning from R-E to Light Industrial will increase marketability of the land through Johnston County EDC and the NC Department of Commerce.

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Rezoning application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i>					
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$500 for standard rezoning <u>OR</u> \$1,000 + \$5.00/acre for Planned Developments)	<input type="checkbox"/>				
3. Completed application	<input checked="" type="checkbox"/>				
4. Owner's Consent Form <i>Required if applicant is not property owner.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. <i>If property to be rezoned is a portion of a parcel:</i> - Property legal description typed (10 pt. font or greater). The legal description must also be submitted electronically in Microsoft Word format. - Plat showing property to be rezoned, matching legal description.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	<input checked="" type="checkbox"/>				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town - thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	<input checked="" type="checkbox"/>				

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

- 1. Consistency with the adopted plans of the Town.

~~With contiguous property zoned I-1 or B3 and with Gordon Road serving as a buffer, it is the applicants belief that the rezoning request would not adversely or negatively effect neighboring landowners.~~

- 2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

~~Currently the property is zoned R-E and has limited residential value with the light industrial property and facilities that is contiguous. It is the applicants belief that rezoning would enhance and increase the marketability. The requested rezoning has the potential to add tremendous value to the Town of Clayton coffers.~~

- 3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

~~It is the applicants belief that the rezoning will improve the Town of Clayton and Johnston County's ability to market the site for an appropriate light manufacturing facility. Opportunities will improve to market the site to companies that will provide jobs to area citizens as well as potentially increase the coffers of the Town of Clayton without adversely effecting Town of Clayton services.~~

- 4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

~~It is the applicants belief that the proposed rezoning would not negatively effect or impact the public facilities. With increased opportunity to market the site, it is the strong belief that the Town of Clayton would benefit financially from the sale of utilities.~~

5. It has been determined that the legal purposes for which zoning exists are not violated.

~~With contiguous land and facilities already zoned Light Industrial and with Gordon Rd. serving as a natural buffer to residential neighborhood outside the ETJ of the Town of Clayton, it is the belief of the applicant that this rezoning would not violate any rules, codes or ordinances set by the Town of Clayton.~~

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

~~With contiguous land and facilities already zoned Light Industrial and with Gordon Rd. serving as a natural buffer to residential neighborhood outside the ETJ of the Town of Clayton, it is the belief of the applicant that adjoining property owners will not be adversely effected.~~

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

~~It is the desire of the applicant to work with the Johnston County EDC and the NC Department of Commerce and promote the site as a "Johnston County Ready Site." One of the criteria is that land must be zoned Light Industrial. This rezoning will enhance the value of the property and, also, will make it more marketable for suitable light manufacturing companies. Any potential development of the land will not be detrimental to the general public.~~

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Norwood O Thompson
Print Name

[Signature]
Signature of Applicant

4/28/15
Date

NEIGHBORHOOD MEETING INFORMATION

Purpose:

The purpose of the neighborhood meeting shall be to inform the neighborhood of the nature of the proposed land use and development features, answer questions, respond to concerns, and solicit comments.

Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

Meeting Time & Location:

The meeting must be held no earlier than 6:00 pm Monday through Friday, and must be held in a location generally accessible to residents within close proximity of the request.

Meeting Notice Mailing requirements:

1. The applicant must contact all adjacent property owners via first class mailing (see sample letter).
2. The mailing must include all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the subject property. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property.
3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the neighborhood meeting.

Information provided to Planning Department:

Alert the Planning Department when the date, location, and time are determined. Planning staff may attend the neighborhood meeting to answer process/code questions.

Return the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board meeting in electronic or hard copy format:

- Neighborhood Meeting Summary Form
- Copy of the letter mailed
- Mailing list
- Attendance roster

ADJACENT PROPERTY OWNERS LIST

Project Name: Young Family Tract

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05I05020S	Winstead Building	PO Drawer 1960, Smithfield NC 27577
05I05020O	Raymond House	2020 Casey Rd, Clayton NC 27520
05I05020L, 05I05019H 05I05020R	Walthom Group	442 1/2 East Main Street, Clayton NC 27520
05I05020W 05I05020H	Theodore James Cihols	2017 Fox Den, Clayton NC 27527
05I05020N	Carolina CPL Holinging	1125 W. NC Hwy 54 Ste 504 Durham NC 27707
05I05019K, 05I05023S 05I05023T, 05I05023U	North Tech 120 LLC	120 North Tech Dr. Ste 102, Clayton NC 27520
05I05019L, 05I05019M 05I05019O	Neuse River Leasing Inc	2160 Satellite Blvd, Ste 450, Duluth, GA 30097
05I05023R	MCD Investments	PO Box 877 Clayton, NC 275280-0877
05I05023K	Jose Saucedo / Claudia Santillan	103 Granton Ct. Clayton NC, 27520
05I05008J	Novo Nordisk	3612 Powhatan Rd, Clayton NC 27527
05I05022A	Ida Wiggins	1282 Maple Ave, Peekskill NY, 10566-4853
05I05021, 05I05021B	Betty L Mitchell	2367 Gordon Rd, Clayton NC 27520
05E99011	Norwood Godwin Jones Jr.	804 Chestnut Dr. Smithfield NC, 27577
05I05036	Hellen Tuttle	PO Box 622 Clayton NC 27520
05I05035A	CMH Homes INC	PO Box 9790 Maryville, TN 37802-9790
05I05034A, 05I05034	Worth M Pounds Jr	1899 Strickland Rd. Clayton NC 27520-4817
05I05034B	Donald C Hull	PO Box 2, Micro NC 27555

SAMPLE NEIGHBORHOOD MEETING LETTER - PLACE ON AGENT OR OWNER LETTERHEAD

Date _____

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: _____

Location: _____

Time: _____

Type of Application: _____

General Description: *[Provide information about the project that could assist those reviewing this letter, such as a brief description, layout or map]*

If you have any questions prior to or after this meeting, you may contact us at **Insert phone number of applicant**

Sincerely,

Applicant

cc: Clayton Planning Dept.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: _____

Location/Date: _____

	NAME	ADDRESS
1		
2		
3		
4		
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20		



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Young Family Tract **Address or PIN #:** 167700-47-9545

AGENT/APPLICANT INFORMATION:

Norwood Thompson 442 1/2 East Main Street
 (Name - type, print clearly) (Address)
Clayton NC, 27520
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

Norwood Thompson

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

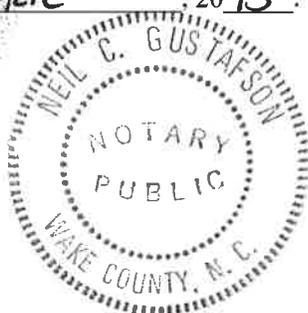
OWNER AUTHORIZATION:

~~Jenny Y Kelling~~ Carl G. Young 3739 National Dr. Ste 227
 (Name - type, print clearly) (Address)
Carl G. Young Raleigh NC 27612
 (Owner's Signature) (City, State, Zip)

STATE OF North Carolina
COUNTY OF Wake

Sworn and subscribed before me NEIL C. GUSTAFSON Notary Public for the above State and County, this the 23rd day of APRIL, 2015.

SEAL



Neil C. Gustafson
 Notary Public
 My Commission Expires: 1-12-2020



442 ½ East Main Street #3
Clayton NC 27520

May 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: May 12, 2015

Location: 442 ½ East Main Street #3, Clayton NC 27520
(Horne Building / Behind First Federal Bank)

Time: 6:00PM

Type of Application: Rezoning Request

General Description:

The property under consideration is located on the North-West side of Gordon Road. Currently the property is zoned R-E and the owners/applicant have found limited residential value with the light industrial property and facilities that is contiguous. It is the applicant's belief that the rezoning will improve our ability to market the site for an appropriate light manufacturing facility. It is the desire of the applicant to work with the NC Department of Commerce and promote the site as a "NC Certified Site." One of the criteria is that land must be zoned Light Industrial. Any potential development will be required to comply to the building and site development requirements set by the Town of Clayton.

If you have any questions prior to or after this meeting, you may contact us at **919-553-5400**.

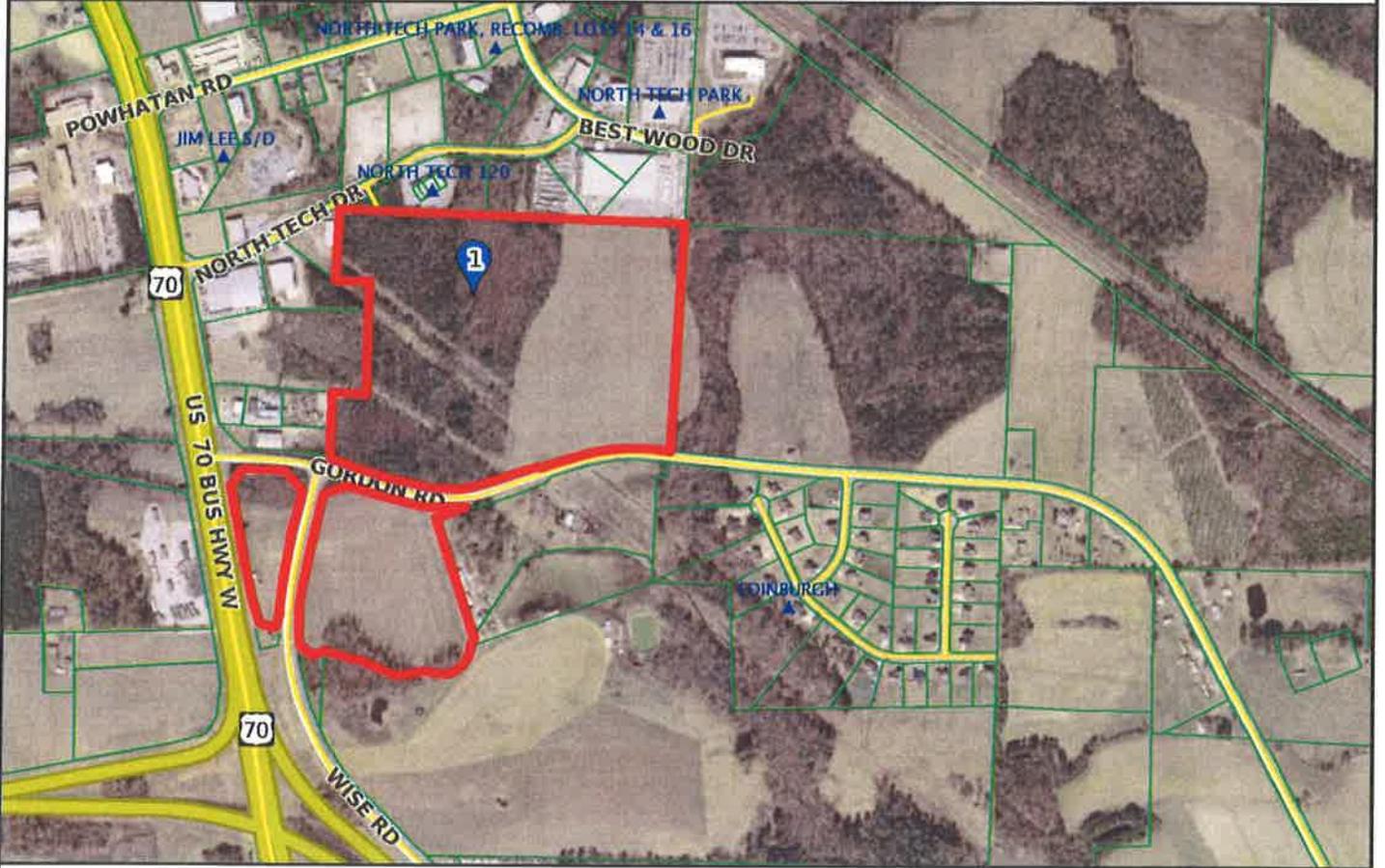
Sincerely,

Norwood Thompson

cc: Clayton Planning Dept.

*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Scale: 1:8445 - 1 in. = 703.76 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS
April 29, 2015

Meeting Recap

Wiggins/Young

May 12, 2015

1. Several people from Edinburgh complained they did not get letter. Discussed that it was mailed to only adjacent neighbors.
2. Discussed plan for I-1 zoning.
 - That subject property backed up to
 - Phillips complex
 - Excide Battery
 - Machine Shop/US Lumber
 - Rail Road
3. Several people thought and suggested it should become
 - Residential
 - School
 - Park
4. Concerns were
 - Traffic of trucks
 - Access Points
 - Use
5. Made group aware that any use would require traffic study and possible road improvements. The use is to be determined but a possible use is Pharmaceutical. Also addressed that the owners were willing to deed restrict against recycling, junk yards and landfills.

Additionally there is an access point in North Tech Park and Hwy 70 next to Rob's Hydraulics.

Norwood Thompson offered to meet with a spokesman for them and discuss any suggestions they might have.

May 12, 2015

Sharon + Ben Clifton 160 Bilston Dr. 919-243-0812

David Millard 27 Granton Ct. 919-359-1154

Joseph + Ruth Lore 132 Eddlestone 919-550-1897

Charles + Kristen Adkins 148 Eddlestone CT 252-560-6153

Nicole + Mark Guerrero 81 Eddlestone Ct 919-879-8035

Derek + Season Wyatt 127 Bilston Dr. 919-320-5106

PAULA NARRON 415 S. FOWATT ST SMITHFIELD NC 919-934-6909

David and Linda Mohr 138 Bilston Dr. 919-741-0749

LIFFORD AND GINNY PINTO 67 SLATEFORD DR. ^{919 349 3367}

Christie Rofferty 118 Bilston Drive 919-339-7300

Toni Lundenand 98 Bilston Dr 919-585-2255

Bonny Lundenand 56 Granton Ct. 919-359-2838

Rick Loy 139 EDDLESTONE CT 910-638-1839

Benny Langdon 19 Slateford Dr 919-750-7358

MARK TURNER 61 EDDLESTONE CT 919-780-9256

Thomas Maier 64 Bilston DR 910-603-9851

Bruce Allen SIGNATURE MANAGEMENT 919-333-3567

Wendy Gatenwood 59 Bilston Dr. 919-395-8897

lisa Wiley 24 Slateford Dr. 919-550-7560

Leath Poyde 1899 Strickland Rd Clayton NC 919-209-8832

Alysa Gill 4412 1/2 St Mon 919-550-5164



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-1545
Fax: 919-553-1720

Planning Board
June 22, 2015

STAFF REPORT

Application Number: 15-19-01-RZ Project Name: Wiggins Tract Rezoning

NC PIN / Tag #: 167700-67-6564 / 05I05022A
Town Limits/ETJ: ETJ
Overlay: Small Area Plan (Future Land Use) / Johnston County Research & Training Zone (Johnston County Economic Training Zone)
Applicant: Norwood Thompson
Owner: Ida S. Wiggins
Location: The property is located on Gordon Rd, near US Hwy 70 Business (see map).

Public Noticing:

- Neighborhood meeting May 12, 2015
- Sign posted June 09, 2015
- Letters mailed prior to July 22, 2015
- Newspaper ad posted prior to July 22, 2015

REQUEST: Rezoning from Residential-Estate (R-E) to Light Industrial (I-1).



SITE DATA:

Acreage: 45.73 acres
Existing Use: Agriculture

ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Light Industrial (I-1)	Agricultural
South	County Agricultural Residential (AR)	Residential subdivision (Edinburgh)
East	County Agricultural Residential (AR)	Agricultural
West	Residential-Estate (R-E)	Agricultural

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting to rezone 45± acres from Residential-Estate to Light Industrial. This piece of land is currently agricultural and primarily fronts along Gordon Rd, just north of the intersection of Hwy 70 Business and Hwy 70 Bypass. The land is on the outside border of the Town’s Extraterritorial Planning Jurisdiction (ETJ).

Compatibility with Surrounding Land Uses

The site is located on the outside boundary of the industrial and technology-oriented uses that currently occupy the industrially-zoned land to the north. It is on the developing fringe of Clayton’s ETJ.

A small residential subdivision (Edinburgh) is located on the other side of Gordon Rd. This subdivision is served by a connection to Gordon Rd, which is their only ingress/egress to their neighborhood. The neighborhood does have a stub-out street heading east, but the adjacent property is not yet developed, and even when it is the second connection will still be to Gordon Rd.

Other uses surrounding the subject property are primarily agricultural or rural residential.

Access/Streets:

Primary access to the property is from Gordon Rd. As parcels to the north are developed, it may be possible to make a second connection to North Tech Dr. The proximity to the US Hwy 70 Business and Hwy 70 Bypass interchange is supportive of an industrial-type use that might involve utilization of freight shipping corridors.

Consistency with the Strategic Growth Plan

The 2008 Strategic Growth Plan designates this area as a “Small Area Plan” adjacent to Industrial Future Land Use on the north, and the highway interchange on the southwest. This rezoning is consistent with the intent of the Future Land Use for these and surrounding lands, as controlled by the Scenic Highway Overlay discussed below.

Consistency with Overlays

This rezoning is likely in anticipation of subsequent inclusion of the subject property into the Johnston County Research and Training Zone (aka Economic Training Zone). The Johnston County Research and Training Zone (RTZ) is a specialized taxing district which houses the biotech, chemical, and pharmaceutical manufacturing companies along the US Hwy 70 Business corridor such as Grifols, Novo Nordisk, etc. If this should occur, Board of County Commissioner and Town Council permission is required prior to any inclusion into the RTZ. Properties included in the RTZ are not allowed to be annexed by the Town and have their property taxes fixed at a rate set when they are accepted into the RTZ.



CONSIDERATIONS:

- Rezoning decisions are made by the Town Council. The Planning Board shall provide a recommendation to the Town Council.
- When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with adopted plans and/or policies of the Town and explaining why the Council considers the action to be reasonable and in the public interest.

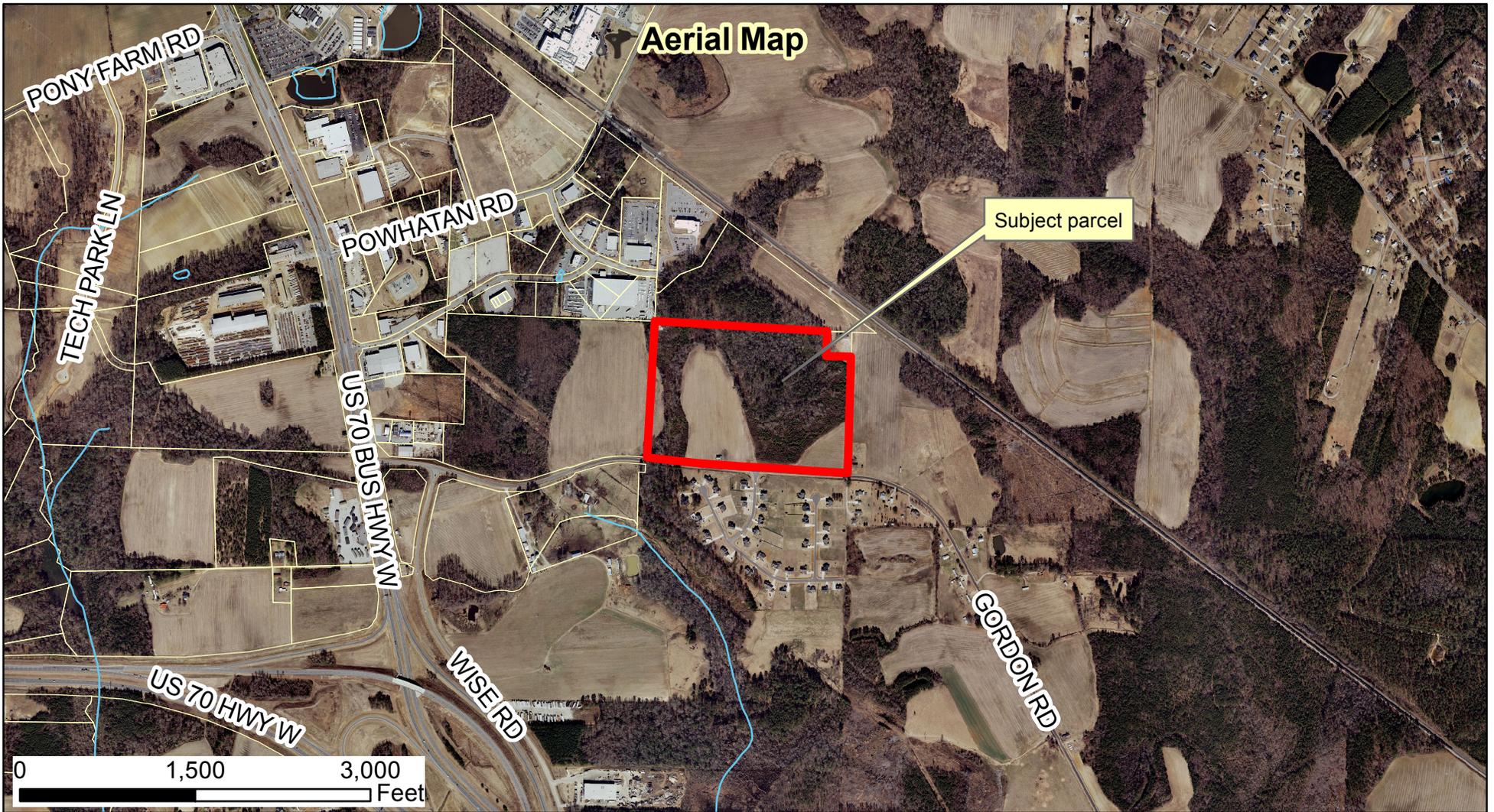
STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning of the subject parcel.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS:

- 1) Aerial Map
- 2) Existing and Proposed Zoning Map
- 3) Proposed Land Use Map
- 4) Application
- 5) Neighborhood Meeting Materials
- 6) Letter Opposing Rezoning



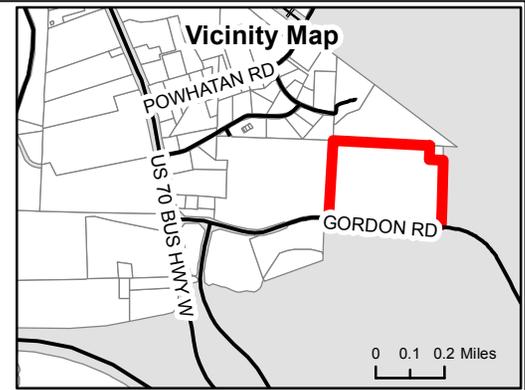
**15-19-01-RZ Wiggins Family Tract Rezoning
Rezoning from R-E to I-1**

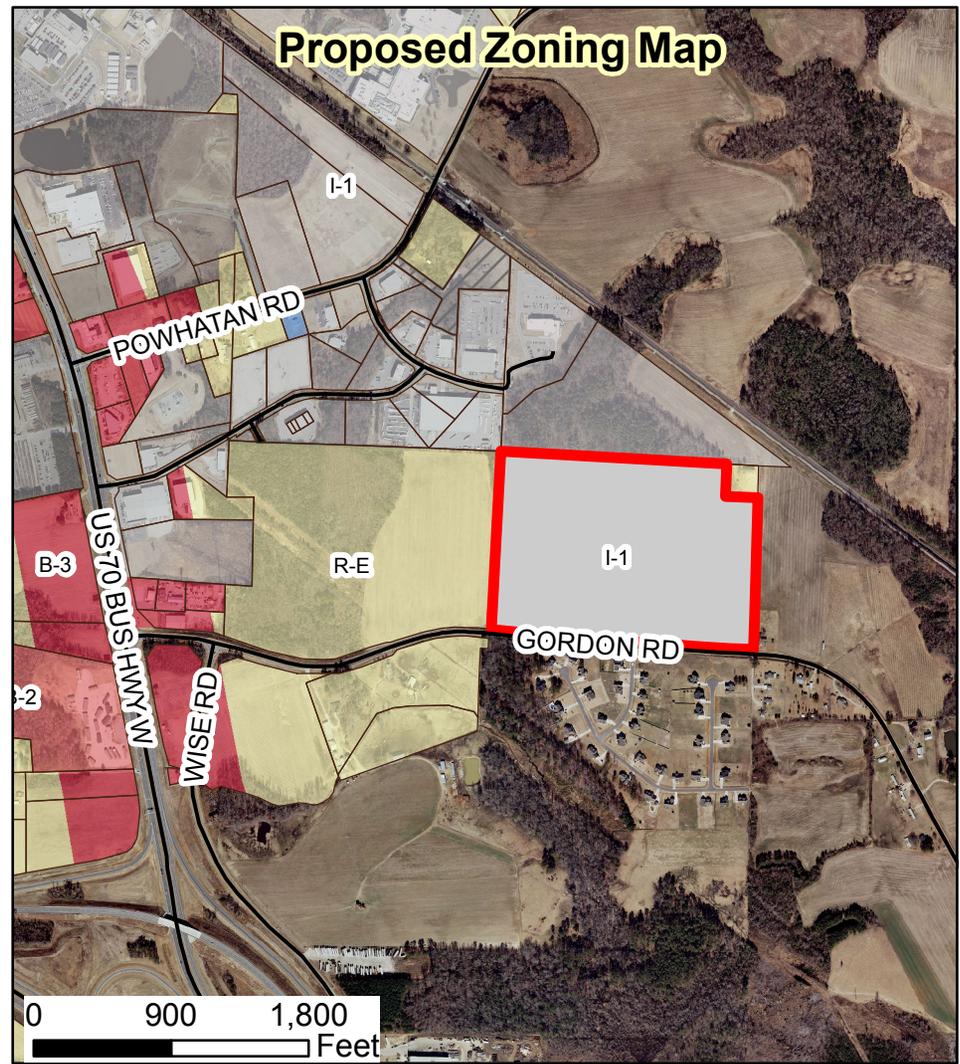
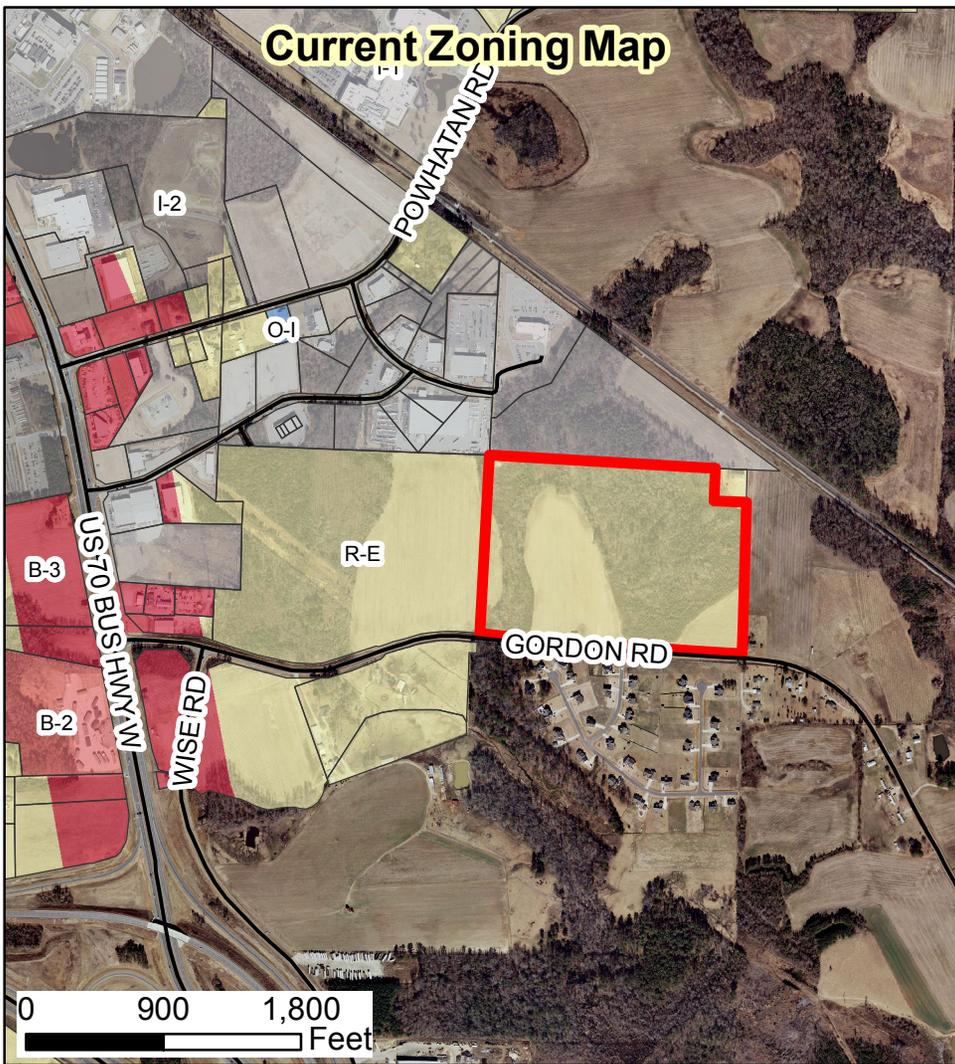
Applicant: Norwood Thompson
 Property Owner: Ida S. Wiggins
 Parcel ID Number: 167700-67-6564
 Tag #: 05105022A

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal
 responsibility for the information represented here.



03/14/2015





15-19-01-RZ Wiggins Family Tract Rezoning Rezoning from R-E to I-1

Applicant: Norwood Thompson
 Property Owner: Ida S. Wiggins
 Parcel ID Number: 167700-67-6564
 Tag #: 05105022A

Produced by: TOC Planning

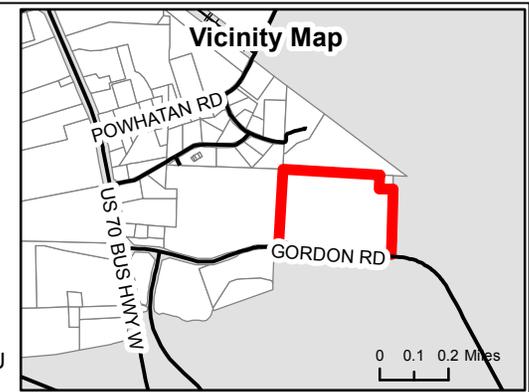
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

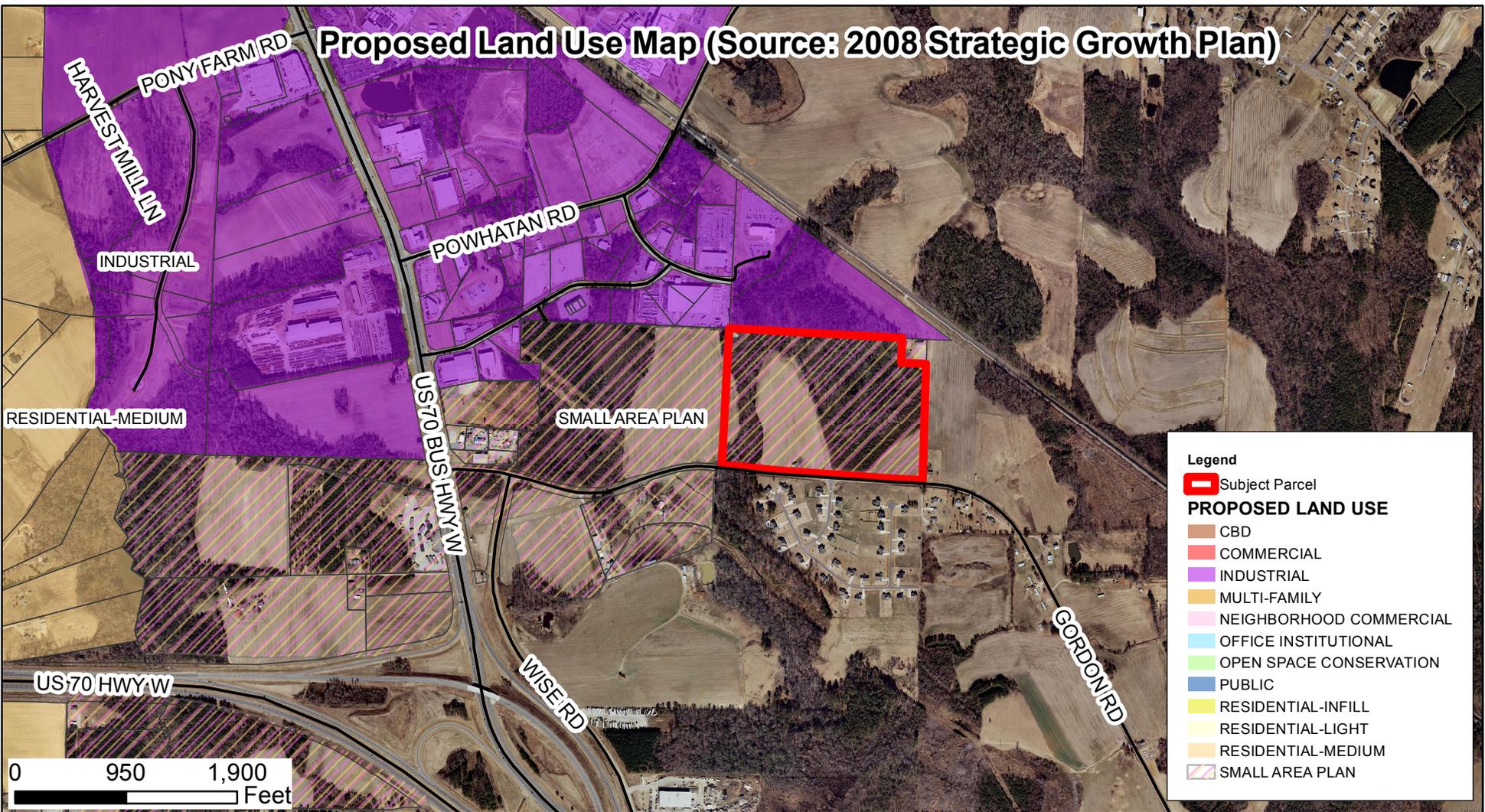
06/15/2015



Legend

Subject Parcel	R-E	B-2
	R-10	B-3
	R-8	PD-C
	R-6	I-1
	PD-R	I-2
	O-R	O-1
	B-1	PD-MU





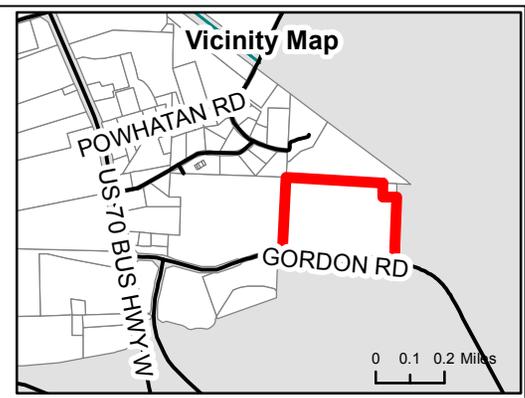
Legend

- Subject Parcel
- PROPOSED LAND USE**
- CBD
- COMMERCIAL
- INDUSTRIAL
- MULTI-FAMILY
- NEIGHBORHOOD COMMERCIAL
- OFFICE INSTITUTIONAL
- OPEN SPACE CONSERVATION
- PUBLIC
- RESIDENTIAL-INFILL
- RESIDENTIAL-LIGHT
- RESIDENTIAL-MEDIUM
- SMALL AREA PLAN

15-19-01-RZ Wiggins Family Tract Rezoning Rezoning from R-E to I-1

Applicant: Norwood Thompson
 Property Owner: Ida S. Wiggins
 Parcel ID Number: 167700-67-6564
 Tag #: 05I05022A

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 06/15/2015





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Application fee: Standard Rezoning: \$500.00
 Rezoning to Planned Development District: \$1,000.00 + \$5.00 acre
All fees are due when the application is submitted.

Note on Planned Developments: Requests to rezone to a Planned Development District must be accompanied by a Master Plan submittal. Master Plans are approved as Preliminary Subdivision Plats – please submit a concurrent Preliminary Subdivision Plat application and Master Plan.

SITE INFORMATION

Name of Project: Wiggins Tract Acreage of Property: ~~69.50~~ 45.73
 County Tag Number: 05105022A NC PIN: 167700-67-6564
 Address/Location: 2000 Gordon Road - Clayton NC

Existing Zoning District: R-E
 Proposed Zoning District: I-1
 Is project within an Overlay District? No
 Yes (list): ETJ of the Town of Clayton

APPLICANT INFORMATION

Applicant: Norwood Thompson
 Mailing Address: 442 1/2 East Main Street #3, Clayton NC
 Phone Number: 919-553-5400 Fax: _____
 Contact Person: Norwood Thompson
 Email Address: nthompson@walthomgroup.com

RECEIVED		
FOR OFFICE USE ONLY		
Date Received: MAY 01 2015	Amount Paid: _____	File Number: <u>15-19-01-RZ</u>
Town of Clayton Planning Department		

PROPERTY OWNER INFORMATION

Name: Ida S. Wiggins

Mailing Address: 1282 Maple Ave

Phone Number: _____

Fax: _____

Email Address: Peekskill, NY 10566-4853

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

For the purpose of increased marketing light industrial sites to prospective purchasers, it is the desire of the applicant and owners to ask for rezoning so that they may work with the Johnston County EDC to have this tract certified by the County of Johnston, as "Johnston County Ready Site." It is the applicants belief that the rezoning from R-E to Light Industrial will increase marketability of the land through the Johnston County EDG and the NC Department of Commerce.

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Rezoning application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
Submit 9 copies of all materials unless otherwise noted or directed by staff					
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Review Fee (\$500 for standard rezoning <u>OR</u> \$1,000 + \$5.00/acre for Planned Developments)	<input type="checkbox"/>				
3. Completed application	<input checked="" type="checkbox"/>				
4. Owner's Consent Form <i>Required if applicant is not property owner.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	<input checked="" type="checkbox"/>				
6. If property to be rezoned is a portion of a parcel: - Property legal description typed (10 pt. font or greater). The legal description must also be submitted electronically in Microsoft Word format. - Plat showing property to be rezoned, matching legal description.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	<input type="checkbox"/>				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town - thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	<input checked="" type="checkbox"/>				

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

- 1. Consistency with the adopted plans of the Town.

~~With contiguous property zoned I-1 or B3 and with Gordon Road serving as a buffer, it is our belief that the rezoning request would not adversely or negatively effect neighboring landowners.~~

- 2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

~~Currently the property is zoned R-E and has limited residential value with the light industrial property and facilities that is contiguous. It is the applicants belief that rezoning would enhance and increase the marketability. The requested rezoning has the potential to add tremendous value to the Town of Clayton coffers.~~

- 3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

~~It is the applicants belief that the rezoning will improve the Town of Clayton and Johnston County's ability to market the site for an appropriate light manufacturing facility. Opportunities will improve to market the site to companies that will provide jobs to area citizens as well as potentially increase the coffers of the Town of Clayton without adversely effecting Town of Clayton services.~~

- 4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

~~It is the applicants belief that the proposed rezoning would not negatively effect or impact the public facilities. With increased opportunity to market the site, it is the strong belief that the Town of Clayton would benefit financially from the sale of utilities.~~

5. It has been determined that the legal purposes for which zoning exists are not violated.

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APPLICANT AFFIDAVIT

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Norman O Thompson
Print Name

[Signature]
Signature of Applicant

4/28/15
Date

NEIGHBORHOOD MEETING INFORMATION

Purpose:

The purpose of the neighborhood meeting shall be to inform the neighborhood of the nature of the proposed land use and development features, answer questions, respond to concerns, and solicit comments.

Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

Meeting Time & Location:

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3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the neighborhood meeting.

Information provided to Planning Department:

Alert the Planning Department when the date, location, and time are determined. Planning staff may attend the neighborhood meeting to answer process/code questions.

Return the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board meeting in electronic or hard copy format:

- Neighborhood Meeting Summary Form
- Copy of the letter mailed
- Mailing list
- Attendance roster

ADJACENT PROPERTY OWNERS LIST

Project Name: Wiggins Tract

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05I05008J	Novo Nordisk	3612 Powhatan Clayton NC 27527
05I05021A	Young Family	3739 National Dr. Ste 227, Raleigh NC 27612-4063
05I05021	Betty Mitchell	2367 Gordon Rd. Clayton, NC 27520
05I05023K	Claudia Santillan / Jose Saucedo	103 Granton Court, Clayton NC 27520
05I05023L	David Koehler	102 Granton Ct, Clayton NC 27520
05I05023Q	David Wiley	24 Slateford Dr. Clayton NC 27520
05I05022	Benny H. Langdon	19 Slateford Dr. Clayton NC 27520
05I05022R	Scot Schwichow	147 Eddlestone Dr. Clayton NC 27520
05I05022S	Charles Adkins	148 Eddlestone Ct. Clayton NC 27520
05E99010L	Joesph B. Jones	PO Box 871, Clayton NC 27520
05E99003L	Betty C Woodall	2175 Grabtown Rd. Smithfield NC 27577
05I05023	Betty Mitchell	2367 Gordon Rd. Clayton NC 27520
05I05022C	New Bethel Church	1814 Gordon Rd. Clayton NC 27520
05I050190	Neuse River Leasing	2160 Satellite Bld Ste 450 Duluth, GA 30097

**SAMPLE NEIGHBORHOOD MEETING LETTER -
PLACE ON AGENT OR OWNER LETTERHEAD**

Date

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: _____

Location: _____

Time: _____

Type of Application: _____

General Description: *[Provide information about the project that could assist those reviewing this letter, such as a brief description, layout or map]*

If you have any questions prior to or after this meeting, you may contact us at ***Insert phone number of applicant***

Sincerely,

Applicant

cc: Clayton Planning Dept.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: _____

Location/Date: _____

	NAME	ADDRESS
1		
2		
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**Town of Clayton
Planning Department**
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Wiggins Tract Address or PIN #: 167700-67-8584

AGENT/APPLICANT INFORMATION:

Norwood Thompson 442 1/2 East Main Street
(Name - type, print clearly) (Address)
Clayton, NC 27520
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

Norwood Thompson

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

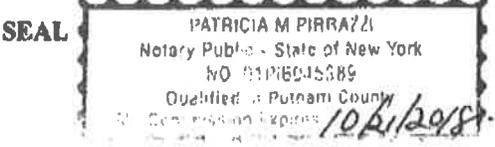
I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Ida Wiggins 1282 Maple Ave
(Name - type, print clearly) (Address)
Peekskill, NY 10566-4853
(Owner's Signature) (City, State, Zip)

STATE OF New York
COUNTY OF Westchester

Sworn and subscribed before me Patricia M. Pirra Notary Public for the above State and County, this the 22nd day of April, 2015.



Patricia M. Pirra
Notary Public
My Commission Expires: 10/21/2018



442 ½ East Main Street #3
Clayton NC 27520

May 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: _____ May 12, 2015 _____

Location: _____ 442 ½ East Main Street #3, Clayton NC 27520 _____
(Horne Building / Behind First Federal Bank)

Time: _____ 6:00PM _____

Type of Application: _____ Rezoning Request _____

General Description:

The property under consideration is located on the North-West side of Gordon Road. Currently the property is zoned R-E and the owners/applicant have found limited residential value with the light industrial property and facilities that is contiguous. It is the applicant's belief that the rezoning will improve our ability to market the site for an appropriate light manufacturing facility. It is the desire of the applicant to work with the NC Department of Commerce and promote the site as a "NC Certified Site." One of the criteria is that land must be zoned Light Industrial. Any potential development will be required to comply to the building and site development requirements set by the Town of Clayton.

If you have any questions prior to or after this meeting, you may contact us at **919-553-5400**.

Sincerely,

Norwood Thompson

cc: Clayton Planning Dept.



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Scale: 1:8445 - 1 in. = 703.76 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS
April 29, 2015

Meeting Recap

Wiggins/Young

May 12, 2015

1. Several people from Edinburgh complained they did not get letter. Discussed that it was mailed to only adjacent neighbors.
2. Discussed plan for I-1 zoning.
 - That subject property backed up to
 - Phillips complex
 - Excide Battery
 - Machine Shop/US Lumber
 - Rail Road
3. Several people thought and suggested it should become
 - Residential
 - School
 - Park
4. Concerns were
 - Traffic of trucks
 - Access Points
 - Use
5. Made group aware that any use would require traffic study and possible road improvements. The use is to be determined but a possible use is Pharmaceutical. Also addressed that the owners were willing to deed restrict against recycling, junk yards and landfills.

Additionally there is an access point in North Tech Park and Hwy 70 next to Rob's Hydraulics.

Norwood Thompson offered to meet with a spokesman for them and discuss any suggestions they might have.

May 12, 2015

Sharon + Ben Clifton 160 Bilston Dr. 919-243-0812

David Millard 27 Granton Ct. 919-359-1154

Joseph + Ruth Lore 132 Eddlestone 919-550-1897

Charles + Kristen Adkins 148 Eddlestone CT 252-560-6153

Nicole + Mark Guerrero 81 Eddlestone Ct 919-879-8035

Derek + Season Wyatt 127 Bilston Dr. 919-320-5106

PAULA NARRON 415 S. FOWATT ST SMITHFIELD NC 919-934-6909

David and Linda Mohr 138 Bilston Dr. 919-741-0749

LIFFORD AND GINNY PINTO 67 SLATEFORD DR. ^{919 349 3367}

Christie Rofferty 118 Bilston Drive 919-339-7300

Toni Lundenand 98 Bilston Dr 919-585-2255

Bonny Lundenand 56 Granton Ct. 919-359-2838

Rick Loy 139 EDDLESTONE CT 910-638-1839

Benny Langdon 19 Slateford Dr 919-750-7358

MARK TURNER 61 EDDLESTONE CT 919-780-9256

Thomas Maier 64 Bilston DR 910-603-9851

Bruce Allen SIGNATURE MANAGEMENT 919-333-3567

Wendy Gatenwood 59 Bilston Dr. 919-395-8897

lisa Wiley 24 Slateford Dr. 919-550-7560

Leath Poynter 1899 Strickland Rd Clayton NC 919-209-8832

Alysa Gill 4412 1/2 St Man 919-550-5164

TO: FRANK PRICE ON PLANNING BOARD

**FROM: SHARON CLIFTON, 160 BILSTON DR, CLAYTON NC
27520**

DEAR SIR:

I live in the EDINBURGH subdivision off Gordon road. I am opposed to the rezoning of land across from our housing development . I do not want tractor trailers coming and going in front of our 41 house development. MR. THOMPSON developed this property and only gave us one entrance to get out of this development and we have no problems with traffic now but if we get employees and tractor trailer trucks coming and going it will be a PROBLEM. WE have a lot of young children running around this neighborhood. I am also concerned about the drop in PROPERTY VALUES after we get no telling what kind of business across from us. There are a lot of people that are unhappy with what Mr. THOMPSON did in this development and do not think he will do what needs to be done when he puts in a business across from us. IF land is rezoned for business then I would like to see roads come in from other side of property where it is already zoned business. No truck entrance off Gordon road just employee entrance if needed. I ask would you want a factory across from your house? There is land available around highway 70 but they do not to pay higher cost. Thank you for your time.

C Mr. Ben Clifton
160 Bilston Dr.
Clayton, NC 27520-7514

RALEIGH NC 275
Research Triangle Region
10 JUN 2015 PM 4 L



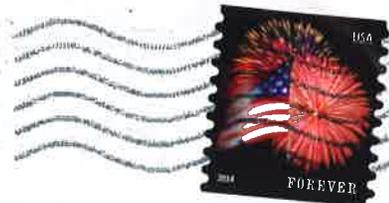
Mr. Frank Price
Planning Board
406 Fayetteville St.
Clayton, NC 285~~20~~ - 2437

27520243706



Mr. Ben Clifton
160 Bilston Dr.
Clayton, NC 27520-7514

RALEIGH NC 275
Research Triangle Region
10 JUN 2015 PM 1 L



Mr. Marty Byzell
Planning Board
406 Fayetteville Rd.
Clayton, NC 27520-2437

27520243706



C

Mr. Ben Clifton
160 Bilston Dr.
Clayton, NC 27520-7514

RALEIGH NC 275
Research Triangle Region
10 JUN 2015 PM 1 L



Mr. Jim Lee
Planning Board
406 Fayetteville St.
Clayton, NC 27520-2437

27520243706



C

Mr. Ben Clifton
160 Bilston Dr.
Clayton, NC 27520-7514

RALEIGH NC 275
Research Triangle Region
10 JUN 2015 PM 1 L



Mr. James Lipscomb
Planning Board
406 Fayetteville St.
Clayton, NC 27520-2437

27520243706



ton
Dr.
27520-7514

RALEIGH NC 275
Research Triangle Region
10 JUN 2015 FN 4 IL



Dana Pounds, Planning Board
406 Fayetteville St.
Clayton, NC 28520-2437

some information on the technical, advisory, and neighborhood meetings that have been held. He also mentions the survey and its high response rate of close to 1,000 respondents.

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

Mr. DeYoung informs the Board that Emily Beddingfield will not be returning after maternity leave. He explains that she will work part-time while the department looks for a new Planner. Mr. DeYoung also informs the Board that the department had hired a new Downtown Development Coordinator, Stephanie Ross, from Goldsboro with 20 years of experience. He states that she will be starting on June 1, 2015 which is Bruce's last day. Mr. Teem asks where Bruce is going and Mr. DeYoung explains that he will be pursuing other personal and career interests.

VII. ADJOURN

Ronald Johnson makes a motion to adjourn. David Teem seconds the motion and it passes unanimously at 7:08PM.

Duly adopted this 22th day of June 2015, while in regular session.

X

Frank Price
Planning Board Chairman

ATTEST:

X

Rebecca Powers
Clerk to Planning Board