

AGENDA
TOWN OF CLAYTON PLANNING BOARD MEETING
Monday, December 28, 2015
6:00 PM
TOWN COUNCIL CHAMBERS
111 E. SECOND STREET
For Information: (919) 553-5002

- I. CALL TO ORDER**
- II. ADJUSTMENTS TO THE AGENDA**
- III. APPROVAL OF MINUTES**
 - A. None**
- IV. REPORTS AND COMMENTS**
- V. OLD BUSINESS**
- VI. NEW BUSINESS**
 - A. 15-59-01-SP The Light Church Daycare- Major Site Plan**
Request for approval of an existing church to operate a daycare/learning center.
 - B. 11-58-01-SP Amelia Station Medical Office- Major Site Plan**
Request for Major Site Plan approval to develop land to be used as a multi-tenant medical office as a part of the Amelia Station Planned Development.
 - C. 15-48-02-SP The Pines at Glen Laurel Apartments- Major Site Plan**
Request to develop 20 acres of land into a 240 unit apartment complex as a part of the NC 42 East Mixed Use Planned Development.
 - D. 15-48-03-SD Glen Laurel Self Storage- Major Site Plan**
Request to develop a self-storage facility on 4.98 acres of land as a part of the NC 42 East Mixed Use Planned Development.
- VII. INFORMAL DISCUSSION AND PUBLIC COMMENT**
- VIII. ADJOURN**



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
December 28, 2015

STAFF REPORT

Application Number: 15-59-01-SP Project Name: The Light Church Daycare

NC PIN / Tag #: 166918-32-1429 / 05035041
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: The Light Church
Owner: Ruth Ray
Location: 400 Wall Street; on the corner of Wall Street and Washington Street.

Public Noticing:

- Neighborhood meeting November 16, 2015
- Sign posted prior to December 18, 2015

REQUEST: The applicant is requesting major site plan approval to operate a daycare as part of an existing church.

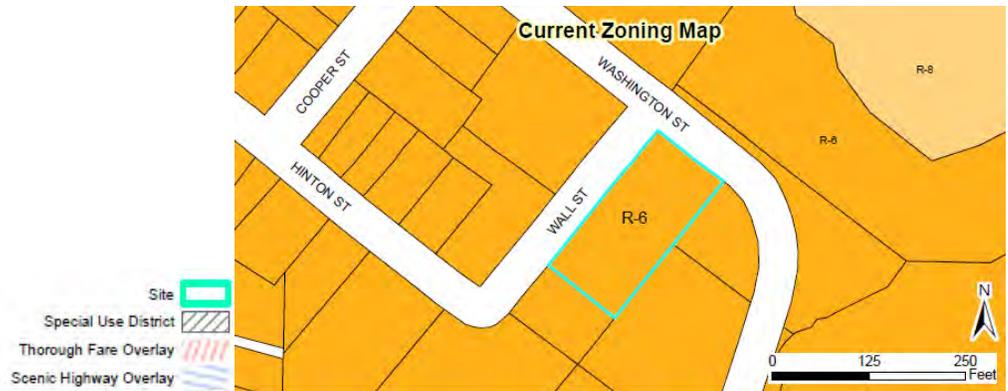
SITE DATA:

Acreage: .56 acres
Existing Use: The Light Church



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-6 (R-6)	Vacant
South	Residential-6 (R-6)	Vacant & Single-Family Homes
East	Residential-6 (R-6)	Vacant
West	Residential-6 (R-6)	Vacant & Single-Family Homes



DEVELOPMENT DATA:

Proposed Uses: Daycare facility in an existing church

Buildings: 1 building (existing)

Number of Stories: 1 story

Existing Parking: 27 existing spaces

Proposed Parking: No additional parking is proposed

Fire Protection: Town of Clayton

Access/Streets: 1 access point off of Wall Street

Water/Sewer Provider: Town of Clayton

Electric Provider: Town of Clayton

STAFF ANALYSIS:

Overview

The applicant is requesting major site plan approval to operate a daycare facility in an existing church. The daycare facility will run primarily during the week, and the church will operate primarily on Sundays. As required by the Unified Development Code, any church seeking an accessory use for a child care facility must go through major site plan approval.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**
The 2040 Comprehensive Plan designates this site as “Downtown Residential”. The proposed request is partially compatible with the Future Land Use Map. The proposed daycare will be operating out of an existing church that is located on the site. No changes to the subject property are proposed, which minimizes the effect on the surrounding residential properties.
- **Unified Development Code**
The proposed development meets the requirements in the Unified Development Code (UDC).

Landscaping and Buffering

There is an existing Class “C” landscape buffer located on the eastern portion of the site. The applicant also has existing interior landscaping. All unscreened HVAC/mechanical equipment that is existing on the site will be required to be screened, if the site plan is approved.

Parking

The site currently has 27 existing parking spaces that have been used for The Light Church. The applicant is not proposing to add any new parking spaces on the site for the daycare facility. Per code, daycare facilities require 1 parking space per 5 people, plus a drop off stall. This requirement is in addition to the parking requirement for churches. However, because the church and daycare will not be operating at the same time, staff does not believe that the addition of parking spaces to meet the requirement for a daycare facility is necessary. When the daycare is operating staff and visitors may utilize the existing parking on the site since the church will not be having services.

Access/Streets

The existing building that the daycare facility will be located in has one driveway located off of Wall Street.

Garbage / Recycling

N/A

Architecture/Design

No changes are proposed to the building.

CONSIDERATIONS:

- Planning Board approves major site plans.
-

FINDINGS:

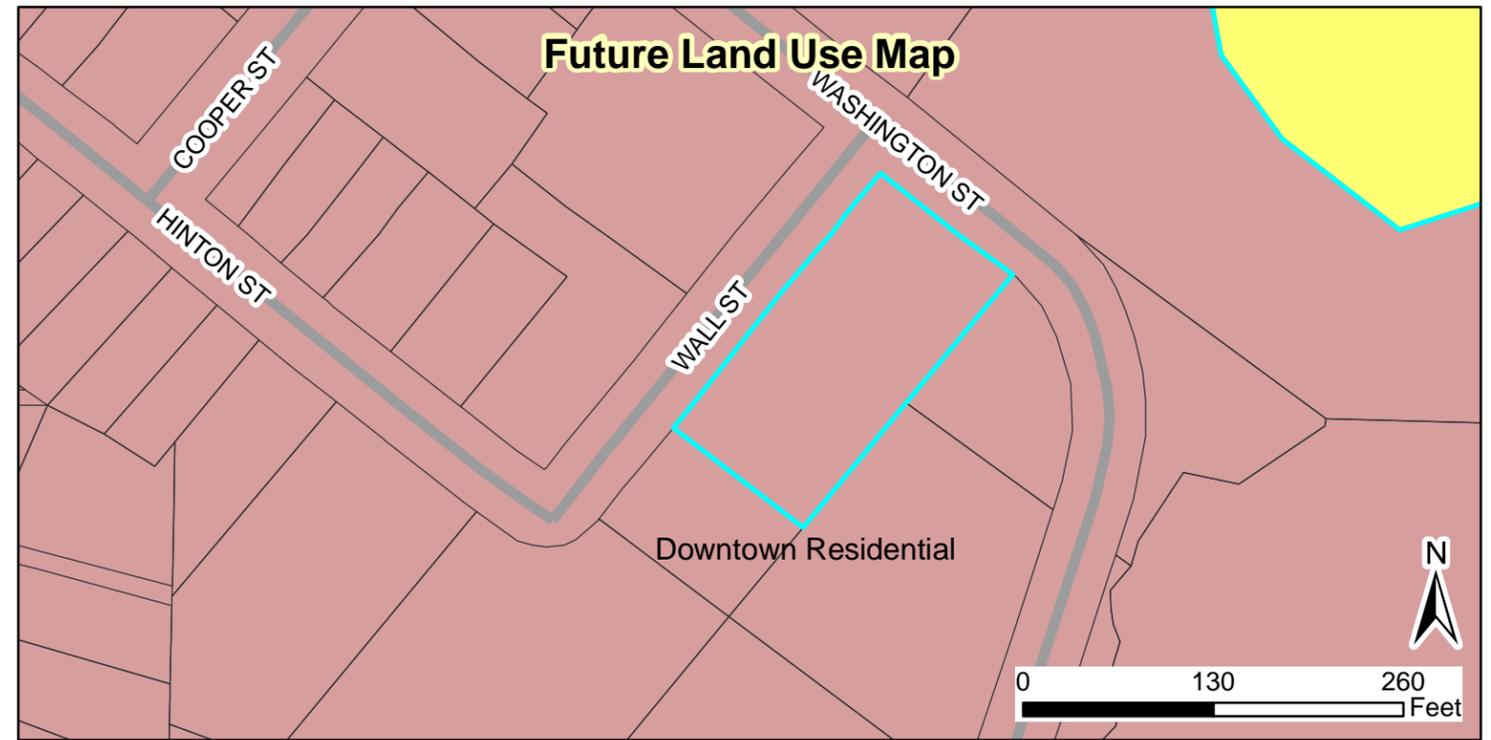
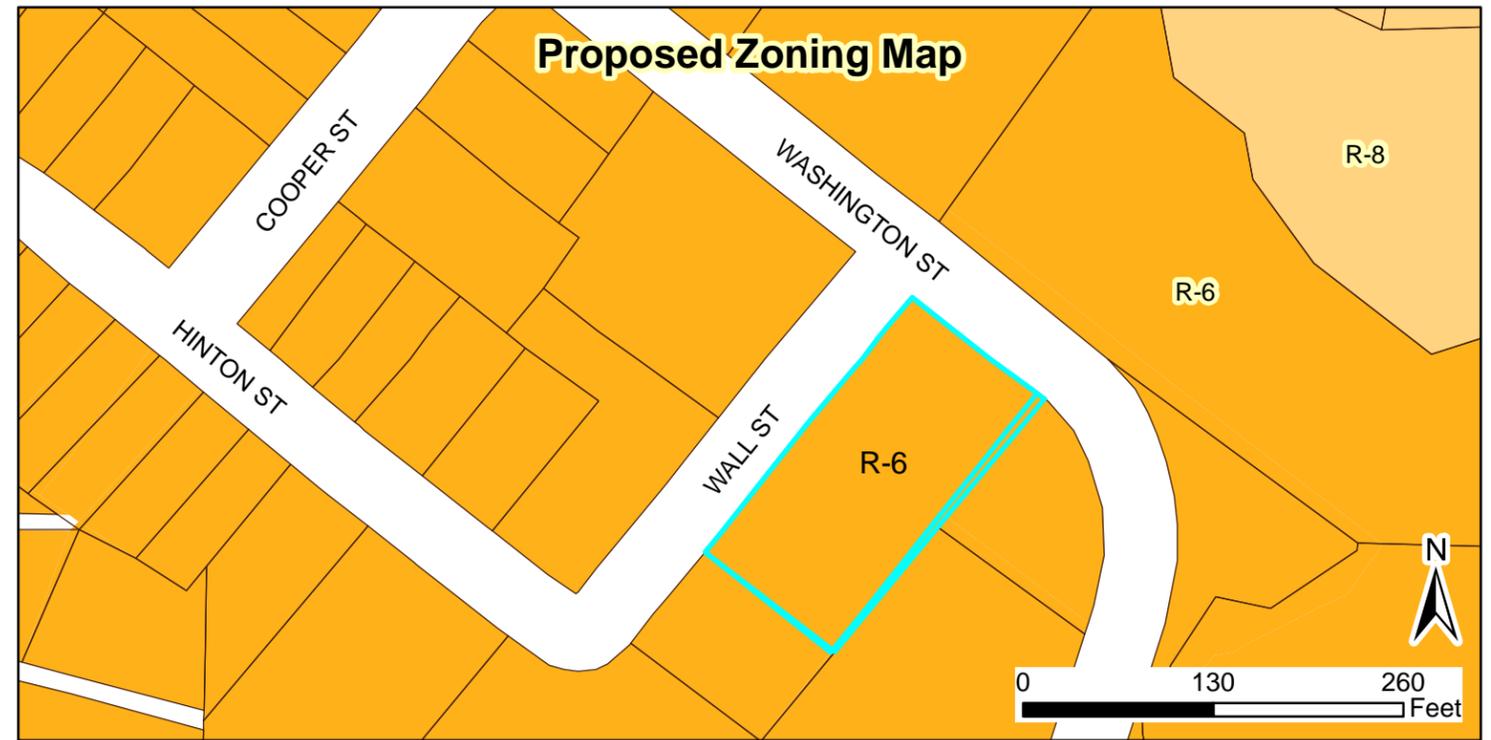
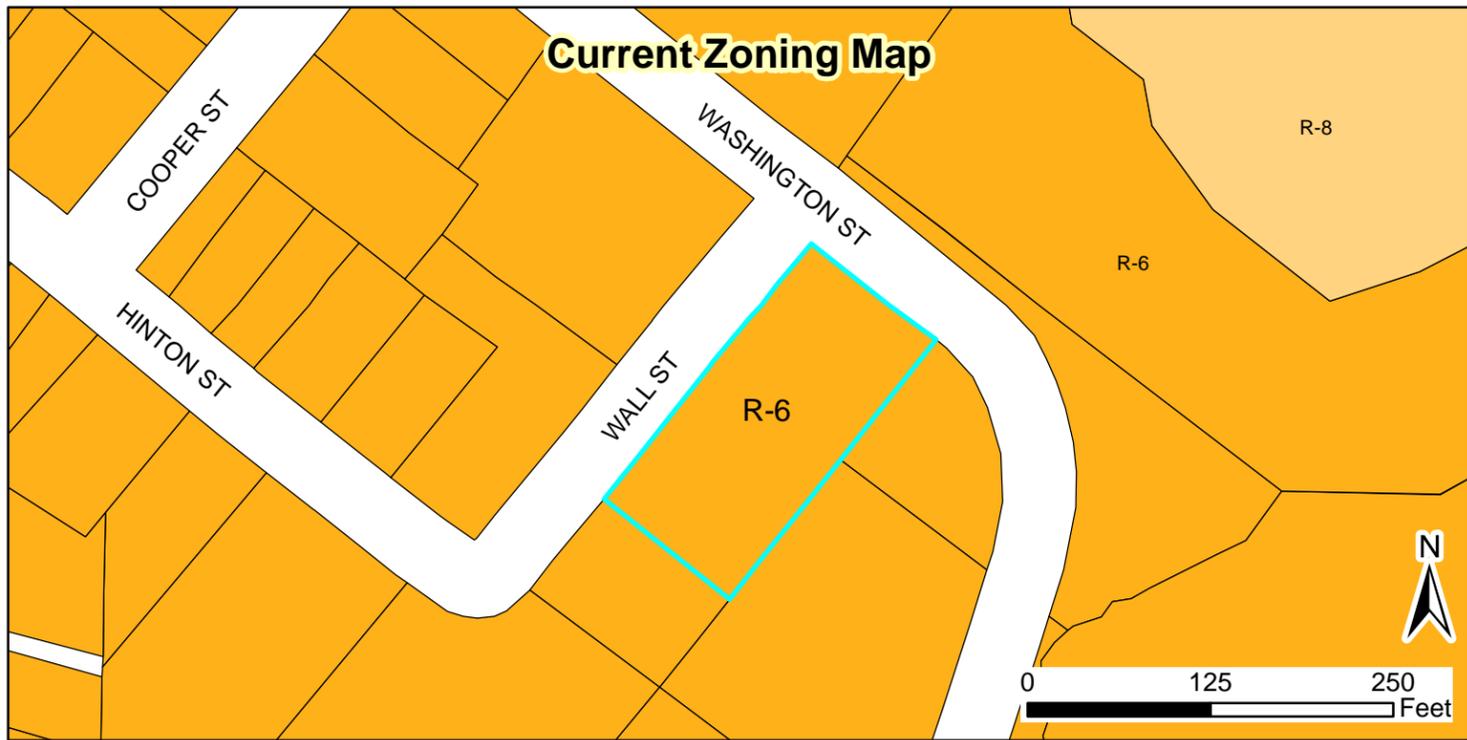
The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION:

Staff is recommending approval of the proposed Major Site Plan (15-59-01-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan



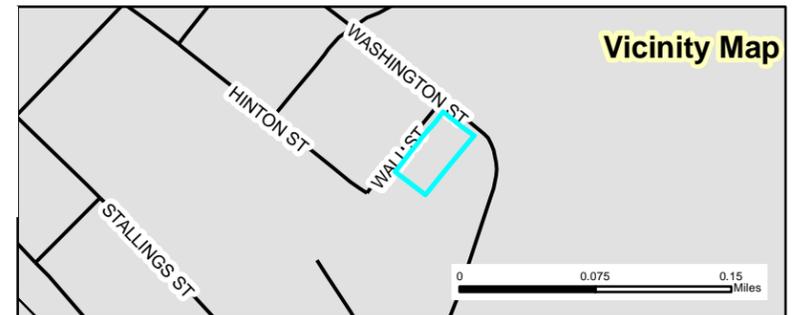
15-59-01-SP The Light Church Daycare
Request: Approval to operate a daycare in an existing church
 Applicant: The Light Church
 Property Owner: Ruth Ray
 Parcel ID Number: 166918-32-1429
 Tag #: 05035041



Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\15-59-01-SP The Light Church Daycare\Maps\StaffReportMap_The Light Church.mxd



- Site
 - Special Use District
 - Thorough Fare Overlay
 - Scenic Highway Overlay
- 12/16/2015
 Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



PROPERTY OWNER INFORMATION

Name: Ruth E. Ray
 Mailing Address: 517 W. Jones Ave. Selma N.C 27576
 Phone Number: 919-351-4103 Fax: None
 Email Address: pastorruthray@yahoo.com

APPLICANT INFORMATION

Applicant: The Light Church, Pastor Jewel Lee
 Mailing Address: PO Box 1590 Clayton NC 27528
 Phone Number: 919 553 8852 Fax: None
 Contact Person: Lanrae Lee 919 333-4073
 Email Address: ladylee@thelightchurches.org

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:	To be completed by the applicant:		To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>10/15/15</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i> (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			<input checked="" type="checkbox"/>
7. Adjacent property owners list (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
10. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
11. Neighborhood meeting summary form (9 copies)	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

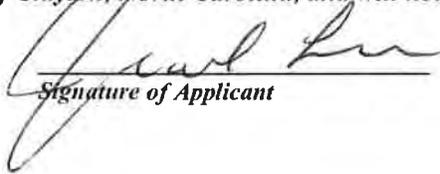
Please provide detailed information concerning all requests. Attach additional sheets if necessary.

We, The Light Church wishes to operate a Daycare / Learning Center in the facility that has already had two previous daycares in operation. We aim to teach kids to be leaders and excel in all areas of their lives. Focusing on physical, intellectual, emotional, social and spiritual development. This will be achieved through providing a variety of activities that are developmentally appropriate and recognizes the individual needs and differences of children of all ages.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Jewel Lee
Print Name


Signature of Applicant

10-31-15
Date



TOWN OF CLAYTON

Planning Department

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Daycare / Learning Center Address or PIN #: 400 Wall Street Clayton NC 27520

AGENT/APPLICANT INFORMATION:

Jewel Lee
(Name - type, print clearly)

204 Homestead Way
(Address)
Clayton NC 27520
(City, State, Zip)

Mailings: PO Box 1590 Clayton NC 27520

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Zoning for Daycare / Learning Center

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

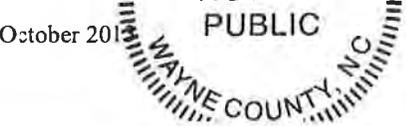
Ruth R. Ray for Faith Walk COBOP 517 N. Jones Ave 400 Wall St
(Name - type, print clearly) (Address) (mailing) (Service add)

Ruth R. Ray for Faith Walk COBOP Selma NC 27576 Clayton, NC
(Owner's Signature) (City, State, Zip) (27520)

STATE OF N.C.
COUNTY OF Sheridan

Sworn and subscribed before me Miranda C Haskins, a Notary Public for the above State and County, this the 31 day of October, 2015.

SEAL Miranda C Haskins
Notary Public Miranda C Haskins
My Commission Expires: 12/16/2017



ADJACENT PROPERTY OWNERS LIST

Project Name: Oakcare / Learning Center Wall St

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
	Church of God Prophecy Clayton Church	517 W Jones Street Selma, NC 27576-0000
	SCA Ventures LLC	132 Citation Ln Smithfield, NC 27577-0459
	SCA Ventures	132 Citation Ln Smithfield, NC 27577-0000
	Eason, William M Eason, Etheleen S	209 Pineland Ave Clayton, NC 27520-0000
	Tri City Development Corp	
	Leach, Roswell B Leach, Vivian	502 Washington St Clayton, NC 27520-1961
	Partridge, John D Heirs c/o George Shepard	1123 West Palo Verde Dr Phoenix, AZ 85013-1366
	Town of Clayton	P.O. Box 879 Clayton, NC 27528-0000



November 2, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain the application, answer questions, and solicit comments.

The meeting will be held on November 16, 2015 at 7:30pm in the fellowship hall of The Light Church of Clayton. It is located on 400 Wall Street Clayton, NC 27520.

We are filing a Zoning application at the same address listed above. The purpose of the project proposal is to open a Daycare/Learning Center. We to aim to teach kids to be leaders and excel in all areas of their lives. This will be achieved through providing a variety of activities that are developmentally appropriate, and recognizes the individual needs and differences of children of all ages. The children will be encouraged to be independent thinkers and life-long learners.

The following will be available at the Neighborhood Meeting:

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing, or other depiction of the development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for the development proposal.

If you have any questions, you may contact us at (919) 263-5157. You may also contact the Planning Department at (919)553-5002.

Sincerely,

Pastor Jewel Lee

Cc: Town of Clayton Planning Dept.



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Pastor Jewel Lee

Cc: Town of Clayton Planning Dept.

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

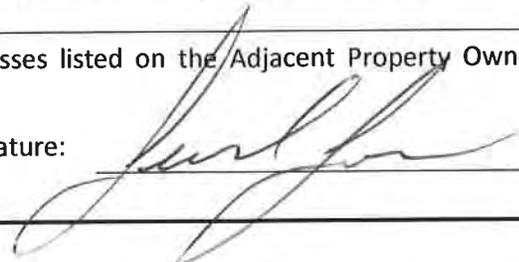


Application: Zoning For Daycare / Learning Center

Date of Mailing: 10-30-15

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: Jewel Lee

Signature: 

Date of Meeting: 11-16-15 Time of Meeting: 7:30pm

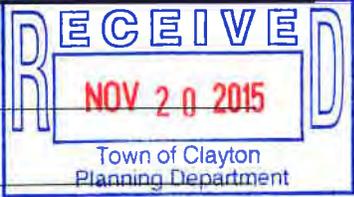
Location of Meeting: 400 Wall Street Clayton, NC 27520

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.

None of the adjacent property owners were present.

Please write clearly (or submit a typed summary). Use additional sheets if necessary.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER



Project: _____

Application: Zoning for Dayca / Learning Ctr

Location/Date: 400 Wall Street Clayton, NC 27520 / 7:30pm

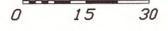
	NAME	ADDRESS
1	<i>no one showed.</i>	
2		
3		
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20		



MINIMUM BUILDING SETBACKS
ZONING: R-6

FRONT YARD	20 FEET
SIDE YARD	6 FEET
REAR YARD	20 FEET
CORNER SIDE	12 FEET

SITE PLAN FOR:
CLAYTON CHURCH OF GOD OF PROPHECY
CLAYTON TOWNSHIP
JOHNSTON COUNTY, N. C.
FEBRUARY, 2001
SCALE 1" = 20'



- DENOTES IRON STAKE
- DENOTES CONCRETE MARKER
- DENOTES SEWER MANHOLE
- DENOTES SEWER CLEAN-OUT
- DENOTES WATER METER
- DENOTES FIRE HYDRANT
- DENOTES STORM CATCH BASIN
- DENOTES POWER POLE
- DENOTES EXISTING ELEVATIONS
- DENOTES PROPOSED CONTOURS
- DENOTES FINISHED GRADES
- DENOTES 5,000 LUMIN ON 30' POLE



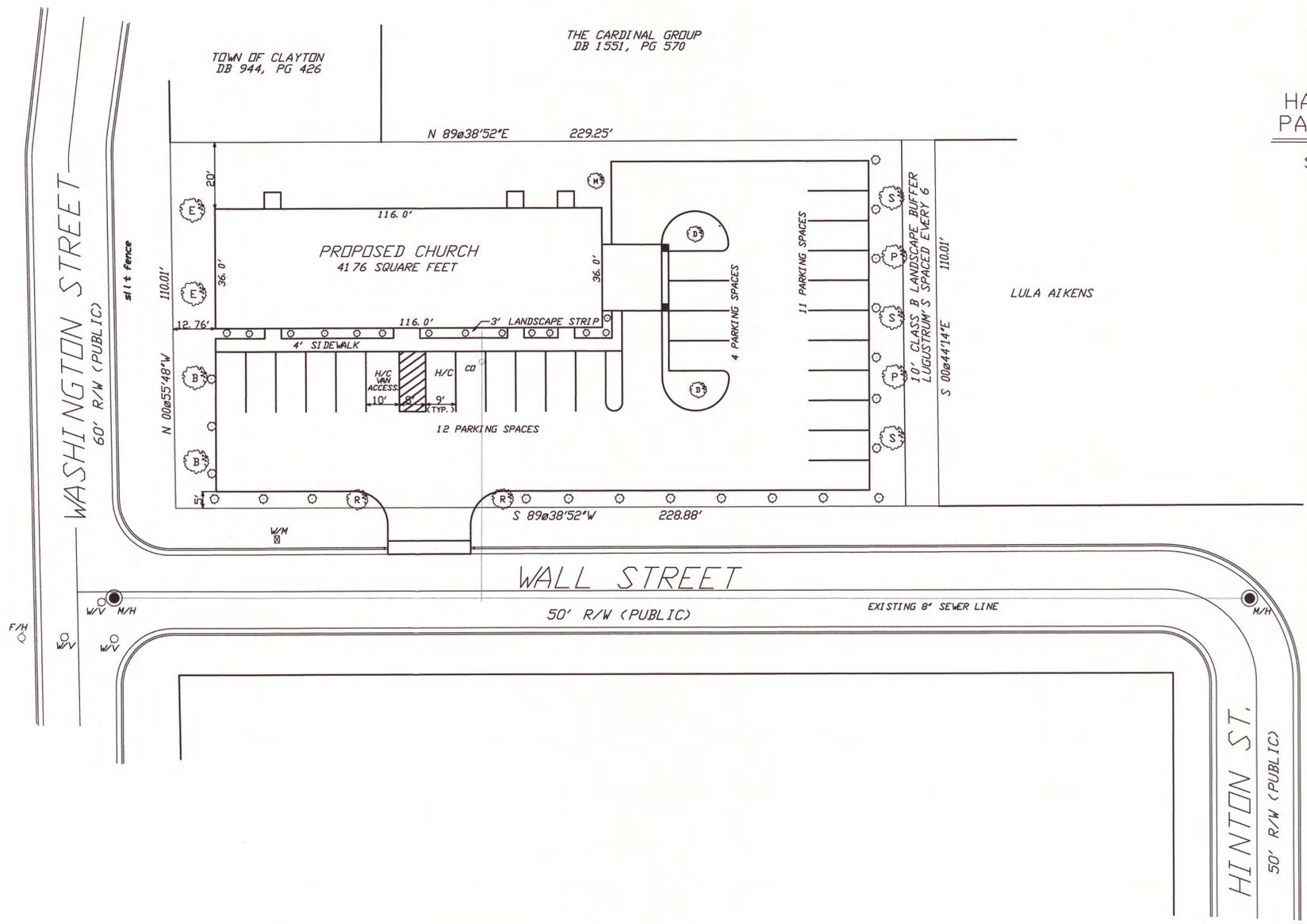
OWNER:
CHURCH OF GOD OF PROPHECY
517 WEST JONES AVENUE
SELMA, N. C. 27576
919-965-9379

SITE DATA:

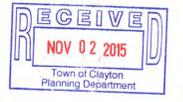
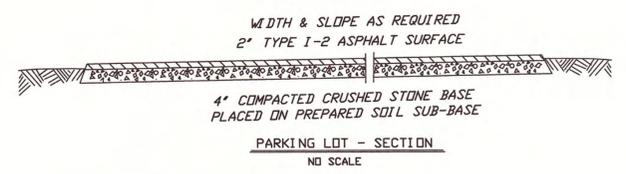
1. ACREAGE IN SITE	25,197 S.F. 0.578 ACRES
2. NUMBER OF BUILDINGS	1 BLDG
3. GROSS AREA IN BUILDING	4,176 S.F.
4. MINIMUM NUMBER OF PARKING PROVIDED	19 SPACES
5. ACTUAL NUMBER OF PARKING PROVIDED	27 SPACES
6. MINIMUM HANDICAP SPACES REQUIRED	1 SPACES
7. ACTUAL NUMBER OF HANDICAP PROVIDED	2 SPACES
8. CANOPY TREES REQUIRED	7
9. CANOPY TREES PROVIDED	7
10. UNDERSTORY TREES REQUIRED	7
11. UNDERSTORY TREES PROVIDED	7
12. SHRUBS REQUIRED	14
13. SHRUBS PROVIDED	35
14. LANDSCAPE AREA REQUIRED	6300 S.F.
15. LANDSCAPE AREA PROVIDED	7924 S.F.

NO EXISTING VEGETATION TO BE RETAINED

- FLOWERING DOGWOOD, UNDERSTORY TREE, MIN. 1.25' DIA., 4' TALL
- JAPANESE MAPLE, UNDERSTORY TREE, MIN. 1.25' DIA., 4' TALL
- BRADFORD PEAR, UNDERSTORY TREE, MIN. 1.25' DIA., 4' TALL
- RIVER BURCH, UNDERSTORY TREE, MIN. 1.25' DIA., 4' TALL
- SILVER MAPLE, CANOPY TREE, MIN. 12.5' DIA., 8' TALL
- POPLAR, CANOPY TREE, MIN. 2.5' DIA., 8' TALL
- RED MAPLE, CANOPY TREE, MIN. 2.5' DIA., 8' TALL
- BOXWOOD SHRUB SPACED EVERY 15'



HANDICAPPED PARKING SIGN
SCALE 1" = 1' - 0"



PROJECT: CLAYTON CHURCH OF GOD OF PROPHECY			DRAWING NAME: PLAN	
REVISION NO.	DATE	BY	SCALE	1" = 20'
DELTA ENGINEERING, INC. ENGINEERING-PLANNING-SURVEYING CLAUDE L. WHITFIELD, P.E. PHONE (919) 735-4381 P.O. BOX 183, GOLDSBORO, N.C. 27530			SHEET NO.	2 OF 9



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
December 28, 2015

STAFF REPORT

Application Number: 11-58-01-SP Project Name: Amelia Station Medical Office

NC PIN / Tag #: 165801-05-3867 / 05G03007J
Town Limits/ETJ: Town Limits
Overlay: Thorough Fare Overlay
Applicant: Blakely Design Group
Owner: Amelia Commercial II, LLC
Location: Located on the corner of NC 42 Hwy W and Short Johnson Rd, adjacent to Amelia Station Apartments and Sheetz Gas Station

Public Noticing:

- Neighborhood meeting December 9, 2015
- Sign posted prior to December 18, 2015

REQUEST: The applicant is requesting major site plan approval for a multi-tenant medical office located on 1.43 acres of land.

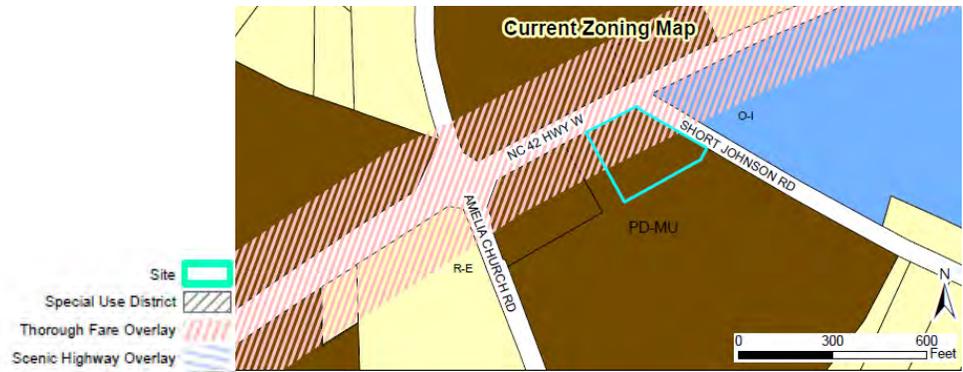
SITE DATA:

Acreage: 1.43
Existing Use: Vacant



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Planned Development- Mixed Use (PD-MU)	Vacant
South	Planned Development- Mixed Use (PD-MU)	Apartments
East	Office-Institutional (O-I)	Office
West	Planned Development- Mixed Use (PD-MU)	Commercial



DEVELOPMENT DATA:

- Proposed Uses: Medical Office
- Buildings: 1 Building
- Number of Stories: 1 Story
- Impervious Surface: 70.1%
- Required Parking: 51 Spaces
- Proposed Parking: 53 Spaces (4 handicap)
- Fire Protection: Town of Clayton
- Access/Streets: 3 total access points; one located off of Amelia Station Way, two located off of Amelia Village Square
- Water/Sewer Provider: Town of Clayton
- Electric Provider: Town of Clayton

STAFF ANALYSIS:

Overview

The applicant is requesting major site plan approval for a multi-tenant medical office located on the corner of NC 42 Hwy West and Short Johnson Road. The subject parcel is currently zoned PD-MU and is a part of the Amelia Station Planned Development.

The approved Master Plan designated this parcel's use to be a "full restaurant" with a maximum size of 3,000 square feet. The applicant is now proposing to develop the site into a 10,400 square foot multi-tenant medical office. While the use and size has changed from what was envisioned in the Master Plan, staff is comfortable with this because the site is changing to a less intensive use.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**

The 2040 Comprehensive Plan designates this site as "Neighborhood Mixed Use". The proposed use is consistent with this designation, as it is part of the Amelia Station Planned Development which includes other uses such as residential and commercial.

- **Unified Development Code**

The proposed development meets all requirements in the Unified Development Code (UDC).

Landscaping and Buffering

The site meets all applicable elements of the UDC landscaping requirements. There is currently an existing Class "C" buffer located around the perimeter of the property that was installed as a part of the Amelia Station Planned Development. Additionally, the applicant will be providing additional landscaping throughout the site in order to meet the interior landscaping requirements listed in the UDC. The applicant will be responsible for maintaining and replacing any landscaping in the existing buffer that has died.

Access/Streets

The site will have three internal access driveways. Two are full access driveways, with one located off of Amelia Station Way and the other located off of Amelia Village Square. The third access is located off of Amelia Village Square and is a right-in/right-out only.

Multi-Modal Access

Existing sidewalks are provided along NC 42 Hwy West, Short Johnson Road, and Amelia Station Way. Additionally, the applicant is proposing a sidewalk connections from the existing sidewalk along NC 42 Hwy West and Amelia Station Way to complete the pedestrian circulation pattern for the development. The applicant is also adding a bike rack, as required by UDC.

Garbage / Recycling

There are two dumpsters located on the site. These dumpsters will be screened from view with an 8’ wall, and required landscaping around the wall. The materials used to screen the dumpsters will match the materials of the building, as required by the Unified Development Code.

Architecture/Design

The building is architecturally consistent with Sheetz and Amelia Station Apartments. The design consists of brick veneer, with stacked stone veneer located along the bottom of the building and the sides of the entrances. All four sides of the building are receiving the same architectural treatment. In addition, the parapet of the building will be raised in order to screen any rooftop mechanical equipment from view and main doors to the building have awnings located over the entrance.



Waivers/Deviations/Variations from Code Requirements

N/A

CONSIDERATIONS:

- Planning Board approves major site plans. The conditions of approval applied to Amelia Station Planned Development remain in effect.

FINDINGS:

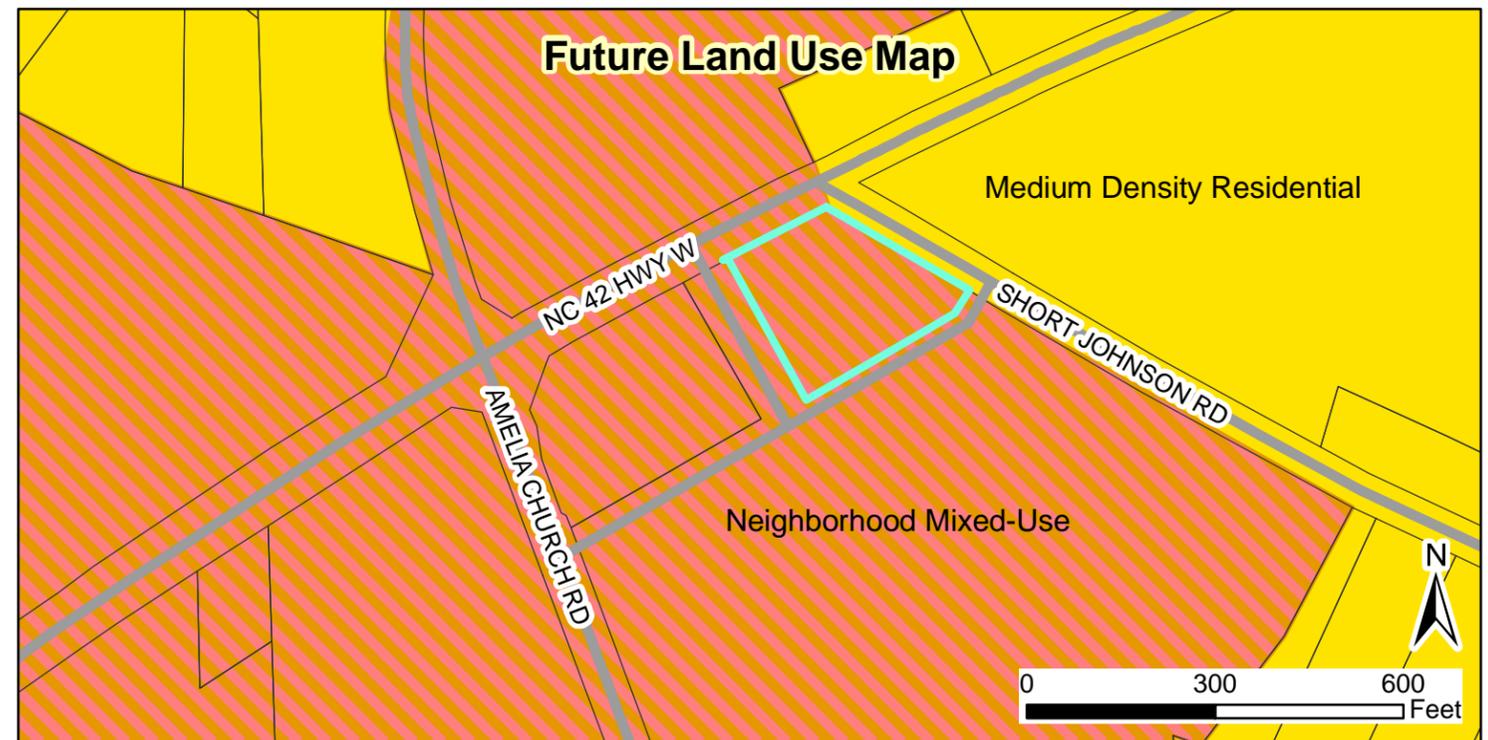
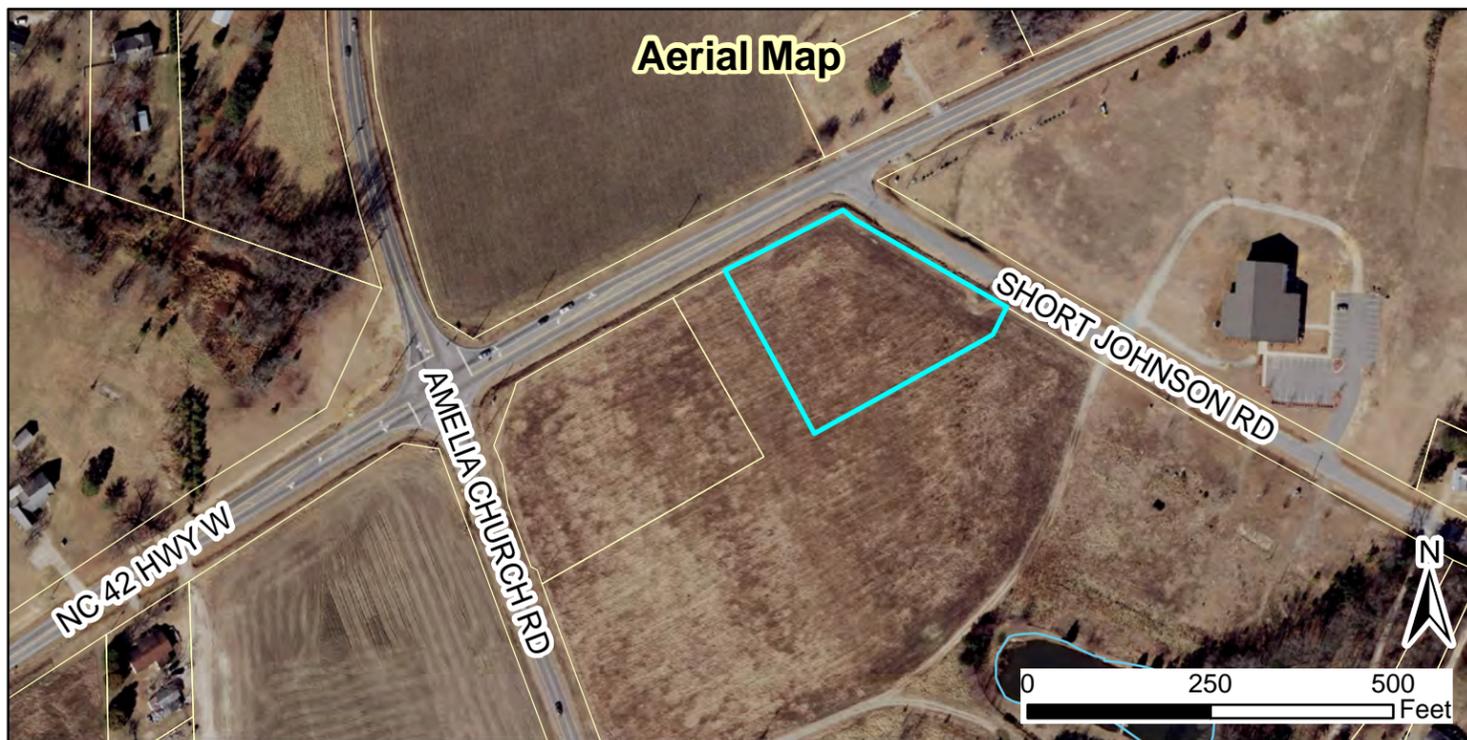
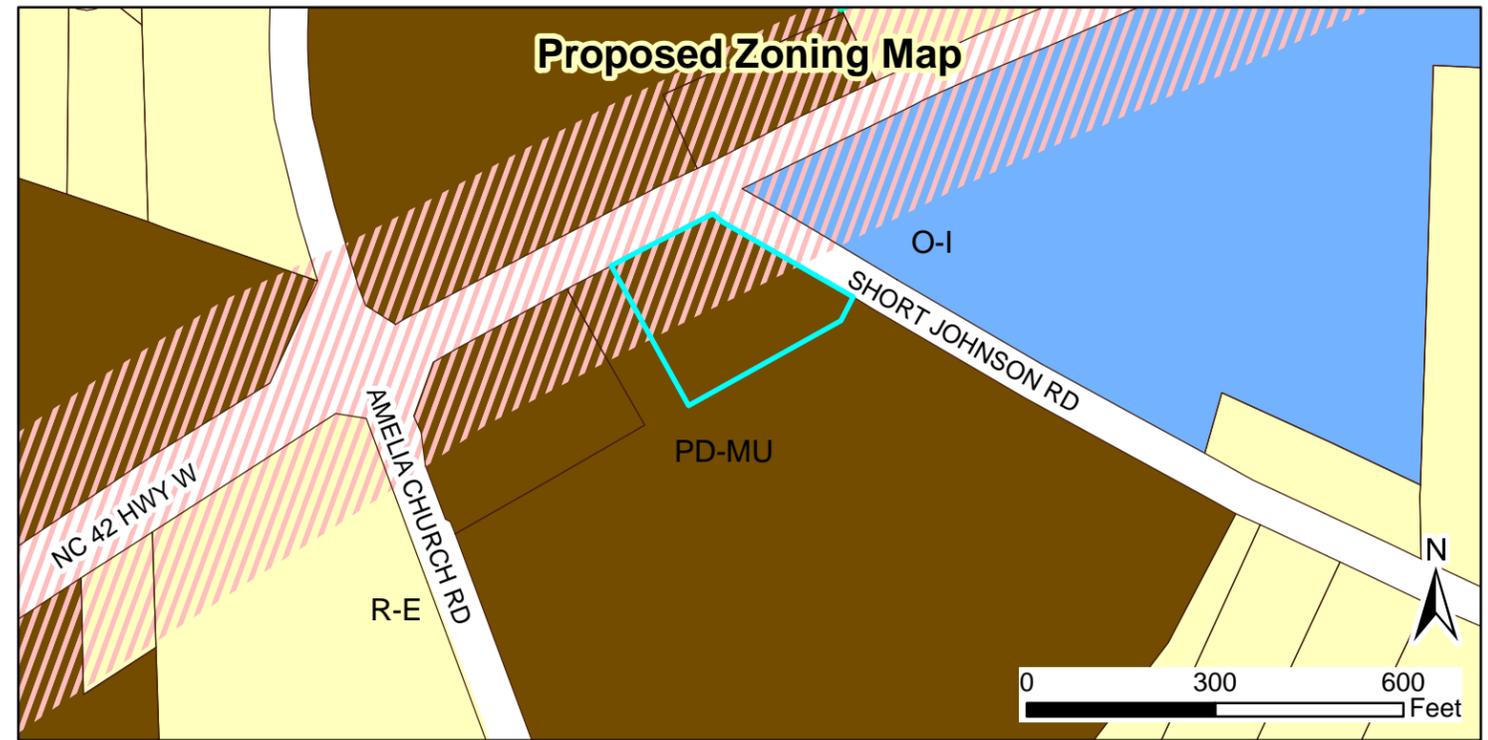
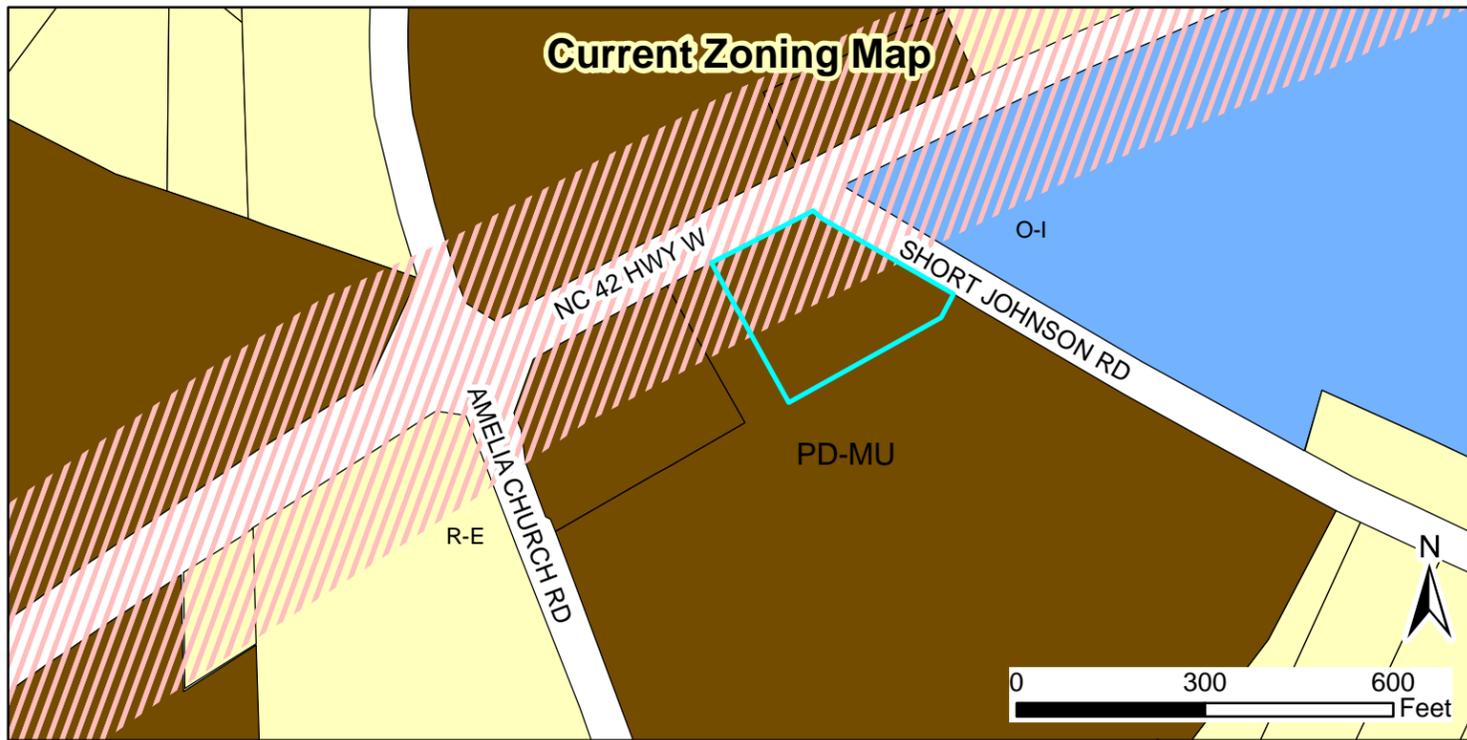
The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION:

Staff is recommending approval of the proposed Major Site Plan (11-58-01-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan



15-58-01-SP - Amelia Station Medical Office

Request: To develop a multi-tenant medical office on 1.43 acres of land

Applicant: Blakely Design Group

Property Owner: Amelia Comercial II, LLC

Parcel ID Number: 165801-05-3867

Tag #: 05G03007J



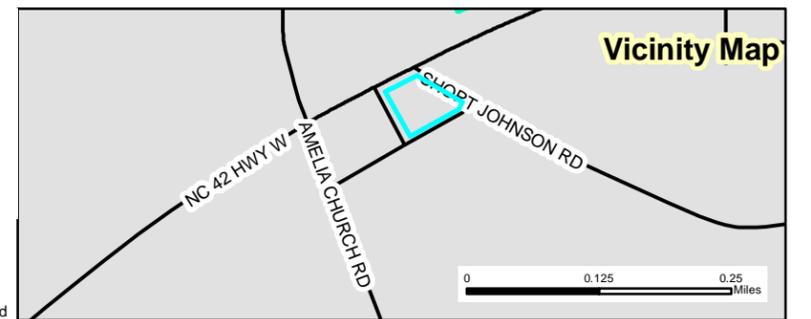
- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

11/23/2015

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\11-58-01-SP Amelia Station Medical Office\Maps\StaffReportMap.mxd



PROPERTY OWNER INFORMATION

Name: AMELIA COMMERCIAL II, LLC. c/o BILL ZAHN
 Mailing Address: 113 DUNCANSBY COURT, CARY, N.C. 27511
 Phone Number: 919-522-5626 Fax: _____
 Email Address: BillZahn@Bellsouth.net

APPLICANT INFORMATION

Applicant: B. TAYLOR BLAKELY - BLAKELY DESIGN GROUP
 Mailing Address: 700 EXPOSITION PLACE, STE 105, RALEIGH, N.C. 27615
 Phone Number: 919-870-1868 Fax: _____
 Contact Person: B. TAYLOR BLAKELY
 Email Address: Taylor@blakelydesign.net

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
Submit 9 copies of all materials unless otherwise noted or directed by staff					
1. A pre-application conference was held with Town of Clayton staff. Date: <u>OCT 27, 2015</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
4. Completed application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Owner's Consent Form	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. Wastewater allocation request OR verification of wastewater allocation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Signed and sealed traffic impact analysis (2 copies) (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
10. Neighborhood meeting notice letter (1 copy)* See sample letter and meeting requirements included in this packet *Not required for subdivisions that are part of an approved planned development	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<i>Will be submitted after meeting is held</i>
11. Neighborhood meeting summary form (1 copy) * Included in this packet *Not required for subdivisions that are part of an approved planned development	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

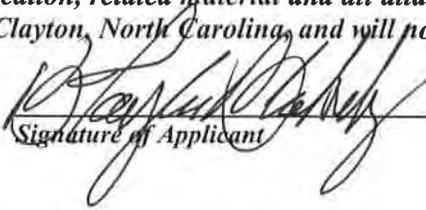
Please provide detailed information concerning all requests. Attach additional sheets if necessary.

CONSTRUCT A 10,400 S.F. OFFICE BUILDING AND ASSOCIATED
PARKING

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

B. TAYLOR BLAKELY
Print Name


Signature of Applicant

10-29-2015
Date



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: AMELIA STATION Address or PIN #: 165801-05-3867

AGENT/APPLICANT INFORMATION:

B. TAYLOR BLAKELEY
 (Name - type, print clearly)

700 EXPOSITION PL., STE 105
 (Address)
RALEIGH, NC 27615
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests below):

MAJOR SITE PLAN PROCESS

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

WILLIAM ZAHN
 (Name - type, print clearly)

113 DUNCANSBY CT
 (Address)

[Signature]
 (Owner's Signature)

CARY NC 27511
 (City, State, Zip)

STATE OF North Carolina
 COUNTY OF Wake

Sworn and subscribed before me Curtis B. Olive, a Notary Public for the above State and County, this the 30th day of October, 2015.

[Signature]

SEAL



Notary Public
 My Commission Expires: 02-15-2019



TOWN OF CLAYTON

Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

PLAN REQUIREMENTS

Pursuant to Article 7, Section 155.706 of the Unified Development Code, applications requesting a public hearing or administrative approval process shall submit a plan set to the Planning Department. These plans may include Master Plan, Site Plan, Regulating Plan, Architectural Elevations, Landscape Plan, Photometric/Lighting Plan, Engineering Plans, and Survey. The plan requirements shall be based on the type of development application or approval process.

PLAN FORMAT

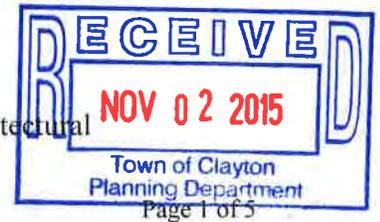
These standards are established to provide information pertaining to the graphic and format presentation of plans. The following is required for all types of plans, except where otherwise noted:

- All plans and architectural elevations shall be limited to 24" x 36" in size, and folded to an 8.5" x 11" format.
- Plans are to be drawn at the same engineering scale of 1" = 20'; 30'; 40'; 50'; 60' (architectural elevations and details are exempt from this requirement) with north oriented in the same direction.
- Plans may be drawn at an engineering scale of 1" = 100', if approved by the Planning Department or the Technical Review Committee (TRC).
- Architectural plans and elevations shall be drawn at an architectural scale of 1" = 3/32', 3/16', 1/8", 1/4', or 3/8'.
- All drawings, except elevations, isometric drawings, and renderings, shall be in two dimensional plan views.
- All text shall be clear and legible.
- Line weight hierarchy on all plans shall be consistent with common drafting standards.
- Multiple sheets shall be consecutively numbered (e.g. Sheet 1 of 4).
- All numerical references shall be rounded up to a maximum of two decimal points.

PLAN ELEMENTS AND GRAPHIC DATA

The following items include general and project information. This information is required to be present on all plans, except where otherwise noted.

PROVIDED			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consultant Logo Box (name, address, phone number, fax, and e-mail, if applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project/Application Name
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Type of Plan
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Signature and Professional Seal (landscape plans, architectural elevations, engineering plans, surveys)



Plan Elements and Graphic Data Continued...

PROVIDED			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Revision Date
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Number
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map (site plan only)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site Data
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North Arrow
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Graphic Scale (engineering or architectural graphic and written scale)

The following elements are specific to each property and application request, and shall be shown graphically on the specific plan types listed below. These graphics shall be supported by text, labeling, and dimensional information (width, length, and depth).

SURVEY

PROVIDED			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing topographical conditions of the property with a two foot contour interval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing streets and roadway improvements (medians, landscaping, signage, driveways, etc.) within 100 feet of project boundary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing structures located on the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing structures within 100 feet of project boundary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing utilities (including inverts of pipe, rim elevations, wells and septic tanks, etc.) within 100 feet of project site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The existing trees identified by caliper and species (if required by the Planning Department).

SITE PLAN

The items listed below are required to be delineated (in a tabular format) on the site plan:

Provided			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of project (AKA names if applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parcel identification number (Tag number)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Property size (acres and square feet)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Property location (Town limits or ETJ);
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing/proposed zoning district;
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Overlay (if applicable)

✓			Existing use
✓			Proposed use
		✓	Number of seats/students/fueling positions (if applicable)
		✓	Existing density (housing types and number of units)
		✓	Proposed density (housing types and number of units)
		✓	Existing intensity (gross floor area)
✓			Proposed intensity (gross floor area)
✓			Floor area ratio
✓			Building coverage (as percentage of total site)
✓			Pervious surface area (square feet and as percentage of total site)
✓			Impervious surface area (square feet and as percentage of total site)
✓			Building height (number of stories and in feet)
✓			Required/proposed parking
✓			Required/proposed accessible parking
		✓	Required loading space(s)

Other site plan elements:

YES	NO	N/A	
✓			Identify adjacent property owners, their parcel ID number, current zoning and present use.
		✓	Identify the affected area for minor amendments to previously approved projects.
		✓	Identify the location of lots, buildings and structures with finished floor elevations and applicable setbacks.
		✓	Provide boundaries of Resource Conservation Areas (see UDC Section 155.500).
		✓	Provide an off-street parking and loading layout (with details, dimensions and access location). Accessible parking requirements are listed in NCSBC Volume 1C, 1999 edition.
✓			Provide queuing details for drive-up/drive-thru facilities (if applicable).
✓			Provide the locations and dimensions of existing and proposed sidewalks.
			Provide the location and details of refuse collection areas.
✓			Provide the location, size and orientation of signs.
		✓	Identify the location and nature of all recreational facilities and common areas (if applicable)
✓			Identify alternative modes of transportation including school stops, pedestrian connections bicycle paths and associated racks.
		✓	Identify proposed phasing (phasing lines) of construction (if applicable).

CONCEPTUAL ENGINEERING PLANS

Note: Conceptual engineering plans are deemed preliminary in nature. Review and approval of public infrastructure construction plans is a separate process performed by Public Works Engineering Division.

Provided

YES	NO	N/A	
		✓	Identify proposed streets and roadways (public and private) with dimensions and cross sections.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the curve radii for all internal and external vehicular use areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify access to the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify proposed traffic control signs and stripping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the proposed water distribution system (including size) with location of fire hydrants and point of connection.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the proposed sanitary sewer collection system (including size) and point of connection. If a municipal sewer connection is not available, please provide documentation from Johnston County Department of Environmental health that the location of septic tank and drain field is acceptable.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide preliminary wastewater allocation calculation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify soil erosion control measures including impoundment structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the proposed storm water management system with location of inlets, piping and positive outfall along with the typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.

Fire Rescue (information to be shown on conceptual engineering plans)

Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify fire hydrant distribution (distance of hose lay).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the sprinkler connection locations and size (if applicable).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify fire lane designations and circulations around buildings (stripe fire lanes and show minimum stabilized access around all structures).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the emergency evacuation route (access in and out of the property).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identify fire apparatus turning radius
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Verify the location of the fire hydrants is not interfering with required landscaping (must be 24" clearance of landscaping from bottom of steam fitting)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the Lock/Box/Knox Box locations.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify placard locations for hazardous materials (if applicable).

LANDSCAPE PLAN

Provided			
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a landscape plan identifying the location of all proposed landscaping (must be prepared by a landscape architect registered in North Carolina)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location, width and type of all required buffers.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location, width and type of landscaping within vehicular use areas.

✓	_____	_____	Indicate the location, width and type of landscaping used to screen drive-thru areas, service areas, loading areas, mechanical equipment and above ground utilities
✓	_____	_____	Provide a plant list summary table which includes: 1. A planting key identifying the various planting elements. 2. The quantity of each type of plant material proposed. 3. The size, height, caliper and spacing of plant material. 4. The Botanical and common names of plant material proposed.
_____	_____	✓	Verify/identify clear sight distances at project ingress/egress points
✓	_____	_____	Provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor."
✓	_____	_____	Provide a landscape maintenance note which states: "All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion."
✓	_____	_____	Identify and list any existing plant material which will be used to satisfy landscape requirements.

LIGHTING PLAN

Provided			
Yes	No	N/A	
_____	_____	✓	Provide a lighting/photometric plan which identifies light fixture locations, height and foot candle dispersion. Foot candle dispersion shall be shown throughout the site and to the property lines.
_____	_____	✓	Identify the light source and provide a detail of the fixture.
_____	_____	✓	Identify the proposed height of the fixtures.

ARCHITECTURAL ELEVATIONS AND FLOORPLAN

Provided			
Yes	No	N/A	
✓	_____	_____	Provide floor plans, elevations, construction materials, finishes and colors, along with type of construction of all buildings per North Carolina Building Code prepared by a professional architect registered in North Carolina.
✓	_____	_____	Indicate the height and number of stories for each structure.
✓	_____	_____	Indicate the location and screening method for all roof mounted structures or equipment.
✓	_____	_____	Provide color chips arranged on 8 ½" x 11" sheet(s) of paper for all proposed materials.

BLAKELY DESIGN GROUP
Landscape Architecture Site Planning

700 Exposition Place, Suite 105, Raleigh, N. C. 27615
Telephone (919) 870-1868
Facsimile (919) 870-0752
e-mail taylor@blakelydesign.net

November 18, 2015

Dear Clayton Area Property Owner;

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use change or development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Wednesday, December 9, 2015 Meeting Time: 6:30 PM

Meeting Location: Amelia Station Apartments Clubhouse, 2017 Amelia Station Rd, Clayton, N.C.

Type of Application: Major Site Plan

Project/proposal property address: at the corner of N. C. Hwy 42 W. & Short Johnson Road

Description of project/proposal: The proposal is for a one story Medical Office Building of approximately 10,400 s.f.

At a minimum, the following will be available for your inspection at the Neighborhood Meeting.

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing or other depiction of the proposed land use change or development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for land use change and/or development proposal.

We welcome any questions or comments on this plan prior to or after this meeting. If you wish to contact us, please call 870-1868 and ask for Taylor Blakely, the Landscape Architect for this project. You may also email me at the following address taylor@blakelydesign.net. You may also contact the Planning Department at 919-553-5002.

Thanks very much.

Sincerely,



B. Taylor Blakely, RLA
N. C. Registered Landscape Architect # 354

Cc: Town of Clayton Planning Department

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: AMELIA STATION MEDICAL OFFICE

Application: AMELIA STATION MEDICAL OFFICE

Location/Date: AMELIA STATION APARTMENTS CLUBHOUSE

	NAME	ADDRESS
1	B. TAYLOR BLAKELY, RLA	700 EXPOSITION PL., S105, RALEIGH, NC, 27615
2	EDDIE GONTRANI, ARCHITECT	220 HORIZON DR., S 221, RALEIGH, N.C. 27615
3	BILL ZAHN, OWNER	113 DUNCANSBY CT., CARY, NC 27511
4		
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19		
20		

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Application: AMELIA STATION

Date of Mailing: NOVEMBER 19, 2015

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: B. TAYLOR BLAKELY Signature: [Handwritten Signature]

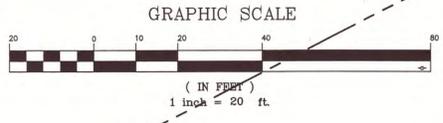
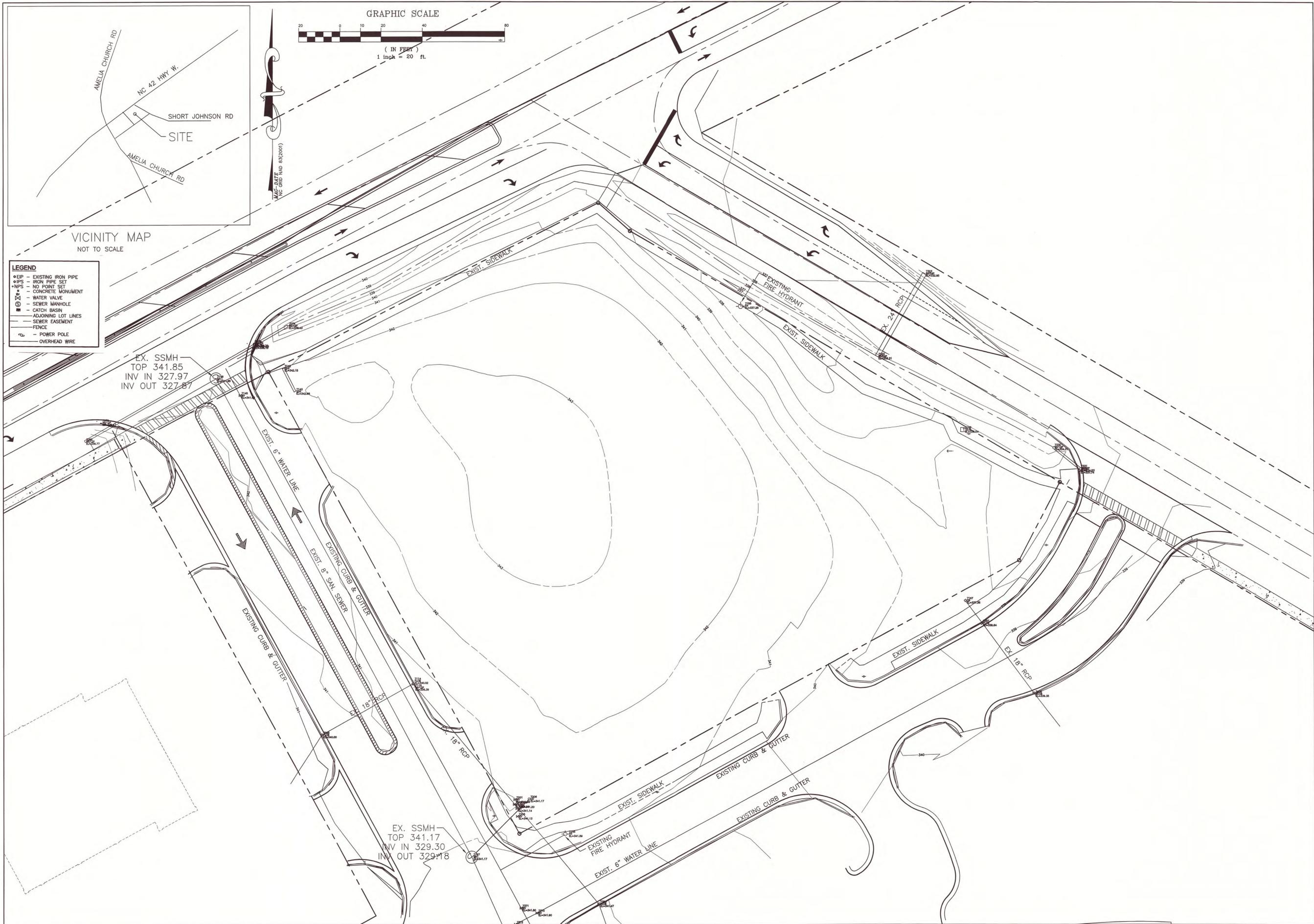
Date of Meeting: DECEMBER 9, 2015 Time of Meeting: 6:30 PM

Location of Meeting: AMELIA STATION APARTMENTS CLUBHOUSE
2017 AMELIA STATION ROAD, CLAYTON, N.C.

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.

NO ADJOINING PROPERTY OWNERS WERE IN ATTENDANCE.

Please write clearly (or submit a typed summary). Use additional sheets if necessary.



- LEGEND**
- EIP - EXISTING IRON PIPE
 - IPIP - IRON PIPE SET
 - NIPS - NO POINT SET
 - CONCRETE MONUMENT
 - WATER VALVE
 - SEWER MANHOLE
 - CATCH BASIN
 - ADJOINING LOT LINES
 - SEWER EASEMENT
 - FENCE
 - POWER POLE
 - OVERHEAD WIRE

VICINITY MAP
 NOT TO SCALE

EX. SSMH
 TOP 341.85
 INV IN 327.97
 INV OUT 327.87

EX. SSMH
 TOP 341.17
 INV IN 329.30
 INV OUT 329.18



BLAKELY DESIGN GROUP
 Landscape Architecture Site Planning

700 Expedition Place, Suite 105, Raleigh, North Carolina 27615
 Telephone (919) 877-1868 Fax (919) 877-0752
 E-Mail: taylor@blakelydesign.net

EXISTING CONDITIONS PLAN

AMELIA STATION
 N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15
 SCALE 1"=20'
 DRAWN BTB

JOB NO.
 REVISIONS

SHEET
 EX.0



BLAKELY DESIGN GROUP
 Landscape Architecture Site Planning

700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
 (919) 870-1868 Fax (919) 870-0752
 E-Mail: taylor@blakelydesign.net

GRADING & DRAINAGE PLAN

AMELIA STATION

N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15

SCALE 1"=20'

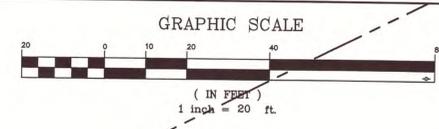
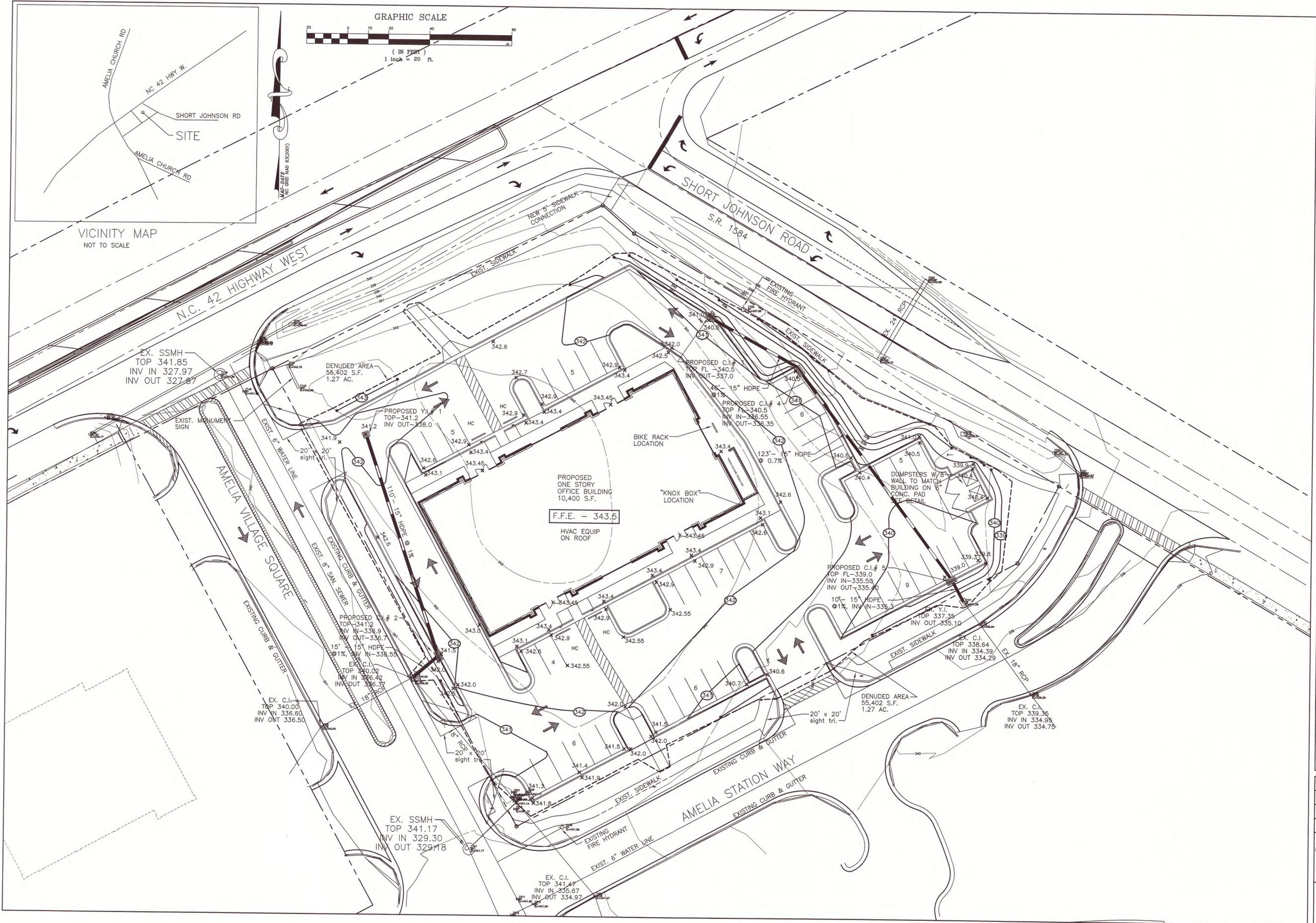
DRAWN BTB

JOB NO.

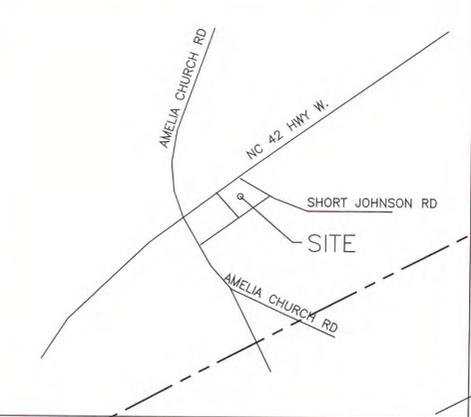
REVISIONS
 11-17-15 15 REVISED PER TOWN STAFF COMMENTS

SHEET
C2.0

C:\Documents and Settings\taylor\My Documents\GONTRAM ARCHITECT\Amelia Station\Amelia Station Site Plan 10-30-15.dwg, GRADING PLAN C2.0, 11/17/2015 4:25:34 PM, 1:1



VICINITY MAP
 NOT TO SCALE



EX. SSMH
 TOP 341.85
 INV IN 327.97
 INV OUT 327.87

DENUDED AREA
 55,402 S.F.
 1.27 AC.

PROPOSED ONE STORY
 OFFICE BUILDING
 10,400 S.F.
F.F.E. - 343.6
 HVAC EQUIP
 ON ROOF

DENUDED AREA
 55,402 S.F.
 1.27 AC.

EX. C.I.
 TOP 339.36
 INV IN 334.95
 INV OUT 334.75

EX. SSMH
 TOP 341.17
 INV IN 329.30
 INV OUT 329.18

EX. C.I.
 TOP 341.47
 INV IN 335.67
 INV OUT 334.97



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 Telephone (919) 870-1868 Fax (919) 870-0752
 E-Mail taylor@blakelydesign.net

LANDSCAPE PLAN
AMELIA STATION
 N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15
 SCALE 1"=20'
 DRAWN BTB
 JOB NO.
 REVISIONS
 11-17-15 REVISED PER TOWN STAFF COMMENTS
 SHEET
C3.0

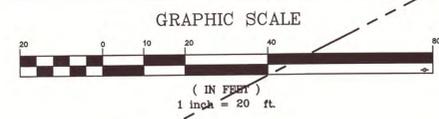
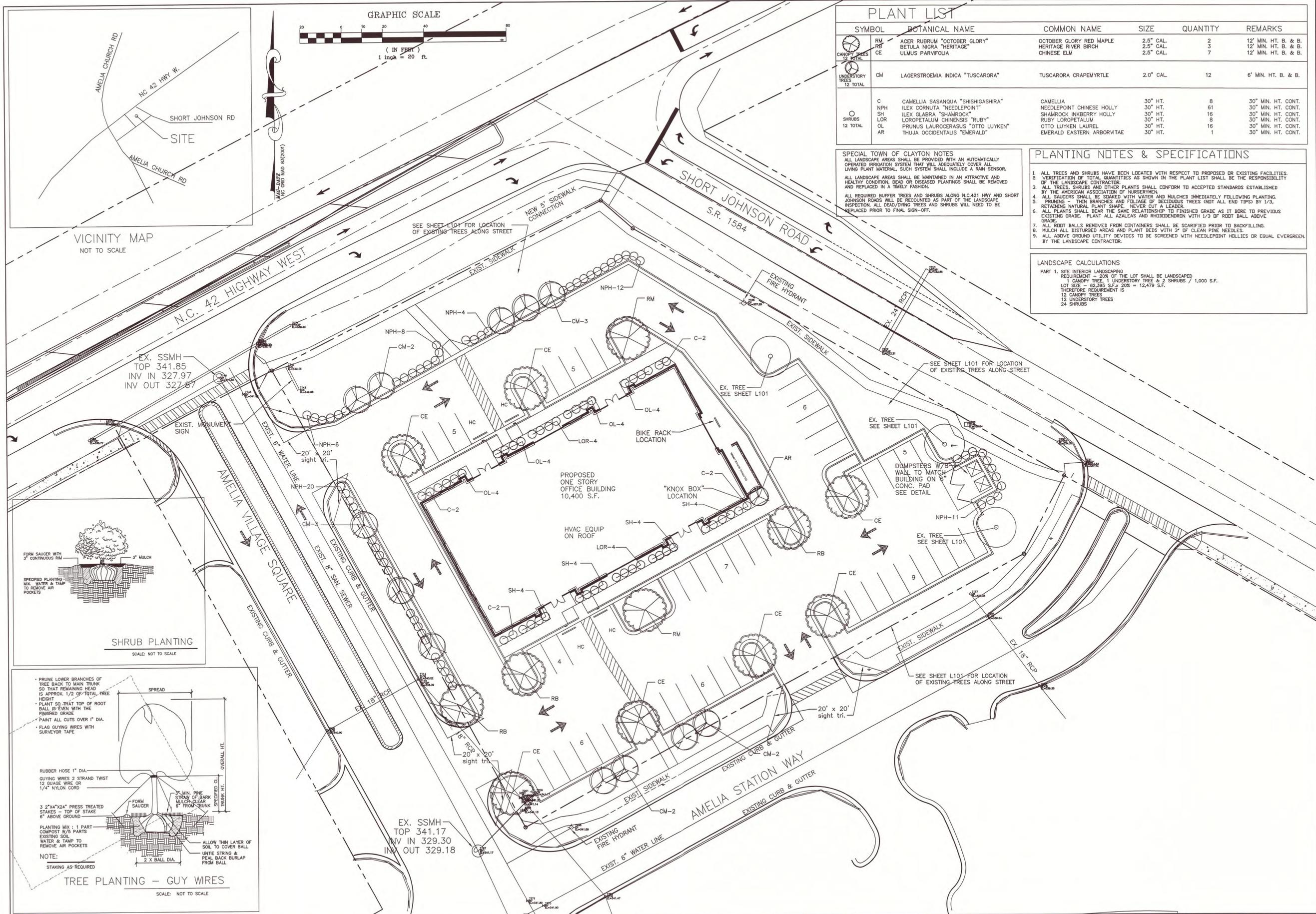
PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
CANOPY TREES 12 TOTAL	RM	ACER RUBRUM "OCTOBER GLORY"	2.5" CAL.	2	12' MIN. HT. B. & B.
	CE	BETULA NIGRA "HERITAGE"	2.5" CAL.	3	12' MIN. HT. B. & B.
	CE	ULMUS PARVIFOLIA	2.5" CAL.	7	12' MIN. HT. B. & B.
UNDERSTORY TREES 12 TOTAL	CM	LAGERSTROEMIA INDICA "TUSCARORA"	2.0" CAL.	12	6' MIN. HT. B. & B.
SHRUBS 12 TOTAL	C	CAMELLIA SASANQUA "SHISHIGASHIRA"	30" HT.	8	30" MIN. HT. CONT.
	NPH	ILEX CORNUTA "NEEDLEPOINT"	30" HT.	61	30" MIN. HT. CONT.
	SH	ILEX GLABRA "SHAMROCK"	30" HT.	16	30" MIN. HT. CONT.
	LOR	LOROPETALUM CHINENSIS "RUBY"	30" HT.	8	30" MIN. HT. CONT.
	OL	PRUNUS LAUROCERASUS "OTTO LUYKEN"	30" HT.	16	30" MIN. HT. CONT.
	AR	THUJA OCCIDENTALIS "EMERALD"	30" HT.	1	30" MIN. HT. CONT.

SPECIAL TOWN OF CLAYTON NOTES
 ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
 ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
 ALL REQUIRED BUFFER TREES AND SHRUBS ALONG N.C.42 HWY AND SHORT JOHNSON ROADS WILL BE RECOUNTED AS PART OF THE LANDSCAPE INSPECTION. ALL DEAD/DYING TREES AND SHRUBS WILL NEED TO BE REPLACED PRIOR TO FINAL SIGN-OFF.

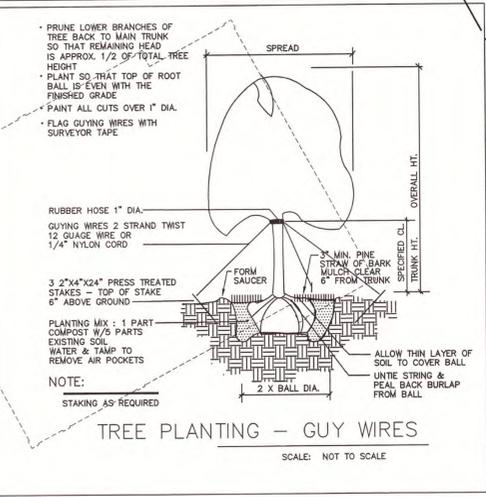
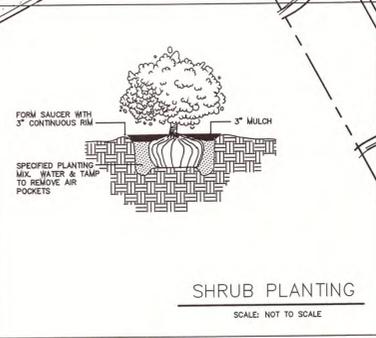
PLANTING NOTES & SPECIFICATIONS

- ALL TREES AND SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL TREES, SHRUBS AND OTHER PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING - THIN BRANCHES AND FOLIAGE OF DECIDUOUS TREES (NOT ALL END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. NEVER CUT A LEADER.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. PLANT ALL AZALEAS AND RHODODENDRONS WITH 1/3 OF ROOT BALL ABOVE GRADE.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- MULCH ALL DISTURBED AREAS AND PLANT BEDS WITH 3" OF CLEAN PINE NEEDLES.
- ALL ABOVE GROUND UTILITY DEVICES TO BE SCREENED WITH NEEDLEPOINT HOLLIES OR EQUAL EVERGREEN BY THE LANDSCAPE CONTRACTOR.

LANDSCAPE CALCULATIONS
 PART 1. SITE INTERIOR LANDSCAPING REQUIREMENT - 20% OF THE LOT SHALL BE LANDSCAPED
 1 CANOPY TREE 1 UNDERSTORY TREE & 2 SHRUBS / 1,000 S.F.
 LOT SIZE - 62,395 S.F. x 20% = 12,479 S.F.
 THEREFORE REQUIREMENT IS
 12 CANOPY TREES
 12 UNDERSTORY TREES
 24 SHRUBS

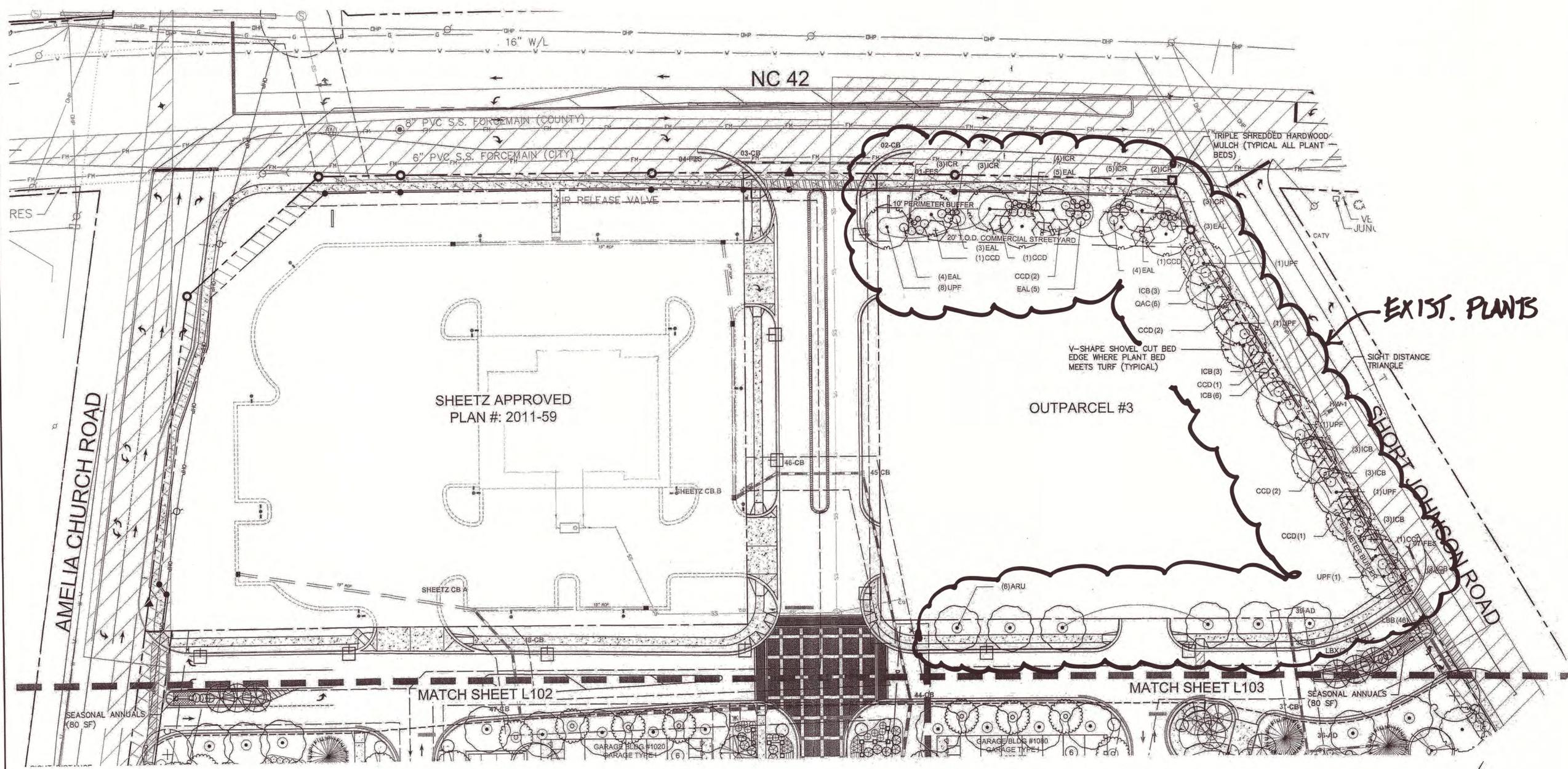


VICINITY MAP
 NOT TO SCALE



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REFER TO C001 FOR ALL NOTES



PLANT SCHEDULE NORTH

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
ARU	Acer rubrum / Red Maple	B # B	2.5' Cal	6" MIN.	6	Canopy Tree
CCD	Quercus canadensis / Eastern Redbud	B # B	4" MIN	4" MIN	12	Understory Tree
LIX	Lagerstroemia x "Biloxi" / Crape Myrtle	B # B	2.5' Cal	4" MIN	3	Understory Tree
QAC	Quercus acutissima / Sawtooth Oak	B # B	2.5' Cal	6"	6	Canopy Tree
UPF	Ulmus parvifolia / Chinese Elm	B # B	2.5' Cal	13"	13	Canopy Tree

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	HGT.	QTY	REMARKS
EAL	Euonymus alatus / Burning Bush	---	18"	24	
ICB	Ilex cornuta "Burfordii" / Burford Chinese Holly	---	30"	27	
ICR	Ilex cornuta "Rotunda" / Dwarf Chinese Holly	---	18"	20	
LCD	Loropetalum chinense "Danima" / Chinese Fringe-Flower	---	18"	3	

GRASSES	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS
	Liriodendron muscari "Big Blue" / Big Blue Lilyturf	4" pot @ 18" oc	46	

LANDSCAPE CALCULATIONS - OUTPARCEL #3

PART 2: BUFFER REQUIREMENTS

CLASS C BUFFER
 BERM OR FENCE WITH 2 CANOPY TREES, 3 UNDERSTORY TREES, 12 SHRUBS PER 100' OF FRONTAGE

440 LF / 100 = 4.4
 4.4 x 2 = 8.8 CANOPY TREES
 4.4 x 3 = 13.2 UNDERSTORY TREES
 4.4 x 12 = 52.8 SHRUBS

TOD II REQUIREMENTS - ADJACENT TO NC 42 HWY
 1 TREE PER 1,000 SF OF STREET YARD (20') & 5 SHRUBS PER 1,000 SF OF STREET YARD

3,750 SF / 1,000 = 3.75 x 1 = 4 TREES
 3,750 SF / 1,000 = 3.75 x 5 = 19 SHRUBS

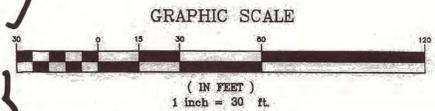
PART 3: STREETYARD TREE REQUIREMENTS (SHORT JOHNSON RD.)
 1 CANOPY TREE PER 40 LF

240 LF / 40 = 6 CANOPY TREES

Town of Clayton
 Planning Department
 Date: 5/15/13
 By: [Signature]
 Plan Approval

SPECIAL PLANT NOTE

THIS SHEET IS FOR INFORMATION PURPOSES ONLY THE PLANTS SHOWN ON THIS SHEET WERE INSTALLED WITHIN THE PAST YEAR. SOME OF THE PLANTS IN THE BUFFER ALONG SHORT JOHNSON ROAD WILL NEED TO BE TEMPORARILY RELOCATED TO ACCOMPLISH THE REQUIRED GRADING IN THAT AREA.



LANDSCAPE PLAN - NORTH

Rev #	Revision	Date
10	FOR CONSTRUCTION SET	02.26.13
9	ISSUE RESUBMITTAL	12.19.12

OWNER/DEVELOPER
 AMELIA STATION, LLC
 109 RAPHAEL DRIVE
 CARY, NC 27511
 919.522.5626

APARTMENTS AT
 AMELIA STATION
 CLAYTON, NC

CONSTRUCTION DRAWING SUBMITTAL

451 FAYETTEVILLE ST. STE. 400
 FAYETTEVILLE, NC 28404
 PROJECT # C11046

Project No. C11046
 Drawn By JWP/JG/HNJ
 Checked By GPW
 Issue Date: 05.24.12

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UTILITY PLAN

AMELIA STATION

N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15

SCALE 1"=20'

DRAWN BTB

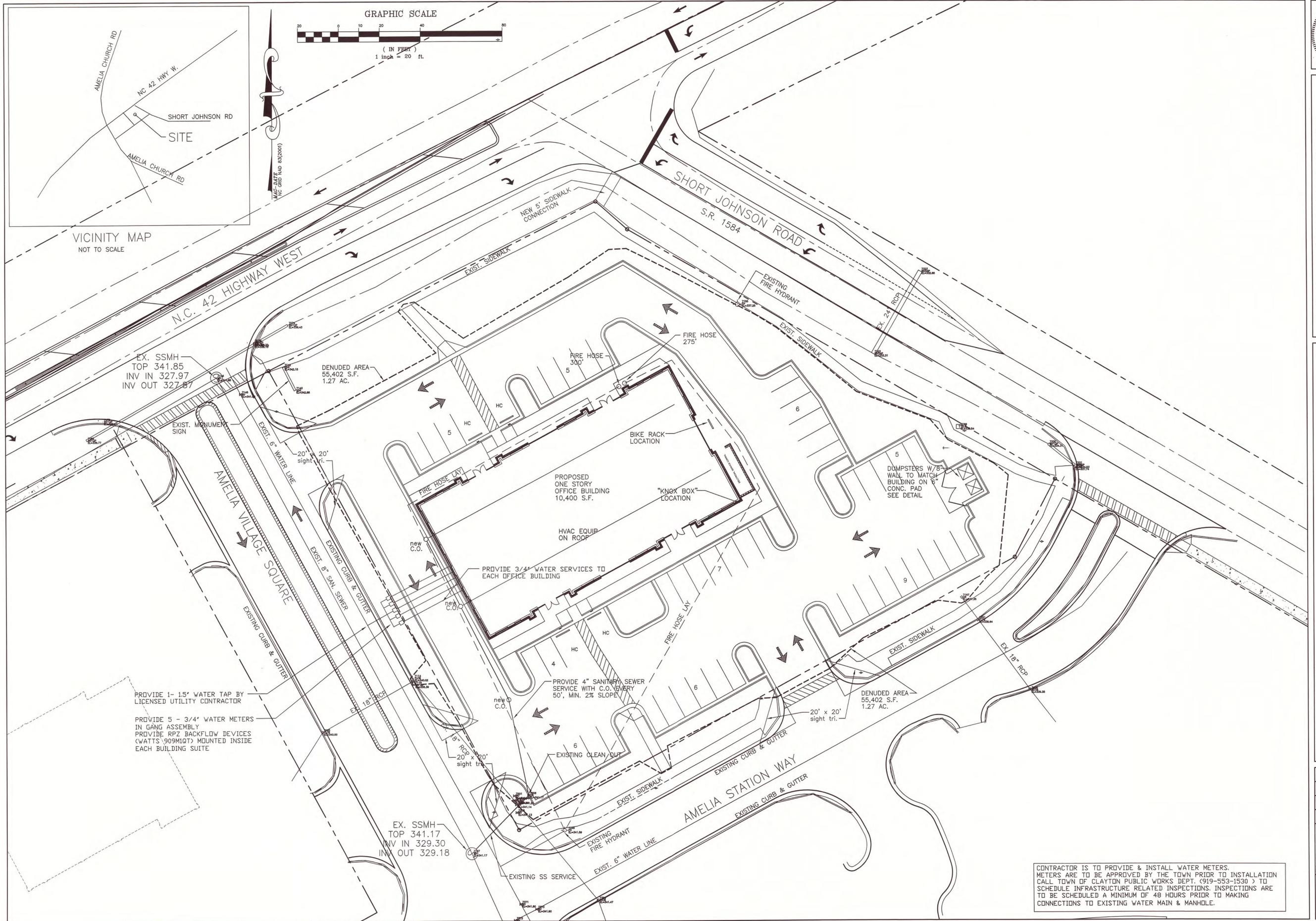
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REVISIONS

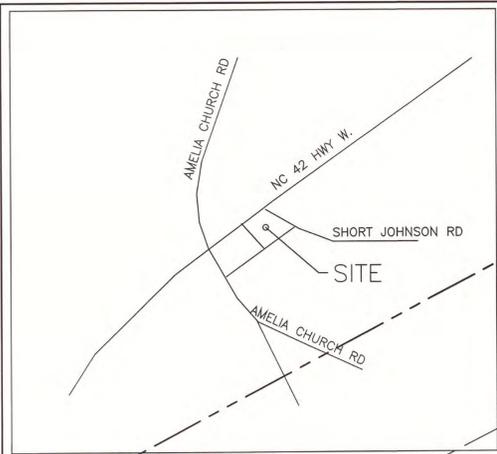
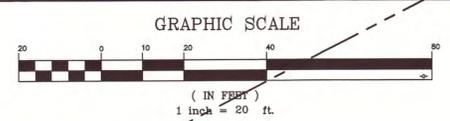
11-17-15 3RD REVISED PER TOWN STAFF COMMENTS

SHEET

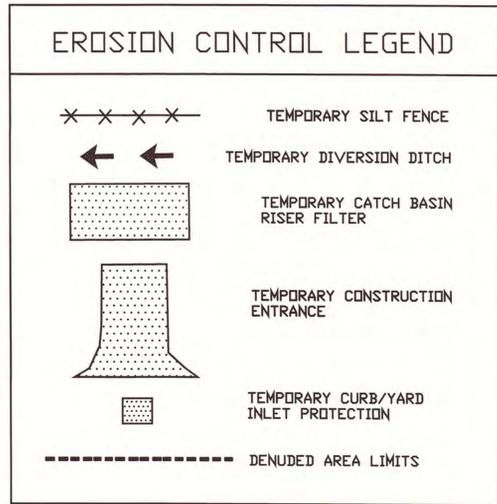
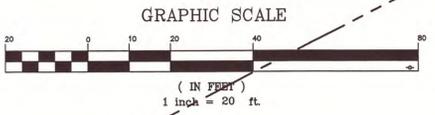
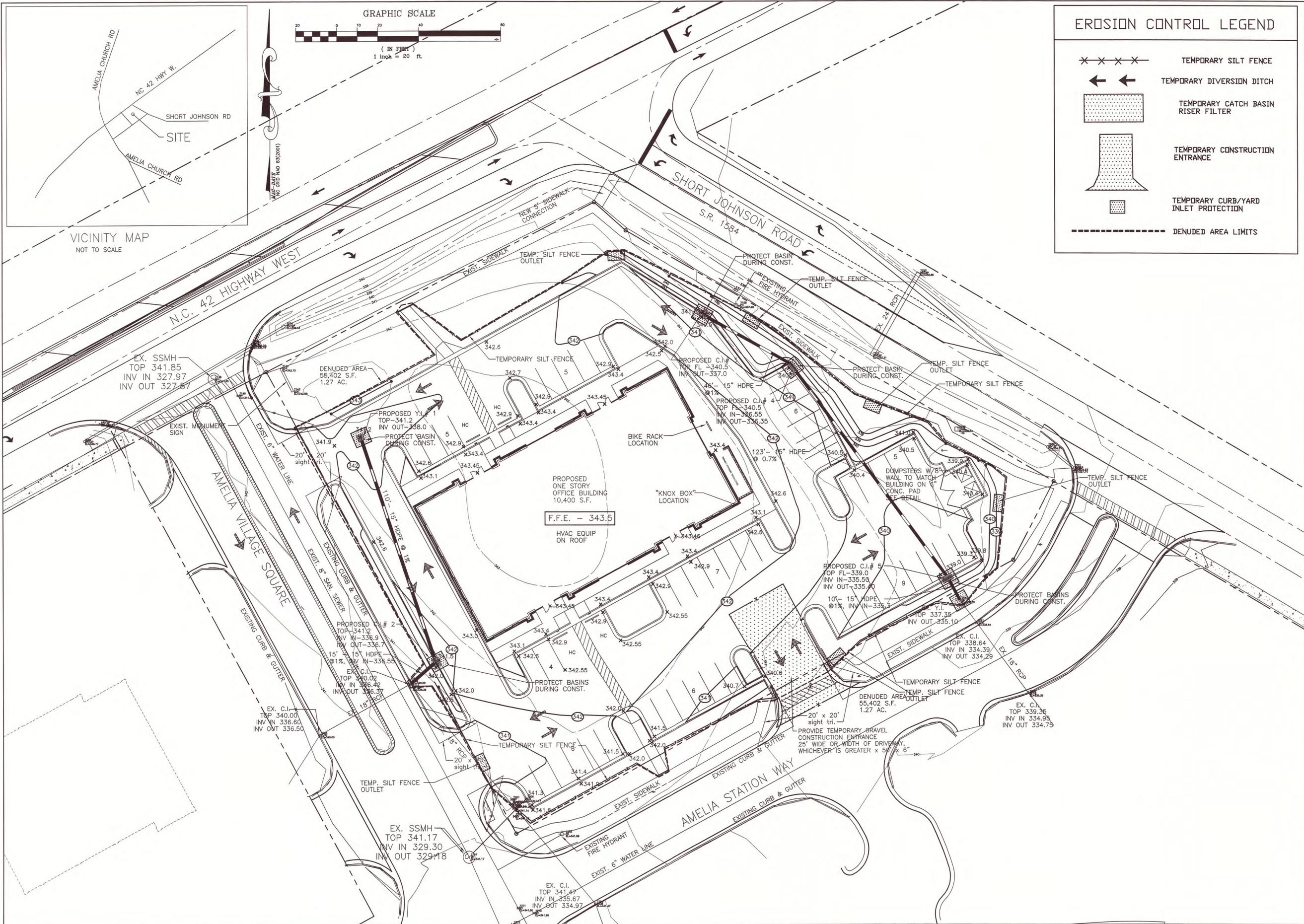
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CONTRACTOR IS TO PROVIDE & INSTALL WATER METERS. METERS ARE TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION. CALL TOWN OF CLAYTON PUBLIC WORKS DEPT. (919-553-1530) TO SCHEDULE INFRASTRUCTURE RELATED INSPECTIONS. INSPECTIONS ARE TO BE SCHEDULED A MINIMUM OF 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING WATER MAIN & MANHOLE.



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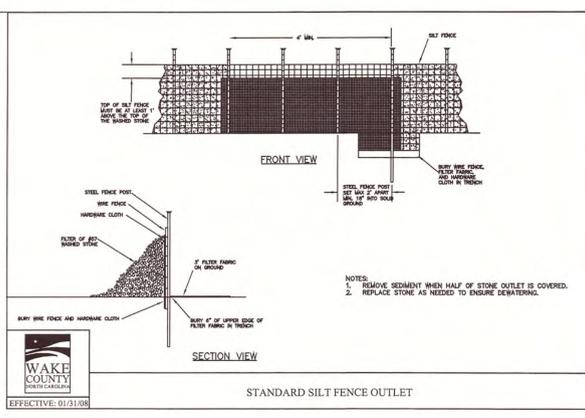
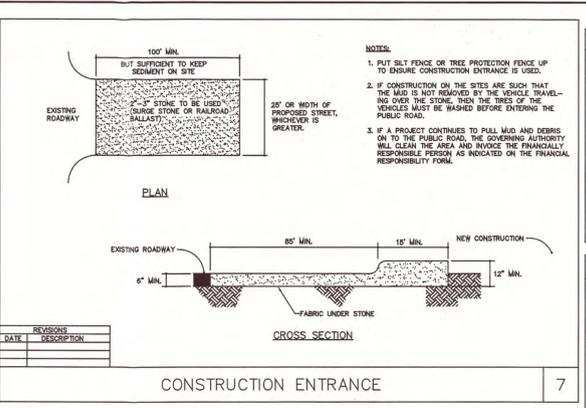
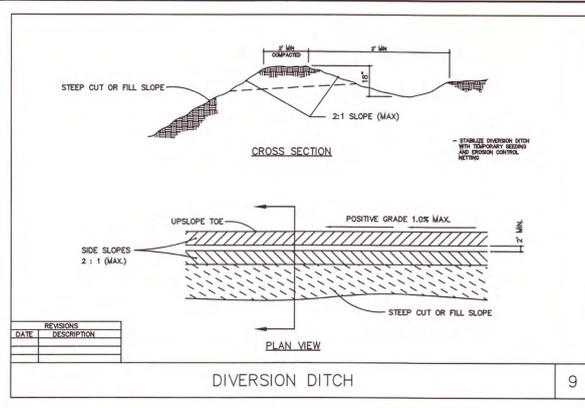
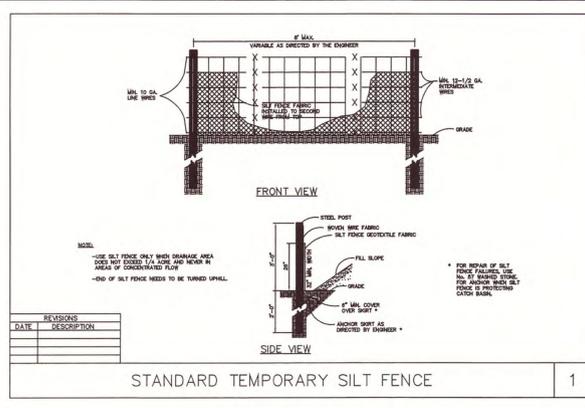
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Telephone (919) 870-1886 Fax (919) 870-0752
taylor@blakelydesign.com E-Mail

AMELIA STATION
CLAYTON, N.C.

EROSION CONTROL PLAN

DATE OCT 30, 15
SCALE 1"=20'
DRAWN BTB
JOB NO.
REVISIONS
11-17-15 btb REVISED
PER TOWN STAFF COMMENTS
SHEET
C5.0

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TEMPORARY SEEDING SPECIFICATIONS

BETWEEN MAY 1 AND AUGUST 15, ADD 40 LB./AC. GERMAN MILLET. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 120 LB./AC. RYE (GRAIN).

SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO TESTS, OR APPLY 2,000 LB./AC. GROUND AGRICULTURE LIMESTONE AND 750 LB./AC. 10-10-10 FERTILIZER.

MULCH
 APPLY 4,000 LB./AC. GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR MULCH BY TACKING WITH ASPHALT, ROVING OR NETTING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

MAINTENANCE
 RESEED IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

PERMANENT SEEDING SPECIFICATIONS

SEEDING MIXTURE SPECIES	RATE (LB./AC)
TALL FESCUE	80
SERICA LESPEDeza	30
KOBE LESPEDeza	10
PENSACOLA BAHIA GRASS	50

SEEDING NOTES
 1. FROM SEPT. 1 - MAR. 1, USE UNSCARIFIED SERICIA SEED.
 2. ON POORLY DRAINED SITES OMIT SERICIA AND INCREASE KOBE TO 30 LB./AC.
 3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA AND INCREASE KOBE NURSE PLANTS.

SEEDING DATES

BEST	POSSIBLE
EARLY SPRING: FEB. 15 - MAR. 20	FEB. 15 - APR. 30
FALL: SEPT. 1 - SEPT. 30	SEPT. 1 - OCT. 31

SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-6,000 LB./AC. SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15, ADD 25 LB./AC. RYE (GRAIN).

MULCH
 APPLY 4,000 LB./AC. GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
 IF GROWTH IS LESS THAN FULLY ADEQUATE, RESEED THE SECOND YEAR. ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB./AC. 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICIA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

SEEDING SCHEDULE
(REVISED: 1-1-88)

Shoulders, Side Ditches, Slopes (Max 3:1)

DATE	TYPE	PLANTING RATE
Aug 15 - Nov 1	Tall Fescue	300 lbs/acre
Nov 1 - Mar 1	Tall Fescue	300 lbs/acre
	• Abruzzi Rye	25 lbs/acre
Mar 1 - Apr 15	Tall Fescue	300 lbs/acre
Apr 15 - Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 - Aug 15	Tall Fescue and ***Abruzzi Rye	120 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre
Mar 1 - Jun 1	Sericea Lespedeza (scarified) & Add Tall Fescue	50 lbs/acre
(Mar 1 - Apr 15)	Or Add Hulled Lowgrass	10 lbs/acre
(Mar 1 - Jun 30)	Or Add Hulled Common Bermudagrass	25 lbs/acre
Jun 1 - Sep 1	***Tall Fescue and ***Abruzzi Rye	120 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre
Sep 1 - Mar 1	Sericea Lespedeza (unhulled-unscarified) and Tall Fescue	70 lbs/acre
(Nov 1 - Mar 1)	Add Abruzzi Rye	25 lbs/acre

Consult Conservation Engineer or Soil Conservation Service for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those which do well under local conditions; other seeding rate combinations are possible.

***Temporary - Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow over 12" in height before mowing, otherwise erosion may be abated.

SEEDBED PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW*).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

* APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRES (3 TONS/ACRE IN CLAY SOILS)
 FERTILIZER - 1,000 lbs. / ACRE - 10-10-10
 SUPERPHOSPHATE - 500 lbs. / ACRE - 20% ANALYSIS
 MULCH - 2 TONS / ACRE - SMALL GRAIN STRAW
 ANOTHER - ASPHALT EMULSION @ 300 GALS./ACRE

MAINTAIN ALL EROSION DEVICES A MINIMUM OF WEEKLY AND AFTER EACH RUNOFF RAIN PRODUCING EVENT

- CONSTRUCTION SEQUENCE**
- Obtain a land disturbing permit. Schedule a preconstruction conference with the Environmental Engineer 319-209-8333.
 - Install gravel construction entrance pad, temporary diversions, silt fence and temporary skimmer basins per detail on sheet C-6. Install any other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed, mulch & anchor temporary diversions, berms and basins immediately after their construction.
 - Call 319-209-8333 for on site inspections by the Environmental Engineer to obtain a Certificate of Compliance.
 - Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
 - Stabilize slopes as areas are brought up to finish grade with vegetation, ditch linings, etc. Seed and mulch exposed/disturbed areas within (14) calendar days, of any phase of completion of construction or if site is idle for 14 calendar days or more.
 - When construction is complete and all areas are stabilized completely, call 319-209-8333 for an inspection by the Environmental Engineer.
 - If site is approved, remove temporary diversions and gravel construction entrance, clean out the temporary sediment basin and properly dispose of this material. Fill the temporary filter basin area & bring up to subgrade, gravel and pave. Seed out any resulting bare areas or pave any resulting bare areas. All remaining permanent erosion control devices (such as velocity dissipators) should now be installed. Remove the temporary silt fences and seed any resulting bare areas.
 - When vegetation has become established, call for final site inspection by Environmental Engineer, 319-209-8333. Obtain a Certificate of Completion.

SEEDING SCHEDULE
(REVISED: 1-1-88)

Shoulders, Side Ditches, Slopes (Max 3:1)

DATE	TYPE	PLANTING RATE
Aug 15 - Nov 1	Tall Fescue	300 lbs/acre
Nov 1 - Mar 1	Tall Fescue	300 lbs/acre
	• Abruzzi Rye	25 lbs/acre
Mar 1 - Apr 15	Tall Fescue	300 lbs/acre
Apr 15 - Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 - Aug 15	Tall Fescue and ***Abruzzi Rye	120 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre
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(Mar 1 - Apr 15)	Or Add Hulled Lowgrass	10 lbs/acre
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Jun 1 - Sep 1	***Tall Fescue and ***Abruzzi Rye	120 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre
Sep 1 - Mar 1	Sericea Lespedeza (unhulled-unscarified) and Tall Fescue	70 lbs/acre
(Nov 1 - Mar 1)	Add Abruzzi Rye	25 lbs/acre

Consult Conservation Engineer or Soil Conservation Service for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those which do well under local conditions; other seeding rate combinations are possible.

***Temporary - Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow over 12" in height before mowing, otherwise erosion may be abated.

SEEDING SCHEDULE

- SEEDBED PREPARATION**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW*).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- * APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRES (3 TONS/ACRE IN CLAY SOILS)
 FERTILIZER - 1,000 lbs. / ACRE - 10-10-10
 SUPERPHOSPHATE - 500 lbs. / ACRE - 20% ANALYSIS
 MULCH - 2 TONS / ACRE - SMALL GRAIN STRAW
 ANOTHER - ASPHALT EMULSION @ 300 GALS./ACRE

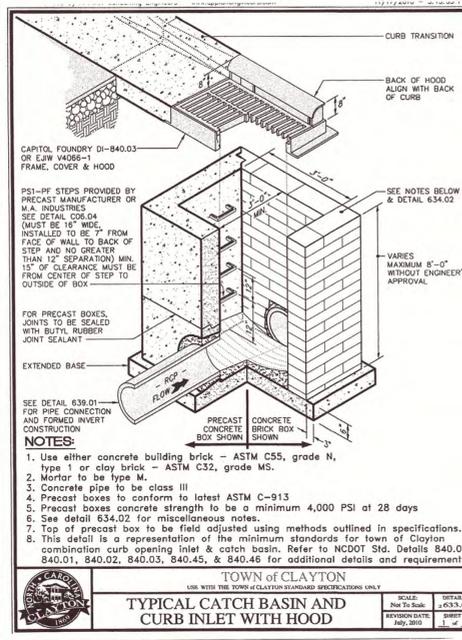
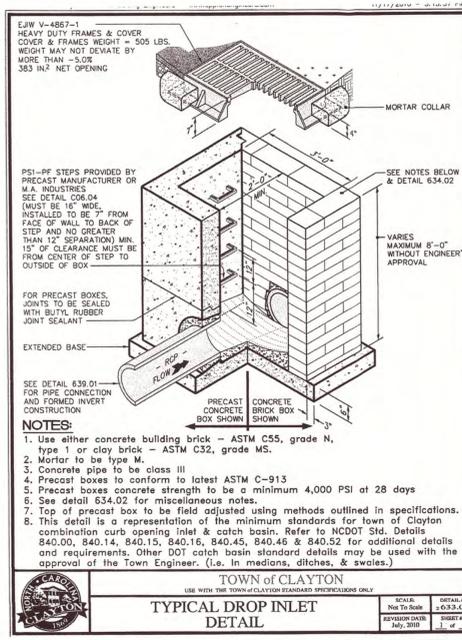
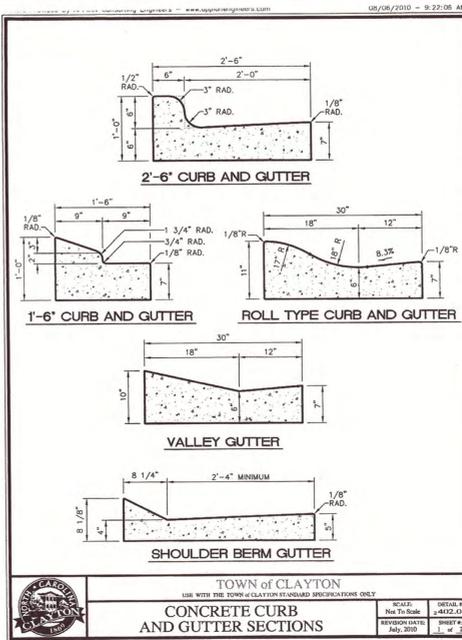
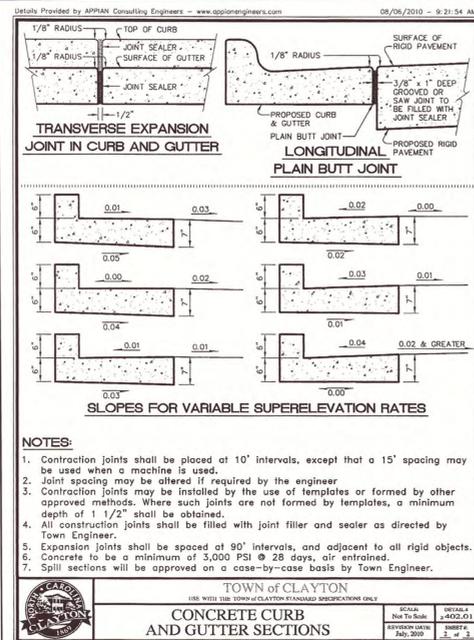


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EROSION CONTROL DETAILS

AMELIA STATION
 N.C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE	OCT 30, 15
SCALE	AS SHOWN
DRAWN	BTB
JOB NO.	
REVISIONS	
SHEET	C5.1

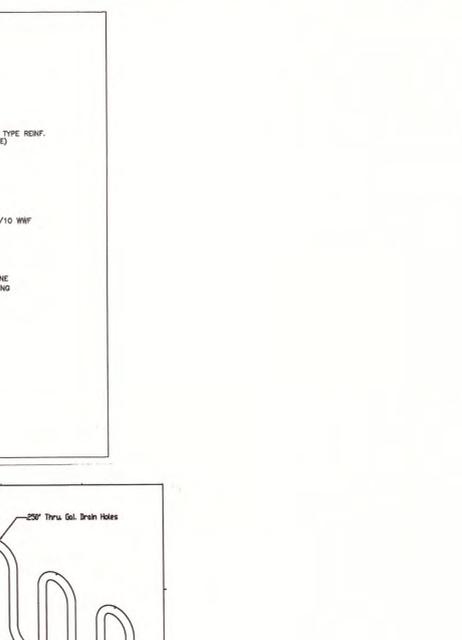
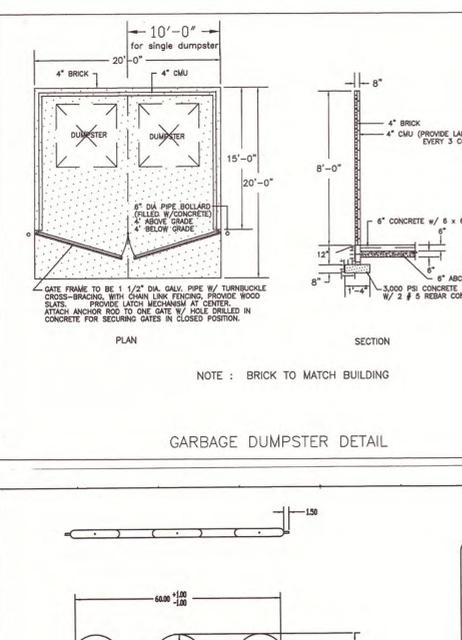
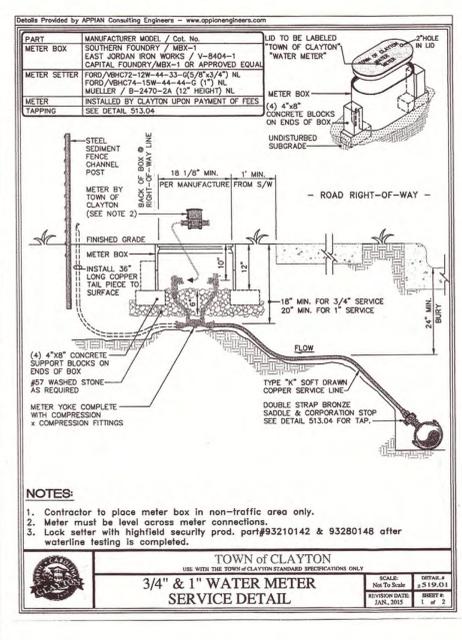
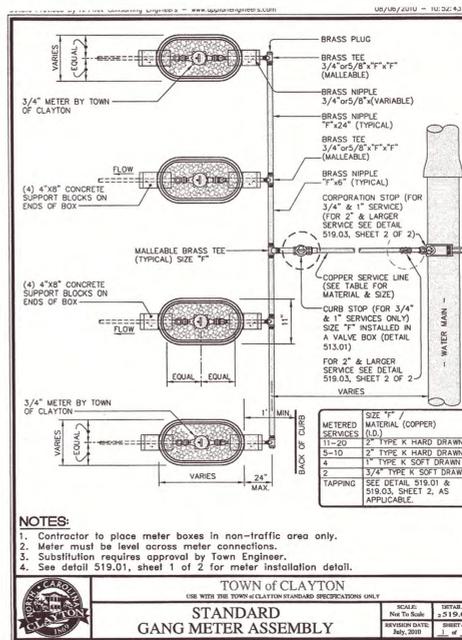
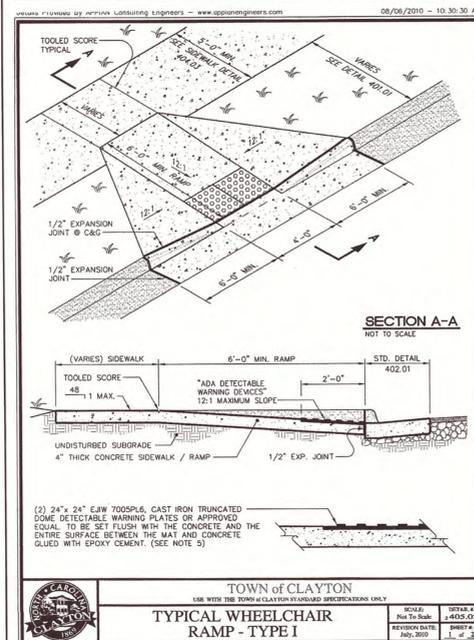


Drainage Structures Notes:

- Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete. The following shall apply:
 - Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete.
 - Any non-standard box (non-standard meaning not shown in this manual), is to be designed by a NC Professional Engineer and approved by the Town Engineer.
 - The maximum height of an un-reinforced masonry drainage structure with 8" walls shall be limited to 8'-0" from invert of the outlet pipe to the top of the casting. Depths greater than 8'-0" shall have walls 12" thick. Basins over 12" in total depth shall be designed by a NC Professional Engineer and approved by the Town Engineer. Four inch walls are not allowed on drainage structures. Bottom slab on structures shall be reinforced when box depth exceeds 8 ft.
 - Steps are to be provided on all basins deeper than 36".
 - Steps are to be PS1-PPF as manufactured by M. A. Industries or an approved equal. Locate on non-pipe walls. Steps shall meet OSHA requirements.
 - Mortar in masonry boxes is to be type M.
 - Clay brick structures are not allowed.
 - Concrete pipe is to be minimum class III.
 - Concrete building brick is to meet ASTM C-55, Grade N, Type 1 and must be NCDOT standard.
 - All cast-in-place or precast concrete drainage structures located in paved areas accessible to truck loadings to be designed to meet AASHTO HS 20-44 loading. See manufacturers details for wall, top and bottom thickness.
 - Inside of boxes shall allow for 6" of clearance on both sides of pipe. The dimension shown on the structures in this manual are minimum dimensions. For boxes with greater dimensions, either corbel walls, add a reinforced concrete top slab or lengthen box by adding additional grates & frames. Top and bottom slabs to be designed by NC Professional Engineer and approved by the Town Engineer for H20 loading.
 - Maximum horizontal span of an 8" thick wall shall not exceed 8' for boxes of 8 feet or less in depth and 10 feet for boxes 12 feet or less in depth.

TOWN of CLAYTON
 USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

SCALE: Not To Scale	DETAIL: J-4022.02
REVISION DATE: July, 2009	SHEET: 1 of 3



BLAKELEY DESIGN GROUP
 Site Planning
 Landscape Architecture

700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
 Telephone (919) 870-1888
 E-Mail: info@blakeleydesign.net

AMELIA STATION
 CLAYTON, N.C.

CONSTRUCTION DETAILS

DATE OCT 30, 15
 SCALE 1"=20'
 DRAWN BTB
 JOB NO.
 REVISIONS

SHEET
 C6.0



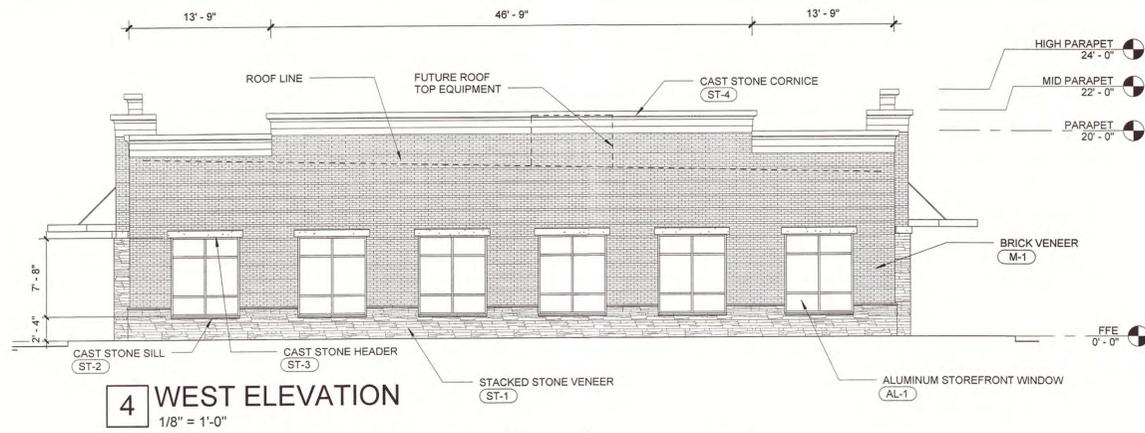
GONTRAM ARCHITECTURE, INC.

220 HORIZON DRIVE, SUITE 221
 RALEIGH, NC 27615
 PHONE: 919.876.5331
 FAX: 919.876.5978
 eddie@gontramarchitecture.com
 www.gontramarchitecture.com

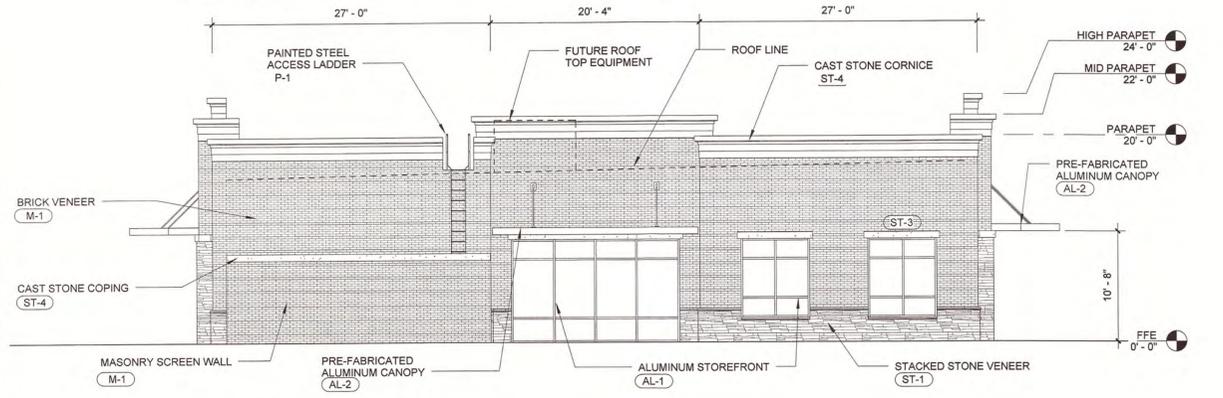
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EXTERIOR COLOR SCHEDULE

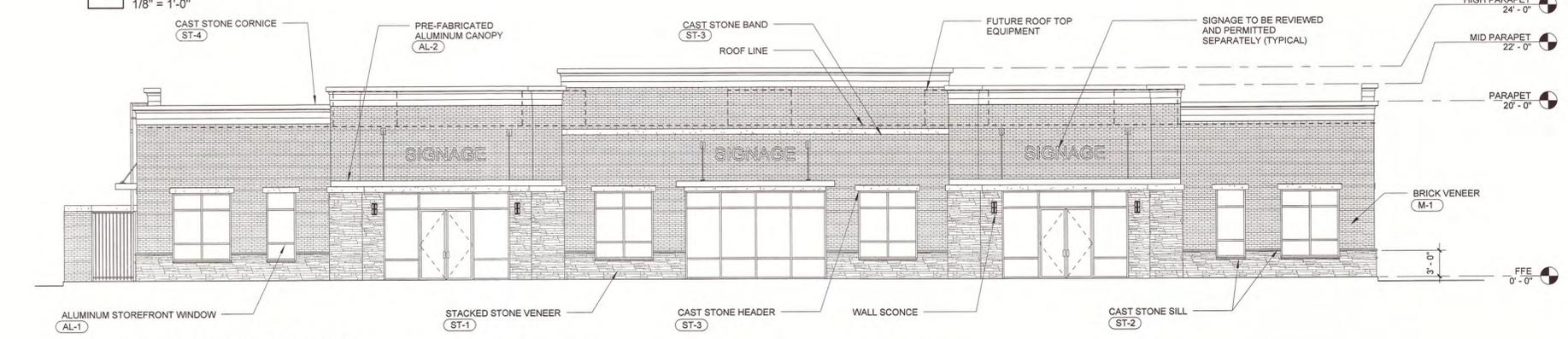
KEY	LOCATION	MANUFACTURER/SUPPLIER	COLOR AND MATERIAL	DESCRIPTION/SPECIFICATION
ST-1	WALL BASE, ENTRYWAY COLUMNS	QUALITY STONE VENEER OR EQUAL	COLOR: POWDER RIDGE STYLE, OHIO DRYSTACK MORTAR COLOR: GRAY	STONE TO MATCH SHEETZ, OR SIMILAR COLOR AND PATTERN
ST-2	WALL BASE, CAP, WINDOW SILL	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
ST-3	8" BANDS, WINDOW HEADER	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
ST-4	CORNICE, CAPS	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
M-1	BRICK VENEER	GLEN GERY OR EQUAL	COLOR: ST WINSOR MORTAR COLOR: GRAY	BRICK TO MATCH SHEETZ, OR SIMILAR COLOR AND PATTERN DIMENSIONS 3 5/8" X 2 3/4" X 7 5/8" 3/8" JOINTS TOOLED WITH GRAPEVINE STYLE JOINT.
AL-1	ALUMINUM STOREFRONT AND WINDOWS	KAWNEER OR EQUAL	COLOR: CHAMPAGNE	GLAZING TO BE 1" IGU, LOW-E GLASS, TINTED
AL-2	ALUMINUM CANOPY	MAPES OR EQUAL	COLOR: ANTIQUE BRONZE	
P-1	LADDER	SHERWIN WILLIAMS OR EQUAL	COLOR: MATCH CANOPY	



4 WEST ELEVATION
 1/8" = 1'-0"



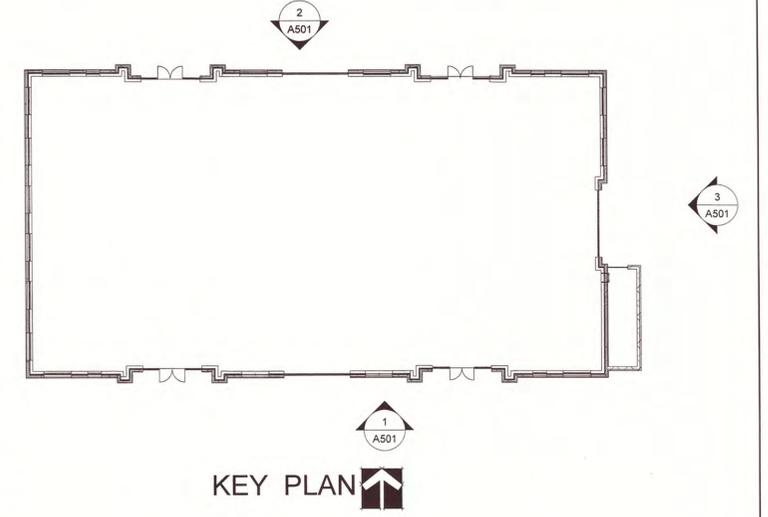
3 EAST ELEVATION
 1/8" = 1'-0"



2 NORTH ELEVATION
 1/8" = 1'-0"



1 SOUTH ELEVATION
 1/8" = 1'-0"



KEY PLAN



**AMELIA STATION
 MEDICAL OFFICE BUILDING**
 CLAYTON, NC

PLOT DATE: 11/17/15
 ISSUED: 11/17/2015
 ELEVATION REVIEW

DRAWN BY: pja
 PROJECT NO.: 15061
 CONTENTS: ELEVATIONS

APPROVED: EJC
 RECORD:

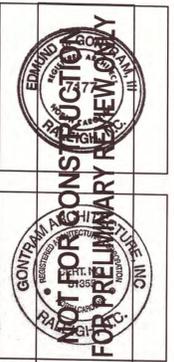
SHEET: **A501**
 OF 2



GONTRAM
ARCHITECTURE, INC.

220 HORIZON DRIVE, SUITE 221
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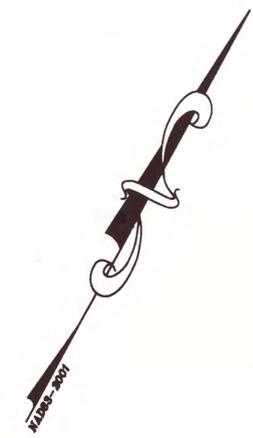
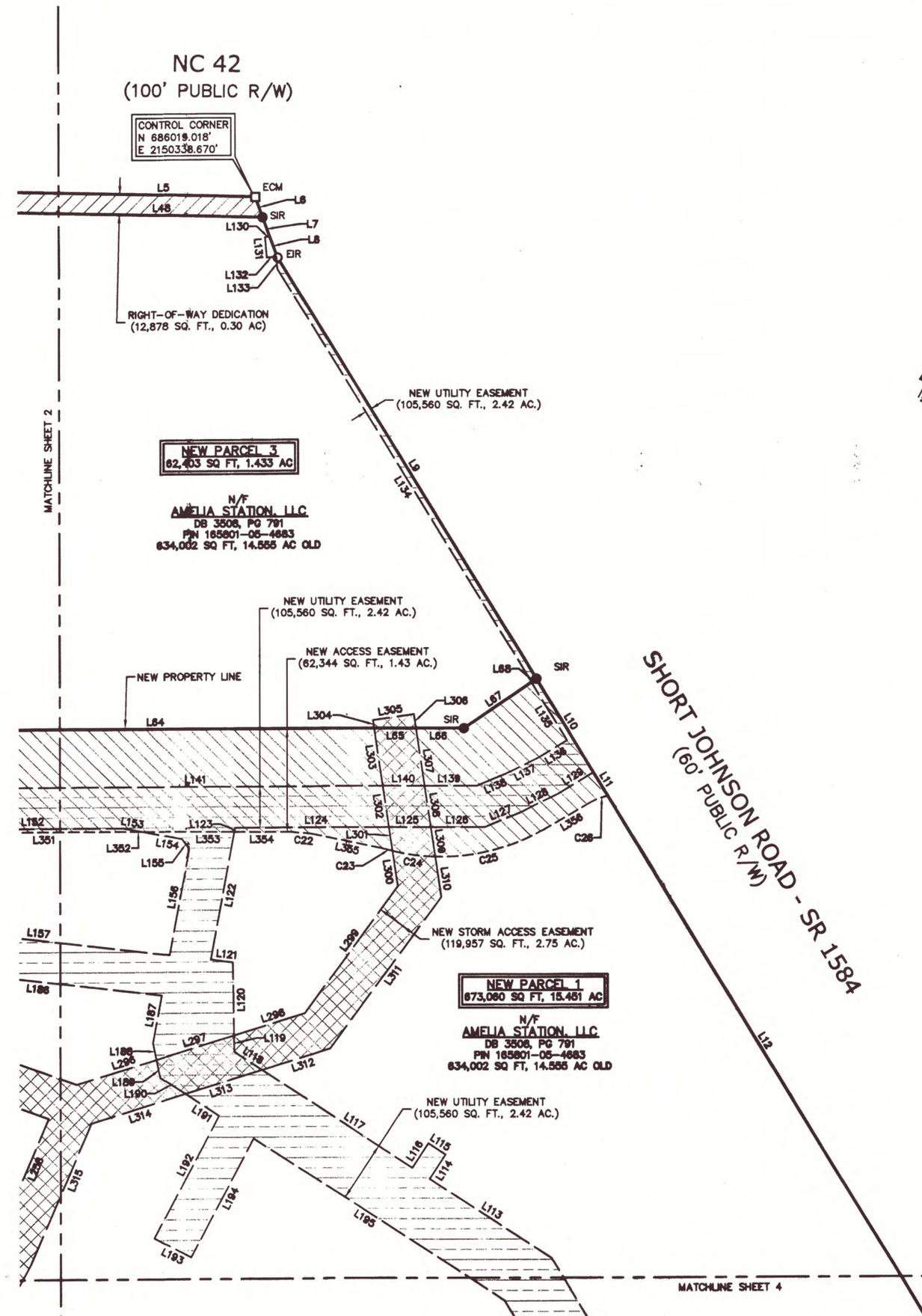
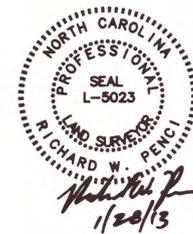
AMELIA STATION
MEDICAL OFFICE BUILDING
CLAYTON, NC

PLOT DATE:
11/17/15
ISSUED:
11/17/2015
ELEVATION REVIEW

DRAWN BY: PJA	APPROVED: EJG
PROJECT NO.: 15061	RECORD:

CONTENTS:
PERSPECTIVES

SHEET:
A502
OF 2



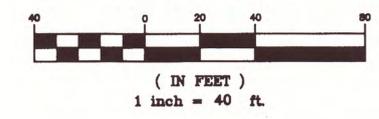
	RIGHT-OF-WAY DEDICATION 12,878 SQ. FT., 0.30 AC.
	ACCESS EASEMENTS 70,361 SQ. FT., 1.62 AC.(TOTAL)
	STORM ACCESS EASEMENT 119,628 SQ. FT., 2.75 AC.
	UTILITY EASEMENT 105,560 SQ. FT., 2.42 AC.

SEE SHEET 1 FOR GENERAL NOTES AND CERTIFICATIONS
SEE SHEET 7 FOR LINE & CURVE TABLES

LEGEND

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING IRON ROD
- EXISTING CONCRETE MONUMENT
- SET IRON ROD
- SET PK NAIL
- PROPERTY LINE
- OLD PROPERTY LINE
- ACCESS EASEMENT LINE
- STORM EASEMENT LINE
- UTILITY EASEMENT LINE

GRAPHIC SCALE



State of North Carolina, Johnston Co.
Filed for Registration at 5:10:07 P.M.
March 28 2013 in the
Register of Deeds Office
Recorded in Book 78 Page 261
Craig Olive
Register of Deeds
By Melody Mitchell
Deputy

FINAL SUBDIVISION, ACCESS EASEMENTS,
STORM ACCESS EASEMENT, UTILITY EASEMENT
& RIGHT-OF-WAY DEDICATION PLAT FOR:
AMELIA STATION, LLC
CLAYTON TOWNSHIP
JOHNSTON COUNTY, NORTH CAROLINA
DATE: 2/28/12 SCALE: 1"=40'
SHEET 4 OF 7



STEWART

REVISED: 7/6/12
REVISED: 3/28/12
REVISED: 10/1/12
REVISED: 11/17/12

421 FAYETTEVILLE ST, STE 400 FIRM LICENSE #: C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT #: C11046

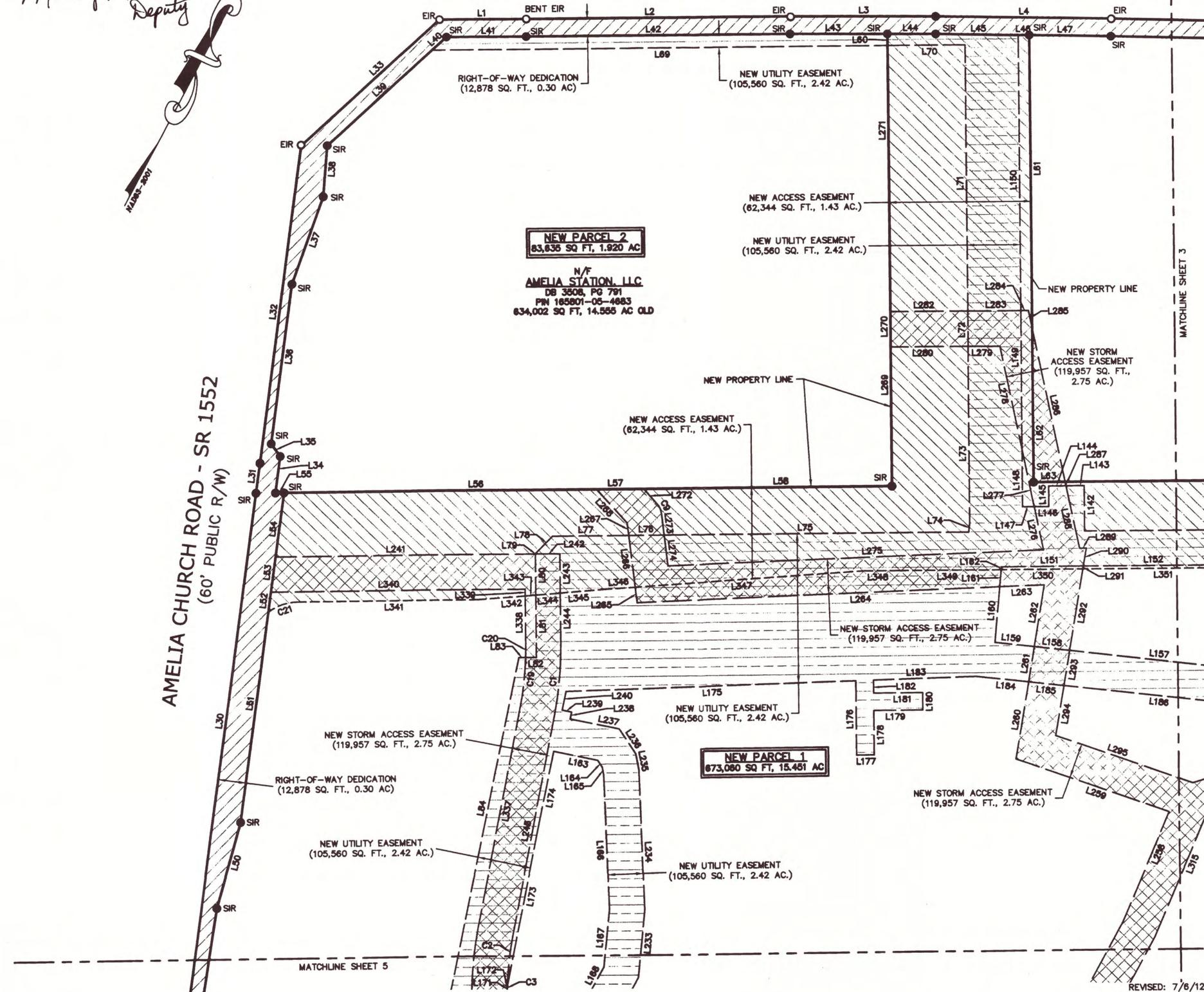
State of North Carolina, Johnston Co.
 filed for Registration at 5:10:00 P.M.
 March 28 2013 in the
 Register of Deeds Office
 recorded in Book 78 Page 260
 Craig Olive
 Register of Deeds

Melody Mitchell
 Deputy



NC 42
 (100' PUBLIC R/W)

AMELIA CHURCH ROAD - SR 1552
 (60' PUBLIC R/W)



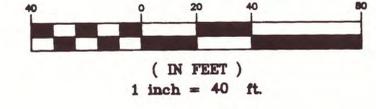
- RIGHT-OF-WAY DEDICATION
12,878 SQ. FT., 0.30 AC.
- ACCESS EASEMENTS
70,361 SQ. FT., 1.62 AC.(TOTAL)
- STORM ACCESS EASEMENT
119,628 SQ. FT., 2.75 AC.
- UTILITY EASEMENT
105,560 SQ. FT., 2.42 AC.

SEE SHEET 1 FOR GENERAL NOTES AND CERTIFICATIONS
 SEE SHEET 7 FOR LINE & CURVE TABLES

LEGEND

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING IRON ROD
- EXISTING CONCRETE MONUMENT
- SET IRON ROD
- SET PK NAIL
- PROPERTY LINE
- OLD PROPERTY LINE
- ACCESS EASEMENT LINE
- STORM EASEMENT LINE
- UTILITY EASEMENT LINE

GRAPHIC SCALE



FINAL SUBDIVISION, ACCESS EASEMENTS,
 STORM ACCESS EASEMENT, UTILITY EASEMENT
 & RIGHT-OF-WAY DEDICATION PLAT FOR:
AMELIA STATION, LLC
 CLAYTON TOWNSHIP
 JOHNSTON COUNTY, NORTH CAROLINA
 DATE: 2/28/12 SCALE: 1"=40'
 SHEET 3 OF 7



STEWART

REVISED: 7/6/12
 REVISED: 3/28/12
 REVISED: 10/1/12
 REVISED: 11/17/12

421 FAYETTEVILLE ST, STE 400 FIRM LICENSE #: C-1051
 RALEIGH, NC 27601 www.stewartinc.com
 T 919.360.8750 PROJECT #: C11046

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N61°38'34"E	48.90'
L2	N61°31'53"E	149.62'
L3	N62°02'30"E	82.36'
L4	N62°40'42"E	98.93'
L5	N63°02'08"E	129.55'
L6	S48°19'47"E	10.74'
L7	S48°19'47"E	10.02'
L8	S48°19'47"E	10.76'
L9	S59°43'46"E	241.29'
L10	S59°43'46"E	53.09'
L11	S59°43'46"E	13.43'
L12	S59°43'46"E	406.51'
L13	S59°43'46"E	137.22'
L14	N27°53'05"E	35.40'
L15	S64°54'20"E	51.10'
L16	S26°17'12"W	30.01'
L17	S26°17'12"W	120.40'
L18	S26°17'12"W	76.51'
L19	S26°17'12"W	28.08'
L20	S37°44'22"W	217.86'
L21	N74°48'27"W	12.68'
L22	N74°48'27"W	34.87'
L23	S03°48'03"E	104.99'
L24	S87°56'59"W	151.95'
L25	S87°56'59"W	224.46'
L26	S87°56'59"W	130.70'
L27	S88°03'45"W	278.81'
L28	S88°03'45"W	4.83'
L29	N20°13'51"W	149.63'
L30	N20°28'10"W	317.88'
L31	N20°27'35"W	17.02'
L32	N20°32'59"W	182.24'
L33	N19°48'47"E	105.68'
L34	N20°32'03"W	20.73'
L35	N63°28'40"W	8.81'
L36	N20°32'03"W	91.57'
L37	N08°16'57"W	52.68'
L38	N23°33'10"W	29.33'
L39	N19°48'47"E	79.90'
L40	N19°48'47"E	11.13'
L41	N61°38'34"E	45.08'
L42	N61°31'53"E	149.59'
L43	N62°02'30"E	54.99'
L44	N62°02'30"E	27.27'
L45	N62°40'42"E	46.53'
L46	N62°40'42"E	6.22'
L47	N62°40'42"E	46.10'
L48	N63°02'08"E	133.43'
L49	S19°18'40"E	232.01'
L50	S12°29'12"E	50.56'
L51	S20°25'32"E	120.77'
L52	S20°25'32"E	11.42'
L53	S20°25'32"E	20.20'
L54	S20°25'32"E	36.83'
L55	N61°31'06"E	4.89'
L56	N61°31'06"E	176.76'
L57	N61°31'06"E	26.63'
L58	N61°31'06"E	140.52'
L60	N28°28'54"W	6.66'
L61	S28°28'54"E	166.61'
L62	S28°28'54"E	87.56'

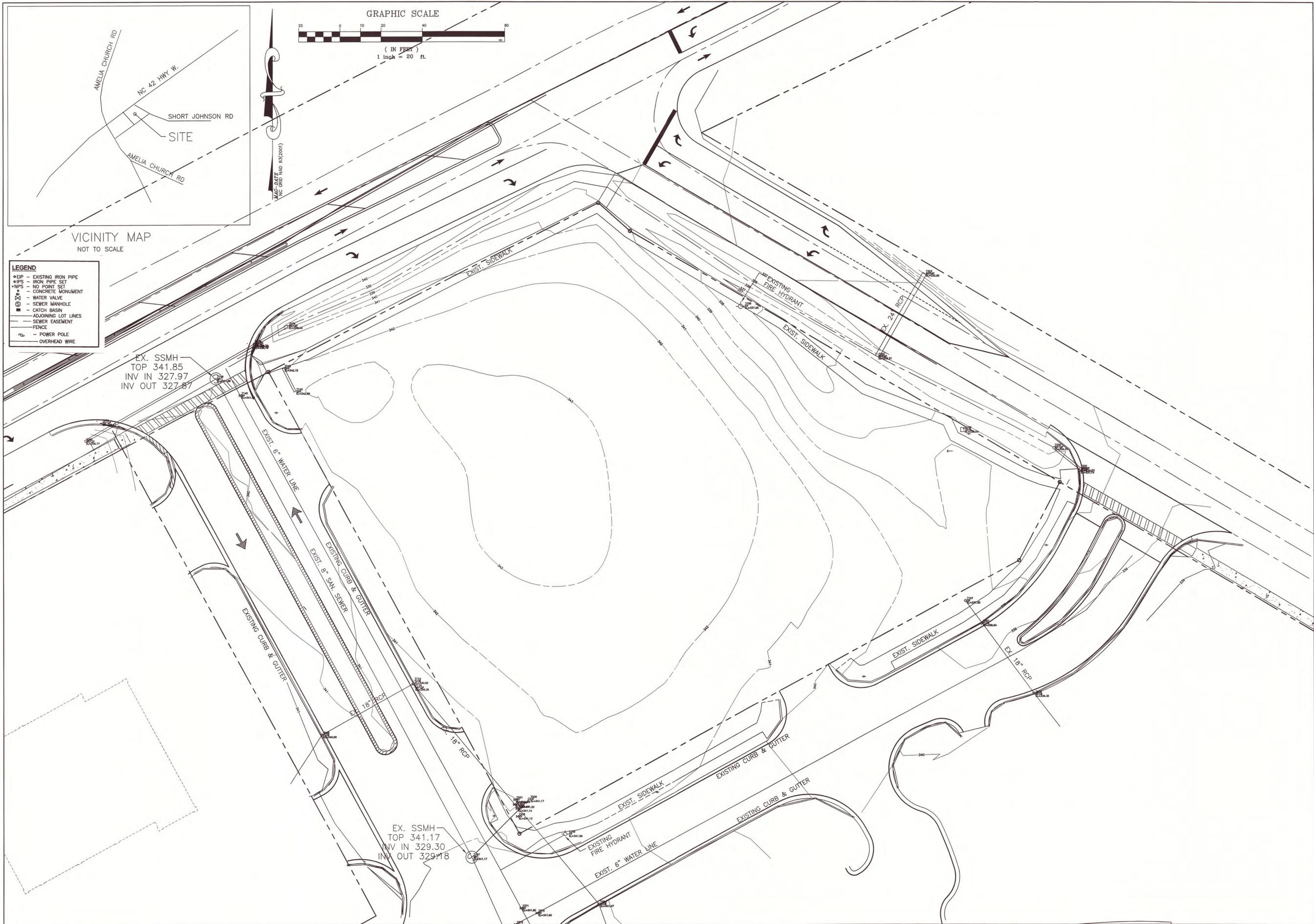
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L64	N61°31'06"E	215.14'
L65	N61°31'06"E	20.22'
L66	N61°31'06"E	23.21'
L67	N27°28'26"E	39.71'
L68	N27°28'26"E	2.92'
L69	N61°29'35"E	257.97'
L70	N61°29'35"E	43.78'
L71	S28°27'12"E	151.28'
L72	S28°27'12"E	20.00'
L73	S28°27'12"E	100.20'
L74	S23°09'17"E	5.39'
L75	S61°31'06"W	172.35'
L76	S61°31'06"W	20.13'
L77	S61°31'06"W	43.04'
L78	S16°31'06"W	13.81'
L79	S28°28'54"E	0.23'
L80	S28°28'54"E	23.35'
L81	S28°28'54"E	35.22'
L82	S61°27'09"W	6.25'
L83	S61°27'09"W	3.86'
L84	S16°28'21"E	195.50'
L85	S46°15'20"E	112.46'
L86	S22°04'47"W	70.28'
L87	S67°04'47"W	5.77'
L88	S22°55'13"E	20.00'
L89	N67°04'47"E	14.05'
L90	N22°04'47"E	79.14'
L91	S71°58'33"E	33.70'
L92	N89°34'28"E	231.24'
L93	S83°16'52"E	83.83'
L94	N06°43'08"E	20.00'
L95	N83°16'52"W	24.44'
L96	N83°16'52"W	22.00'
L97	N44°34'34"E	17.82'
L98	N47°32'28"E	6.80'
L99	N47°32'28"E	12.67'
L100	N00°25'26"W	45.46'
L101	N45°25'26"W	42.45'
L102	N45°25'26"W	84.40'
L103	N00°25'26"W	17.14'
L104	N44°34'34"E	28.57'
L105	N86°25'38"E	233.31'
L106	S59°43'46"E	123.65'
L107	N75°16'14"E	19.24'
L108	N75°16'14"E	71.79'
L109	N30°16'14"E	47.64'
L110	N14°44'58"W	42.81'
L111	N30°15'02"E	16.19'
L112	N59°44'48"W	289.73'
L113	N85°16'25"W	70.32'
L114	N04°40'23"E	14.27'
L115	N85°19'37"W	10.00'
L116	S04°40'23"W	14.26'
L117	N85°16'25"W	86.74'
L118	N85°16'25"W	16.12'
L119	N29°19'20"W	7.91'
L120	N29°19'20"W	35.65'
L121	S68°13'08"W	10.84'
L122	N17°49'37"W	62.83'
L123	N17°49'37"W	1.99'

LINE TABLE		
LINE	BEARING	DISTANCE
L124	N61°31'06"E	74.58'
L125	N61°31'06"E	20.22'
L126	N61°31'06"E	26.35'
L127	N39°01'06"E	19.91'
L128	N35°06'37"E	19.19'
L129	N30°16'14"E	19.92'
L130	S56°40'33"W	2.27'
L131	S33°19'27"E	10.00'
L132	N56°40'33"E	4.57'
L133	S33°19'27"E	5.98'
L134	S59°43'46"E	236.64'
L135	S59°43'46"E	32.94'
L136	S30°16'14"W	16.16'
L137	S35°06'37"W	17.66'
L138	S39°01'06"W	15.25'
L139	S61°31'06"W	25.34'
L140	S61°31'06"W	20.22'
L141	S61°31'06"W	208.66'
L142	N28°28'54"W	25.78'
L143	S61°31'06"W	10.18'
L144	S61°31'06"W	9.82'
L145	S28°28'54"E	11.55'
L146	S61°31'06"W	8.24'
L147	S61°31'06"W	6.55'
L148	N28°27'12"W	32.12'
L149	N28°27'12"W	79.21'
L150	N28°27'12"W	156.73'
L151	N61°31'06"E	46.18'
L152	N61°31'06"E	83.89'
L153	N72°10'23"E	9.06'
L154	N72°10'23"E	19.65'
L155	S62°49'37"E	6.20'
L156	S17°49'37"E	51.86'
L157	S68°13'08"W	114.95'
L158	S68°13'08"W	20.03'
L159	S68°13'08"W	22.32'
L160	N23°09'17"W	31.80'
L161	N23°09'17"W	9.73'
L162	N23°09'17"W	1.67'
L163	N73°35'47"E	25.34'
L164	S61°24'13"E	4.68'
L165	S38°54'13"E	4.18'
L166	S30°14'52"E	76.45'
L167	S22°30'00"E	33.28'
L168	S00°00'00"E	17.74'
L169	S44°49'54"W	43.37'
L170	N45°25'13"W	16.14'
L171	N45°25'13"W	1.12'
L172	N16°49'25"W	1.93'
L173	N16°49'25"W	90.27'
L174	N16°24'13"W	45.09'
L175	N60°00'06"E	164.20'
L176	S28°28'51"E	42.66'
L177	N61°31'06"E	10.00'
L178	N28°28'51"W	25.42'
L179	N61°25'51"E	27.75'
L180	N28°28'54"W	10.00'
L181	S61°25'51"W	27.75'
L182	N28°28'54"E	7.51'
L183	N60°00'06"E	58.19'
L184	N68°13'08"E	29.63'

LINE TABLE		
LINE	BEARING	DISTANCE
L185	N68°13'08"E	20.03'
L186	N68°13'08"E	114.58'
L187	S17°49'37"E	23.38'
L188	S40°19'37"E	8.30'
L189	S40°19'37"E	8.99'
L190	S85°19'37"E	14.37'
L191	S85°19'37"E	19.42'
L192	S00°35'37"E	67.04'
L193	N89°24'23"E	20.00'
L194	N00°35'37"W	65.20'
L195	S85°22'26"E	145.05'
L196	S59°44'48"E	148.95'
L197	S29°51'49"W	3.46'
L198	S60°08'11"E	6.00'
L199	S30°15'02"W	3.42'
L200	S59°44'48"E	114.15'
L201	S14°44'58"E	34.99'
L202	S70°16'14"W	31.06'
L203	S35°16'14"W	74.46'
L204	N59°43'46"W	121.45'
L205	S86°25'38"W	247.04'
L206	S44°34'34"W	15.60'
L207	S44°34'34"W	20.90'
L208	S44°34'34"W	8.00'
L209	S00°25'26"E	33.71'
L210	S45°25'26"E	25.96'
L211	S45°25'26"E	43.78'
L212	S45°25'26"E	1.02'
L213	S44°34'34"W	7.58'
L214	S45°25'26"E	6.00'
L215	N44°34'34"E	7.58'
L216	S45°25'26"E	50.10'
L217	S00°25'26"E	25.62'
L218	N45°25'26"W	0.79'
L219	S45°00'00"W	5.00'
L220	S45°00'00"E	2.13'
L221	S44°34'34"W	23.18'
L222	S44°34'34"W	2.10'
L223	S89°34'34"W	51.88'
L224	S89°34'34"W	154.20'
L225	N00°25'26"W	4.92'
L226	S89°34'34"W	6.00'
L227	S00°25'26"E	4.83'
L228	S89°27'28"W	40.39'
L229	N67°55'24"W	47.73'
L230	N45°25'13"W	55.48'
L231	N44°51'47"E	51.53'
L232	N00°00'00"E	29.98'
L233	N22°30'00"W	38.62'
L234	N30°14'52"W	79.32'
L235	N38°54'13"W	9.67'
L236	N61°24'13"W	16.95'
L237	S73°35'47"W	28.21'
L238	N16°24'13"W	4.08'
L239	S73°35'47"W	5.42'
L240	N16°24'13"W	10.99'
L241	N61°31'06"E	146.93'
L242	N61°31'06"E	13.93'
L243	S28°28'54"E	22.35'
L244	S28°28'54"E	28.03'
L245	S17°12'42"E	129.25'

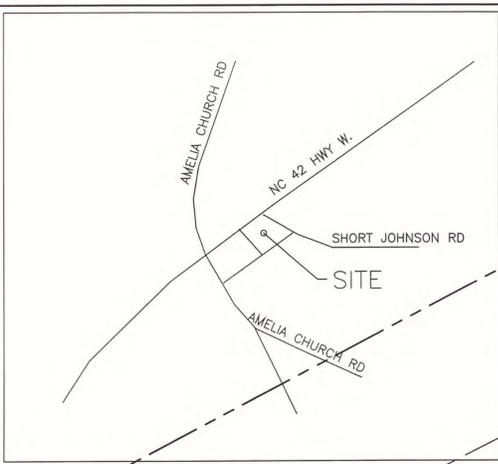
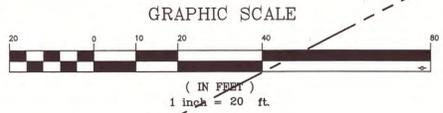
LINE TABLE		
LINE	BEARING	DISTANCE
L246	N87°58'51"E	127.85'
L247	N87°58'27"E	33.27'
L248	N87°58'27"E	53.19'
L249	N87°58'27"E	29.62'
L250	N87°58'27"E	78.04'
L251	N50°53'25"E	27.62'
L252	S87°58'51"W	6.05'
L253	N02°01'09"W	11.77'
L254	N02°01'09"W	51.71'
L255	N62°15'40"W	12.77'
L256	N62°15'40"W	9.05'
L257	N00°30'04"E	96.31'
L258	N05°08'43"W	68.21'
L259	S81°14'35"W	91.55'
L260	N18°51'34"W	44.83'
L261	N18°51'34"W	20.03'
L262	N18°51'34"W	35.61'
L263	S59°36'08"W	25.18'
L264	S59°36'08"W	205.32'
L265	N35°06'30"W	8.77'
L266	N35°06'30"W	29.70'
L267	N35°06'30"W	7.21'
L268	N69°48'37"W	25.71'
L269	N28°28'54"W	79.10'
L270	N28°28'54"W	20.00'
L271	N28°28'54"W	151.26'
L272	S69°48'37"E	11.25'
L273	S35°06'30"E	12.65'
L274	S35°06'30"E	17.72'
L275	N59°36'08"E	212.51'
L276	N39°58'39"W	25.24'
L277	N39°58'39"W	32.78'
L278	N39°58'39"W	60.42'
L279	S61°31'06"W	17.93'
L280	S61°31'06"W	43.70'
L282	N61°31'06"E	43.71'
L283	N61°31'06"E	30.00'
L284	N61°31'06"E	4.26'
L285	S39°58'39"E	10.21'
L286	S39°58'39"E	89.35'
L287	S39°58'39"E	2.27'
L288	S39°58'39"E	36.33'
L289	N59°36'08"E	3.79'
L290	S18°51'34"E	10.45'
L291	S18°51'34"E	1.68'
L292	S18°51'34"E	46.96'
L293	S18°51'34"E	20.03'
L294	S18°51'34"E	29.10'
L295	N81°14'35"E	82.12'
L296	N44°24'13"E	40.54'
L297	N44°24'13"E	39.27'
L298	N44°24'13"E	35.87'
L299	N07°50'39"E	76.34'
L300	N36°54'30"W	17.17'
L301	N36°54'30"W	11.69'
L302	N36°54'30"W	20.22'
L303	N36°54'30"W	28.31'
L304	N36°54'30"W	4.01'
L305	N53°05'30"E	20.00'
L306	S36°54'30"E	6.97'
L307	S36°54'30"E	28.31'

LINE TABLE		
LINE	BEARING	DISTANCE
L308	S36°54'30"E	20.22'
L309	S36°54'30"E	14.47'
L310	S36°54'30"E	19.66'
L311	S07°50'39"W	91.18'
L312	S44°24'13"W	34.41'
L313	S44°24'13"W	38.98'
L314	S44°24'13"W	47.61'
L315	S05°08'43"E	74.74'
L316	S00°30'04"W	84.61'
L317	S62°15'40"E	2.90'
L318	S62°15'40"E	5.64'
L319	N86°25'38"E	12.26'
L320	N86°33'32"E	111.99'
L321	S59°43'46"E	117.23'
L322	S59°43'46"E	4.50'
L323	S11°14'28"W	43.64'
L324	S78°03'	



- LEGEND**
- EIP - EXISTING IRON PIPE
 - IPIP - IRON PIPE SET
 - NIPS - NO POINT SET
 - CONCRETE MONUMENT
 - WATER VALVE
 - SEWER MANHOLE
 - CATCH BASIN
 - ADJOINING LOT LINES
 - SEWER EASEMENT
 - FENCE
 - POWER POLE
 - OVERHEAD WIRE

VICINITY MAP
NOT TO SCALE



BLAKELY DESIGN GROUP
Landscape Architecture Site Planning

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E-Mail: taylor@blakelydesign.net

EXISTING CONDITIONS PLAN

AMELIA STATION
N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15

SCALE 1"=20'

DRAWN BTB

JOB NO.

REVISIONS

SHEET

EX.0



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 Telephone
 E-Mail taylor@blakelydesign.net

GRADING & DRAINAGE PLAN

AMELIA STATION

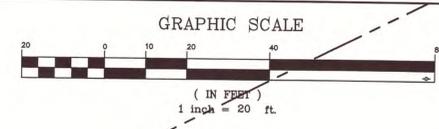
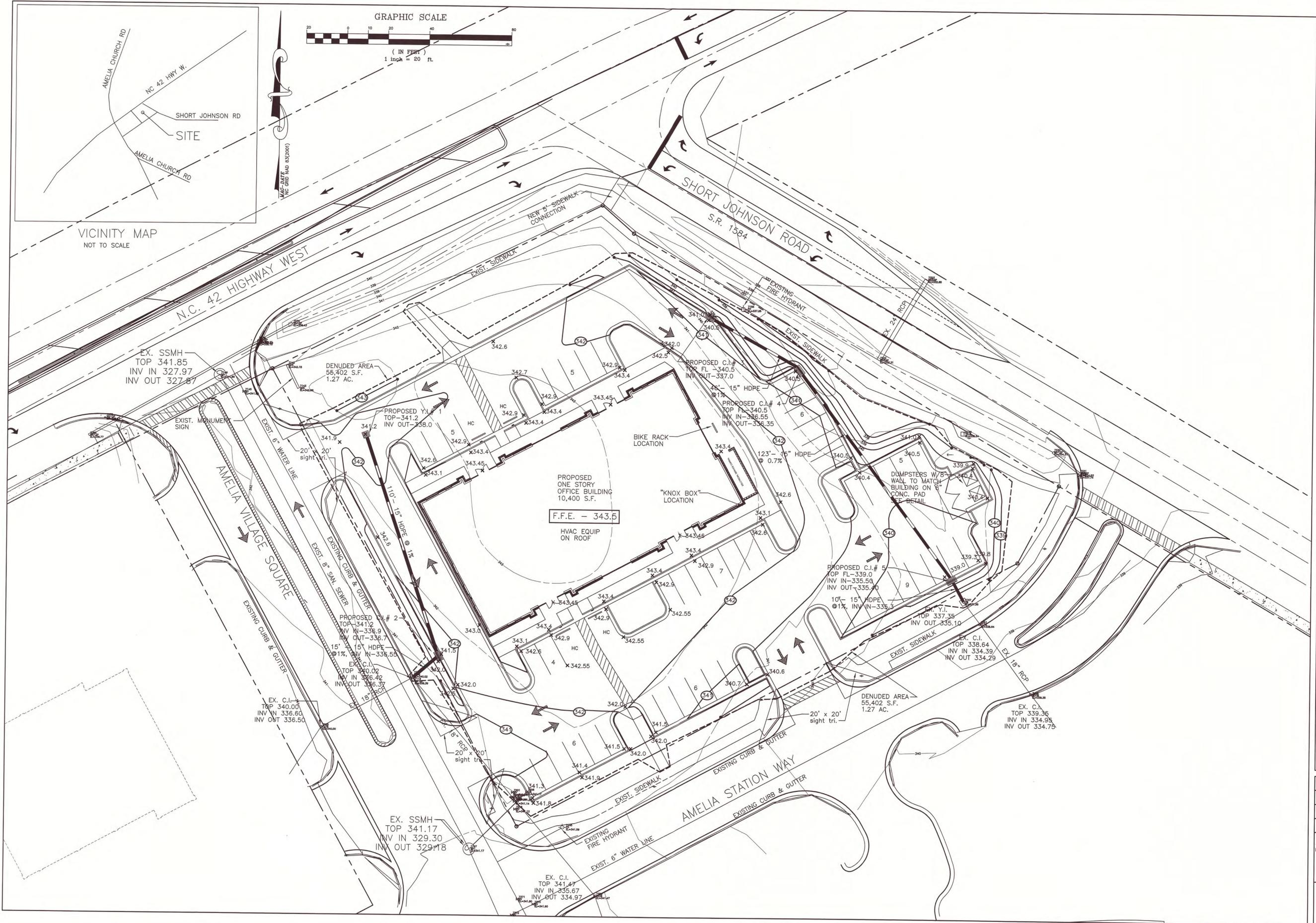
N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15
 SCALE 1"=20'
 DRAWN BTB
 JOB NO.

REVISIONS
 11-17-15 15% REVISED
 PER TOWN STAFF COMMENTS

SHEET
C2.0

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 Landscape Architecture Site Planning
 700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
 Telephone (919) 870-1868 Fax (919) 870-0752
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LANDSCAPE PLAN
AMELIA STATION
 CLAYTON, N.C.
 N. C. 42 HIGHWAY WEST,

DATE OCT 30, 15
 SCALE 1"=20'
 DRAWN BTB
 JOB NO.
 REVISIONS
 11-17-15 REVISED PER TOWN STAFF COMMENTS
 SHEET
C3.0

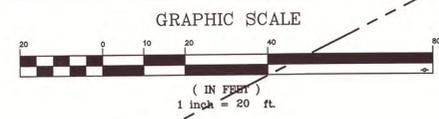
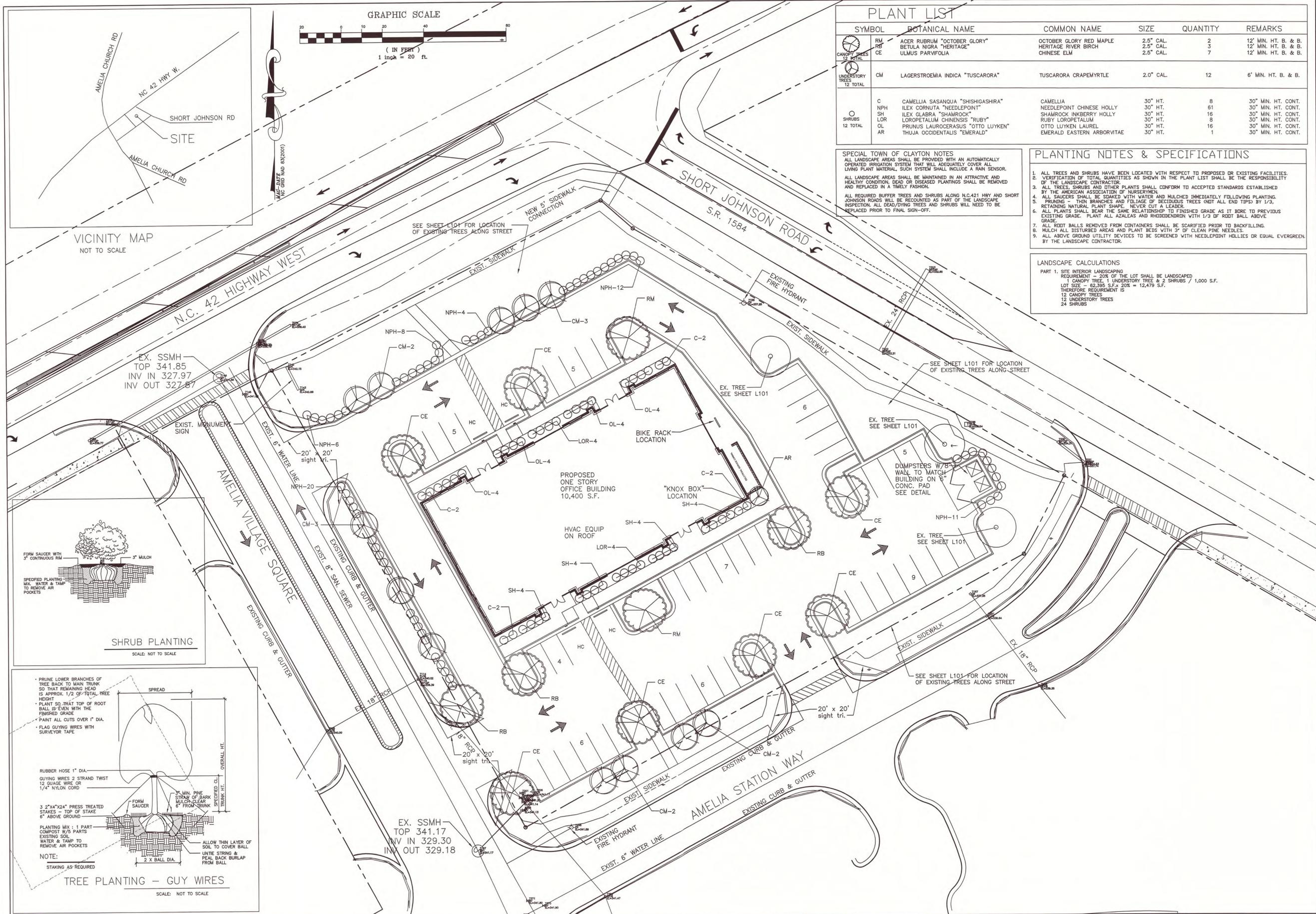
PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
CANOPY TREES 12 TOTAL	RM	ACER RUBRUM "OCTOBER GLORY"	2.5" CAL.	2	12' MIN. HT. B. & B.
	CE	BETULA NIGRA "HERITAGE"	2.5" CAL.	3	12' MIN. HT. B. & B.
	CE	ULMUS PARVIFOLIA	2.5" CAL.	7	12' MIN. HT. B. & B.
UNDERSTORY TREES 12 TOTAL	CM	LAGERSTROEMIA INDICA "TUSCARORA"	2.0" CAL.	12	6' MIN. HT. B. & B.
SHRUBS 12 TOTAL	C	CAMELLIA SASANQUA "SHISHIGASHIRA"	30" HT.	8	30" MIN. HT. CONT.
	NPH	ILEX CORNUTA "NEEDLEPOINT"	30" HT.	61	30" MIN. HT. CONT.
	SH	ILEX GLABRA "SHAMROCK"	30" HT.	16	30" MIN. HT. CONT.
	LOR	LOROPETALUM CHINENSIS "RUBY"	30" HT.	8	30" MIN. HT. CONT.
	OL	PRUNUS LAUROCARASUS "OTTO LUYKEN"	30" HT.	16	30" MIN. HT. CONT.
	AR	THUJA OCCIDENTALIS "EMERALD"	30" HT.	1	30" MIN. HT. CONT.

SPECIAL TOWN OF CLAYTON NOTES
 ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
 ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
 ALL REQUIRED BUFFER TREES AND SHRUBS ALONG N.C.42 HWY AND SHORT JOHNSON ROADS WILL BE RECOUNTED AS PART OF THE LANDSCAPE INSPECTION. ALL DEAD/DYING TREES AND SHRUBS WILL NEED TO BE REPLACED PRIOR TO FINAL SIGN-OFF.

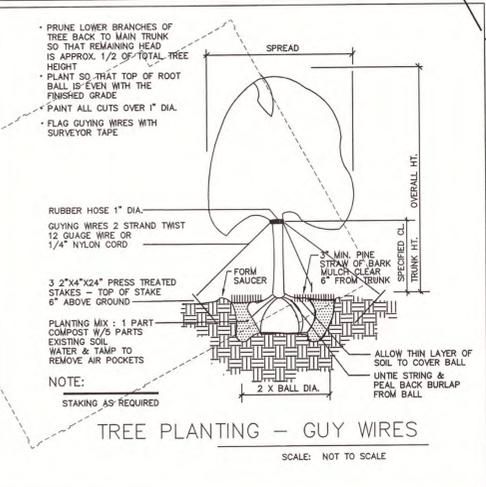
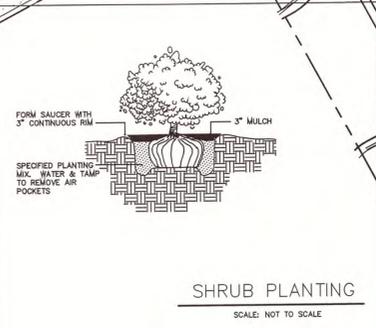
PLANTING NOTES & SPECIFICATIONS

- ALL TREES AND SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL TREES, SHRUBS AND OTHER PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL SAUCERS SHALL BE SEALED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING - THIN BRANCHES AND FOLIAGE OF DECIDUOUS TREES (NOT ALL END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. NEVER CUT A LEADER.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. PLANT ALL AZALEAS AND RHODODENDRONS WITH 1/3 OF ROOT BALL ABOVE GRADE.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- MULCH ALL DISTURBED AREAS AND PLANT BEDS WITH 3" OF CLEAN PINE NEEDLES.
- ALL ABOVE GROUND UTILITY DEVICES TO BE SCREENED WITH NEEDLEPOINT HOLLIES OR EQUAL EVERGREEN BY THE LANDSCAPE CONTRACTOR.

LANDSCAPE CALCULATIONS
 PART 1. SITE INTERIOR LANDSCAPING
 REQUIREMENT - 20% OF THE LOT SHALL BE LANDSCAPED
 1 CANOPY TREE 1 UNDERSTORY TREE & 2 SHRUBS / 1,000 S.F.
 LOT SIZE - 62,395 S.F. x 20% = 12,479 S.F.
 THEREFORE REQUIREMENT IS
 12 CANOPY TREES
 12 UNDERSTORY TREES
 24 SHRUBS

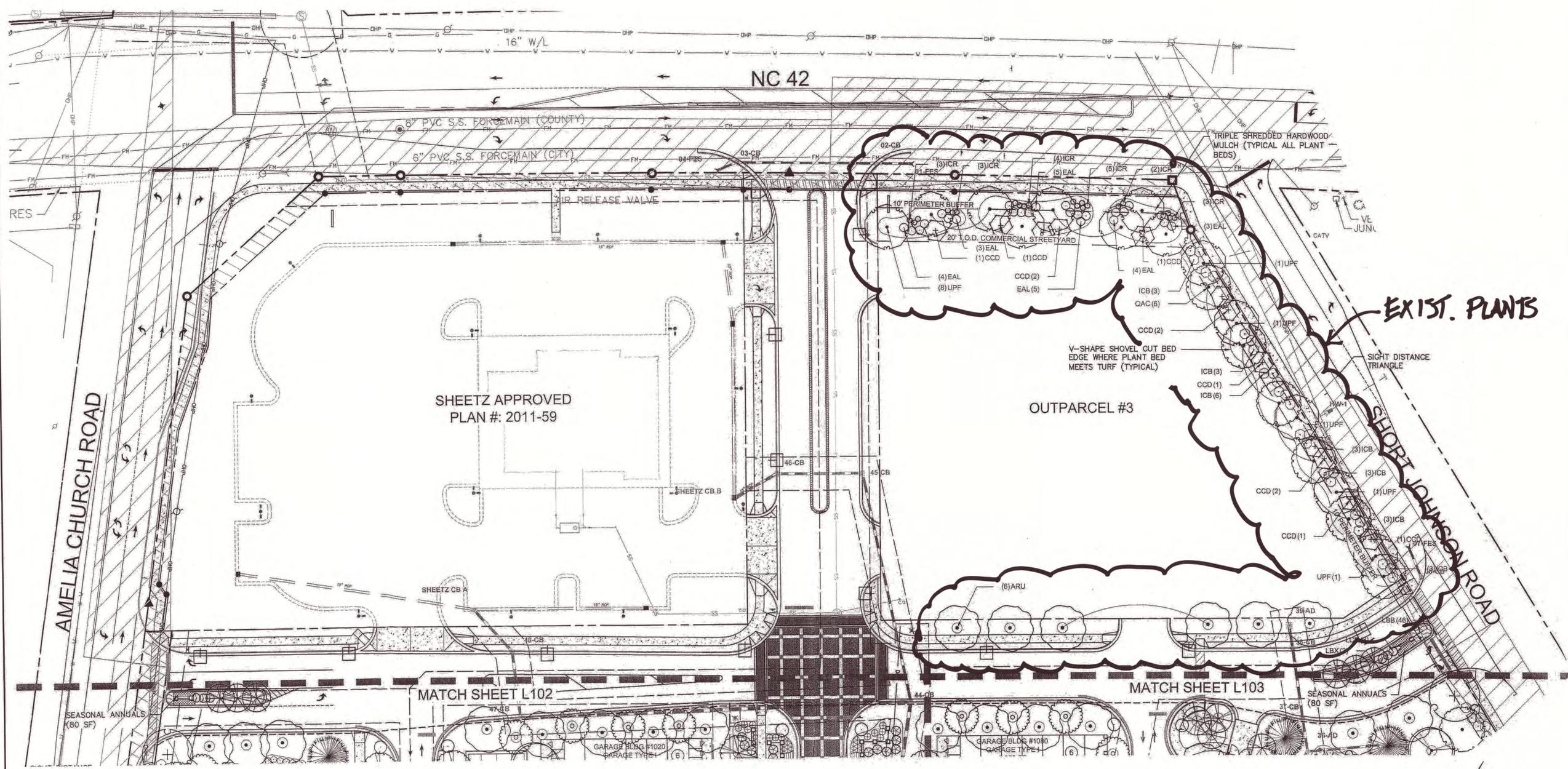


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REFER TO C001 FOR ALL NOTES



PLANT SCHEDULE NORTH

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
ARU	Acer rubrum / Red Maple	B # B	2.5" Cal	6" MIN.	6	Canopy Tree
CCD	Quercus canadensis / Eastern Redbud	B # B	4" MIN	4" MIN	12	Understory Tree
LBX	Lagerstroemia x "Biloxi" / Crape Myrtle	B # B			3	Understory Tree
QAC	Quercus acutissima / Sawtooth Oak	B # B	2.5" Cal		6	Canopy Tree
UPF	Ulmus parvifolia / Chinese Elm	B # B	2.5" Cal		13	Canopy Tree
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	HGT.	QTY	REMARKS	
EAL	Euonymus alatus / Burning Bush	---	18"	24		
ICB	Ilex cornuta "Burfordii" / Burford Chinese Holly	---	30"	27		
ICR	Ilex cornuta "Rotunda" / Dwarf Chinese Holly	---	18"	20		
LCD	Loropetalum chinense "Danima" / Chinese Fringe-Flower	---	18"	3		
GRASSES	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS		
	Liriodendron muscari "Big Blue" / Big Blue Lilyturf	4" pot @ 18" oc	46			

LANDSCAPE CALCULATIONS - OUTPARCEL #3

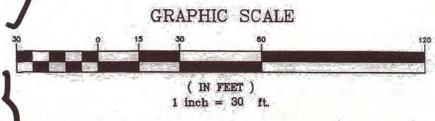
PART 2: BUFFER REQUIREMENTS
 CLASS C BUFFER
 BERM OR FENCE WITH 2 CANOPY TREES, 3 UNDERSTORY TREES, 12 SHRUBS PER 100' OF FRONTAGE
 440 LF / 100 = 4.4
 4.4 X 2 = 8.8 CANOPY TREES
 4.4 X 3 = 13.2 UNDERSTORY TREES
 4.4 X 12 = 52.8 SHRUBS

TOD II REQUIREMENTS - ADJACENT TO NC 42 HWY
 1 TREE PER 1,000 SF OF STREET YARD (20') & 5 SHRUBS PER 1,000 SF OF STREET YARD
 3,750 SF / 1,000 = 3.75 X 1 = 4 TREES
 3,750 SF / 1,000 = 3.75 X 5 = 19 SHRUBS

PART 3: STREETYARD TREE REQUIREMENTS (SHORT JOHNSON RD.)
 1 CANOPY TREE PER 40 LF
 240 LF / 40 = 6 CANOPY TREES

Town of Clayton
 Planning Department
 Date: 5/15/13
 By: [Signature]
 Plan Approval

SPECIAL PLANT NOTE
 THIS SHEET IS FOR INFORMATION PURPOSES ONLY THE PLANTS SHOWN ON THIS SHEET WERE INSTALLED WITHIN THE PAST YEAR.
 SOME OF THE PLANTS IN THE BUFFER ALONG SHORT JOHNSON ROAD WILL NEED TO BE TEMPORARILY RELOCATED TO ACCOMPLISH THE REQUIRED GRADING IN THAT AREA.



LANDSCAPE PLAN - NORTH

Rev #	Revision	Date
10	FOR CONSTRUCTION SET	02.26.13
9	ISSUE RESUBMITTAL	12.19.12

OWNER/DEVELOPER
 AMELIA STATION, LLC
 109 RAPHAEL DRIVE
 CARY, NC 27511
 919.522.5626

APARTMENTS AT
 AMELIA STATION
 CLAYTON, NC

CONSTRUCTION DRAWING SUBMITTAL

STEWART
 451 FAYETTEVILLE ST. STE. 400
 FAYETTEVILLE, NC 28404
 PROJECT # C11046

Project No. C11046
 Drawn By JWP/JG/HNJ
 Checked By GPW
 Issue Date: 05.24.12



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E-Mail: info@blakelydesign.net

UTILITY PLAN

AMELIA STATION

N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE OCT 30, 15

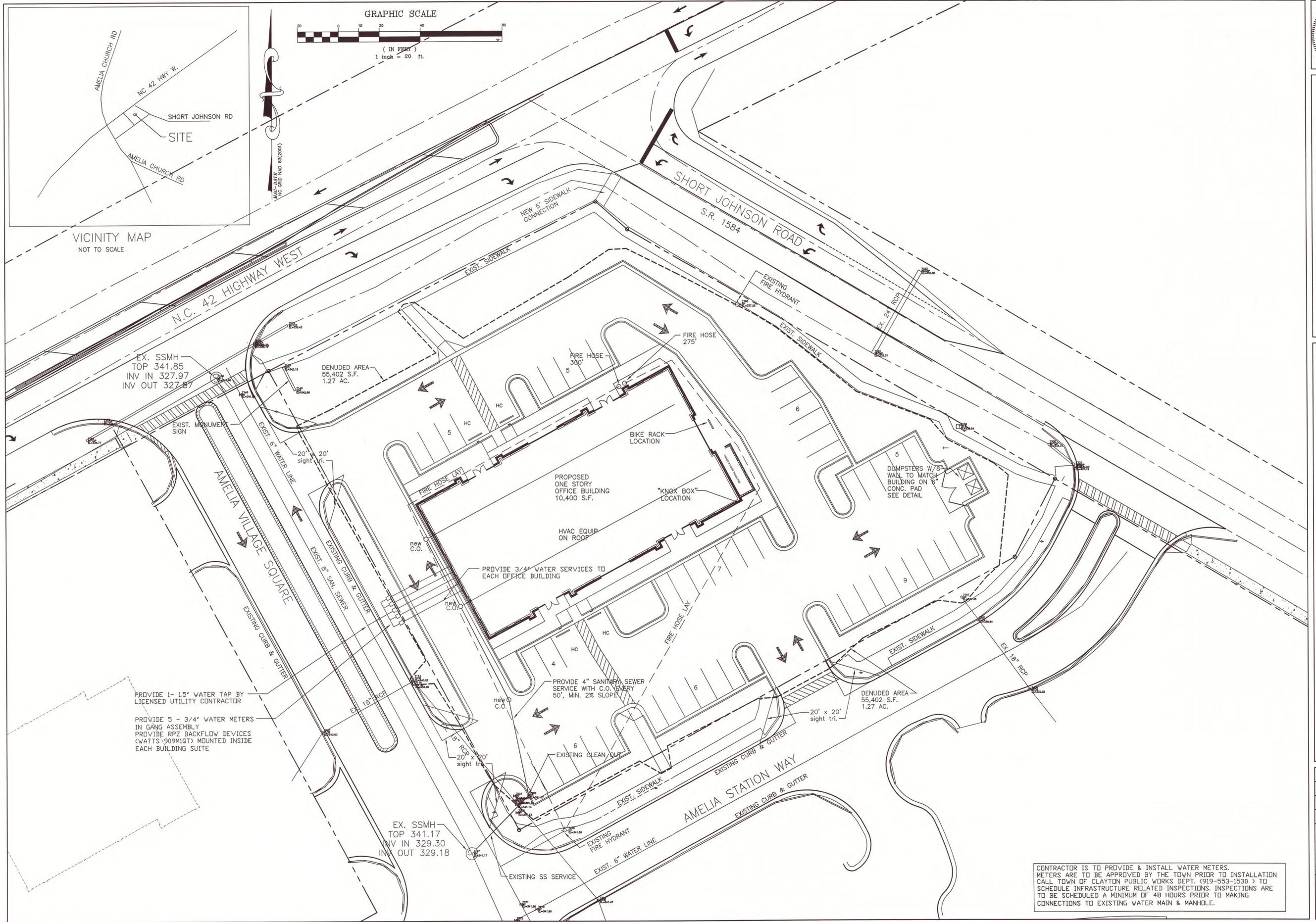
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JOB NO.

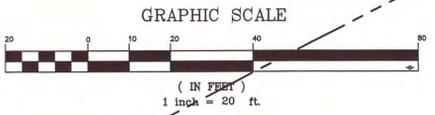
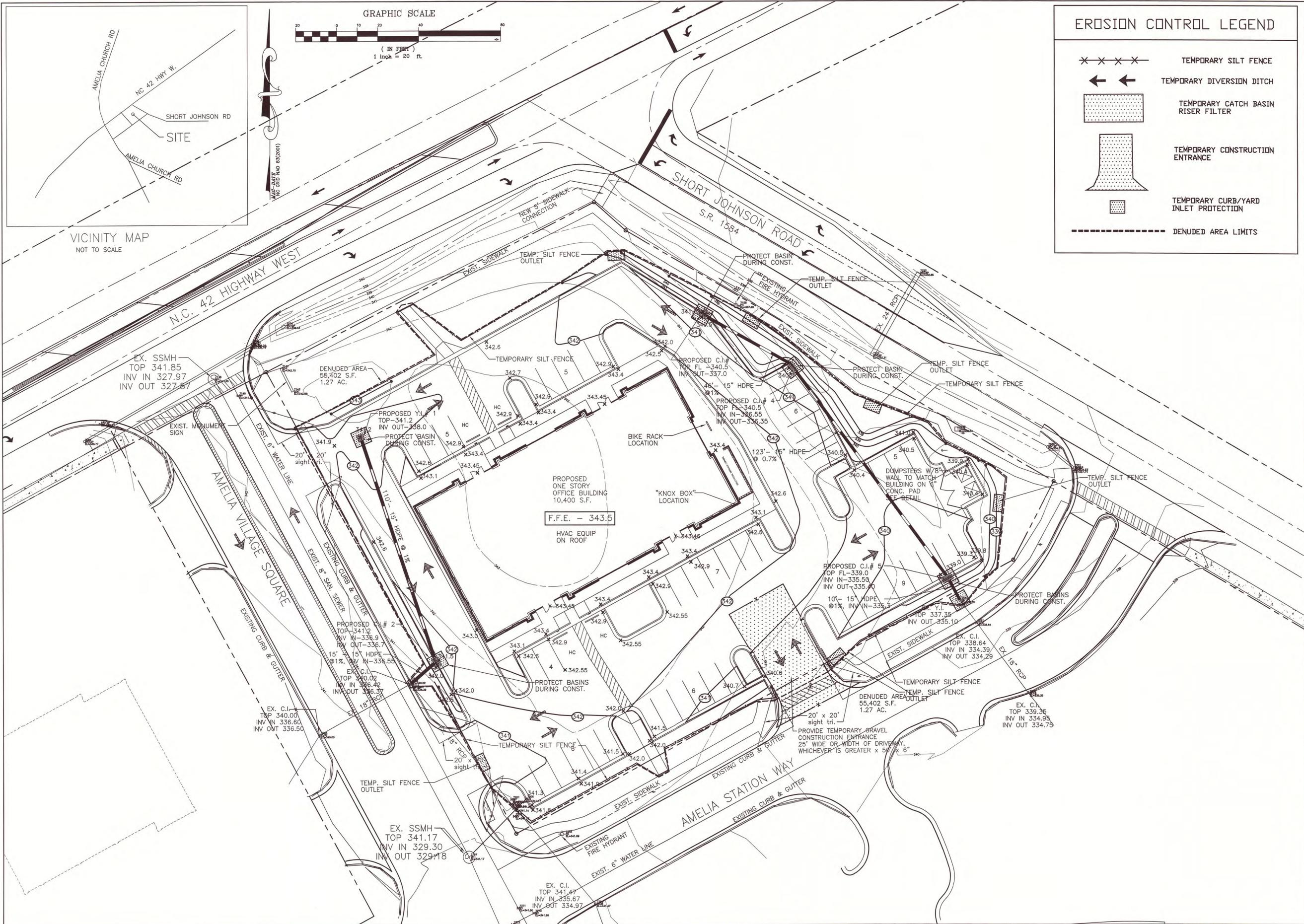
REVISIONS
11-17-15 3RD REVISED
PER TOWN STAFF COMMENTS

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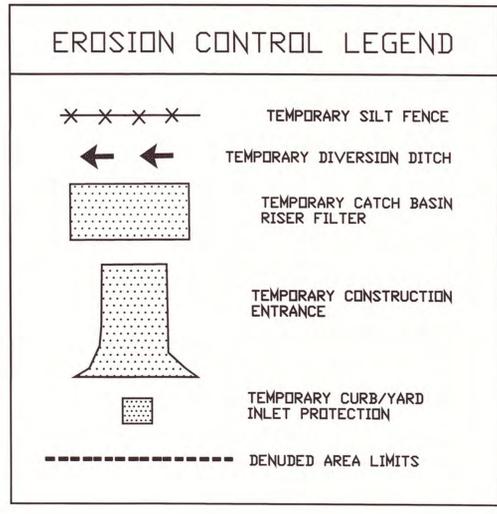


CONTRACTOR IS TO PROVIDE & INSTALL WATER METERS. METERS ARE TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION CALL TOWN OF CLAYTON PUBLIC WORKS DEPT. (919-553-1530) TO SCHEDULE INFRASTRUCTURE RELATED INSPECTIONS. INSPECTIONS ARE TO BE SCHEDULED A MINIMUM OF 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING WATER MAIN & MANHOLE.

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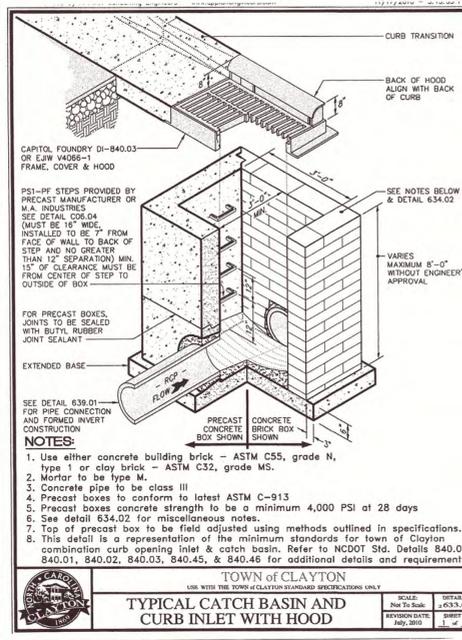
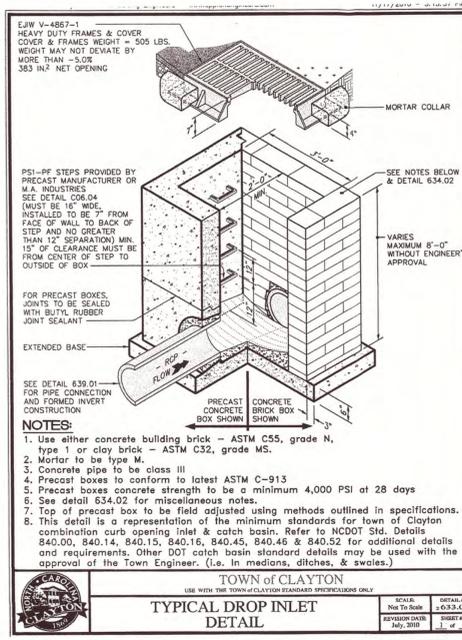
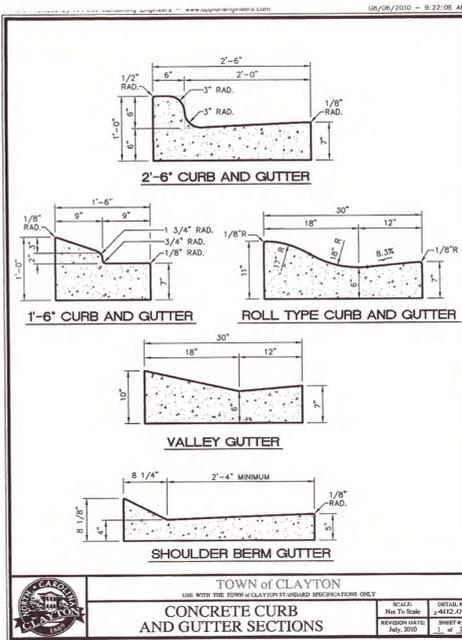
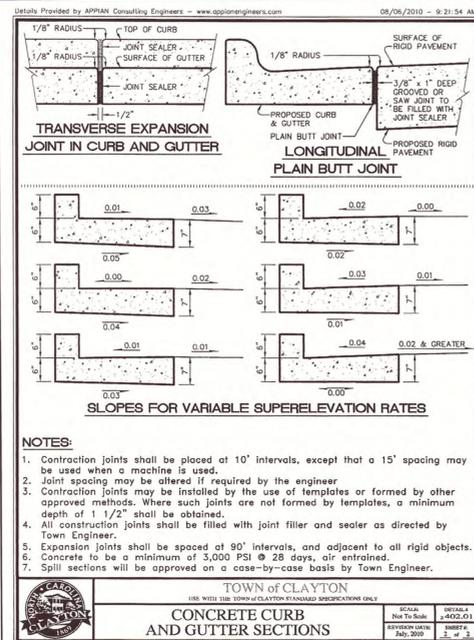
700 Exposition Place, Suite 105, Raleigh, North Carolina, 27615
Telephone: (919) 870-1886 Fax: (919) 870-0752
taylor@blakelydesign.com E-Mail: _____

EROSION CONTROL PLAN

AMELIA STATION
CLAYTON, N.C.

DATE	OCT 30, 15
SCALE	1"=20'
DRAWN	BTB
JOB NO.	
REVISIONS	11-17-15 btb REVISED PER TOWN STAFF COMMENTS
SHEET	C5.0

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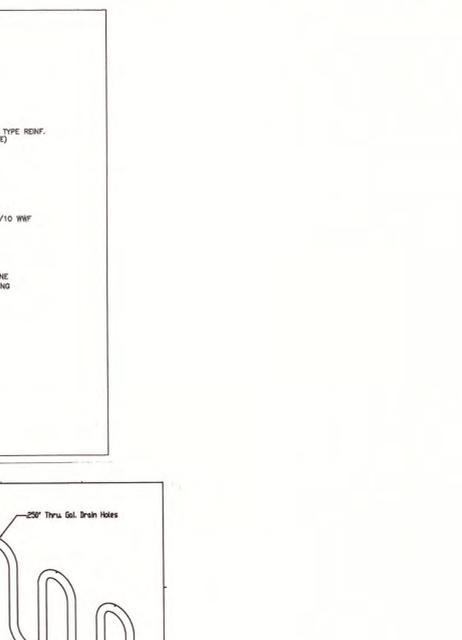
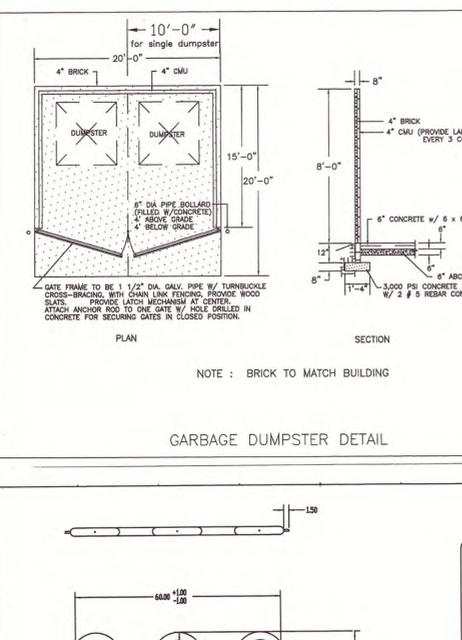
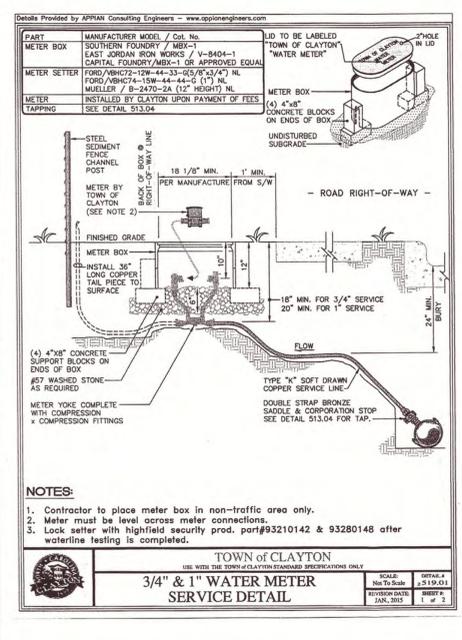
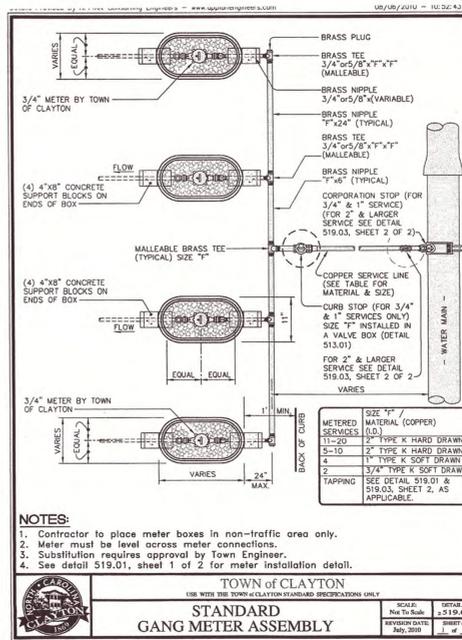
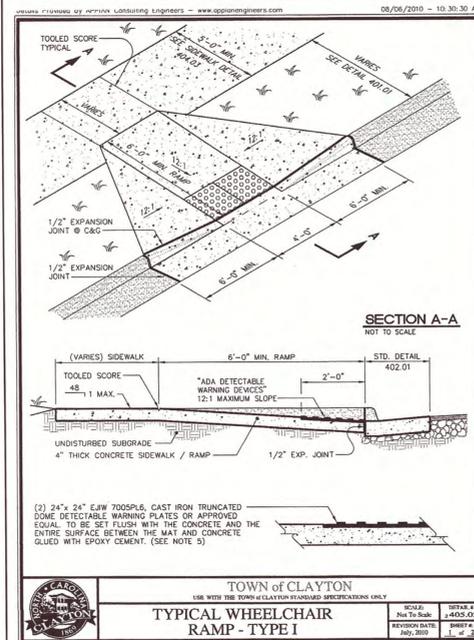


Drainage Structures Notes:

- Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete. The following shall apply:
 - Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete.
 - Any non-standard box (non-standard meaning not shown in this manual), is to be designed by a NC Professional Engineer and approved by the Town Engineer.
 - The maximum height of an un-reinforced masonry drainage structure with 8" walls shall be limited to 8'-0" from invert of the outlet pipe to the top of the casting. Depths greater than 8'-0" shall have walls 12" thick. Basins over 12" in total depth shall be designed by a NC Professional Engineer and approved by the Town Engineer. Four inch walls are not allowed on drainage structures. Bottom slab on structures shall be reinforced when box depth exceeds 8 ft.
 - Steps are to be provided on all basins deeper than 36".
 - Steps are to be PS1-PF as manufactured by M. A. Industries or an approved equal. Locate on non-pipe walls. Steps shall meet OSHA requirements.
 - Mortar in masonry boxes is to be type M.
 - Clay brick structures are not allowed.
 - Concrete pipe is to be minimum class III.
 - Concrete building brick is to meet ASTM C-55, Grade N, Type 1 and must be NCDOT standard.
 - All cast-in-place or precast concrete drainage structures located in paved areas accessible to truck loadings to be designed to meet AASHTO HS 20-44 loading. See manufacturers details for wall, top and bottom thickness.
 - Inside of boxes shall allow for 6" of clearance on both sides of pipe. The dimension shown on the structures in this manual are minimum dimensions. For boxes with greater dimensions, either corbel walls, add a reinforced concrete top slab or lengthen box by adding additional grates & frames. Top and bottom slabs to be designed by NC Professional Engineer and approved by the Town Engineer for H20 loading.
 - Maximum horizontal span of an 8" thick wall shall not exceed 8' for boxes of 8 feet or less in depth and 10 feet for boxes 12 feet or less in depth.

TOWN of CLAYTON
 DRAINAGE STRUCTURES NOTES

SCALE: Not To Scale
 SHEET # 4022.01
 REVISION DATE: July, 2009
 SHEET # 1 of 3



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CONSTRUCTION DETAILS

AMELIA STATION
 N. C. 42 HIGHWAY WEST, CLAYTON, N.C.

DATE: OCT 30, 15
 SCALE: 1"=20'
 DRAWN: BTB
 JOB NO.:
 REVISIONS:
 SHEET: C6.0



GONTRAM ARCHITECTURE, INC.

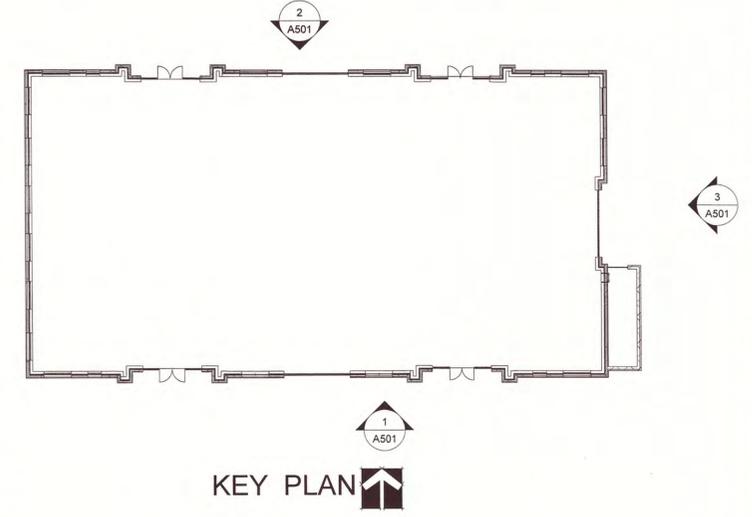
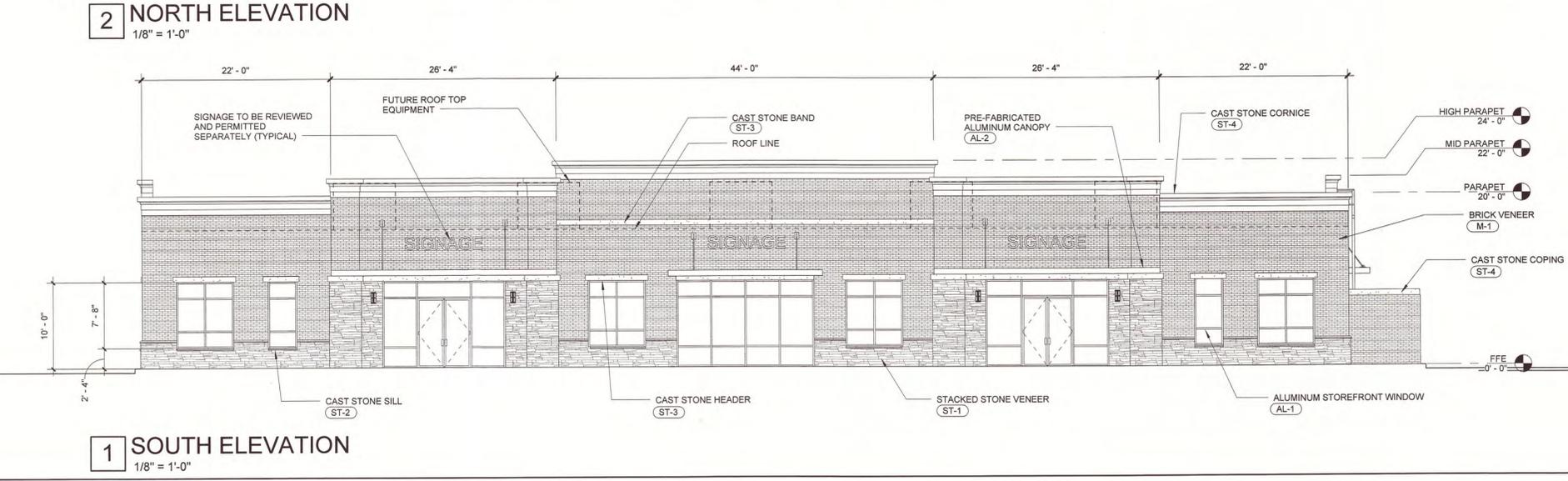
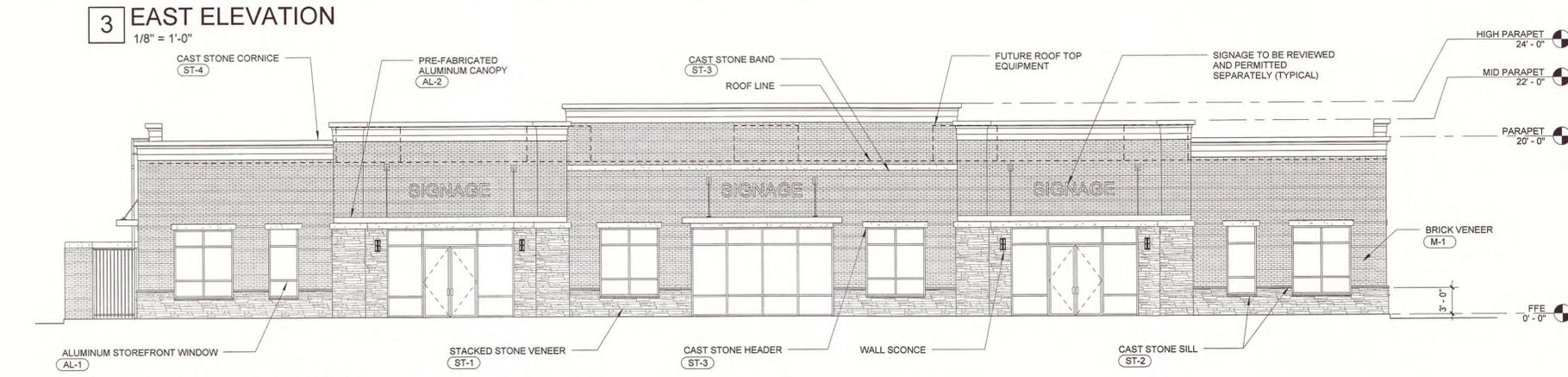
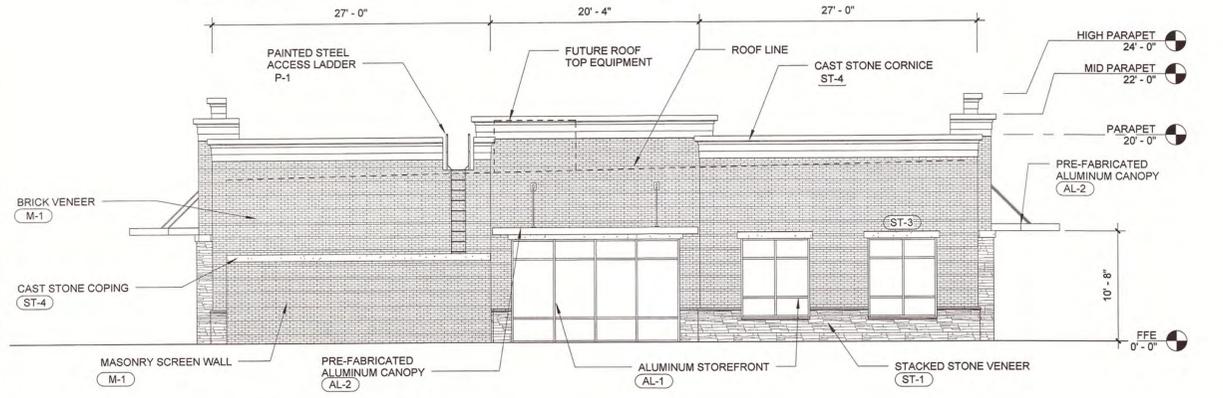
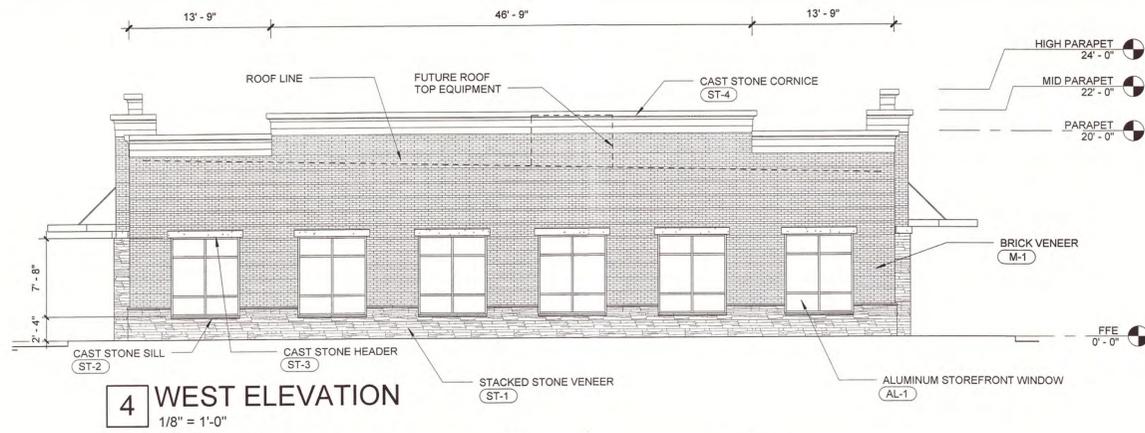
220 HORIZON DRIVE, SUITE 221
 RALEIGH, NC 27615
 PHONE: 919.876.5331
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 eddie@gontramarchitecture.com
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EXTERIOR COLOR SCHEDULE

KEY	LOCATION	MANUFACTURER/SUPPLIER	COLOR AND MATERIAL	DESCRIPTION/SPECIFICATION
ST-1	WALL BASE, ENTRYWAY COLUMNS	QUALITY STONE VENEER OR EQUAL	COLOR: POWDER RIDGE STYLE, OHIO DRYSTACK MORTAR COLOR: GRAY	STONE TO MATCH SHEETZ, OR SIMILAR COLOR AND PATTERN
ST-2	WALL BASE, CAP, WINDOW SILL	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
ST-3	8" BANDS, WINDOW HEADER	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
ST-4	CORNICE, CAPS	CAST STONE SYSTEMS OR EQUAL	COLOR: NATURAL	
M-1	BRICK VENEER	GLEN GERY OR EQUAL	COLOR: ST WINSOR MORTAR COLOR: GRAY	BRICK TO MATCH SHEETZ, OR SIMILAR COLOR AND PATTERN DIMENSIONS 3 5/8" X 2 3/4" X 7 5/8" 3/8" JOINTS TOOLED WITH GRAPEVINE STYLE JOINT.
AL-1	ALUMINUM STOREFRONT AND WINDOWS	KAWNEER OR EQUAL	COLOR: CHAMPAGNE	GLAZING TO BE 1" IGU, LOW-E GLASS, TINTED
AL-2	ALUMINUM CANOPY	MAPES OR EQUAL	COLOR: ANTIQUE BRONZE	
P-1	LADDER	SHERWIN WILLIAMS OR EQUAL	COLOR: MATCH CANOPY	



**AMELIA STATION
 MEDICAL OFFICE BUILDING**
 CLAYTON, NC

PLOT DATE: 11/17/15
 ISSUED: 11/17/2015
 ELEVATION REVIEW

DRAWN BY: pja
 PROJECT NO.: 15061
 CONTENTS: ELEVATIONS

APPROVED: EJJ
 RECORD:

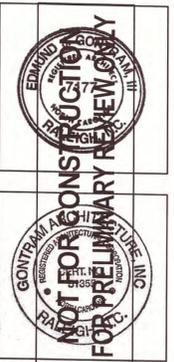
SHEET: **A501**
 OF 2



GONTRAM
ARCHITECTURE, INC.

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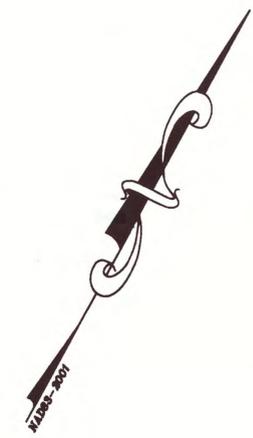
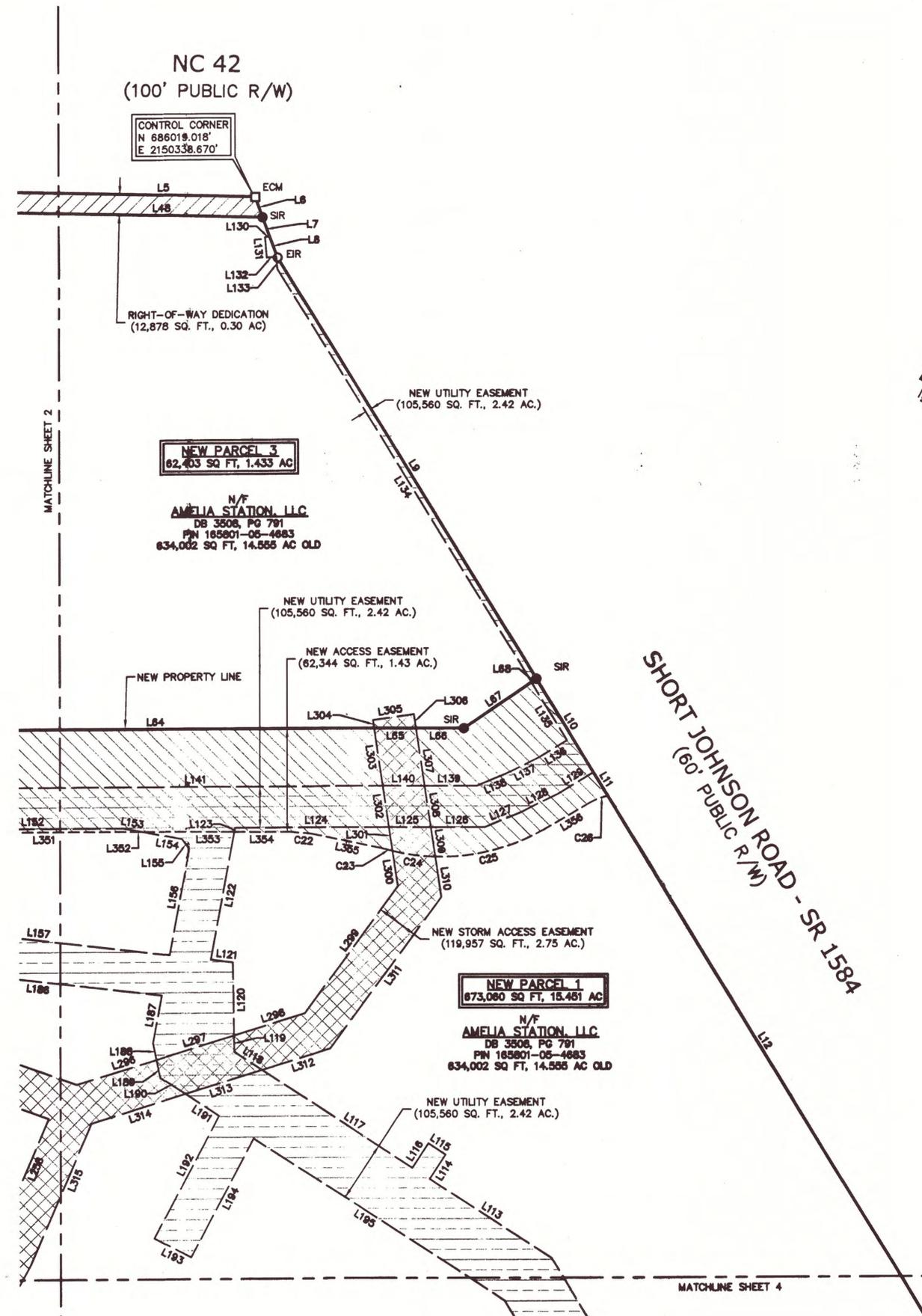
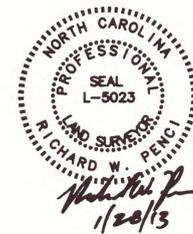
AMELIA STATION
MEDICAL OFFICE BUILDING
CLAYTON, NC

PLOT DATE:
11/17/15
ISSUED:
11/17/2015
ELEVATION REVIEW

DRAWN BY: PJA	APPROVED: EJG
PROJECT NO.: 15061	RECORD:

CONTENTS:
PERSPECTIVES

SHEET:
A502
OF 2



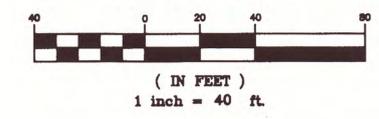
- RIGHT-OF-WAY DEDICATION
12,878 SQ. FT., 0.30 AC.
- ACCESS EASEMENTS
70,361 SQ. FT., 1.62 AC.(TOTAL)
- STORM ACCESS EASEMENT
119,628 SQ. FT., 2.75 AC.
- UTILITY EASEMENT
105,560 SQ. FT., 2.42 AC.

SEE SHEET 1 FOR GENERAL NOTES AND CERTIFICATIONS
SEE SHEET 7 FOR LINE & CURVE TABLES

LEGEND

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING IRON ROD
- EXISTING CONCRETE MONUMENT
- SET IRON ROD
- SET PK NAIL
- PROPERTY LINE
- OLD PROPERTY LINE
- ACCESS EASEMENT LINE
- STORM EASEMENT LINE
- UTILITY EASEMENT LINE

GRAPHIC SCALE



State of North Carolina, Johnston Co.
Filed for Registration at 5:10:07 P.M.
March 28 2013 in the
Register of Deeds Office
Recorded in Book 78 Page 261
Craig Olive
Register of Deeds
By Melody Mitchell
Deputy

FINAL SUBDIVISION, ACCESS EASEMENTS,
STORM ACCESS EASEMENT, UTILITY EASEMENT
& RIGHT-OF-WAY DEDICATION PLAT FOR:
AMELIA STATION, LLC
CLAYTON TOWNSHIP
JOHNSTON COUNTY, NORTH CAROLINA
DATE: 2/28/12 SCALE: 1"=40'
SHEET 4 OF 7



STEWART

REVISED: 7/6/12
REVISED: 3/28/12
REVISED: 10/1/12
REVISED: 11/17/12

421 FAYETTEVILLE ST, STE 400 FIRM LICENSE #: C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT #: C11046

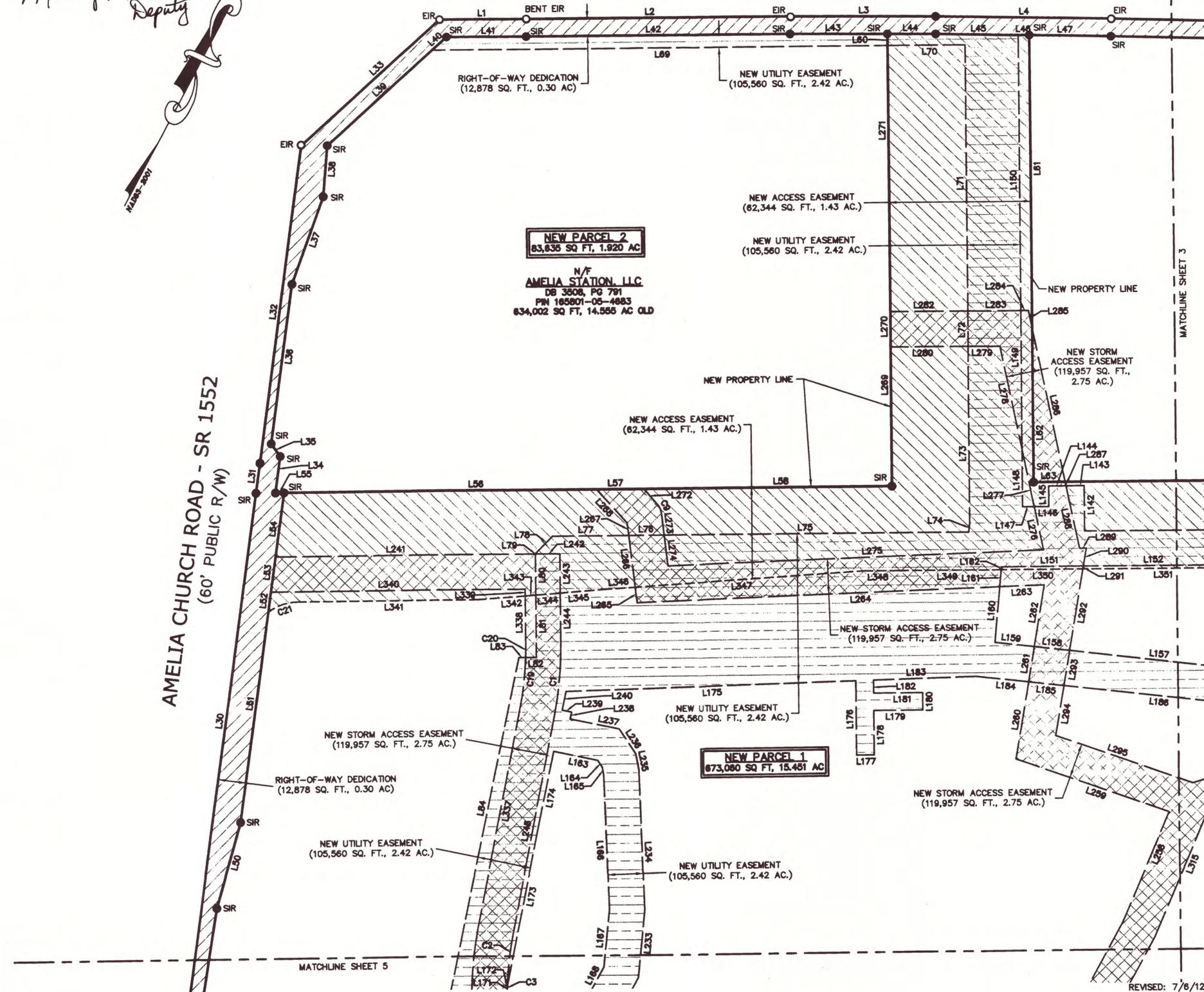
State of North Carolina, Johnston Co.
 filed for Registration at 5:10:00 P.M.
 March 28 2013 in the
 Register of Deeds Office
 recorded in Book 78 Page 260
 Craig Olive
 Register of Deeds

Melody Mitchell
 Deputy



NC 42
 (100' PUBLIC R/W)

AMELIA CHURCH ROAD - SR 1552
 (60' PUBLIC R/W)



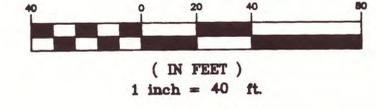
- RIGHT-OF-WAY DEDICATION
12,878 SQ. FT., 0.30 AC.
- ACCESS EASEMENTS
70,361 SQ. FT., 1.62 AC.(TOTAL)
- STORM ACCESS EASEMENT
119,628 SQ. FT., 2.75 AC.
- UTILITY EASEMENT
105,560 SQ. FT., 2.42 AC.

SEE SHEET 1 FOR GENERAL NOTES AND CERTIFICATIONS
 SEE SHEET 7 FOR LINE & CURVE TABLES

LEGEND

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING IRON ROD
- EXISTING CONCRETE MONUMENT
- SET IRON ROD
- SET PK NAIL
- PROPERTY LINE
- OLD PROPERTY LINE
- ACCESS EASEMENT LINE
- STORM EASEMENT LINE
- UTILITY EASEMENT LINE

GRAPHIC SCALE



FINAL SUBDIVISION, ACCESS EASEMENTS,
 STORM ACCESS EASEMENT, UTILITY EASEMENT
 & RIGHT-OF-WAY DEDICATION PLAT FOR:
AMELIA STATION, LLC
 CLAYTON TOWNSHIP
 JOHNSTON COUNTY, NORTH CAROLINA
 DATE: 2/28/12 SCALE: 1"=40'
 SHEET 3 OF 7



STEWART

REVISED: 7/6/12
 REVISED: 3/28/12
 REVISED: 10/1/12
 REVISED: 11/17/12

421 FAYETTEVILLE ST, STE 400 FIRM LICENSE #: C-1051
 RALEIGH, NC 27601 www.stewartinc.com
 T 919.360.8750 PROJECT #: C11046

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N61°38'34"E	48.90'
L2	N61°31'53"E	149.62'
L3	N62°02'30"E	82.36'
L4	N62°40'42"E	98.93'
L5	N63°02'08"E	129.55'
L6	S48°19'47"E	10.74'
L7	S48°19'47"E	10.02'
L8	S48°19'47"E	10.76'
L9	S59°43'46"E	241.29'
L10	S59°43'46"E	53.09'
L11	S59°43'46"E	13.43'
L12	S59°43'46"E	406.51'
L13	S59°43'46"E	137.22'
L14	N27°53'05"E	35.40'
L15	S64°54'20"E	51.10'
L16	S26°17'12"W	30.01'
L17	S26°17'12"W	120.40'
L18	S26°17'12"W	76.51'
L19	S26°17'12"W	28.08'
L20	S37°44'22"W	217.86'
L21	N74°48'27"W	12.68'
L22	N74°48'27"W	34.87'
L23	S03°48'03"E	104.99'
L24	S87°56'59"W	151.95'
L25	S87°56'59"W	224.46'
L26	S87°56'59"W	130.70'
L27	S88°03'45"W	278.81'
L28	S88°03'45"W	4.83'
L29	N20°13'51"W	149.63'
L30	N20°28'10"W	317.88'
L31	N20°27'35"W	17.02'
L32	N20°32'59"W	182.24'
L33	N19°48'47"E	105.68'
L34	N20°32'03"W	20.73'
L35	N63°28'40"W	8.81'
L36	N20°32'03"W	91.57'
L37	N08°16'57"W	52.68'
L38	N23°33'10"W	29.33'
L39	N19°48'47"E	79.90'
L40	N19°48'47"E	11.13'
L41	N61°38'34"E	45.08'
L42	N61°31'53"E	149.59'
L43	N62°02'30"E	54.99'
L44	N62°40'42"E	27.27'
L45	N62°40'42"E	46.53'
L46	N62°40'42"E	6.22'
L47	N62°40'42"E	46.10'
L48	N63°02'08"E	133.43'
L49	S19°18'40"E	232.01'
L50	S12°29'12"E	50.56'
L51	S20°25'32"E	120.77'
L52	S20°25'32"E	11.42'
L53	S20°25'32"E	20.20'
L54	S20°25'32"E	36.83'
L55	N61°31'06"E	4.89'
L56	N61°31'06"E	176.76'
L57	N61°31'06"E	26.63'
L58	N61°31'06"E	140.52'
L60	N28°28'54"W	6.66'
L61	S28°28'54"E	166.61'
L62	S28°28'54"E	87.56'

LINE TABLE		
LINE	BEARING	DISTANCE
L63	N61°31'06"E	17.81'
L64	N61°31'06"E	215.14'
L65	N61°31'06"E	20.22'
L66	N61°31'06"E	23.21'
L67	N27°28'26"E	39.71'
L68	N27°28'26"E	2.92'
L69	N61°29'35"E	257.97'
L70	N61°29'35"E	43.78'
L71	S28°27'12"E	151.28'
L72	S28°27'12"E	20.00'
L73	S28°27'12"E	100.20'
L74	S23°09'17"E	5.39'
L75	S61°31'06"W	172.35'
L76	S61°31'06"W	20.13'
L77	S61°31'06"W	43.04'
L78	S16°31'06"W	13.81'
L79	S28°28'54"E	0.23'
L80	S28°28'54"E	23.35'
L81	S28°28'54"E	35.22'
L82	S61°27'09"W	6.25'
L83	S61°27'09"W	3.86'
L84	S16°28'21"E	195.50'
L85	S46°15'20"E	112.46'
L86	S22°04'47"W	70.28'
L87	S67°04'47"W	5.77'
L88	S22°55'13"E	20.00'
L89	N67°04'47"E	14.05'
L90	N22°04'47"E	79.14'
L91	S71°58'33"E	33.70'
L92	N89°34'28"E	231.24'
L93	S83°16'52"E	83.83'
L94	N06°43'08"E	20.00'
L95	N83°16'52"W	24.44'
L96	N83°16'52"W	22.00'
L97	N44°34'34"E	17.82'
L98	N47°32'28"E	6.80'
L99	N47°32'28"E	12.67'
L100	N00°25'26"W	45.46'
L101	N45°25'26"W	42.45'
L102	N45°25'26"W	84.40'
L103	N00°25'26"W	17.14'
L104	N44°34'34"E	28.57'
L105	N86°25'38"E	233.31'
L106	S59°43'46"E	123.65'
L107	N75°16'14"E	19.24'
L108	N75°16'14"E	71.79'
L109	N30°16'14"E	47.64'
L110	N14°44'58"W	42.81'
L111	N30°15'02"E	16.19'
L112	N59°44'48"W	289.73'
L113	N85°16'25"W	70.32'
L114	N04°40'23"E	14.27'
L115	N85°19'37"W	10.00'
L116	S04°40'23"W	14.26'
L117	N85°16'25"W	86.74'
L118	N85°16'25"W	16.12'
L119	N29°19'20"W	7.91'
L120	N29°19'20"W	35.65'
L121	S68°13'08"W	10.84'
L122	N17°49'37"W	62.83'
L123	N17°49'37"W	1.99'

LINE TABLE		
LINE	BEARING	DISTANCE
L124	N61°31'06"E	74.58'
L125	N61°31'06"E	20.22'
L126	N61°31'06"E	26.35'
L127	N39°01'06"E	19.91'
L128	N35°06'37"E	19.19'
L129	N30°16'14"E	19.92'
L130	S56°40'33"W	2.27'
L131	S33°19'27"E	10.00'
L132	N56°40'33"E	4.57'
L133	S33°19'27"E	5.98'
L134	S59°43'46"E	236.64'
L135	S59°43'46"E	32.94'
L136	S30°16'14"W	16.16'
L137	S35°06'37"W	17.66'
L138	S39°01'06"W	15.25'
L139	S61°31'06"W	25.34'
L140	S61°31'06"W	20.22'
L141	S61°31'06"W	208.66'
L142	N28°28'54"W	25.78'
L143	S61°31'06"W	10.18'
L144	S61°31'06"W	9.82'
L145	S28°28'54"E	11.55'
L146	S61°31'06"W	8.24'
L147	S61°31'06"W	6.55'
L148	N28°27'12"W	32.12'
L149	N28°27'12"W	79.21'
L150	N28°27'12"W	156.73'
L151	N61°31'06"E	46.18'
L152	N61°31'06"E	83.89'
L153	N72°10'23"E	9.06'
L154	N72°10'23"E	19.65'
L155	S62°49'37"E	6.20'
L156	S17°49'37"E	51.86'
L157	S68°13'08"W	114.95'
L158	S68°13'08"W	20.03'
L159	S68°13'08"W	22.32'
L160	N23°09'17"W	31.80'
L161	N23°09'17"W	9.73'
L162	N23°09'17"W	1.67'
L163	N73°35'47"E	25.34'
L164	S61°24'13"E	4.68'
L165	S38°54'13"E	4.18'
L166	S30°14'52"E	76.45'
L167	S22°30'00"E	33.28'
L168	S00°00'00"E	17.74'
L169	S44°49'54"W	43.37'
L170	N45°25'13"W	16.14'
L171	N45°25'13"W	1.12'
L172	N16°49'25"W	1.93'
L173	N16°49'25"W	90.27'
L174	N16°24'13"W	45.09'
L175	N60°00'06"E	164.20'
L176	S28°28'51"E	42.66'
L177	N61°31'06"E	10.00'
L178	N28°28'51"W	25.42'
L179	N61°25'51"E	27.75'
L180	N28°28'54"W	10.00'
L181	S61°25'51"W	27.75'
L182	N28°28'51"W	7.51'
L183	N60°00'06"E	58.19'
L184	N68°13'08"E	29.63'

LINE TABLE		
LINE	BEARING	DISTANCE
L185	N68°13'08"E	20.03'
L186	N68°13'08"E	114.58'
L187	S17°49'37"E	23.38'
L188	S40°19'37"E	8.30'
L189	S40°19'37"E	8.99'
L190	S85°19'37"E	14.37'
L191	S85°19'37"E	19.42'
L192	S00°35'37"E	67.04'
L193	N89°24'23"E	20.00'
L194	N00°35'37"W	65.20'
L195	S85°22'26"E	145.05'
L196	S59°44'48"E	148.95'
L197	S29°51'49"W	3.46'
L198	S60°08'11"E	6.00'
L199	S30°15'02"W	3.42'
L200	S59°44'48"E	114.15'
L201	S14°44'58"E	34.99'
L202	S70°16'14"W	31.06'
L203	S35°16'14"W	74.46'
L204	N59°43'46"W	121.45'
L205	S86°25'38"W	247.04'
L206	S44°34'34"W	15.60'
L207	S44°34'34"W	20.90'
L208	S44°34'34"W	8.00'
L209	S00°25'26"E	33.71'
L210	S45°25'26"E	25.96'
L211	S45°25'26"E	43.78'
L212	S45°25'26"E	1.02'
L213	S44°34'34"W	7.58'
L214	S45°25'26"E	6.00'
L215	N44°34'34"E	7.58'
L216	S45°25'26"E	50.10'
L217	S00°25'26"E	25.62'
L218	N45°25'26"W	0.79'
L219	S45°00'00"W	5.00'
L220	S45°00'00"E	2.13'
L221	S44°34'34"W	23.18'
L222	S44°34'34"W	2.10'
L223	S89°34'34"W	51.88'
L224	S89°34'34"W	154.20'
L225	N00°25'26"W	4.92'
L226	S89°34'34"W	6.00'
L227	S00°25'26"E	4.83'
L228	S89°27'28"W	40.39'
L229	N67°55'24"W	47.73'
L230	N45°25'13"W	55.48'
L231	N44°51'47"E	51.53'
L232	N00°00'00"E	29.98'
L233	N22°30'00"W	38.62'
L234	N30°14'52"W	79.32'
L235	N38°54'13"W	9.67'
L236	N61°24'13"W	16.95'
L237	S73°35'47"W	28.21'
L238	N16°24'13"W	4.08'
L239	S73°35'47"W	5.42'
L240	N16°24'13"W	10.99'
L241	N61°31'06"E	146.93'
L242	N61°31'06"E	13.93'
L243	S28°28'54"E	22.35'
L244	S28°28'54"E	28.03'
L245	S17°12'42"E	129.25'

LINE TABLE		
LINE	BEARING	DISTANCE
L246	N87°58'51"E	127.85'
L247	N87°58'27"E	33.27'
L248	N87°58'27"E	53.19'
L249	N87°58'27"E	29.62'
L250	N87°58'27"E	78.04'
L251	N50°53'25"E	27.62'
L252	S87°58'51"W	6.05'
L253	N02°01'09"W	11.77'
L254	N02°01'09"W	51.71'
L255	N62°15'40"W	12.77'
L256	N62°15'40"W	9.05'
L257	N00°30'04"E	96.31'
L258	N05°08'43"W	68.21'
L259	S81°14'35"W	91.55'
L260	N18°51'34"W	44.83'
L261	N18°51'34"W	20.03'
L262	N18°51'34"W	35.61'
L263	S59°36'08"W	25.18'
L264	S59°36'08"W	205.32'
L265	N35°06'30"W	8.77'
L266	N35°06'30"W	29.70'
L267	N35°06'30"W	7.21'
L268	N69°48'37"W	25.71'
L269	N28°28'54"W	79.10'
L270	N28°28'54"W	20.00'
L271	N28°28'54"W	151.26'
L272	S69°48'37"E	11.25'
L273	S35°06'30"E	12.65'
L274	S35°06'30"E	17.72'
L275	N59°36'08"E	212.51'
L276	N39°58'39"W	25.24'
L277	N39°58'39"W	32.78'
L278	N39°58'39"W	60.42'
L279	S61°31'06"W	17.93'
L280	S61°31'06"W	43.70'
L282	N61°31'06"E	43.71'
L283	N61°31'06"E	30.00'
L284	N61°31'06"E	4.26'
L285	S39°58'39"E	10.21'
L286	S39°58'39"E	89.35'
L287	S39°58'39"E	2.27'
L288	S39°58'39"E	36.33'
L289	N59°36'08"E	3.79'
L290	S18°51'34"E	10.45'
L291	S18°51'34"E	1.68'
L292	S18°51'34"E	46.96'
L293	S18°51'34"E	20.03'
L294	S18°51'34"E	29.10'
L295	N81°14'35"E	82.12'
L296	N44°24'13"E	40.54'
L297	N44°24'13"E	39.27'
L298	N44°24'13"E	35.87'
L299	N07°50'39"E	76.34'
L300	N36°54'30"W	17.17'
L301	N36°54'30"W	11.69'
L302	N36°54'30"W	20.22'
L303	N36°54'30"W	28.31'
L304	N36°54'30"W	4.01'
L305	N53°05'30"E	20.00'
L306	S36°54'30"E	6.97'
L307	S36°54'30"E	28.31'

LINE TABLE		
LINE	BEARING	DISTANCE
L308	S36°54'30"E	20.22'
L309	S36°54'30"E	14.47'
L310	S36°54'30"E	19.66'
L311	S07°50'39"W	91.18'
L312	S44°24'13"W	34.41'
L313	S44°24'13"W	38.98'
L314	S44°24'13"W	47.61'
L315	S05°08'43"E	74.74'
L316	S00°30'04"W	84.61'
L317	S62°15'40"E	2.90'
L318	S62°15'40"E	5.64'
L319	N86°25'38"E	12.26'
L320	N86°33'32"E	111.99'
L321	S59°43'46"E	117.23'
L322	S59°43'46"E	4.50'
L323	S11°14'28"W	43.64'
L324	S78°03'	



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
December 28, 2015

STAFF REPORT

Application Number: 15-48-02-SP Project Name: The Pines at Glen Laurel

NC PIN / Tag #: 167800-29-8988 / 05104003
Town Limits/ETJ: Town Limits
Overlay: Thorough Fare Overlay
Applicant: Commercial Properties, Inc.
Owner: James B. Hunt, Jr.
Location: Located on the corner of Glen Laurel Road and Hwy 42 East.

Public Noticing:

- Neighborhood meeting October 12, 2015
- Sign posted prior to December 18, 2015

REQUEST: The applicant is requesting major site plan approval to develop a 240 unit apartment complex as a part of the NC 42 East Mixed Use Planned Development.

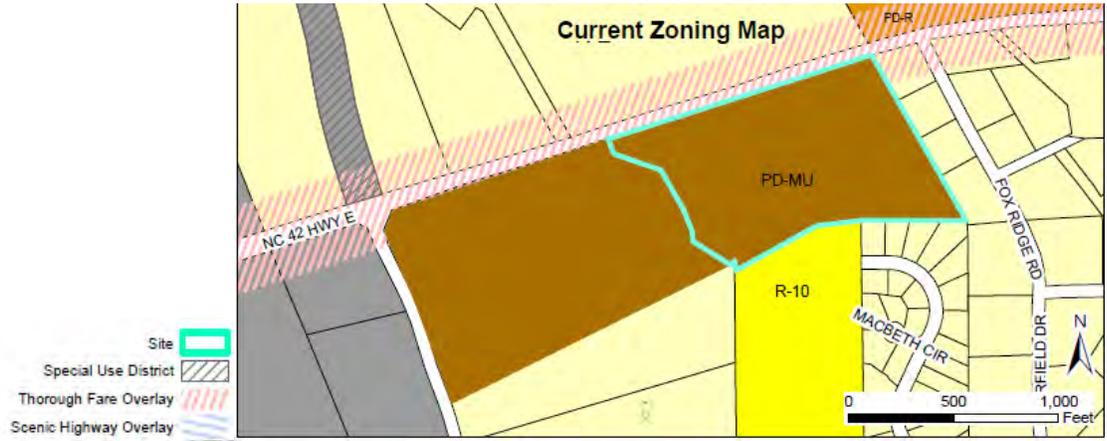
SITE DATA:

Acreage: 20 acres
Existing Use: Vacant



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate (R-E)	Vacant
South	Residential-Estate (R-E) & Residential-10 (R-10)	Vacant & Single-Family Homes
East	Residential-Estate (R-E)	Single-Family Homes
West	Industrial-Heavy (I-2)	Caterpillar



DEVELOPMENT DATA:

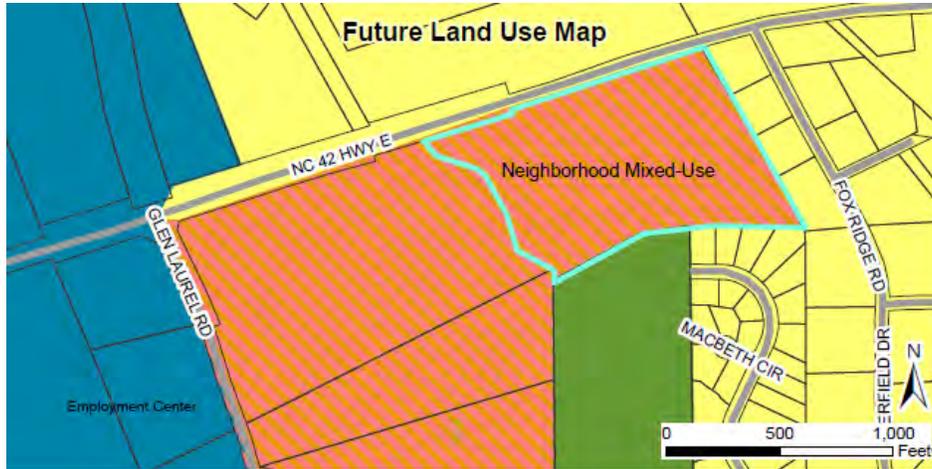
- Proposed Uses: Multi-Family Apartments
- Buildings: 10 Apartment buildings, 1 club house
- Number of Stories: 3 stories
- Impervious Surface: 45.6%
- Required Parking: 474 parking spaces
- Proposed Parking: 512 parking spaces (22 handicap)
- Fire Protection: Town of Clayton
- Access/Streets: 2 access points; one located off of Hwy 42 East, and one located off of the main entrance to the NC 42 East Mixed Use Planned Development.
- Water/Sewer Provider: Town of Clayton
- Electric Provider: To be determined

STAFF ANALYSIS:

Overview

The applicant is requesting Major Site Plan approval to develop a multi-family apartment complex on 20 acres of the subject parcel, located at the corner of NC HWY 42 East and Glen Laurel Road. The complex will have a total of 240 units within 10 buildings.

This apartment complex will be a part of the NC 42 East Mixed Use Planned Development. The subject parcel was rezoned to Planned Development-Mixed Use (PD-MU) on December 7, 2015. A Master Plan for the property was also approved during this time, which sets the development standards for the property. This site plan is consistent with the development standards and use set forth in the associated Master Plan. Any conditions of approval placed on the Master Plan will be applied to the approval of this site plan.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**

The 2040 Comprehensive Plan designates this site as “Neighborhood Mixed Use”. The proposed use is consistent with this designation, as it is a part of the NC 42 East Mixed Use Planned Development. The Planned Development’s master plan was approved to include a variety of uses, including a multi-family development such as this one.

- **Unified Development Code**

The proposed development meets the requirements in the Unified Development Code (UDC).

Landscaping and Buffering

The site meets all applicable elements of the UDC landscaping requirements. Since the development is a part of a Planned Development, it is required to provide a Class “C” landscape buffer along all project boundaries. The applicant is proposing a 40’ Class “C” landscape buffer along the Southern, Eastern, and Northern project boundaries. As required, this buffer will contain a 6’ opaque wooden fence along the Southern and Eastern property lines. An alternative buffer was granted for the frontage on NC 42 HWY E. to remove the requirement for a 6 foot high wall fence, hedge, wall, berm, or combination thereof. Additionally, the applicant will be providing landscaping throughout the site in order to meet the interior landscaping requirements listed in the UDC.

Access/Streets

The site will have two access driveways. One of these will be a right-in/right-out located off of NC 42 HWY E. The second access will be provided off of “Street B”, which will be provided off of the full access driveway located along NC 42 HWY E. The applicant is also proposing a stub-out to the property to the South.

Multi-Modal Access

Sidewalks and greenways will be provided throughout the site in order to allow connectivity for the residents to other buildings and the clubhouse/mail kiosk. These sidewalks will also provide connectivity from the site to the

greenway that the applicant is proposing along NC 42 HWY E. There will also be one bike rack per building, and one located at the club house.

Garbage / Recycling

There will be one trash compactor and recycling unit located on the site. This will be located near the entrance off of "Street B", and will have an area designated for residents to pull over to use the compactor/recycling. The club house will not have any trash collection, and will take all trash to the compactor. Per UDC requirements, the dumpster enclosure shall match the materials used for the buildings on the site.

Architecture/Design

There are three building types for the apartment units in this development. All of the buildings will be three stories and will consist of the same materials, including brick veneer, vinyl shake siding, and stone veneer. Two of the building types will have two breezeways, while the third building type will only have one. The buildings differ due to the type of units located in each building. The club house located on the site will be one-story and will be architecturally consistent with the other buildings located on the site.

Waivers/Deviations/Variances from Code Requirements

The proposed development exceeds the number of required parking spaces.

CONSIDERATIONS:

- Planning Board approves major site plans. The conditions of approval associated with the NC 42 East Mixed Use Project remain in effect.
-

FINDINGS:

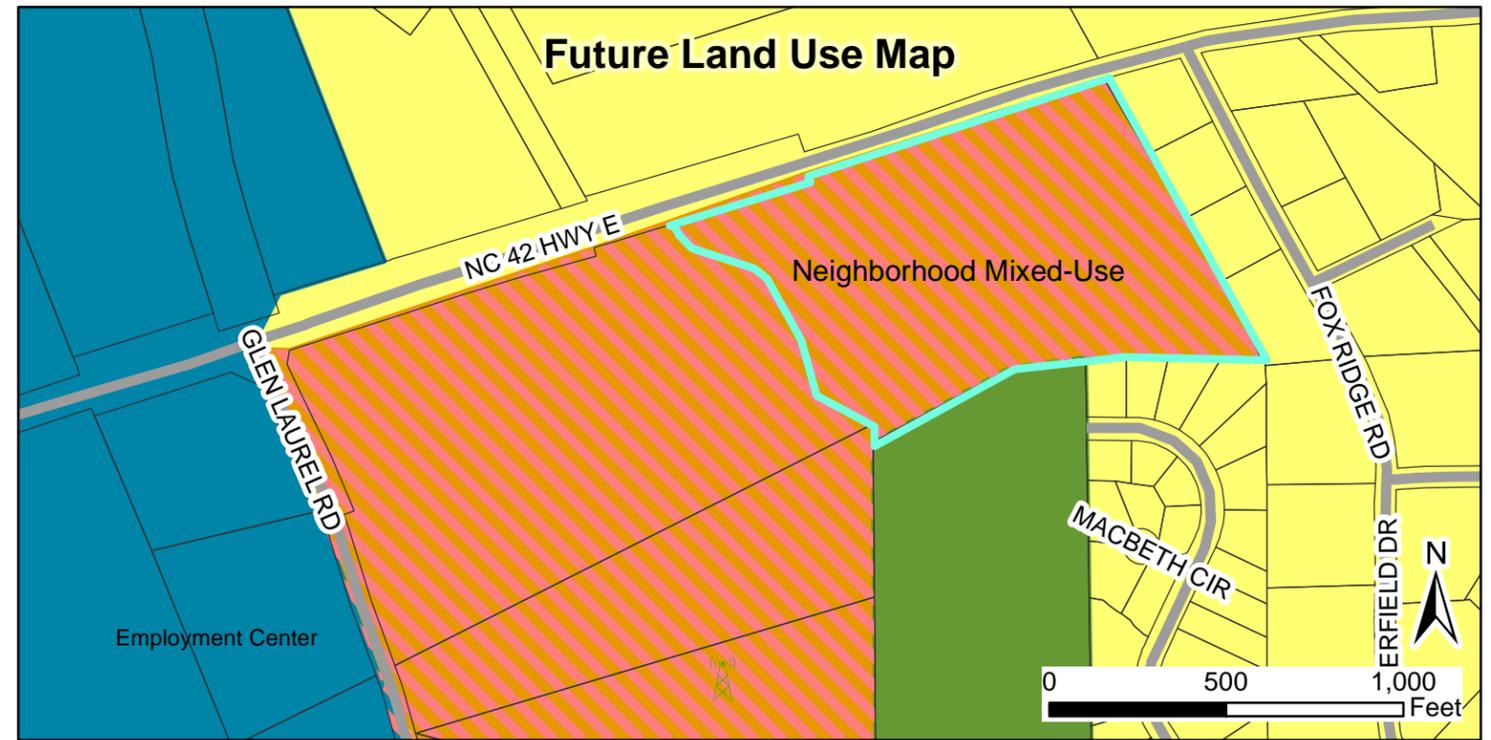
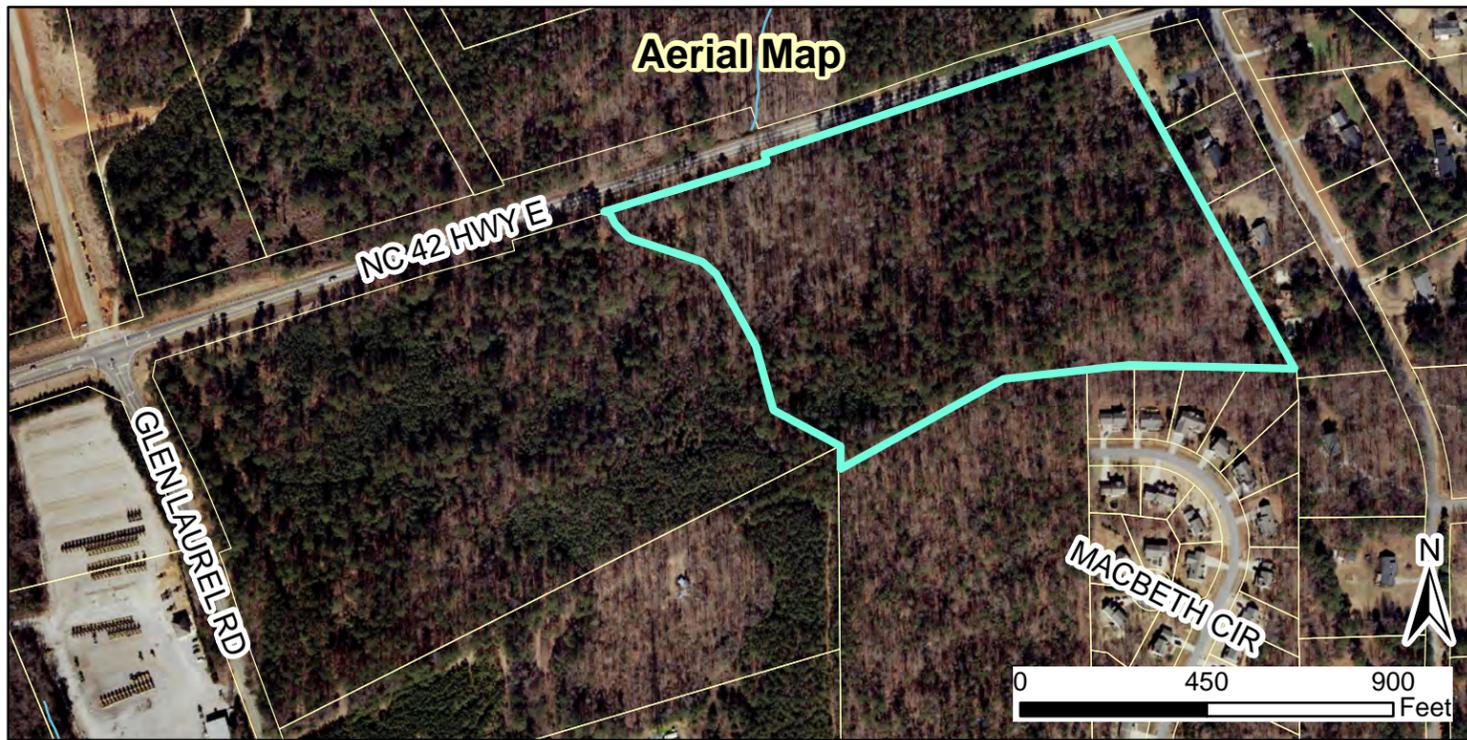
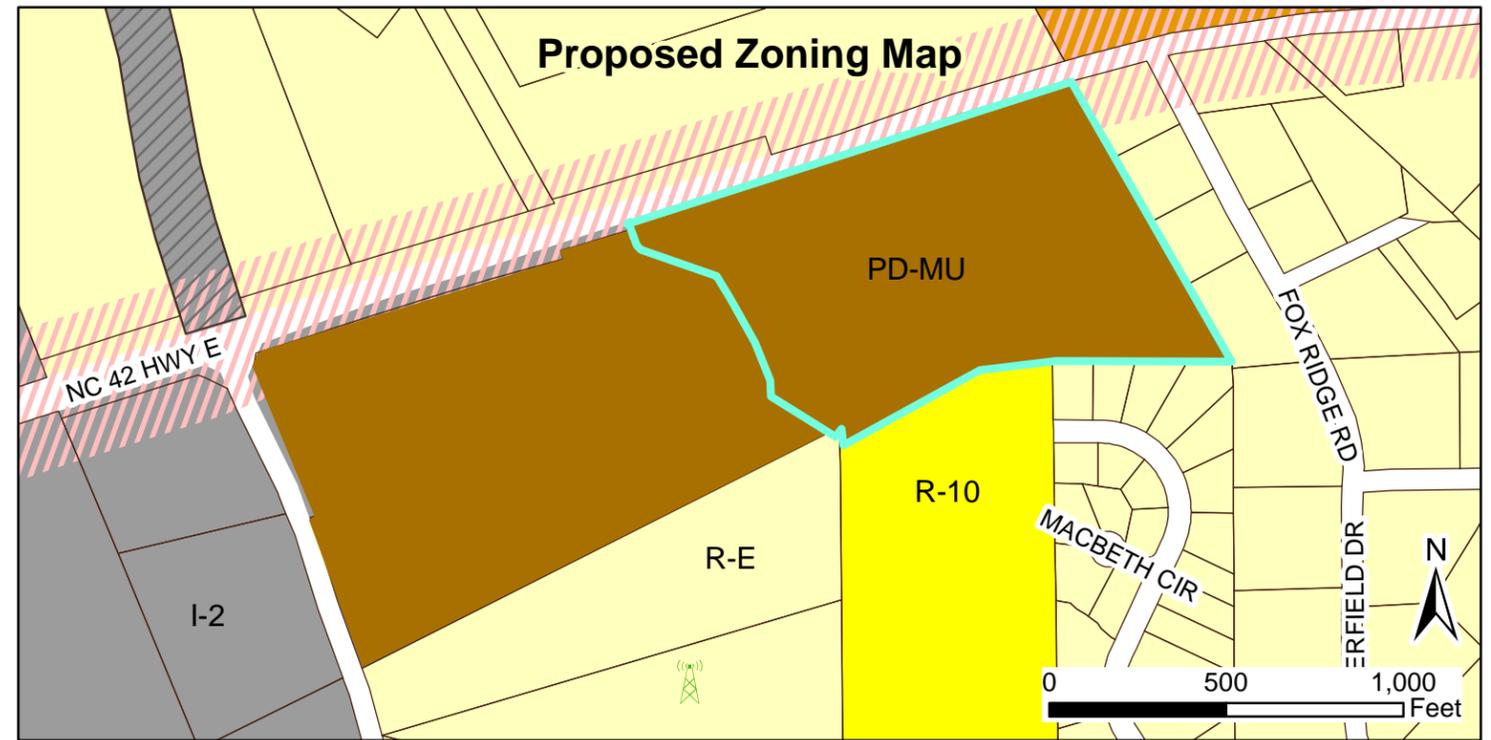
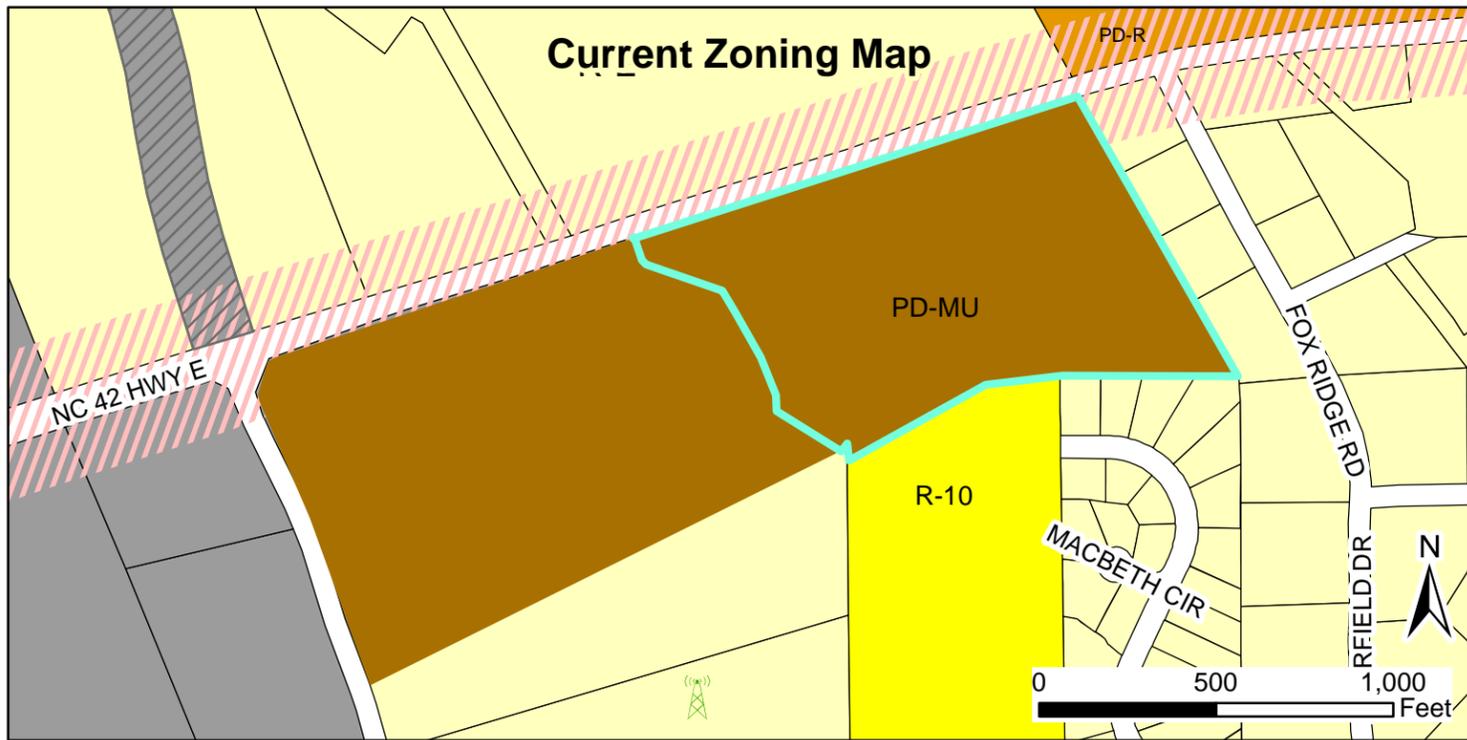
The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION:

Staff is recommending approval of the proposed Major Site Plan (15-48-02-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan



15-48-02-SP - The Pines at Glen Laurel
Request: Approval to develop a 240 unit apartment complex on 20 acres of land
 Applicant: Commercial Properties, Inc.
 Property Owner: James B. Hunt Jr.
 Parcel ID Number: 167800-29-8988
 Tag #: 05104003



- Site
 - Special Use District
 - Thorough Fare Overlay
 - Scenic Highway Overlay
- 11/23/2015
 Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\15-48-02-SP The Pines at Glen Laurel\Maps\StaffReportMap.mxd



PROPERTY OWNER INFORMATION

Name: JAMES B. HUNT, JR
 Mailing Address: 1441 NC 42 E., CLAYTON, NC
 Phone Number: N/A Fax: N/A
 Email Address: N/A

APPLICANT INFORMATION

Applicant: COMMERCIAL PROPERTIES, INC
 Mailing Address: 1004 WAKE FOREST RD, RALEIGH, NC 27604
 Phone Number: 919-872-5702 Fax: N/A
 Contact Person: GARRY P. WALSTON
 Email Address: GARRY.WALSTON@BNKINC.COM

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
Submit 9 copies of all materials unless otherwise noted or directed by staff					
1. A pre-application conference was held with Town of Clayton staff. Date: <u>7-6-15</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application	<input checked="" type="checkbox"/>				
5. Owner's Consent Form <u>ALREADY SUBMITTED</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation <u>ALREADY SUBMITTED</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies) (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC) <u>UNDER REVIEW</u>	<input type="checkbox"/>	<input type="checkbox"/>			
10. Neighborhood meeting notice letter (1 copy)* See sample letter and meeting requirements included in this packet <u>HELD ON 10-12-15</u> *Not required for subdivisions that are part of an approved planned development	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			
11. Neighborhood meeting summary form (1 copy) * Included in this packet *Not required for subdivisions that are part of an approved planned development	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

PROJECT INCLUDES DEVELOPMENT OF 240 APARTMENT HOMES
ON 20 ACRES. DEV. WILL INCLUDE A CLUBHOUSE AND POOL
AND LARGE OPEN SPACE AREAS.

THE PROJECT IS PART OF THE NC42 EAST MIXED USE MASTER PLAN

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

GARRY P. WALSTON

Print Name

Garry P. Walston

Signature of Applicant

11-3-15

Date



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
919/851-4422 FAX 919/851-8968 www.bnkinc.com

Date: October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday, October 12, 2015

Location: Clayton Center (Meeting will be in the Poole Room)
111 E. 2nd Street
Clayton, NC 27520

Time: 6:30 p.m.

Type of Application: Rezoning

General Description: Approximately 45.75 acres at the southeast intersection of NC Highway 42 and Glen Laurel Road is being rezoned from Industrial-2 to Planned Development District – Mixed Use. A copy of the Master Plan for the development has been included with this letter.

If you have any questions prior to or after this meeting, you may contact Garry Walston, RLA at (919) 851-4422.

Sincerely,

A handwritten signature in cursive script that reads "Garry P. Walston".

Garry P. Walston, RLA, ASLA, LEED

cc: Clayton Planning Dept.



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
919/851-4422 FAX 919/851-8968 www.bnkinc.com

Date: October 1, 2015

Neighborhood Meeting Notes

1. The project was introduced by Garry Walston with BNK and the purpose of the meeting was explained.
2. There was only one adjacent property owner in attendance at the meeting.
3. The purpose of the rezoning was explained and the different components of the development were introduced.
4. BNK presented the rezoning plan as well as the development plans for the self-storage facility and the apartments.
5. Jim Dempster (neighbor) expressed concern with regards to stormwater leaving the site adjacent to his property. BNK explained that stormwater would be controlled to pre-development levels and indicated that there are rules in place to protect downstream property owners from increased run-off. The developer and BNK agreed to meet on-site with Jim Dempster to discuss his concerns and address any run-off issues during the Site Plan Phase of the development.
6. Brantley Tillman briefly discussed plans for the future shopping/retail portion of the development and presented preliminary building elevations for the self-storage facility.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: NC 42 MIXED USE DEVELOPMENT

Application: REZONING / SITE PLAN

Location/Date: CLAYTON CENTER / POOLE ROOM @ 6:30

	NAME	ADDRESS
1	JIM DEMPSTER	2024 Fox Ridge Rd
2		
3		
4		
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17		
18		
19		
20		

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS

THE PINES AT GLEN LAUREL

SITE PLAN SUBMITTAL

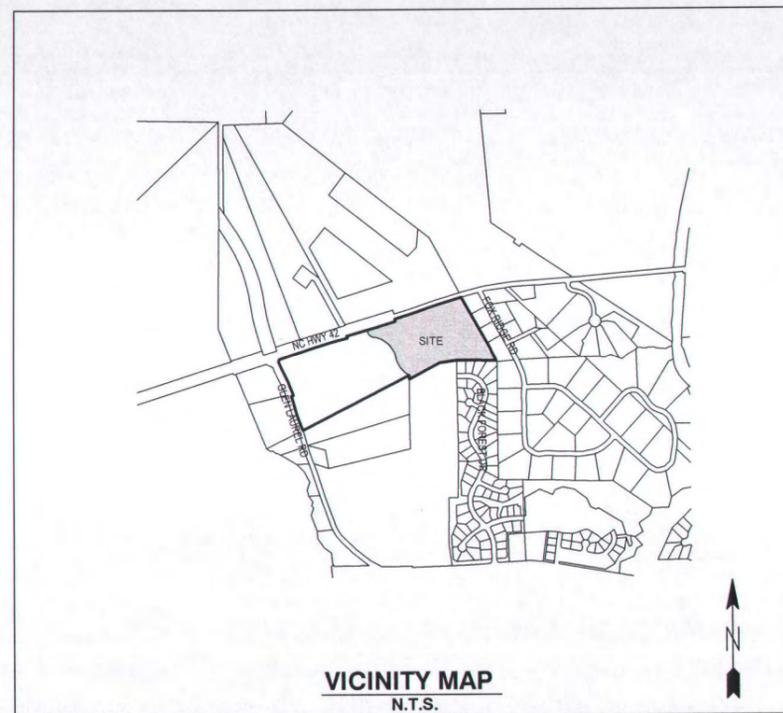
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

TOWN OF CLAYTON PROJECT NO. 15-48-02-SP

SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
ALUM	ALUMINUM		EXISTING GRATE INLET/YARD INLET
ASTZ	ALUMINIZED STEEL - TYPE 2		EXISTING FLARED END SECTION
B-B	BACK TO BACK		EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY		EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER		EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND		EXISTING REDUCER
CI	CURB INLET		EXISTING WATER METER
CL	CENTER LINE		EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE		EXISTING CLEAN OUT
CO	CLEAN OUT		EXISTING POWER POLE
COM	COMMUNICATION		EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE		EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE		EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE		NEW CURB INLET
DI	DROP INLET		NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE		NEW FLARED END SECTION
EASE	EASEMENT		NEW FIRE HYDRANT
ELEC	ELECTRIC		NEW BLOW-OFF ASSEMBLY
EX	EXISTING		NEW GATE VALVE
FES	FLARED END SECTION		NEW REDUCER
FH	FIRE HYDRANT		NEW WATER METER
FM	FORCE MAIN		NEW TEE
FT	FEET		NEW PLUG
FT/SEC	FEET PER SEC		NEW MANHOLE
GALV	GALVANIZED		NEW CLEAN OUT
GV	GATE VALVE		NEW SIGN
HDPE	HIGH DENSITY POLYETHYLENE		IRON PIPE
L	LENGTH		BENCHMARK
LF	LINEAR FEET		TEMP SILT FENCE
MH	MANHOLE		TEMP TREE PROTECTION FENCE
PAVE	PAVEMENT		TEMP COMBINATION SILT/TREE PROTECTION FENCE
PE	FINISHED PAD ELEVATION		TEMP DIVERSION DITCH
PP	POWER POLE		DISTURBED LIMITS
PVC	POLYVINYL CHLORIDE		STREAM
R	RADIUS		EXISTING GAS LINE
R/W	RIGHT-OF-WAY		EXISTING COMMUNICATIONS LINE
RED	REDUCER		EXISTING UNDERGROUND TELEPHONE
RCP	REINFORCED CONCRETE PIPE		EXISTING UNDERGROUND ELECTRIC
RPZ	REDUCED PRESSURE ZONE		EXISTING OVERHEAD ELECTRIC
SS	SANITARY SEWER		EXISTING WATER LINE
STA	STATION		EXISTING SANITARY SEWER FORCE MAIN
TDD	TEMPORARY DIVERSION DITCH		EXISTING SANITARY SEWER
TELE	TELEPHONE		EXISTING STORM DRAINAGE
TSB	TEMPORARY SEDIMENT BASIN		NEW STORM DRAINAGE
UG	UNDERGROUND		NEW WATER LINE
WCR	WHEELCHAIR RAMP		NEW SANITARY SEWER
W/L	WATER LINE		NEW SANITARY SEWER FORCE MAIN
WM	WATER METER		NEW GAS MAIN
YI	YARD INLET		HANDICAPPED ACCESSIBLE ROUTE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



SHEET INDEX

COVER
C1.0 EXISTING CONDITIONS
C1.1 OVERALL SITE DATA
C1.2 SITE PLAN
C2.1 UTILITY & STORM DRAINAGE PLAN
L1.1 LANDSCAPE PLAN
L1.2 LANDSCAPE DETAILS
BUILDING TYPE 1 ELEVATION
BUILDING TYPE 1 FLOOR PLAN
BUILDING TYPE 2 ELEVATION
BUILDING TYPE 2 FLOOR PLAN
BUILDING TYPE 3 ELEVATION
BUILDING TYPE 3 FLOOR PLAN
CLUBHOUSE ELEVATION
CLUBHOUSE FLOOR PLAN
POOL HOUSE ELEVATION
POOL HOUSE FLOOR PLAN

OWNER:

JAMES B. HUNT, JR.
1441 NC 42 EAST
CLAYTON, NC 27527

CONTACT: N/A
PHONE: N/A
EMAIL: N/A

DEVELOPER:

COMMERCIAL PROPERTIES, LLC
1004 WAKE FOREST RD.
RALEIGH, NC 27604

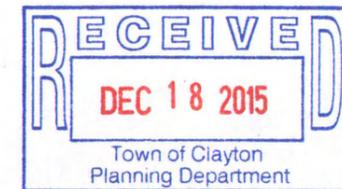
CONTACT: BRANTLEY TILLMAN, CCIM
PHONE: (919) 872-5702
EMAIL: brantley@commprop.net

ENGINEER:

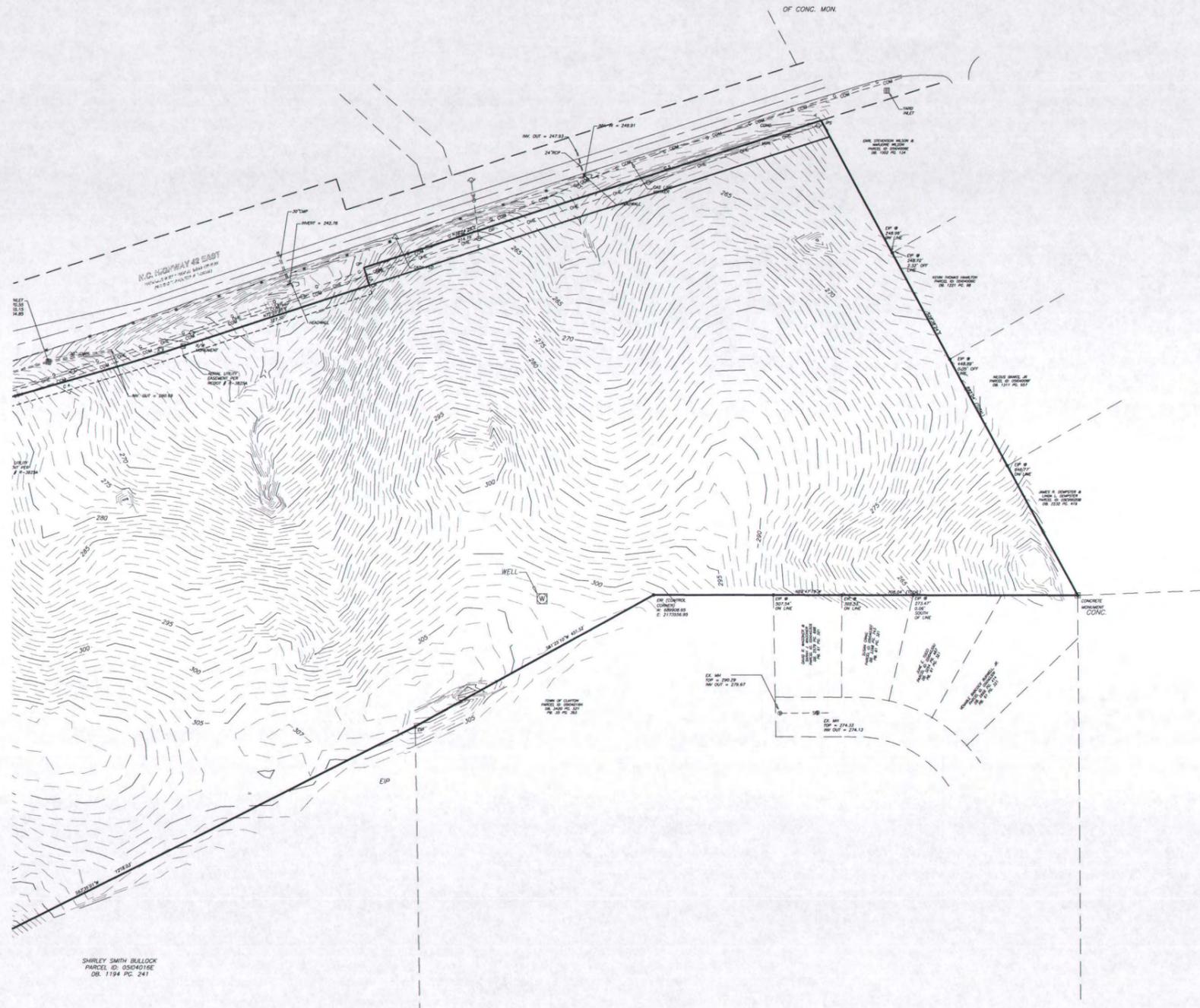


BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607
TELEPHONE: (919) 851-4422 or (800) 354-1879
FAX: (919) 851-8968
CERTIFICATION NUMBERS: NCBELS (C-0110)
NCBOLA (C-0267)

CONTACT: GARRY WALSTON, RLA
EMAIL: Garry.Walston@BNKinc.com



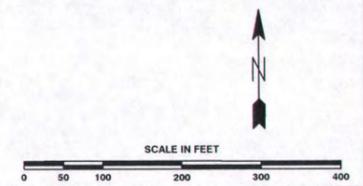
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NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-4422 OR (800)364-1879 FAX: (919)851-6666
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	12-01-15	TOWN OF CLAYTON COMMENTS	IP
2	12-17-15	TOWN OF CLAYTON COMMENTS	GW

JOB NO.	DATE	DRAWN BY	CHK BY:
03-15060	11-02-15	GRW/JP	KRB

THE PINES AT GLEN LAUREL
1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET
C1.0
 2 OF 7

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

Conditions of Approval: 15-48-01-PDD NC 42 East Mixed Use Master Plan

- Following Board approvals, three copies of the Master Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
- The development of the site is limited to the uses approved by the Town Council. Modifications to the approved Master Plan shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
- The Master Plan establishes the bulk, area, and dimensional standards for the overall development. The specific development approvals for the commercial site, apartment site and self-storage site shall be reviewed as a Major Site Plan.
- Outparcels with frontage on NC 42 Hwy E. shall have no more than one bay of parking between the highway and buildings.
- All right-of-way necessary for the widening of NC 42 Hwy E. and Glen Laurel Road shall be dedicated prior to the issuance of a building permit.
- The Master Plan shall note that the final design of NC 42 Hwy E. improvements to be approved by NCDOT and the Town of Clayton.
- All off-site roadway improvements recommended by the Traffic Study, NCDOT Congestion Management, NCDOT Division 4 and the Town will be installed or bonded prior to the issuance of a certificate of occupancy for the portion of the development that generates the roadway improvement.
- A 10 foot greenway shall be constructed by the developer along NC 42 Hwy E. for the entire project frontage to ensure pedestrian connectivity in the area.
- A 10 foot greenway shall be extended from the main entrance on NC 42 Hwy E. through the project to common property line between the development and East Clayton Community Park.
- A minimum 10' multi-use path shall be constructed by the developer for the entire project frontage along Glen Laurel Road.
- The perimeter landscaping along NC 42 Hwy E and Glen Laurel Road, must be installed prior to the issuance of a Certificate of Occupancy for each phase.
- The perimeter landscaping along Glen Laurel Road must be installed prior to the issuance of a Certificate of occupancy for the Self-Storage facility.
- The development shall include a minimum of one shared pedestrian amenity/focal point for the project. Details for focal points shall be submitted as a part of a Major Site Plan application.
- To ensure interconnectivity with future development, there must be one cross access point to the south.
- All roof mounted and at grade mechanical equipment must be completely screened from view.
- Prior to issuance of building permits, subject site shall be annexed into the Town of Clayton.

Waiver: The requirement for a 6' fence, wall, berm, hedge or combination thereof required by UDC Section 155.402(3) for a Class "C" buffer is waived for the areas adjacent to NC 42 Highway East and Glen Laurel Road.

Adjacent Property Owners

Property #	NC P.I.N.	Name	Address
1	167800-29-8988	Subject Parcel	
2	167900-20-0817	Kevin Mark & Elizabeth Brame Hunt Amigh	1423 NC Hwy 42 East, Clayton, NC 27527
3	167900-11-1015	NC Department of Transportation	PO Box 3165, Wilson, NC 27895-8165
4	167900-11-5340	Kevin Mark & Elizabeth Brame Hunt Amigh	1423 NC Hwy 42 East, Clayton, NC 27527
5	167800-18-5884	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633
6	167900-40-2006	James R & Linda L Dempster	2024 Fox Ridge Rd, Clayton, NC 27527
7	167800-28-8063	Town of Clayton	PO Box 879, Clayton, NC 27528
8	167900-40-0306	Kevin Thomas Hamilton	2008 Fox Ridge Road, Clayton, NC 27527
9	167800-49-3664	Patsy B Stine & Nancy J Brantley	202 Deerfield Drive, Clayton, NC 27527
10	167800-49-0761	Venable Babcock Burwell, Jr.	417 Black Forest Dr, Clayton, NC 27527
11	167800-39-9754	June E & Genevieve Tocci	421 Black Forest Dr, Clayton, NC 27527-5373
12	167900-32-0758	Falcon Hamlet LLC	PO Box 979, Cary, NC 27513-0979
13	167900-40-0290	Nilous Banks, Jr	286 Camden Place St, Princeton, NC 27569-94
14	167800-49-1621	Walter Kevin & Tammy Jo White	413 Black Forest Drive, Clayton, NC 27520
15	167900-30-9508	Earl Stevenson & Marjorie Wilson	2000 Fox Ridge Road, Clayton, NC 27527
16	167800-39-8745	Susan Craig	425 Black Forest Drive, Clayton, NC 27520
17	167900-11-2193	James B Jr & Robert Brame Hunt	1441 NC 42 East, Clayton, NC 27527
18	167800-29-4176	Shirley Smith Bullock	5101 Raynor Rd, Garner, NC 27529-9446
19	167800-19-2673	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633
20	167800-39-7744	David R and Sarah J Wagoner	429 Black Forest Drive, Clayton, NC 27527
21	167900-20-3564	Robert B and Margaret H Hunt	1441 NC 42 East, Clayton, NC 27527
22	167800-19-4135	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633

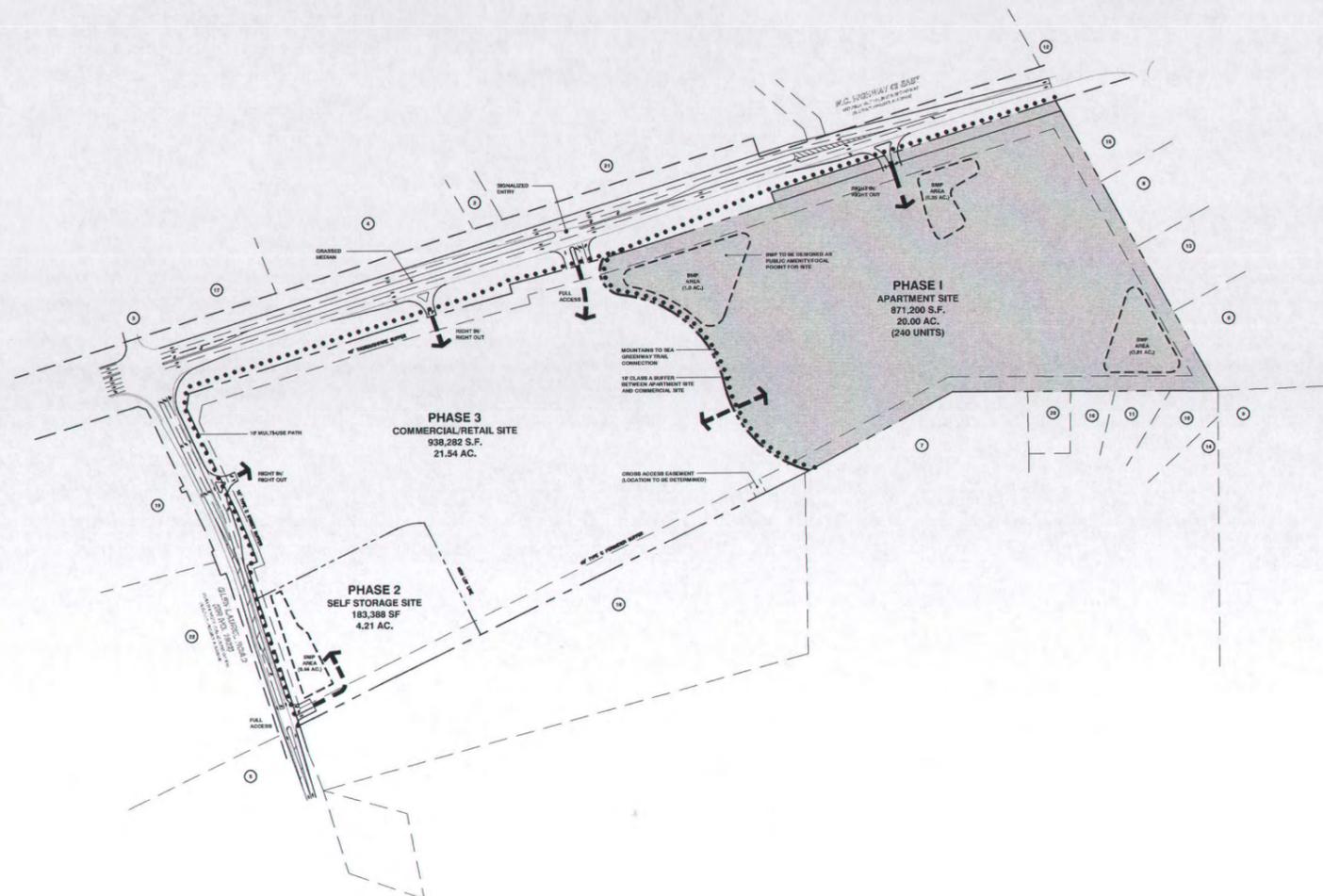
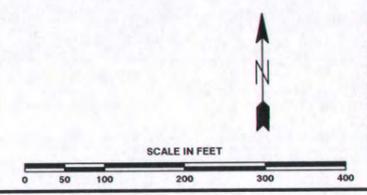


CHART IS CURRENT AS OF DECEMBER 2015

NC 42 MIXED USE DEVELOPMENT CHART									
PHASE	AREA OF PHASE	# OF LOTS	RIGHTS OF WAY	RESOURCE CONSERVATION AREAS	OPEN SPACE	IMPERVIOUS AREA	PERVIOUS AREA	% OF OVERALL SITE	STATUS OF PHASE
OVERALL SITE	45.75 AC.	3	0.55 AC	0.00 AC	5.72 AC	32.0 AC (70% MAX)	15.75 AC	100 %	APPROVED MASTER PLAN
PHASE 1	20.00 AC.	1	0.55 AC	0.00 AC	3.53 AC	9.13 AC	10.87 AC	20 %	IN STAFF REVIEW
PHASE 2	4.21 AC.	1	0 AC	0.00 AC	0.44 AC	2.53 AC	1.68 AC	5.5 %	IN STAFF REVIEW
PHASE 3	21.54 AC.	1	TBD	0.00 AC	TBD	TBD	TBD	TBD	FUTURE



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 TELEPHONE: (919)851-4422 OR (800)554-1879 FAX: (919)851-8968
 CERTIFICATION NUMBERS: NCBOLA (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-28-15	PER TOC COMMENTS	GW
2	11-23-15	PER TOC COMMENTS	GW
3	12-17-15	PER TOC COMMENTS	GW

OVERALL SITE DATA

DATE: 09-01-15
 DRAWN BY: GPW
 CHECK BY: KRB

THE PINES AT GLEN LAUREL
APARTMENTS
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

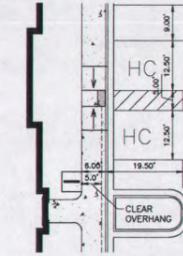
C1.1

ACTIVE OPEN SPACE NARRATIVE

AREA #1:
BARK PARK:
ENCLOSED, MULCHED DOG RUN WILL CONTAIN A WATERING STATION IN ADDITION TO A DOG WAS AREA AND TWO SIX FOOT LONG BENCHES WITH A TRASH RECEPTACLE AND PET WASTE DISPOSAL STATION. THE DOG PARK WILL BE SURROUNDED WITH A 4' TALL BLACK VINYL COATED CHAIN LINK FENCE.

AREA #2:
PLAYGROUND:
THE PLAYGROUND AREA WILL CONTAIN SEVERAL INSTITUTIONAL GRADE, ADA COMPATIBLE PLAY STRUCTURES FOR VARIOUS AGE GROUPS. THIS AREA WILL ALSO CONTAIN THREE PICNIC TABLES WITH ACCOMPANYING TRASH RECEPTACLES. THE PLAY AREA WILL BE FENCED WITH A 4' TALL ORNAMENTAL METAL FENCE WITH A MINIMUM OF 2 ACCESS GATES. THE PLAY AREA WILL BE MULCHED.

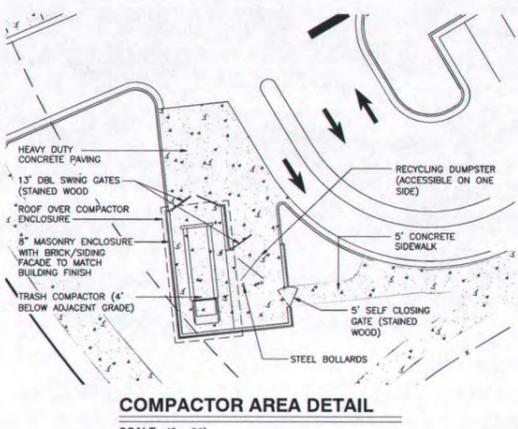
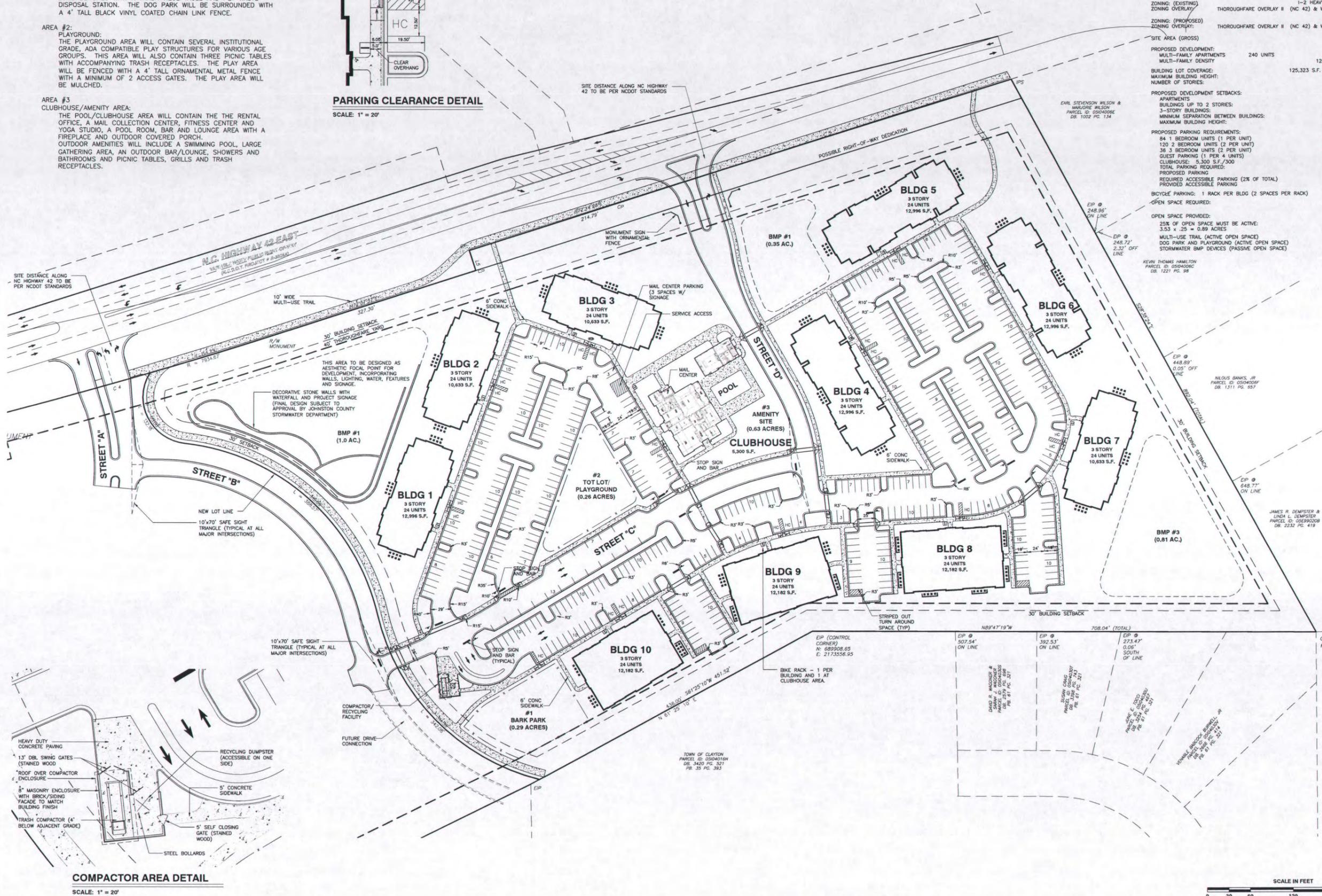
AREA #3:
CLUBHOUSE/AMENITY AREA:
THE POOL/CLUBHOUSE AREA WILL CONTAIN THE RENTAL OFFICE, A MAIL COLLECTION CENTER, FITNESS CENTER AND YOGA STUDIO, A POOL ROOM, BAR AND LOUNGE AREA WITH A FIREPLACE AND OUTDOOR COVERED PORCH. OUTDOOR AMENITIES WILL INCLUDE A SWIMMING POOL, LARGE GATHERING AREA, AN OUTDOOR BAR/LOUNGE, SHOWERS AND BATHROOMS AND PICNIC TABLES, GRILLS AND TRASH RECEPTACLES.



PARKING CLEARANCE DETAIL
SCALE: 1" = 20'

SITE DATA

PROJECT NAME:	THE PINES AT GLEN LAUREL APARTMENTS		
PIN:	PORTION OF 0504003		
REAL ID NUMBER:	4224442		
ADDRESS:	1430 NC HIGHWAY 42 CLAYTON, NORTH CAROLINA		
ZONING (EXISTING):	1-2 HEAVY INDUSTRIAL AND R-E THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION		
ZONING (PROPOSED):	PDD-MIXED USE THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION		
SITE AREA (GROSS):	20.00 ACRES		
PROPOSED DEVELOPMENT:	240 UNITS	20 ACRES	12 DWELLING UNITS/ACRE
BUILDING LOT COVERAGE:	125,323 S.F. (2.88 AC.) OR 14.4%		
MAXIMUM BUILDING HEIGHT:	50'		
NUMBER OF STORIES:	3		
PROPOSED DEVELOPMENT SETBACKS:	APARTMENTS		
BUILDINGS UP TO 2 STORIES:	20'		
3-STORY BUILDINGS:	30'		
MINIMUM SEPARATION BETWEEN BUILDINGS:	50'		
MAXIMUM BUILDING HEIGHT:	50'		
PROPOSED PARKING REQUIREMENTS:	84 1 BEDROOM UNITS (1 PER UNIT) 240 SPACES REQUIRED		
120 2 BEDROOM UNITS (2 PER UNIT)	72 SPACES REQUIRED		
36 3 BEDROOM UNITS (2 PER UNIT)	60 SPACES REQUIRED		
GUEST PARKING (1 PER 4 UNITS)	18 SPACES REQUIRED		
CLUBHOUSE: 5,300 S.F./300	18 SPACES REQUIRED		
TOTAL PARKING REQUIRED:	474 SPACES REQUIRED		
PROPOSED PARKING:	512		
REQUIRED ACCESSIBLE PARKING (2% OF TOTAL)	11		
PROVIDED ACCESSIBLE PARKING:	22		
BICYCLE PARKING: 1 RACK PER BLDG (2 SPACES PER RACK)	22 SPACES		
OPEN SPACE PROVIDED:	17.7% (3.53 AC)		
25% OF OPEN SPACE MUST BE ACTIVE:	1.37 AC PROVIDED		
3.53 x .25 = 0.89 AC	5.4% (0.19 AC)		
MULTI-USE TRAIL (ACTIVE OPEN SPACE)	33.4% (1.18 AC)		
DOG PARK AND PLAYGROUND (ACTIVE OPEN SPACE)	61.2% (2.16 AC)		
STORMWATER BMP DEVICES (PASSIVE OPEN SPACE)			



COMPACTOR AREA DETAIL
SCALE: 1" = 20'

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CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0287)

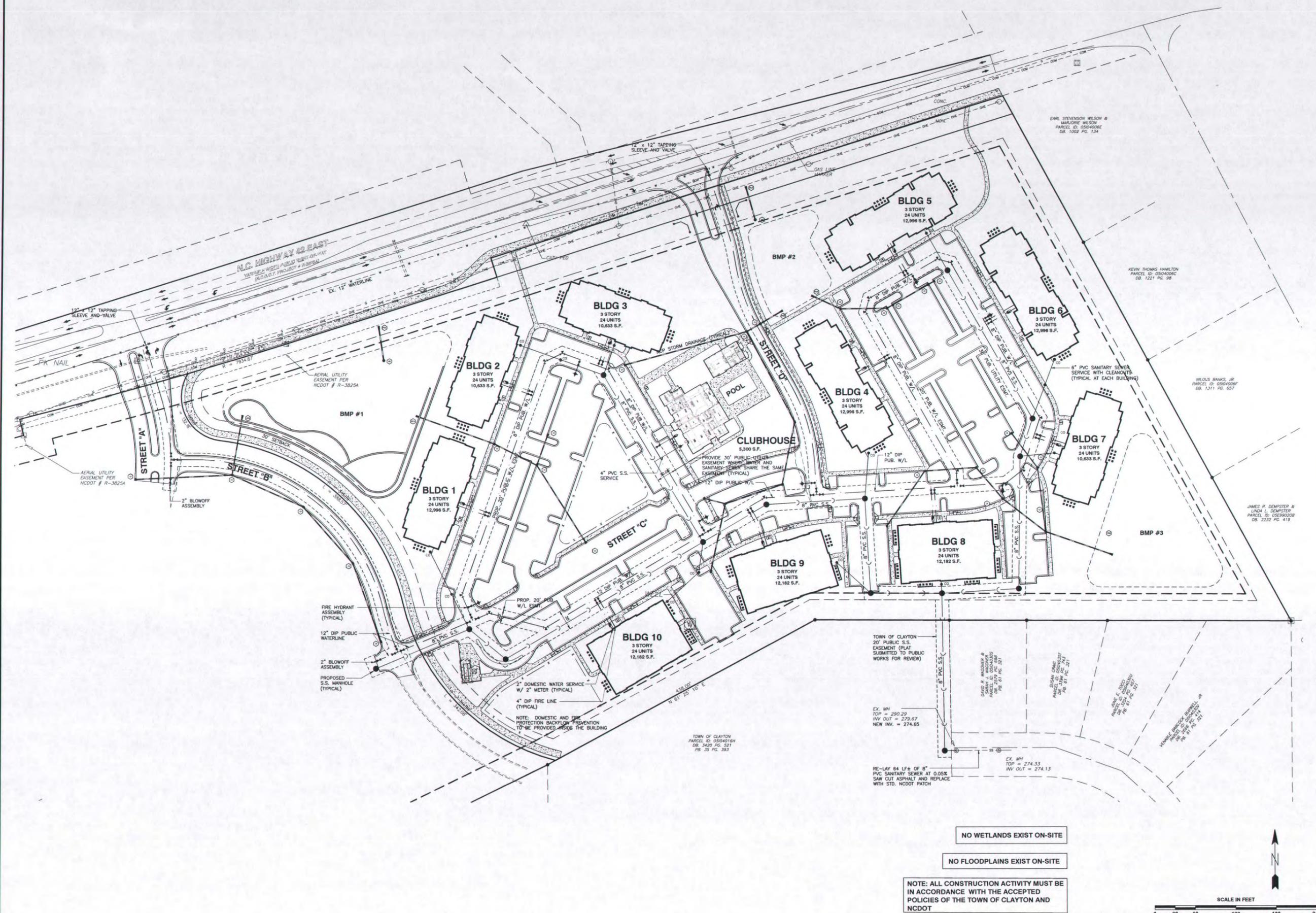
NO.	DATE	DESCRIPTION	BY
1	12-01-15	TOWN OF CLAYTON COMMENTS	IP
2	12-17-15	TOWN OF CLAYTON COMMENTS	GW

THE PINES AT GLEN LAUREL
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET C1.2
4 OF 7

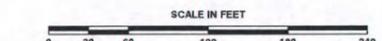
SCALE: 1" = 60'

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NO WETLANDS EXIST ON-SITE
NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



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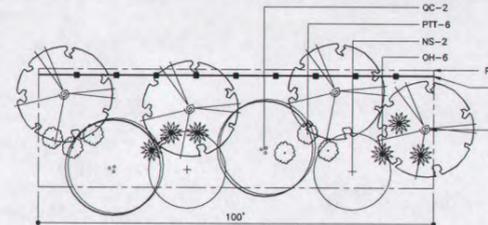
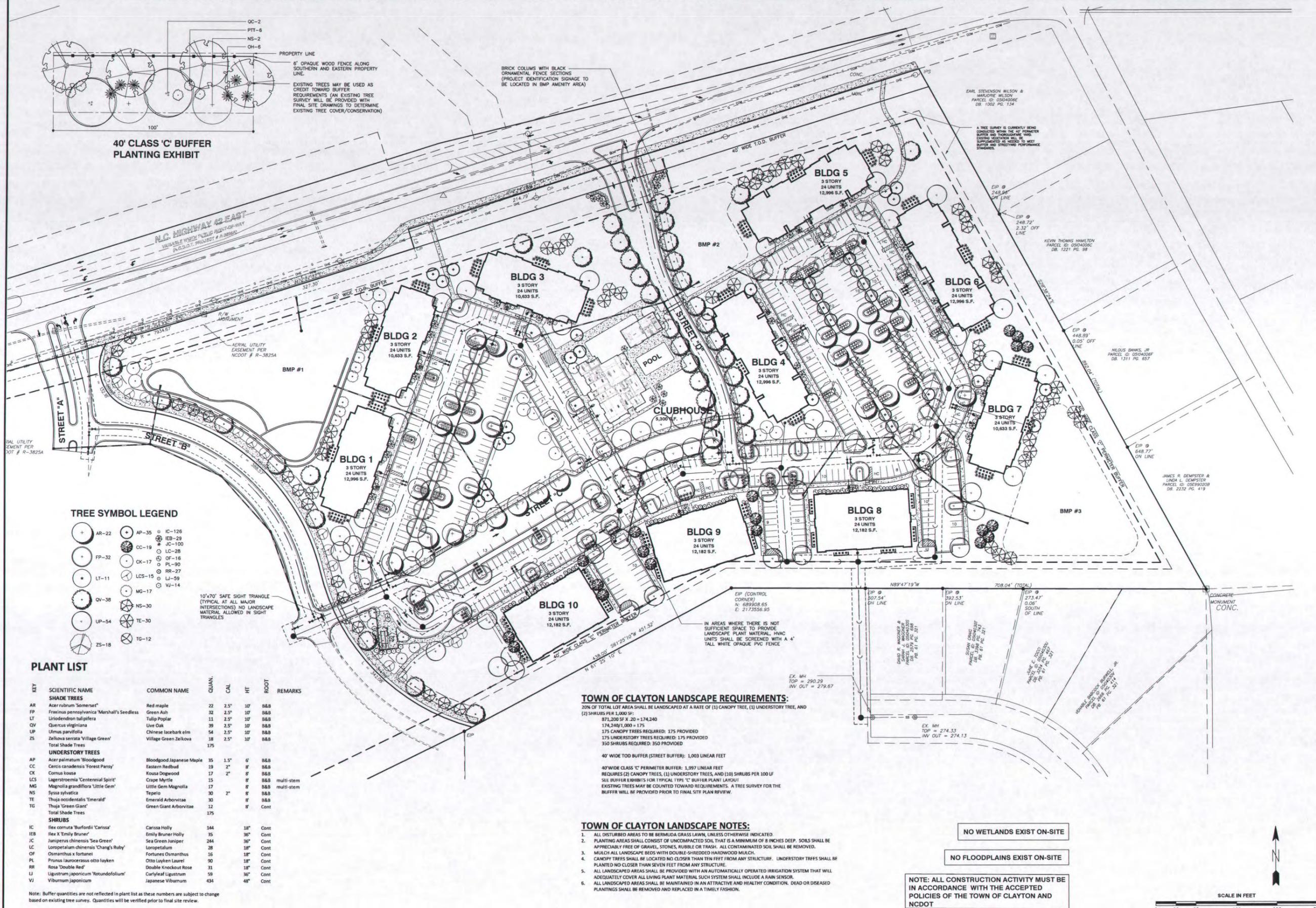
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2	12-17-15	TOWN OF CLAYTON COMMENTS	CW

GP/WIP DATE DRAWN BY
11-02-15 UTILITY & STORM DRAINAGE PLAN
JOB NO. 03-15069
SCALE: 1" = 60'
CHK BY: HRB

THE PINES AT GLEN LAUREL
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

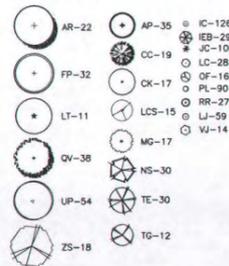
SHEET C2.1
5 OF 7

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



40' CLASS 'C' BUFFER PLANTING EXHIBIT

TREE SYMBOL LEGEND



PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL	HT	ROOT	REMARKS
SHADE TREES							
AR	Acer rubrum 'Someset'	Red maple	22	2.5'	10'	8.8'	
FP	Fraxinus pennsylvanica 'Marshall's Seedless'	Green Ash	32	2.5'	10'	8.8'	
LT	Liriodendron tulipifera	Tulip Poplar	11	2.5'	10'	8.8'	
QV	Quercus virginiana	Live Oak	39	2.5'	10'	8.8'	
UP	Ulmus parvifolia	Chinese lacebark elm	54	2.5'	10'	8.8'	
ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	18	2.5'	10'	8.8'	
UNDERSTORY TREES							
AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	35	1.5'	6'	8.8'	
CC	Cercis canadensis 'Forest Pansy'	Eastern Redbud	19	2"	8'	8.8'	
CK	Cornus kousa	Kousa Dogwood	17	2"	8'	8.8'	
LCS	Lagerstroemia 'Centennial Spirit'	Crape Myrtle	15	8"	8.8'	multi-stem	
MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	17	8"	8.8'	multi-stem	
NS	Syssa sylvatica	Tepelo	30	2"	8'	8.8'	
TE	Thuja occidentalis 'Emerald'	Emerald Arborvitae	30	8"	8.8'		
TG	Thuja 'Green Giant'	Green Giant Arborvitae	12	8"	8'	Cont	
SHRUBS							
IC	Ilex cornuta 'Barfordii' 'Carissa'	Carissa Holly	144	18"	Cont		
IEB	Ilex X 'Emily Bruner'	Emily Bruner Holly	35	36"	Cont		
JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	244	36"	Cont		
LC	Loropetalum chinensis 'Chang's Ruby'	Loropetalum	28	18"	Cont		
OR	Osmanthus x fortunei	Fortunes Osmanthus	36	18"	Cont		
PL	Prunus laurocerasus otto layken	Otto Layken Laurel	90	18"	Cont		
RR	Rosa 'Double Red'	Double Knockout Rose	31	18"	Cont		
LJ	Ligustrum japonicum 'Retundifolium'	Curlyleaf Ligustrum	59	36"	Cont		
VJ	Viburnum japonicum	Japanese Viburnum	434	48"	Cont		

Note: Buffer quantities are not reflected in plant list as these numbers are subject to change based on existing tree survey. Quantities will be verified prior to final site review.

TOWN OF CLAYTON LANDSCAPE REQUIREMENTS:
 20% OF TOTAL LOT AREA SHALL BE LANDSCAPED AT A RATE OF (1) CANOPY TREE, (1) UNDERSTORY TREE, AND (2) SHRUBS PER 1,000 SF:
 871,200 SF X .20 = 174,240
 174,240 / 1,000 = 175
 175 CANOPY TREES REQUIRED; 175 PROVIDED
 175 UNDERSTORY TREES REQUIRED; 175 PROVIDED
 350 SHRUBS REQUIRED; 350 PROVIDED

40' WIDE TOD BUFFER (STREET BUFFER): 1,003 LINEAR FEET
 40' WIDE CLASS 'C' PERIMETER BUFFER: 1,997 LINEAR FEET
 REQUIRES (2) CANOPY TREES, (1) UNDERSTORY TREE, AND (10) SHRUBS PER 100 LF
 SEE BUFFER EXHIBIT'S FOR TYPICAL 10% 'C' BUFFER PLANT LAYOUT
 EXISTING TREES MAY BE COUNTED TOWARD REQUIREMENTS. A TREE SURVEY FOR THE BUFFER WILL BE PROVIDED PRIOR TO FINAL SITE PLAN REVIEW.

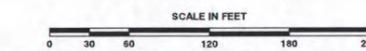
TOWN OF CLAYTON LANDSCAPE NOTES:

1. ALL DISTURBED AREAS TO BE BERMUDA GRASS LAWN, UNLESS OTHERWISE INDICATED.
2. PLANTING AREAS SHALL CONSIST OF UNCOMPACTED SOIL THAT IS A MINIMUM OF 8 INCHES DEEP. SOILS SHALL BE APPRECIABLY FREE OF GRAVEL, STONES, RUBBLE OR TRASH. ALL CONTAMINATED SOIL SHALL BE REMOVED.
3. MULCH ALL LANDSCAPE BEDS WITH DOUBLE-SHROUDED HARDWOOD MULCH.
4. CANOPY TREES SHALL BE LOCATED NO CLOSER THAN TEN FEET FROM ANY STRUCTURE. UNDERSTORY TREES SHALL BE PLANTED NO CLOSER THAN SEVEN FEET FROM ANY STRUCTURE.
5. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
6. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

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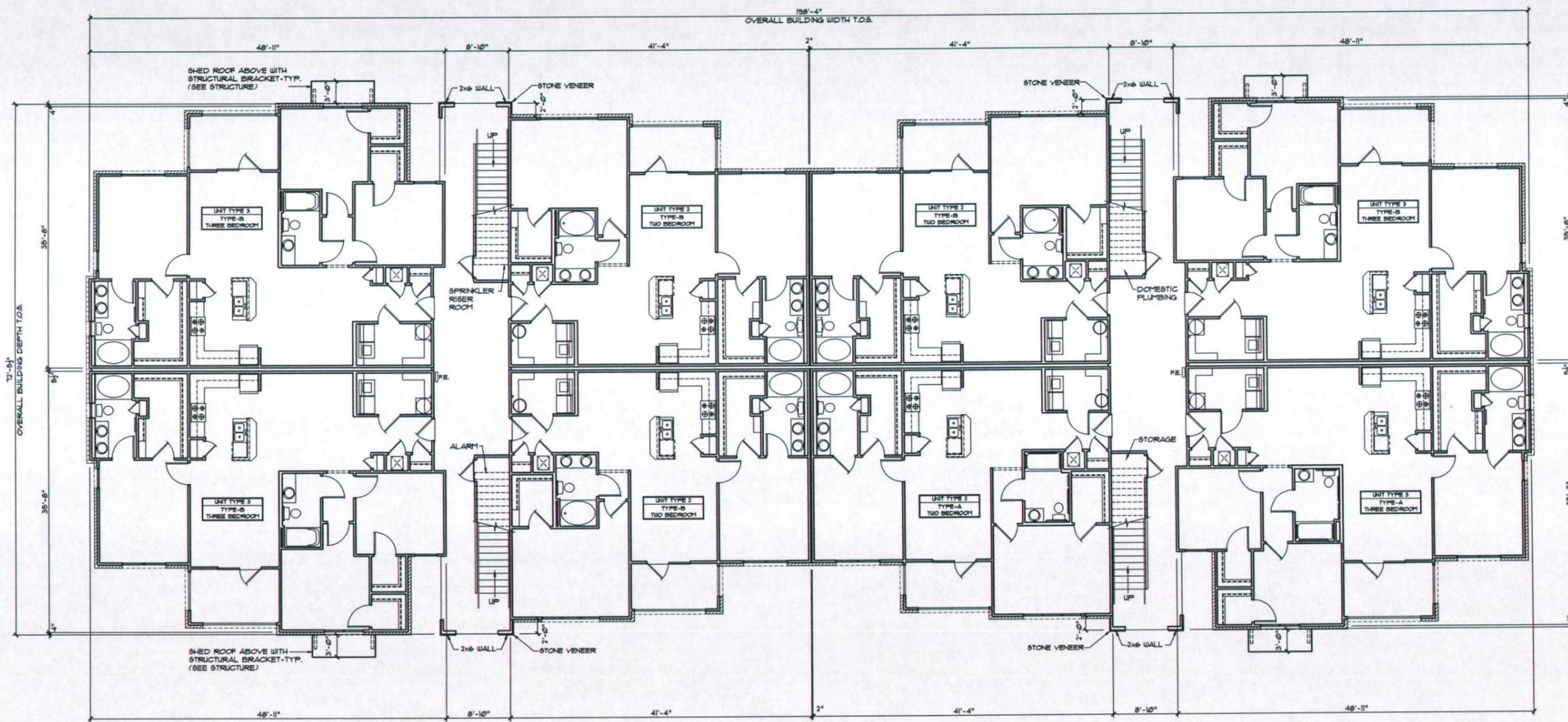
THE PINES AT GLEN LAUREL
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



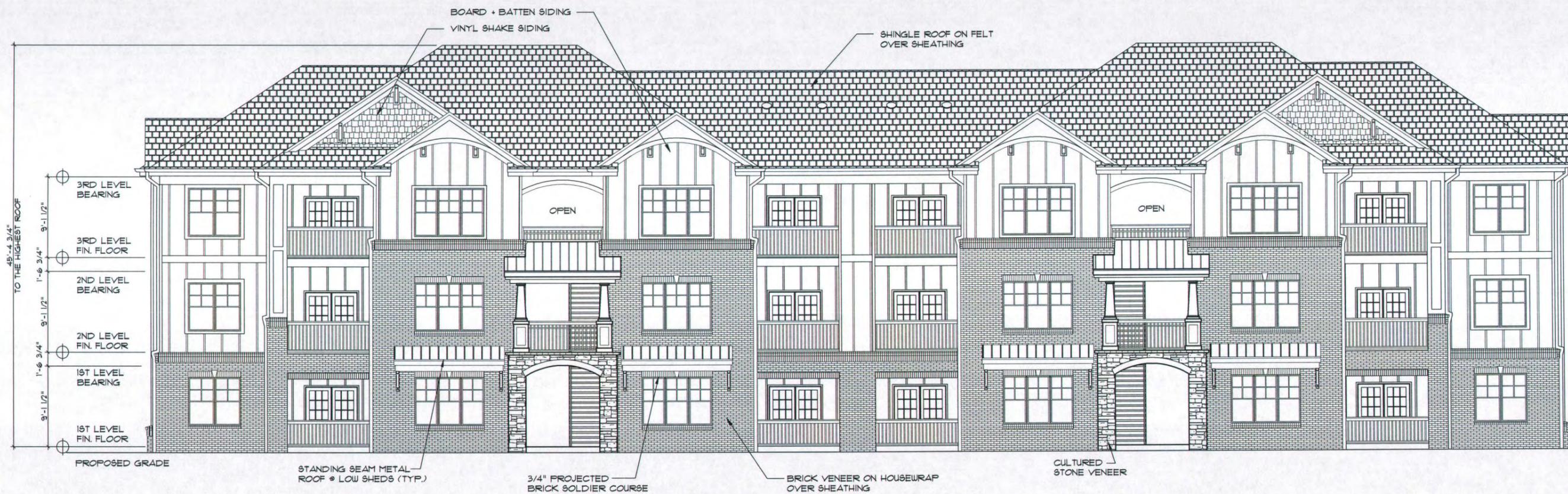
FRONT ELEVATION - BUILDING TYPE 1
 SCALE: 1/8" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



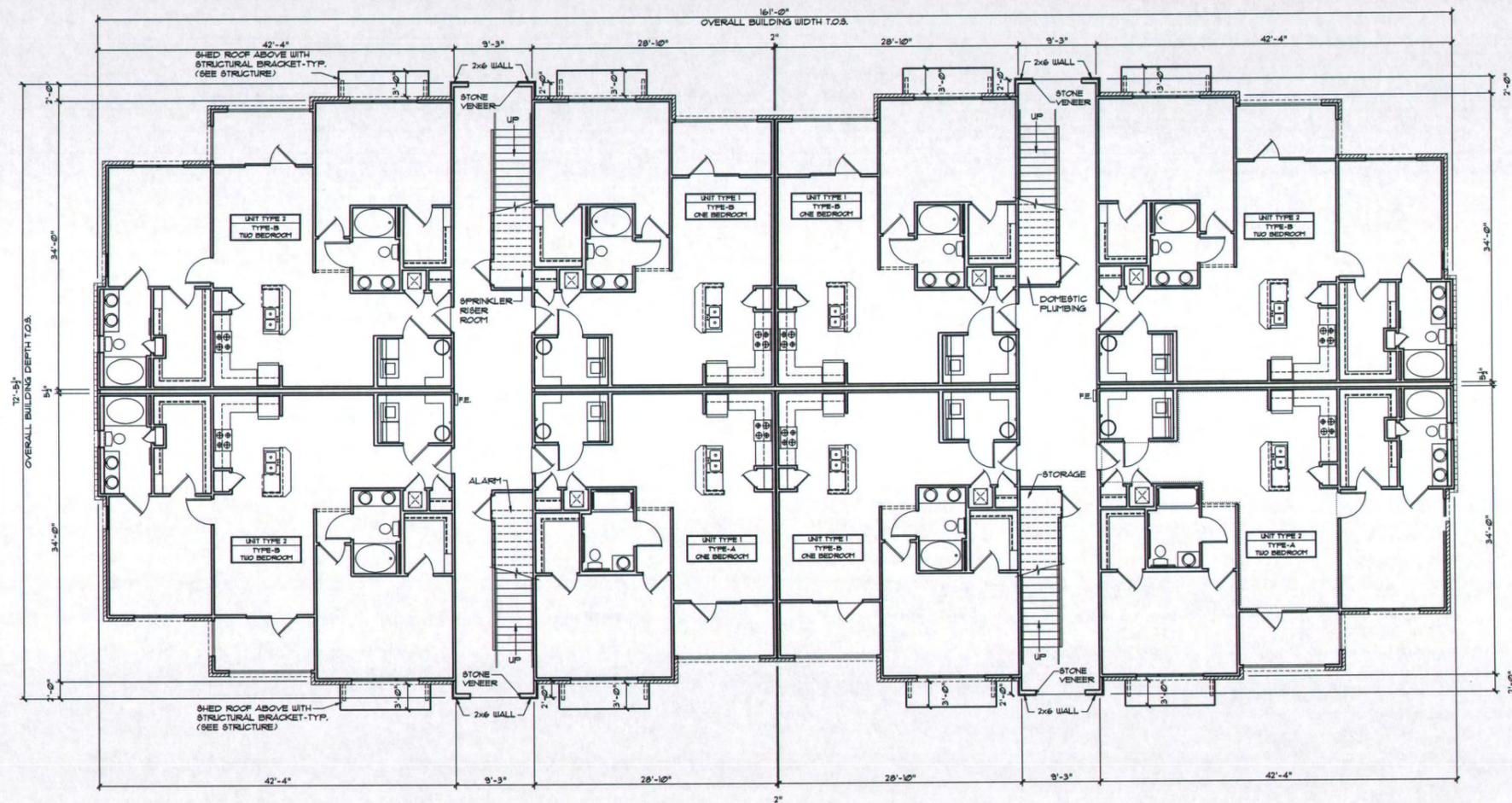
OVERALL FLOOR PLAN - BUILDING TYPE 1
 SCALE: 1/8" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



FRONT ELEVATION - BUILDING TYPE 2
 SCALE: 3/16" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



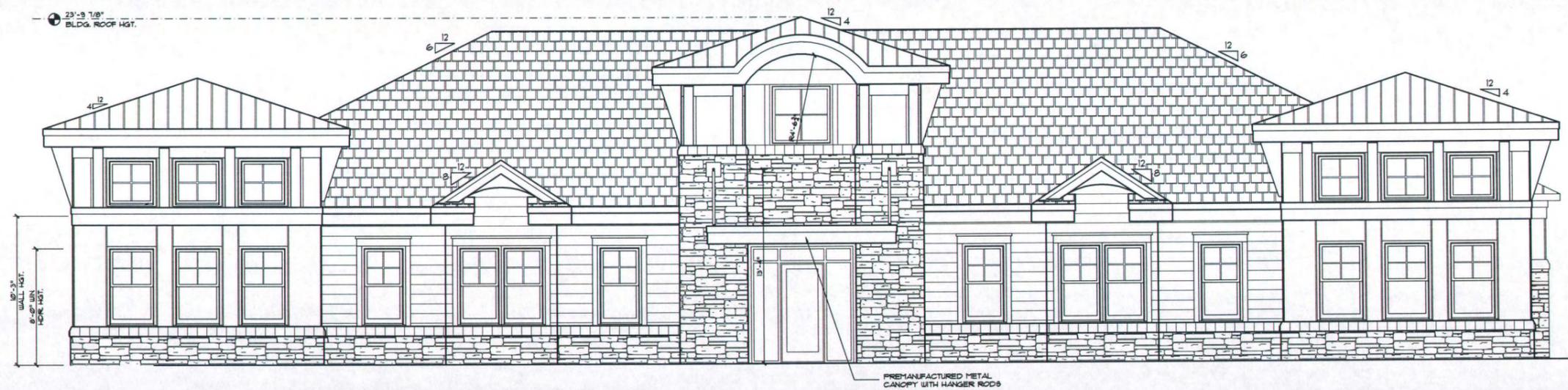
OVERALL FLOOR PLAN - BUILDING TYPE 2
SCALE: 1/8" = 1'-0"

The Pines at Glen Laurel
Clayton, NC



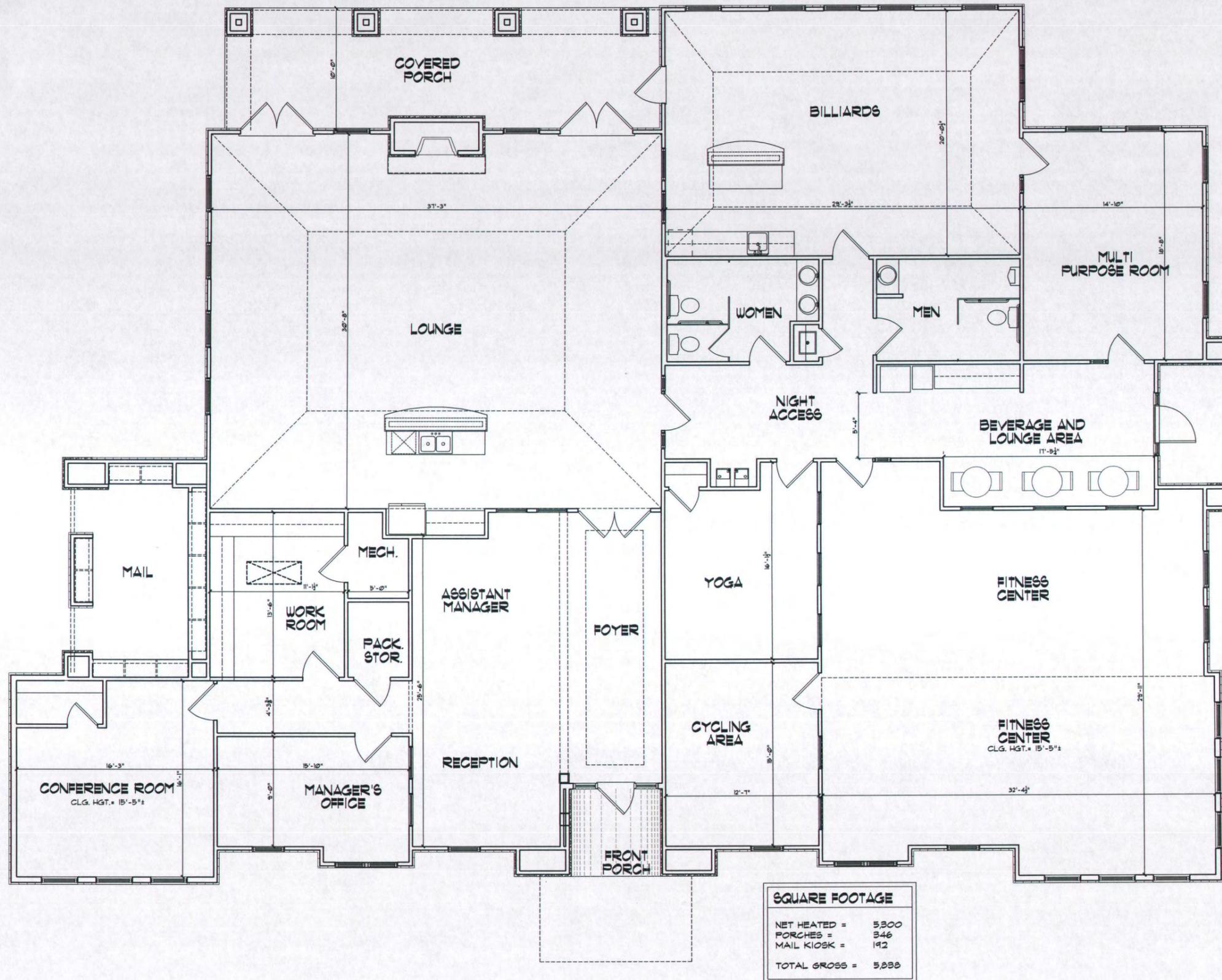
FRONT ELEVATION - BUILDING TYPE 3
 SCALE: 3/16" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



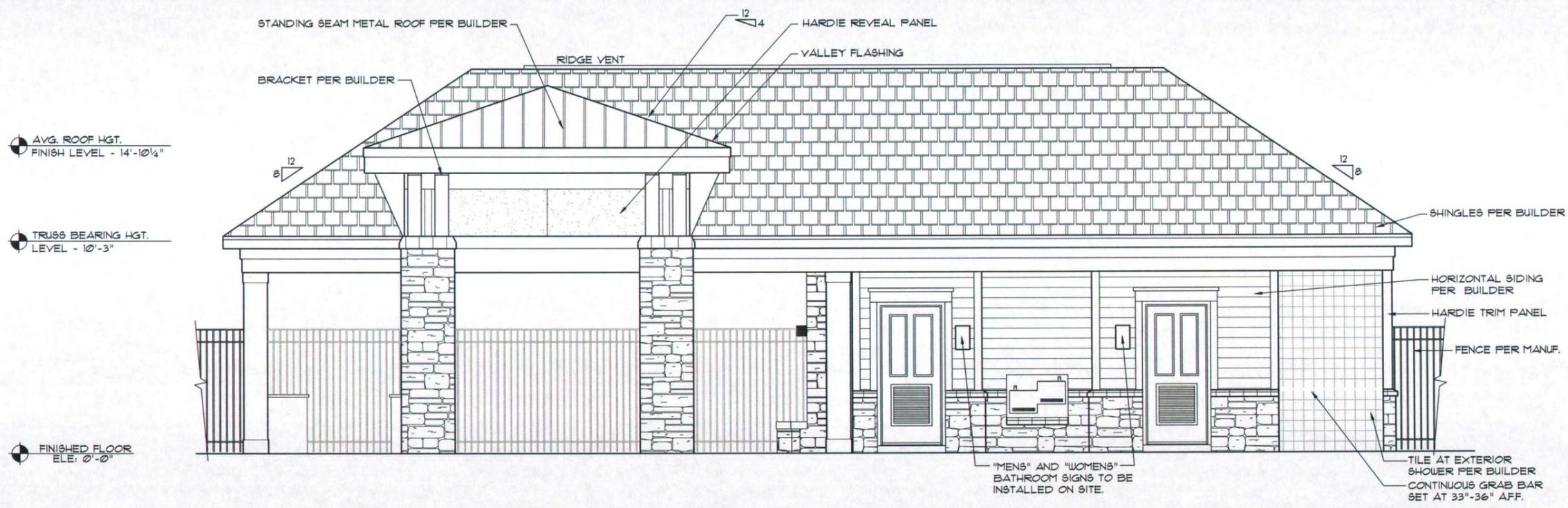
FRONT ELEVATION - CLUBHOUSE
 SCALE: 3/8" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



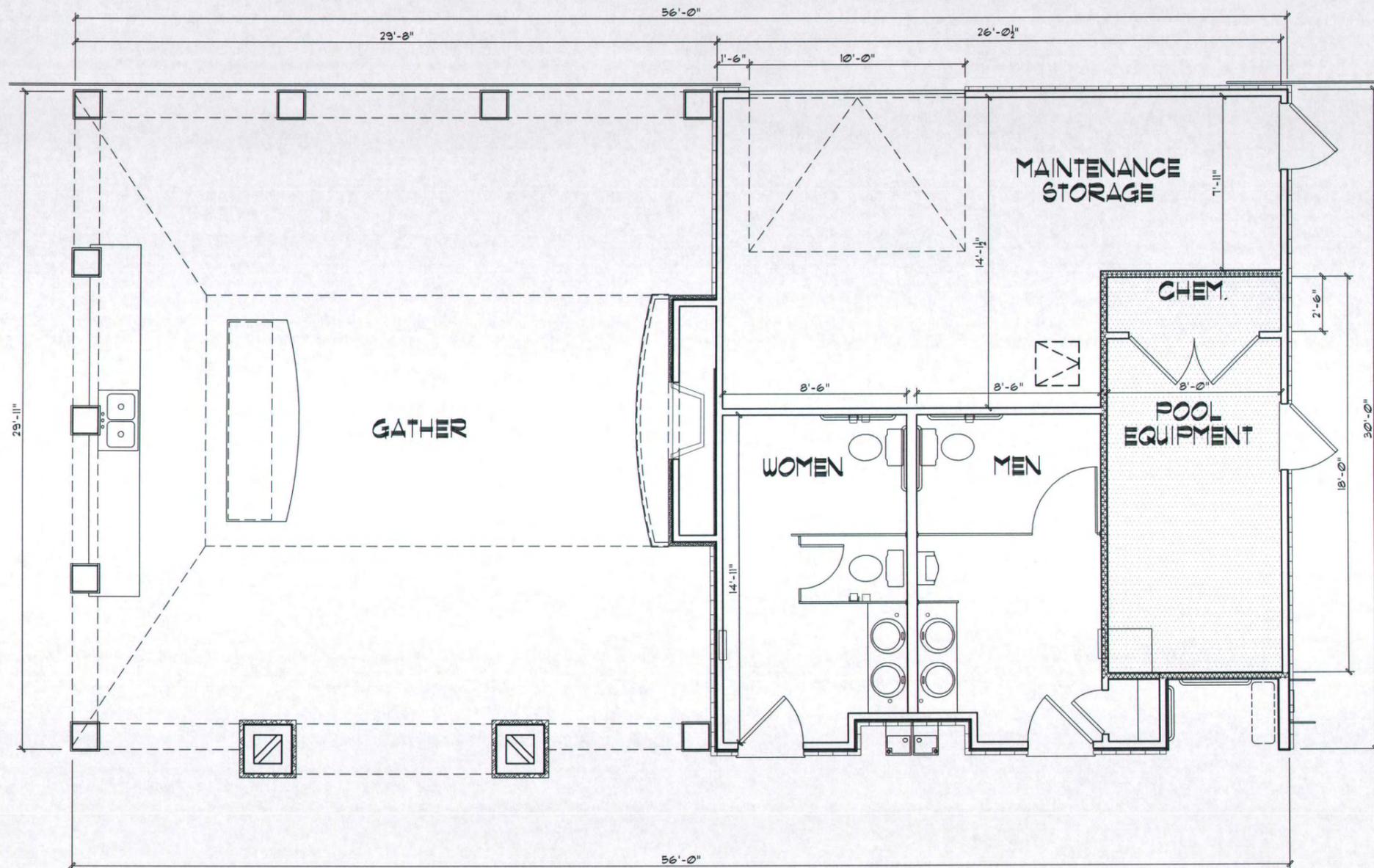
CLUBHOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"

The Pines at Glen Laurel
Clayton, NC



FRONT ELEVATION - POOL HOUSE
SCALE: 3/8" = 1'-0"

The Pines at Glen Laurel
Clayton, NC



POOL HOUSE FLOOR PLAN
 SCALE: 3/8" = 1'-0"

The Pines at Glen Laurel
 Clayton, NC



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
December 28, 2015

STAFF REPORT

Application Number: 15-48-03-SP Project Name: Glen Laurel Self Storage Facility

NC PIN / Tag #: 167800-29-8988 / 05104003
Town Limits/ETJ: Town Limits
Overlay: Thorough Fare Overlay
Applicant: Commercial Properties, Inc.
Owner: James B. Hunt, Jr.
Location: Located on the corner of Glen Laurel Road and Hwy 42 East.

Public Noticing:

- Neighborhood meeting October 12, 2015
- Sign posted prior to December 18, 2015

REQUEST: The applicant is requesting major site plan approval to develop self-storage facility as a part of the NC 42 East Mixed Use Planned Development.

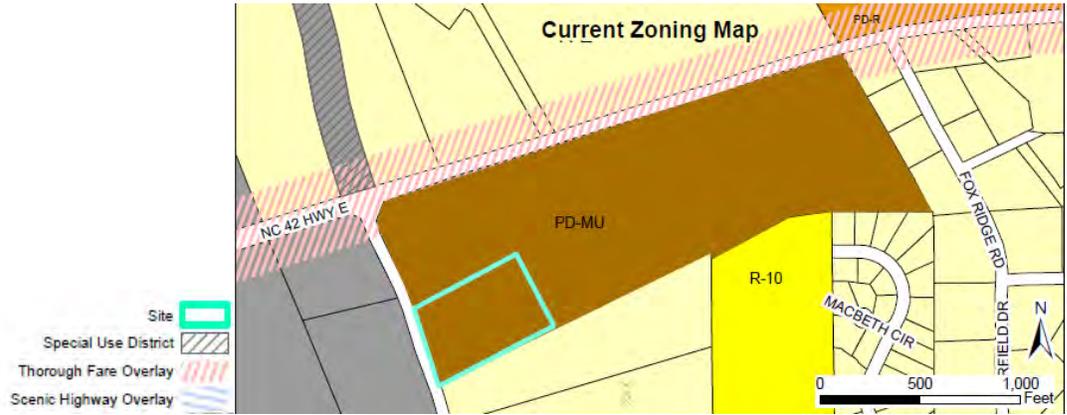
SITE DATA:

Acreage: 4.98
Existing Use: Vacant



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate (R-E)	Vacant
South	Residential-Estate (R-E) & Residential-10 (R-10)	Vacant & Single-Family Homes
East	Residential-Estate (R-E)	Single-Family Homes
West	Industrial-Heavy (I-2)	Caterpillar



DEVELOPMENT DATA:

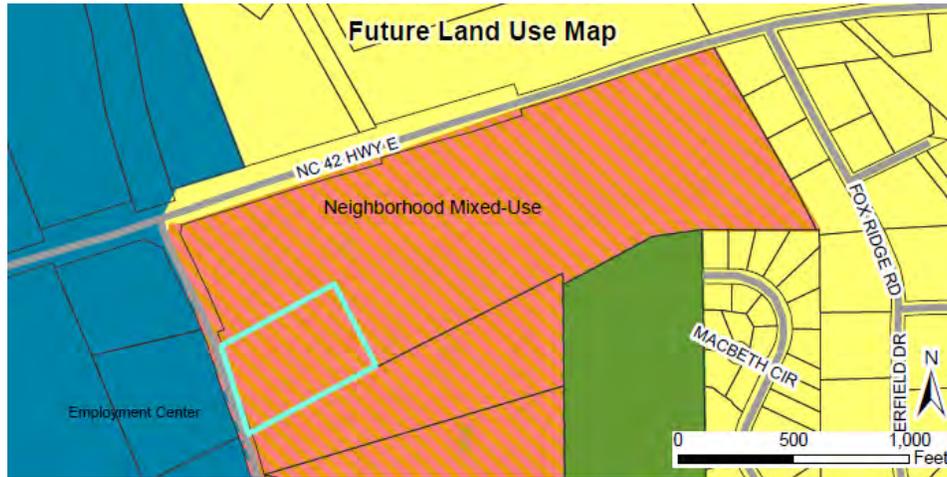
- Proposed Uses: Self-Storage Facility
- Buildings: 3 buildings
- Number of Stories: One 3-story building, two 1-story buildings
- Impervious Surface: 60%
- Required Parking: 8 spaces
- Proposed Parking: 8 spaces (1 handicap)
- Fire Protection: Town of Clayton
- Access/Streets: 2 access points; one located off of Glen Laurel Road, and one will be connecting to the commercial portion of the NC 42 East Mixed Use Development.
- Water/Sewer Provider: Town of Clayton
- Electric Provider: To be determined

STAFF ANALYSIS:

Overview

The applicant is requesting major site plan approval to develop a self-storage facility on 4.98 acres of the subject parcel, located on the corner of NC HWY 42 East and Glen Laurel Road. The facility will consist of 120,900 total square feet within three separate buildings. This facility will be a part of the NC 42 East Mixed Use Planned Development. The subject parcel was rezoned to Planned Development-Mixed Use (PD-MU) on December 7th, 2015. A Master Plan for the property was also approved at this time, which set the development standards for

the property. This site plan is consistent with the development standards in the approved Master Plan, and any conditions of approval that were placed on the Master Plan will be applied to the approval of this site plan.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**
The 2040 Comprehensive Plan designates this site as "Neighborhood Mixed Use". The proposed use is consistent with this designation because it is a part of the NC 42 East Mixed Use Planned Development, which was approved to include a variety of uses including a self-storage facility such as this one.
- **Unified Development Code**
The proposed development meets the requirements in the Unified Development Code (UDC).

Landscaping and Buffering

The site meets all applicable elements of the UDC landscaping requirements. Since the development is a part of a Planned Development, it is required to provide a Class "C" landscape buffer along all project boundaries. The applicant is proposing a 40' Class "C" landscape buffer along the Southern project boundary, and a 15' Class "C" landscape buffer along Glen Laurel Road. An alternative buffer approval has been granted for the frontage on Glen Laurel Road to remove the requirement for a 6 foot high wall, fence, hedge, berm, or combination thereof. However, the applicant will still be providing a 6 foot tall wooden fence as a part of the 40' buffer along the Southern property line. Additionally, the applicant will be providing landscaping throughout the site in order to meet the interior landscaping requirements listed in the UDC.

Access/Streets

The site will have a main access driveway off of Glen Laurel Road. This will be a full access, and the applicant will be providing a left-turn lane for those exiting the site onto Glen Laurel Road. The applicant will also be stubbing out for a future internal drive connection to the commercial portion of the NC 42 East Mixed Use Development.

Multi-Modal Access

The applicant will be constructing a greenway path along Glen Laurel Road. This will connect to a sidewalk at the entrance to the site along Glen Laurel Road, which will connect up to the main building. The sidewalks along the self-storage facility will ultimately connect to the East to the commercial portion of the NC 42 East Mixed Use Development.

Garbage / Recycling

There will be no dumpsters located on-site.

Architecture/Design

The external facades of the building will include brick and corrugated metal panels, with a brick parapet wall. Staff feels that the architectural features need to be continued around the buildings to areas that will be visible from the future shopping center. Additionally, in order to ensure complete screening of mechanical equipment, the parapet walls need to continue on all four sides of the building.

Waivers/Deviations/Variations from Code Requirements

None.

CONSIDERATIONS:

- Planning Board approves major site plans. The conditions of approval associated with the NC 42 East Mixed Use Project remain in effect.
-

FINDINGS:

The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS OF APPROVAL:

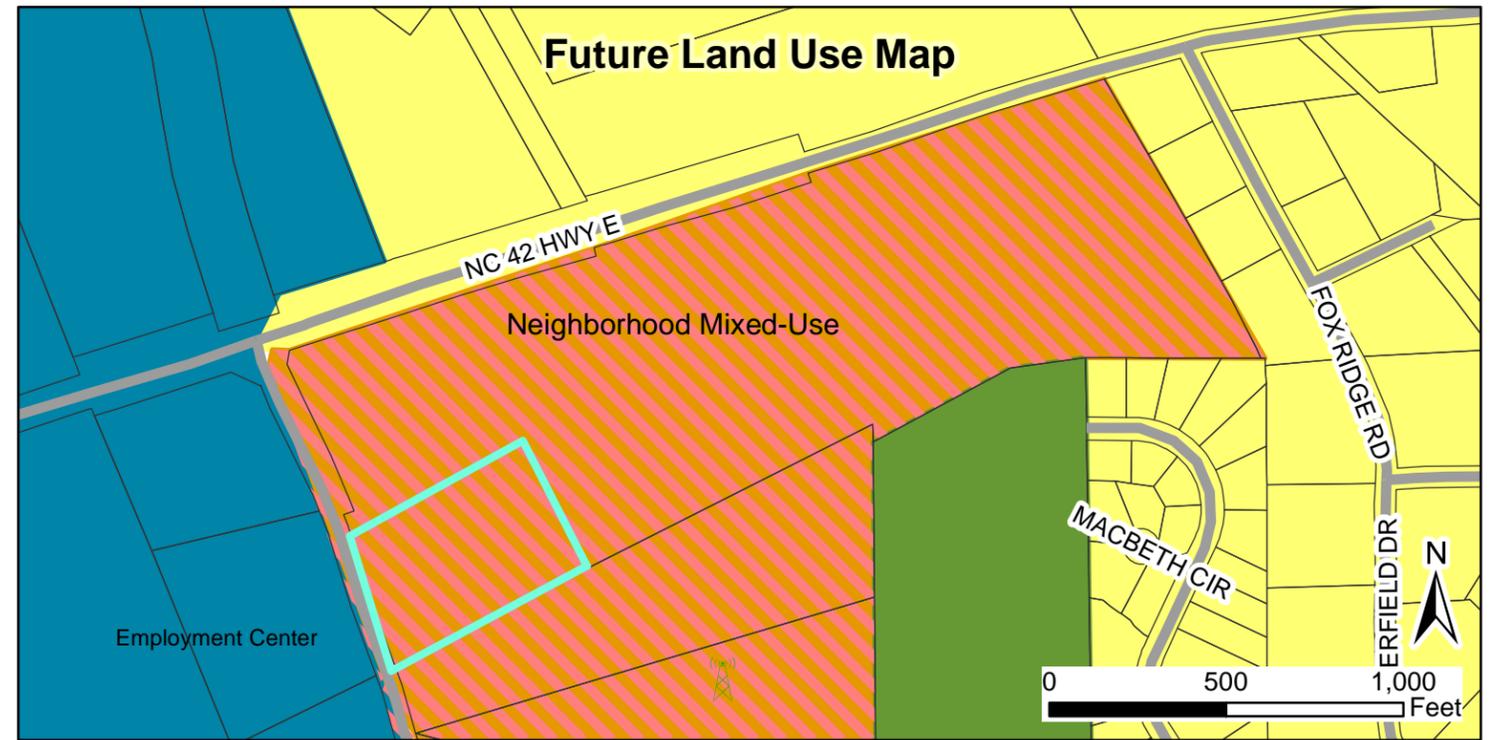
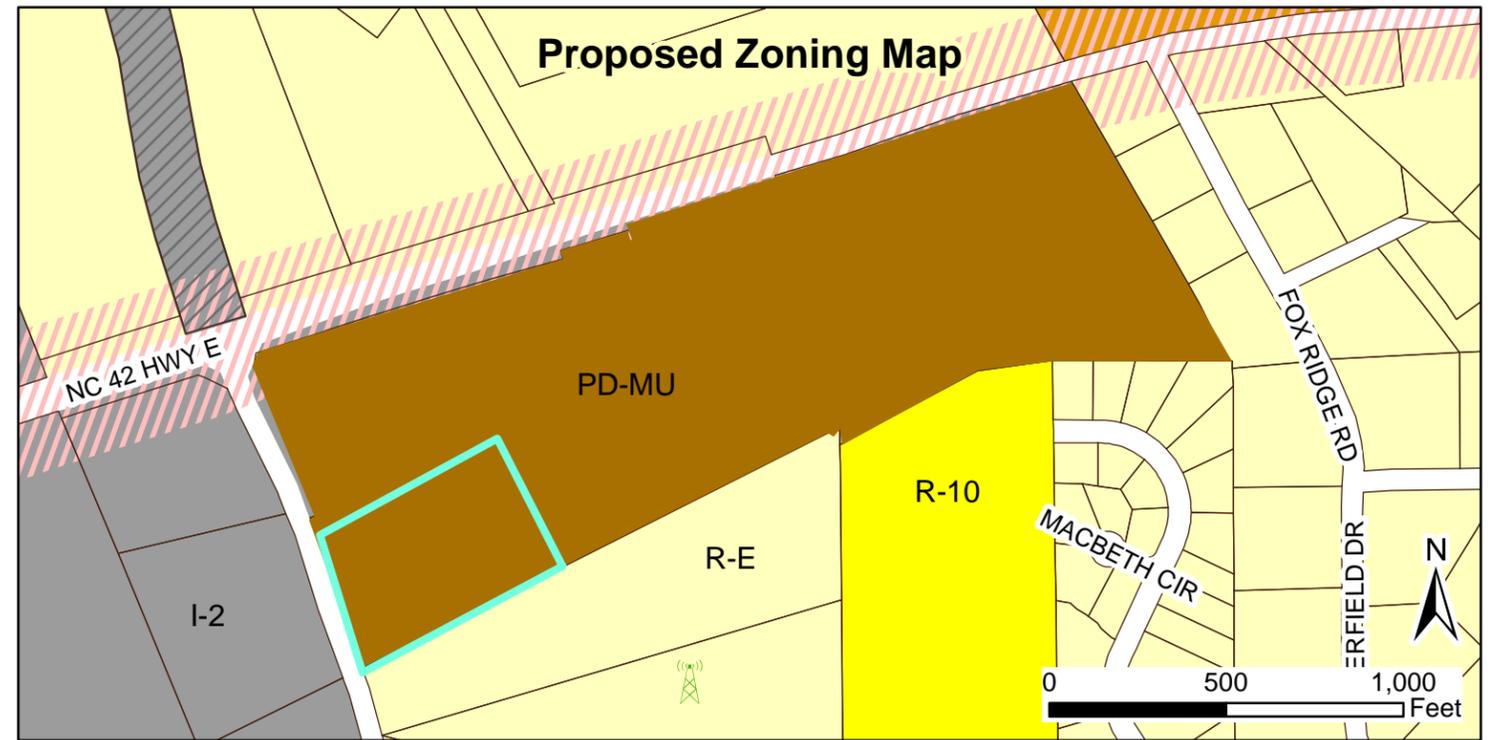
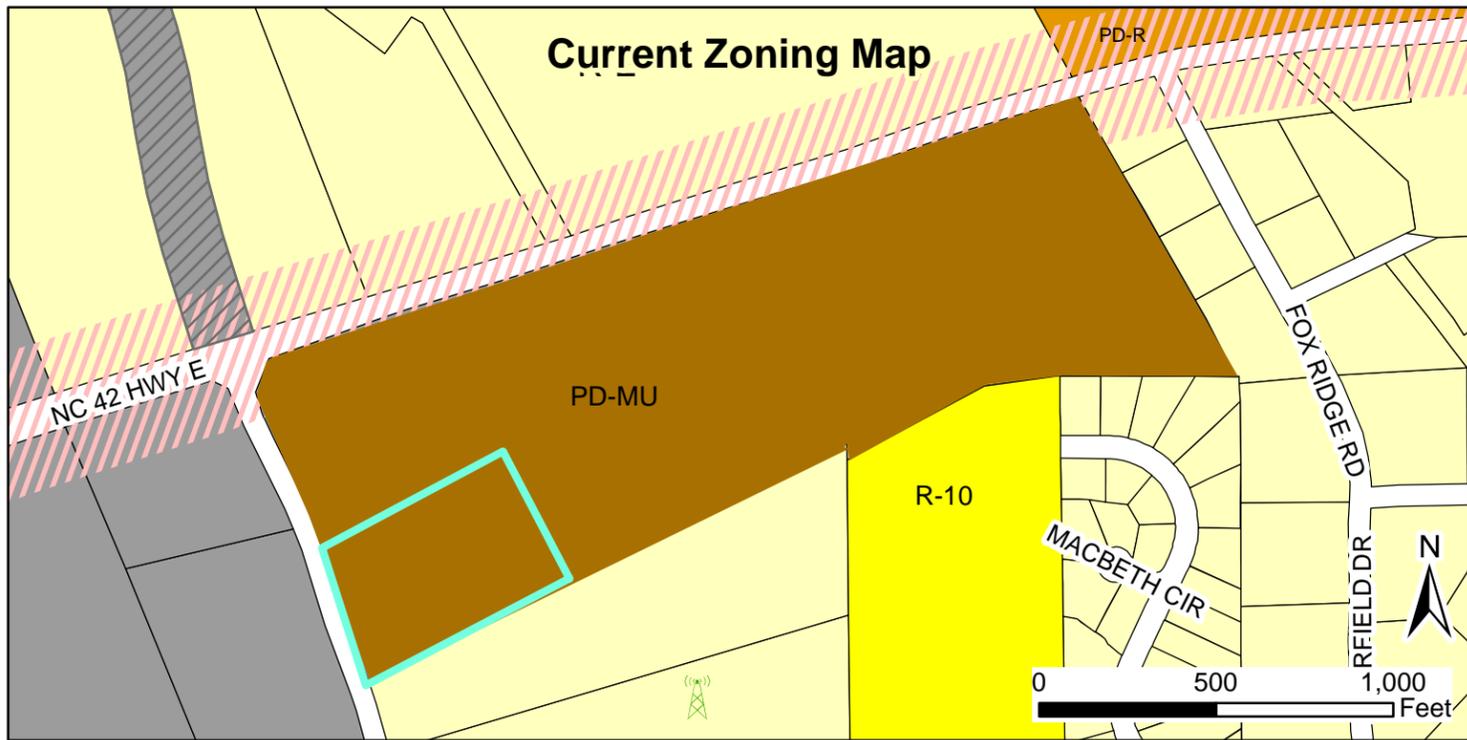
1. The brick façade shall be continued around the buildings to areas that will be visible from outside of the site, particularly the future shopping center.
 2. The parapet walls shall be continued on all four sides of the buildings to ensure complete screening of rooftop mechanical equipment.
-

STAFF RECOMMENDATION:

Staff is recommending approval with conditions of the proposed Major Site Plan (15-48-03-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan



15-48-03-SP - Glen Laurel Self-Storage Facility
Request: To develop a self-storage facility on 4.98 acres of land
 Applicant: Commercial Properties, Inc.
 Property Owner: James B. Hunt Jr.
 Parcel ID Number: 167800-29-8988
 Tag #: 05104003



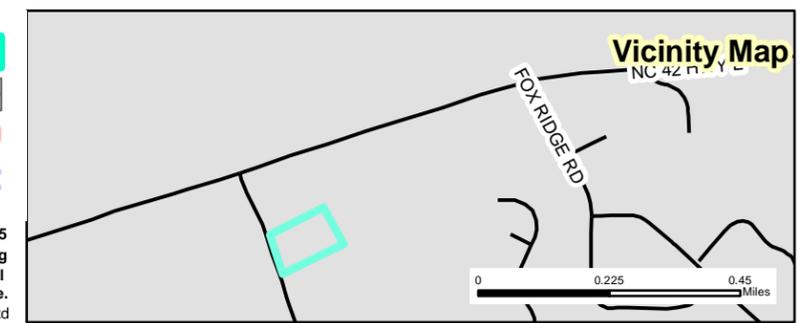
- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay

11/23/2015

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\Glen Laurel Self Storage - 15-48-03-SP\Maps\StaffReportMap.mxd





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

MAJOR SITE PLAN APPLICATION

Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fee: \$500.00 + \$5.00 per acre. *All fees are due when the application is submitted.*

SITE INFORMATION

New Major Site Plan

Major Modification to an approved site plan
Project Modified: _____

Name of Project: GLEN LAUREL SELF STORAGE Acreage of Property: 4.98

County Tag #: 05104003 NC PIN: 167800-29-8988

Address/Location: 1430 NC HWY 42, CLAYTON, NC 27527

Existing Use: VACANT Proposed Use: SELF-STORAGE FACILITY

Zoning District: PDD-MU

Is project within a Planned Development? No
 Yes (list): 15-48-01-PDD

Is project within an Overlay District? No
 Yes (list): TOD-NC 42, WATERSHED PROTECTION

FOR OFFICE USE ONLY

Date Received: <u>NOV 04 2015</u>	Amount Paid: <u>\$525.00</u>	File Number: <u>15-48-03-SP</u>
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PROPERTY OWNER INFORMATION

Name: JAMES B. HUNT, JR
 Mailing Address: 1441 NC 42E., CLAYTON, NC 27527
 Phone Number: N/A Fax: N/A
 Email Address: N/A

APPLICANT INFORMATION

Applicant: COMMERCIAL PROPERTIES, INC
 Mailing Address: 1004 WAKE FOREST RD., RALEIGH, NC 27604
 Phone Number: 919-872-5702 Fax: N/A
 Contact Person: GARRY P. WALSTON
 Email Address: GARRY.WALSTON@CNK, INC.COM

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
Submit 9 copies of all materials unless otherwise noted or directed by staff					
1. A pre-application conference was held with Town of Clayton staff. Date: <u>7-16-15</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the Plan Requirements Checklist and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application	<input checked="" type="checkbox"/>				
5. Owner's Consent Form <u>ALREADY SUBMITTED</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Plan sets meeting the requirements listed in the Plan Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation <u>ALREADY SUBMITTED</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies) (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC) <u>UNDER REVIEW</u>	<input type="checkbox"/>	<input type="checkbox"/>			
10. Neighborhood meeting notice letter (1 copy)* See sample letter and meeting requirements included in this packet <u>HELD ON 10-12-15</u> *Not required for subdivisions that are part of an approved planned development	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
11. Neighborhood meeting summary form (1 copy) * Included in this packet *Not required for subdivisions that are part of an approved planned development	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

THE PROPOSED DEVELOPMENT CONSISTS OF 1 3 STORY CLIMATE CONTROLLED BUILDING TOTALING 97,500 S.F. AND 2 SINGLE STORY BUILDING @ 11,700 S.F. EACH. OUTDOOR STORAGE IS PROPOSED WHERE A FUTURE BUILDING MAY BE LOCATED.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

GARRY P. WALSTON
Print Name

Garry P. Walston
Signature of Applicant

11-3-15
Date



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
919/851-4422 FAX 919/851-8968 www.bnkinc.com

Date: October 1, 2015

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday, October 12, 2015

Location: Clayton Center (Meeting will be in the Poole Room)
111 E. 2nd Street
Clayton, NC 27520

Time: 6:30 p.m.

Type of Application: Rezoning

General Description: Approximately 45.75 acres at the southeast intersection of NC Highway 42 and Glen Laurel Road is being rezoned from Industrial-2 to Planned Development District – Mixed Use. A copy of the Master Plan for the development has been included with this letter.

If you have any questions prior to or after this meeting, you may contact Garry Walston, RLA at (919) 851-4422.

Sincerely,

A handwritten signature in black ink that reads "Garry P. Walston".

Garry P. Walston, RLA, ASLA, LEED

cc: Clayton Planning Dept.



BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
919/851-4422 FAX 919/851-8968 www.bnkinc.com

Date: October 1, 2015

Neighborhood Meeting Notes

1. The project was introduced by Garry Walston with BNK and the purpose of the meeting was explained.
2. There was only one adjacent property owner in attendance at the meeting.
3. The purpose of the rezoning was explained and the different components of the development were introduced.
4. BNK presented the rezoning plan as well as the development plans for the self-storage facility and the apartments.
5. Jim Dempster (neighbor) expressed concern with regards to stormwater leaving the site adjacent to his property. BNK explained that stormwater would be controlled to pre-development levels and indicated that there are rules in place to protect downstream property owners from increased run-off. The developer and BNK agreed to meet on-site with Jim Dempster to discuss his concerns and address any run-off issues during the Site Plan Phase of the development.
6. Brantley Tillman briefly discussed plans for the future shopping/retail portion of the development and presented preliminary building elevations for the self-storage facility.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: NC 42 MIXED USE DEVELOPMENT

Application: REZONING / SITE PLAN

Location/Date: CLAYTON CENTER / POOLE ROOM @ 6:30

	NAME	ADDRESS
1	JIM DEMPSTER	2024 Fox Ridge Rd
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Application: NC 42 MIXED USE REZONING

Date of Mailing: 10-1-15

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: GARRY WALSTON Signature: Garry P. Walston

Date of Meeting: 10-12-15 Time of Meeting: 6:30

Location of Meeting: CLAYTON CENTER / POOLIE ROOM

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.

SEE ATTACHED

Please write clearly (or submit a typed summary). Use additional sheets if necessary.



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS

GLEN LAUREL SELF STORAGE FACILITY

SITE PLAN SUBMITTAL

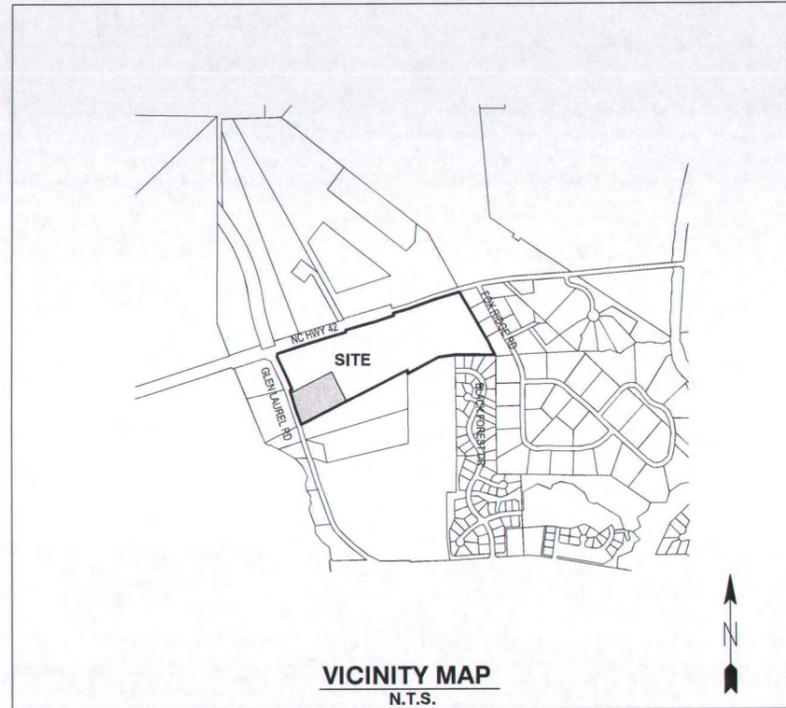
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

TOWN OF CLAYTON PROJECT NO. 15-48-03-SP

SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE	▬	EXISTING CURB INLET
ALUM	ALUMINUM	□	EXISTING GRATE INLET/YARD INLET
AST2	ALUMINIZED STEEL - TYPE 2	▬	EXISTING FLARED END SECTION
B-B	BACK TO BACK	⊕	EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY	⊕	EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER	⊕	EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND	⊕	EXISTING REDUCER
CI	CURB INLET	⊕	EXISTING WATER METER
CL	CENTER LINE	⊕	EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE	⊕	EXISTING CLEAN OUT
CO	CLEAN OUT	⊕	EXISTING POWER POLE
COM	COMMUNICATION	⊕	EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE	⊕	EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE	⊕	EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE	⊕	NEW CURB INLET
DI	DROP INLET	⊕	NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE	⊕	NEW FLARED END SECTION
EASE	EASEMENT	⊕	NEW FIRE HYDRANT
ELEC	ELECTRIC	⊕	NEW BLOW-OFF ASSEMBLY
EX	EXISTING	⊕	NEW GATE VALVE
FES	FLARED END SECTION	⊕	NEW REDUCER
FH	FIRE HYDRANT	⊕	NEW WATER METER
FM	FORCE MAIN	⊕	NEW TEE
FT	FEET	⊕	NEW PLUG
FT/SEC	FEET PER SEC	⊕	NEW MANHOLE
GALV	GALVANIZED	⊕	NEW CLEAN OUT
GV	GATE VALVE	⊕	NEW SIGN
HDPE	HIGH DENSITY POLYETHYLENE	⊕	IRON PIPE
L	LENGTH	⊕	BENCHMARK
LF	LINEAR FEET	⊕	
MH	MANHOLE	⊕	
PAVE	PAVEMENT	⊕	
PE	FINISHED PAD ELEVATION	⊕	
PP	POWER POLE	⊕	
PVC	POLYVINYL CHLORIDE	⊕	
R	RADIUS	⊕	
R/W	RIGHT-OF-WAY	⊕	
RED	REDUCER	⊕	
RCP	REINFORCED CONCRETE PIPE	⊕	
RPZ	REDUCED PRESSURE ZONE	⊕	
SS	SANITARY SEWER	⊕	
STA	STATION	⊕	
TDD	TEMPORARY DIVERSION DITCH	⊕	
TELE	TELEPHONE	⊕	
TSB	TEMPORARY SEDIMENT BASIN	⊕	
UG	UNDERGROUND	⊕	
WCR	WHEELCHAIR RAMP	⊕	
W/L	WATER LINE	⊕	
WM	WATER METER	⊕	
YI	YARD INLET	⊕	

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



SHEET INDEX

	COVER
C1.0	EXISTING CONDITIONS
C1.1	OVERALL SITE DATA
C1.2	SITE PLAN
C2.1	UTILITY & STORM DRAINAGE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS
	3 STORY BUILDING FLOOR PLAN
	3 STORY BUILDING ELEVATIONS
	TYPICAL RV STORAGE FLOOR PLAN
	TYPICAL RV STORAGE ELEVATION

OWNER:

JAMES B. HUNT, JR.
1441 NC 42 EAST
CLAYTON, NC 27527

CONTACT: N/A
PHONE: N/A
EMAIL: N/A

DEVELOPER:

COMMERCIAL PROPERTIES, LLC
1004 WAKE FOREST RD.
RALEIGH, NC 27604

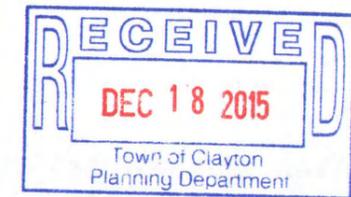
CONTACT: BRANTLEY TILLMAN, CCIM
PHONE: (919) 872-5702
EMAIL: brantley@commprop.net

ENGINEER:



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607
TELEPHONE: (919) 851-4422 or (800) 354-1879
FAX: (919) 851-8968
CERTIFICATION NUMBERS: NCBELS (C-0110)
NCBOLA (C-0267)

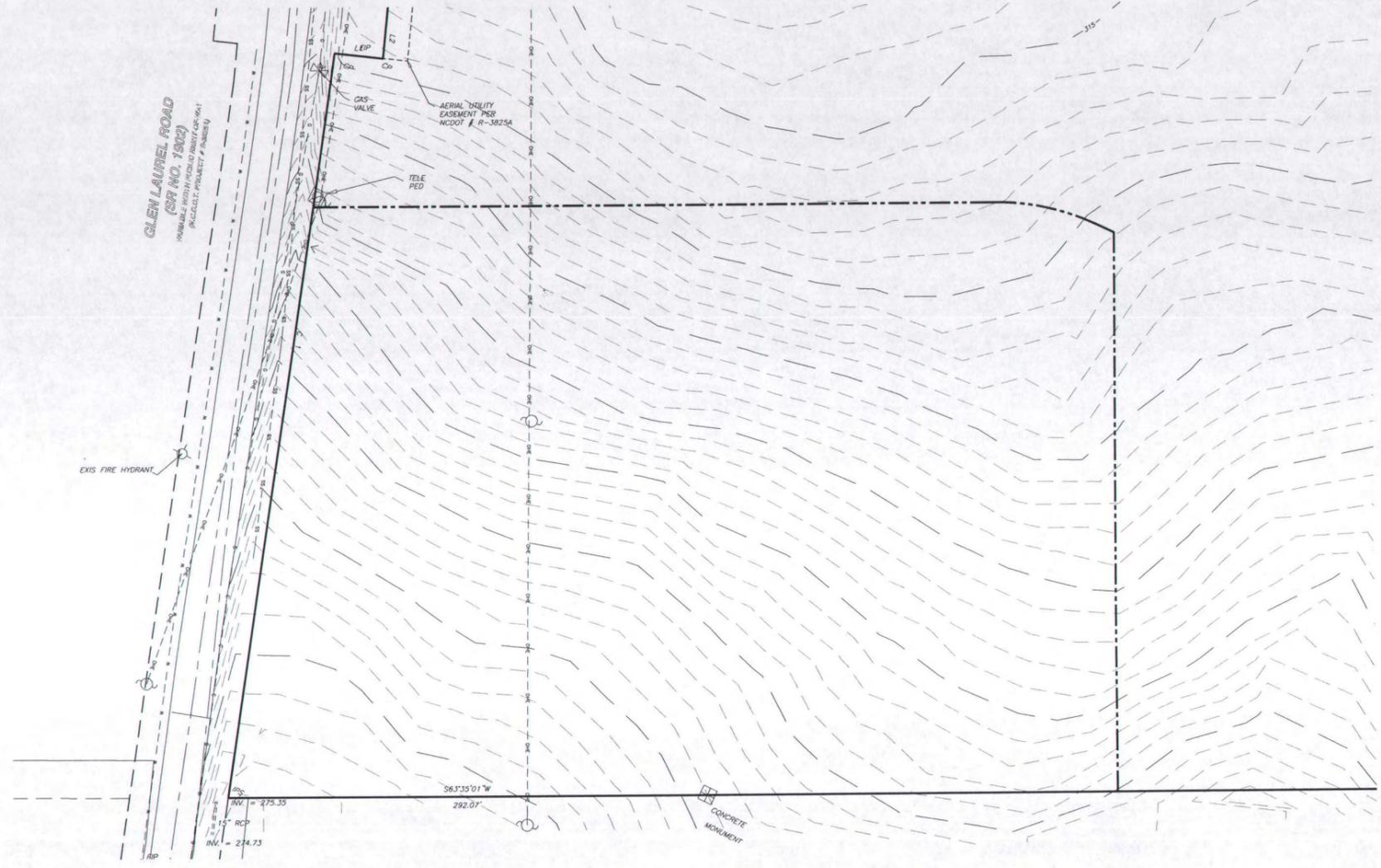
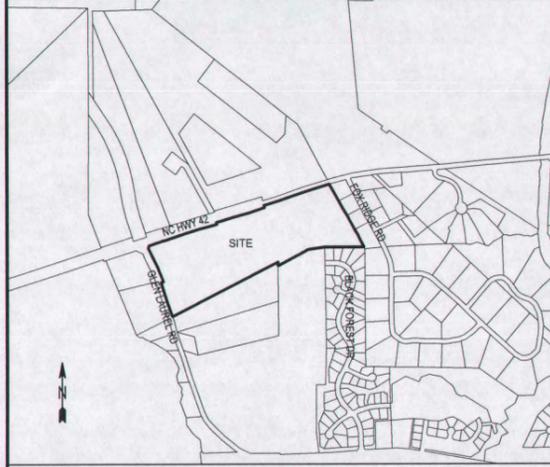
CONTACT: GARRY WALSTON, RLA
EMAIL: Garry.Walston@BNKinc.com



TOWN OF CLAYTON PROJECT NO. 15-48-03-SP

03-15060 THE PINES AT GLEN LAUREL SITE PLAN SUBMITTAL

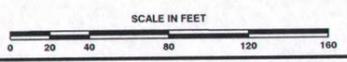
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NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
2	12-17-15	TOWN OF CLAYTON COMMENTS	GW
1	12-01-15	TOWN OF CLAYTON COMMENTS	IP

03-15060 11-02-15 GPW/IP
JOB NO. DATE DRAWN BY
EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1" = 40' CHK BY: KRB

GLEN LAUREL STORAGE FACILITY
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET
C1.0
2 OF 7

Conditions of Approval: 15-48-01-PDD NC 42 East Mixed Use Master Plan

- Following Board approvals, three copies of the Master Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
- The development of the site is limited to the uses approved by the Town Council. Modifications to the approved Master Plan shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
- The Master Plan establishes the bulk, area, and dimensional standards for the overall development. The specific development approvals for the commercial site, apartment site and self-storage site shall be reviewed as a Major Site Plan.
- Outparcels with frontage on NC 42 Hwy E, shall have no more than one bay of parking between the highway and buildings.
- All right-of-way necessary for the widening of NC 42 Hwy E, and Glen Laurel Road shall be dedicated prior to the issuance of a building permit.
- The Master Plan shall note that the final design of NC 42 Hwy E, improvements to be approved by NCDOT and the Town of Clayton.
- All off-site roadway improvements recommended by the Traffic Study, NCDOT Congestion Management, NCDOT Division 4 and the Town will be installed or bonded prior to the issuance of a certificate of occupancy for the portion of the development that generates the roadway improvement.
- A 10 foot greenway shall be constructed by the developer along NC 42 Hwy E, for the entire project frontage to ensure pedestrian connectivity in the area.
- A 10 foot greenway shall be extended from the main entrance on NC 42 Hwy E, through the project to common property line between the development and East Clayton Community Park.
- A minimum 10' multi-use path shall be constructed by the developer for the entire project frontage along Glen Laurel Road.
- The perimeter landscaping along NC 42 Hwy E and Glen Laurel Road, must be installed prior to the issuance of a Certificate of Occupancy for each phase.
- The perimeter landscaping along Glen Laurel Road must be installed prior to the issuance of a Certificate of occupancy for the Self-Storage facility.
- The development shall include a minimum of one shared pedestrian amenity/focal point for the project. Details for focal points shall be submitted as a part of a Major Site Plan application.
- To ensure interconnectivity with future development, there must be one cross access point to the south.
- All roof mounted and at grade mechanical equipment must be completely screened from view.
- Prior to issuance of building permits, subject site shall be annexed into the Town of Clayton.

Waiver: The requirement for a 6' fence, wall, berm, hedge or combination thereof required by UDC Section 155.402(3) for a Class "C" buffer is waived for the areas adjacent to NC 42 Highway East and Glen Laurel Road.

Adjacent Property Owners

Property #	NC P.I.N.	Name	Address
1	167800-79-8988	Subject Parcel	
2	167900-20-0817	Kevin Mark & Elizabeth Brame Hunt Amigh	1423 NC Hwy 42 East, Clayton, NC 27527
3	167900-11-1015	NC Department of Transportation	PO Box 3165, Wilson, NC 27895-8165
4	167900-11-5340	Kevin Mark & Elizabeth Brame Hunt Amigh	1423 NC Hwy 42 East, Clayton, NC 27527
5	167800-18-5884	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633
6	167900-40-2006	James R & Linda L Dempster	2024 Fox Ridge Rd, Clayton, NC 27527
7	167800-28-8063	Town of Clayton	PO Box 879, Clayton, NC 27528
8	167900-40-0306	Kevin Thomas Hamilton	2008 Fox Ridge Road, Clayton, NC 27527
9	167800-49-3654	Patsy B Stone & Nancy J Brantley	202 Deerfield Drive, Clayton, NC 27527
10	167800-49-0761	Venable Babcock Burwell, Jr.	417 Black Forest Dr, Clayton, NC 27527
11	167800-39-9754	June E & Genevieve Toccl	421 Black Forest Dr, Clayton, NC 27527-5373
12	167900-32-0758	Falcon Hamlet LLC	PO Box 979, Cary, NC 27513-0979
13	167900-40-0290	Nilous Banks, Jr	286 Camden Place St, Princeton, NC 27569-94
14	167800-49-1621	Walter Kevin & Tammy Jo White	413 Black Forest Drive, Clayton, NC 27520
15	167900-30-9508	Earl Stevenson & Marjorie Wilson	2000 Fox Ridge Road, Clayton, NC 27527
16	167800-39-8745	Susan Craig	425 Black Forest Drive, Clayton, NC 27520
17	167900-11-2193	James B Jr & Robert Brame Hunt	1441 NC 42 East, Clayton, NC 27527
18	167800-29-4176	Shirley Smith Bullock	5101 Raynor Rd, Garner, NC 27529-9446
19	167800-19-2673	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633
20	167800-39-7744	David R and Sarah J Wagoner	429 Black Forest Drive, Clayton, NC 27527
21	167900-20-3564	Robert B and Margaret H Hunt	1441 NC 42 East, Clayton, NC 27527
22	167800-19-4135	NC Keen Land LLC Corporate Trust Center	871 Cranes Gap Rd, Carlisle, PA 17013-9633

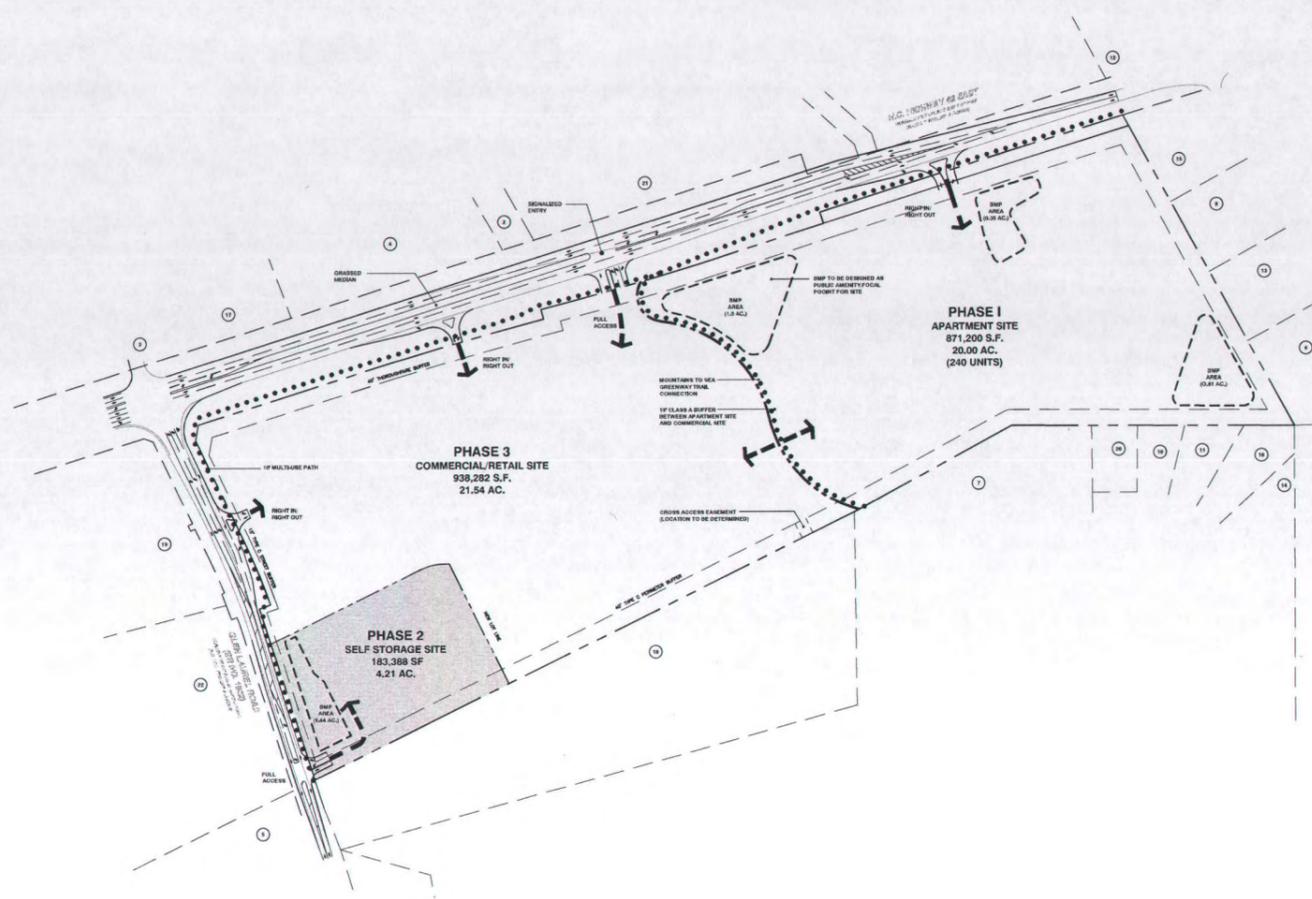


CHART IS CURRENT AS OF DECEMBER 2015

NC 42 MIXED USE DEVELOPMENT CHART									
PHASE	AREA OF PHASE	# OF LOTS	RIGHTS OF WAY	RESOURCE CONSERVATION AREAS	OPEN SPACE	IMPERVIOUS AREA	PERVIOUS AREA	% OF OVERALL SITE	STATUS OF PHASE
OVERALL SITE	45.75 AC.	3	0.55 AC	0.00 AC	5.72 AC	32.0 AC (70% MAX)	15.75 AC	100 %	APPROVED MASTER PLAN
PHASE 1	20.00 AC.	1	0.55 AC	0.00 AC	3.53 AC	9.13 AC	10.87 AC	20 %	IN STAFF REVIEW
PHASE 2	4.21 AC.	1	0 AC	0.00 AC	0.44 AC	2.53 AC	1.68 AC	5.5 %	IN STAFF REVIEW
PHASE 3	21.54 AC.	1	TBD	0.00 AC	TBD	TBD	TBD	TBD	FUTURE



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
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 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-28-15	PE TOC COMMENTS	GPW
2	11-23-15	PE TOC COMMENTS	CW
3	12-17-15	PER TOC COMMENTS	CW

REVISIONS

NO. DATE DESCRIPTION BY

1 09-28-15 PE TOC COMMENTS GPW

2 11-23-15 PE TOC COMMENTS CW

3 12-17-15 PER TOC COMMENTS CW

OVERALL SITE DATA

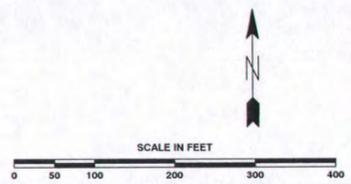
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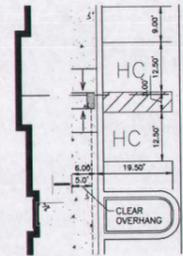
SCALE: 1" = 100'

CHK BY: KRB

GLEN LAUREL SELF - STORAGE
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

C1.1

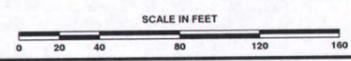
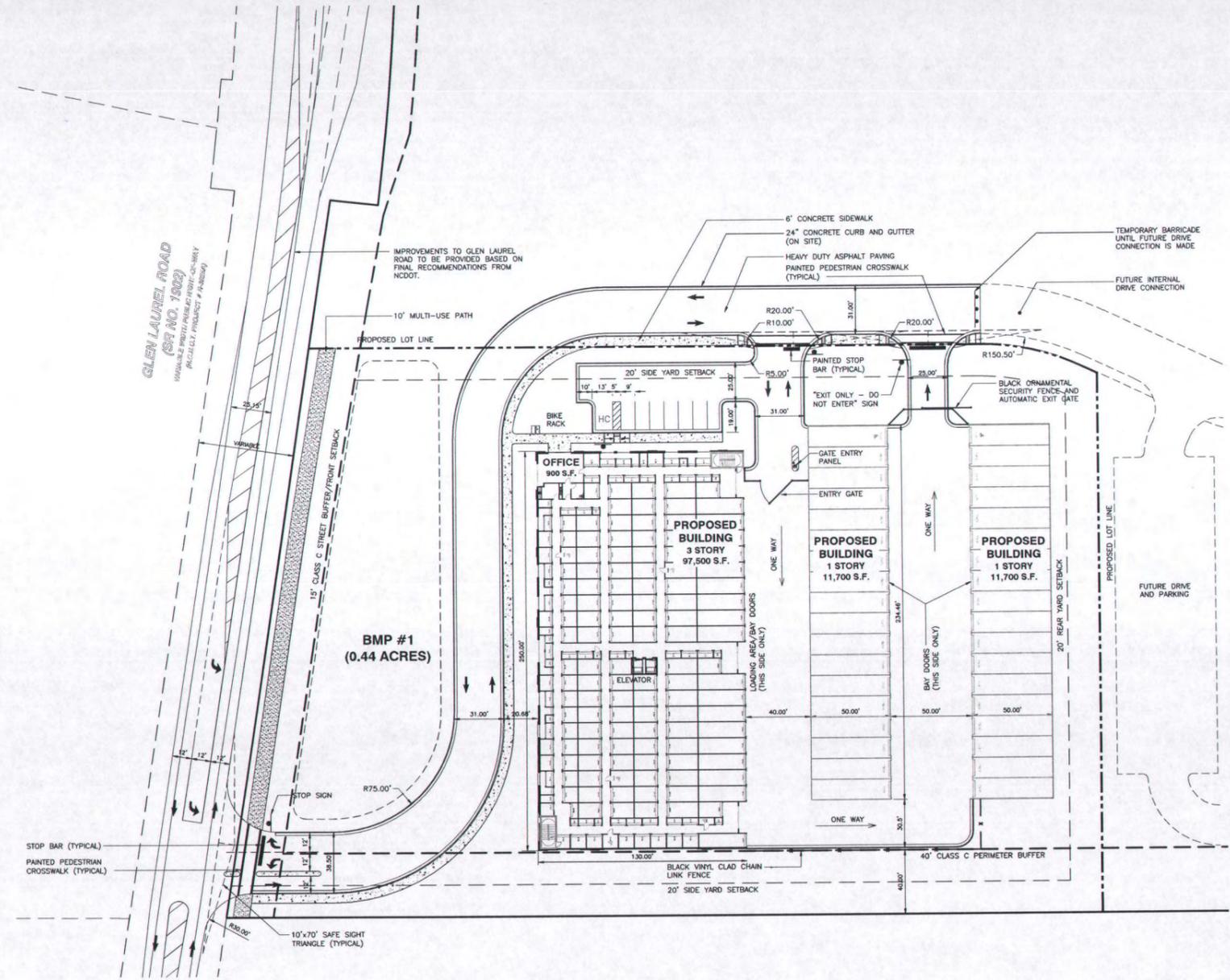




PARKING CLEARANCE DETAIL
SCALE: 1" = 20'

SITE DATA

PROJECT NAME:	GLEN LAUREL SELF-STORAGE
PIN:	PORTION OF 0504003
REAL ID NUMBER:	4224442
ADDRESS:	1430 NC HIGHWAY 42 CLAYTON, NORTH CAROLINA
ZONING (EXISTING):	I-2 HEAVY INDUSTRIAL AND R-E
ZONING OVERLAY:	THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
ZONING (PROPOSED):	PDD-MIXED USE
ZONING OVERLAY:	THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
SITE AREA (GROSS):	4.21 ACRES
PROPOSED DEVELOPMENT:	SELF-STORAGE FACILITY
	120,900 S.F. IN THREE BUILDINGS
BUILDING LOT COVERAGE:	55,900 S.F./183,398 S.F. OR 30.5%
MAXIMUM BUILDING HEIGHT:	50'
NUMBER OF STORIES:	3
PROPOSED DEVELOPMENT SETBACKS:	
FRONT YARD	15'
SIDE YARD	20'
REAR YARD	20'
PROPOSED PARKING REQUIREMENTS: (728 UNITS)	8 REQUIRED/ 8 PROVIDED
NOTE: ALL MECHANICAL EQUIPMENT MUST BE SCREENED ENTIRELY FROM VIEW.	



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-9988
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0287)

NO.	DATE	DESCRIPTION	BY
1	12-01-15	TOWN OF CLAYTON COMMENTS	IP
2	12-17-15	TOWN OF CLAYTON COMMENTS	GW

GLEN LAUREL STORAGE FACILITY
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET **C1.2**
3 OF 7

TOWN OF CLAYTON UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR/OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 998-2334 OR TIMOTHY.BEASLEY@RALEIGH.ING.CITY FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLY AT (919) 998-9923 OR JOANIE.HARTLY@RALEIGH.ING.CITY FOR MORE INFORMATION.



BASS, NIXON & KENNEDY, INC.
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 TELEPHONE: (919) 851-4824, 879-7300, FAX: (919) 851-8988
 CERTIFICATION NUMBERS: NCBELS (C-0110), NCBOLA (C-0267)

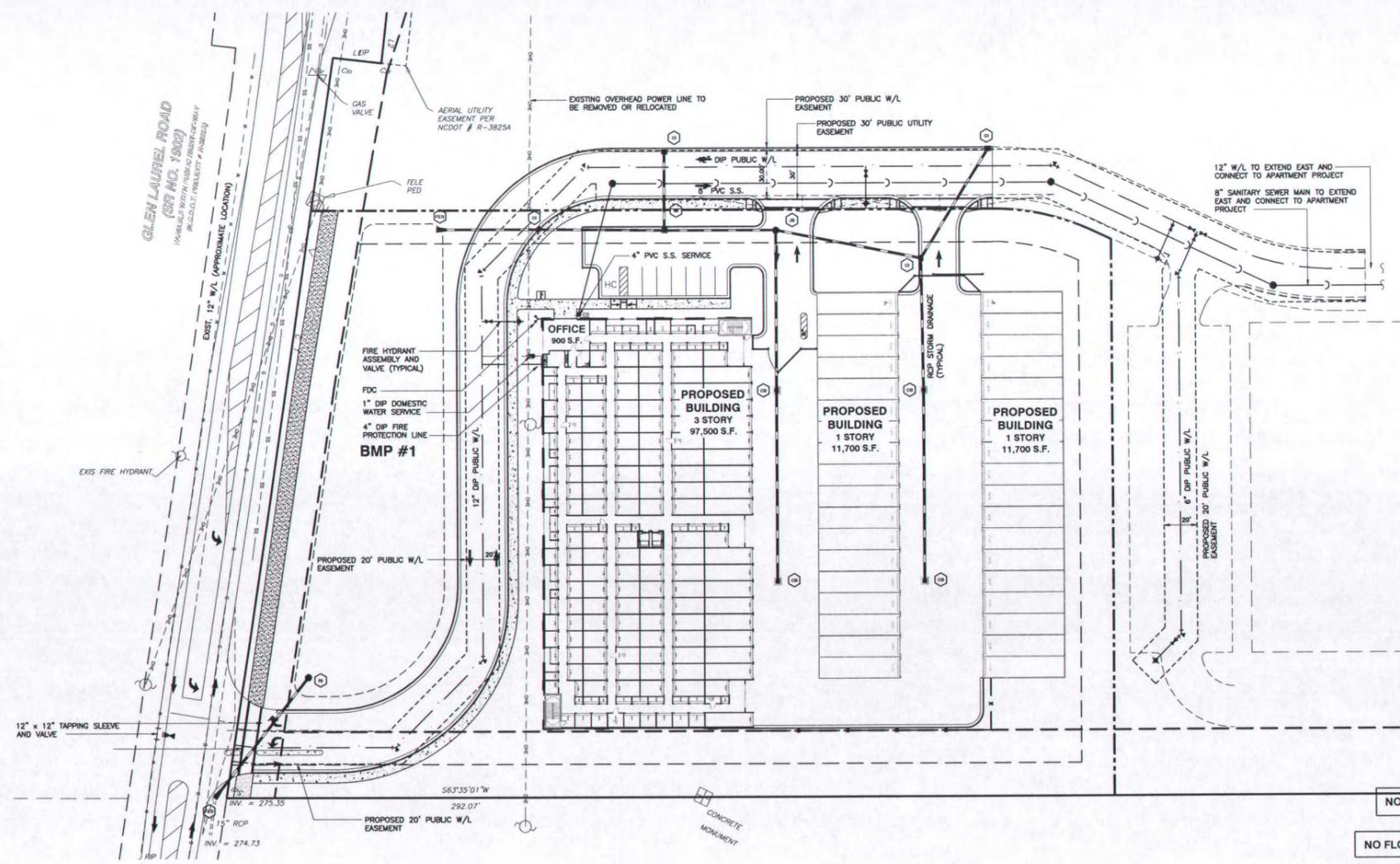
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GLEN LAUREL STORAGE FACILITY
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

UTILITY & STORM DRAINAGE PLAN

SCALE: 1" = 40'

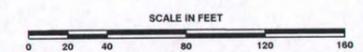
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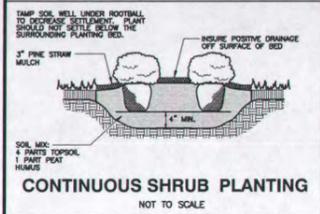
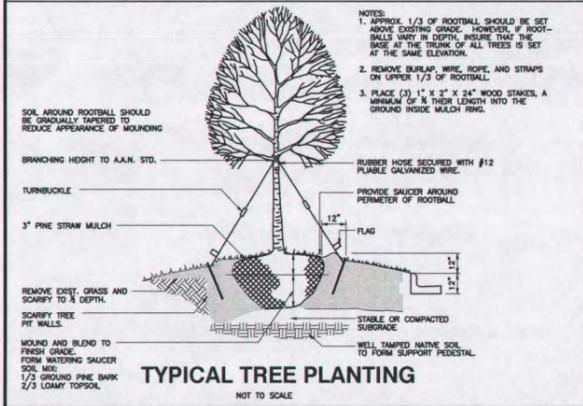


NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



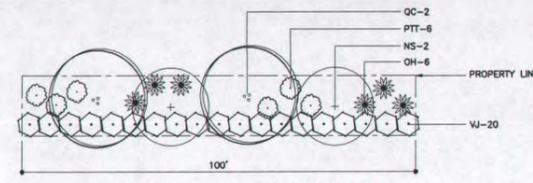


TOWN OF CLAYTON LANDSCAPE REQUIREMENTS:

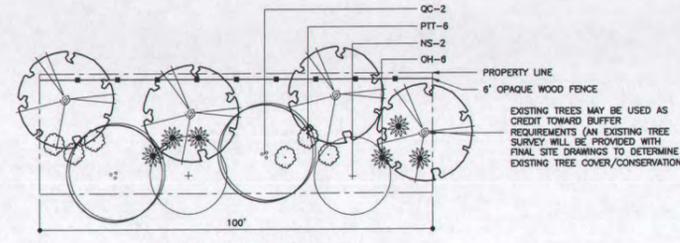
20% OF TOTAL LOT AREA SHALL BE LANDSCAPED AT A RATE OF (1) CANOPY TREE, (1) UNDERSTORY TREE, AND (2) SHRUBS PER 1,000 SF.
 183,388 SF x .20 = 36,678/1,000 = 37
 37 CANOPY TREES REQUIRED: 37 PROVIDED
 37 UNDERSTORY TREES REQUIRED: 37 PROVIDED
 74 SHRUBS REQUIRED: 74 PROVIDED
 300 LINEAR FEET OF 15' CLASS 'C' BUFFER ALTERNATE (STREET BUFFER)
 15' WIDTH REQUIRES (2) CANOPY TREES, (1) UNDERSTORY TREE, AND (10) SHRUBS PER 100 FT (TYPICAL SECTION PROVIDED)
 620 LINEAR FEET OF 40' CLASS 'C' BUFFER (PERIMETER BUFFER)
 (TYPICAL SECTION PROVIDED)

TOWN OF CLAYTON LANDSCAPE NOTES:

- ALL DISTURBED AREAS TO BE BERMUDA GRASS LAWN, UNLESS OTHERWISE INDICATED.
- PLANTING AREAS SHALL CONSIST OF UNCOMPACTED SOIL THAT IS A MINIMUM OF 8 INCHES DEEP. SOILS SHALL BE APPROPRIATELY FREE OF GRAVEL, STONES, RUBBLE OR TRASH. ALL CONTAMINATED SOIL SHALL BE REMOVED.
- MULCH ALL LANDSCAPE BEDS WITH DOUBLE-SHREDDED HARDWOOD MULCH.
- CANOPY TREES SHALL BE LOCATED NO CLOSER THAN TEN FEET FROM ANY STRUCTURE. UNDERSTORY TREES SHALL BE PLANTED NO CLOSER THAN SEVEN FEET FROM ANY STRUCTURE.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.



15' CLASS 'C' BUFFER ALTERNATE PLANTING EXHIBIT



40' CLASS 'C' BUFFER PLANTING EXHIBIT

GENERAL NOTES

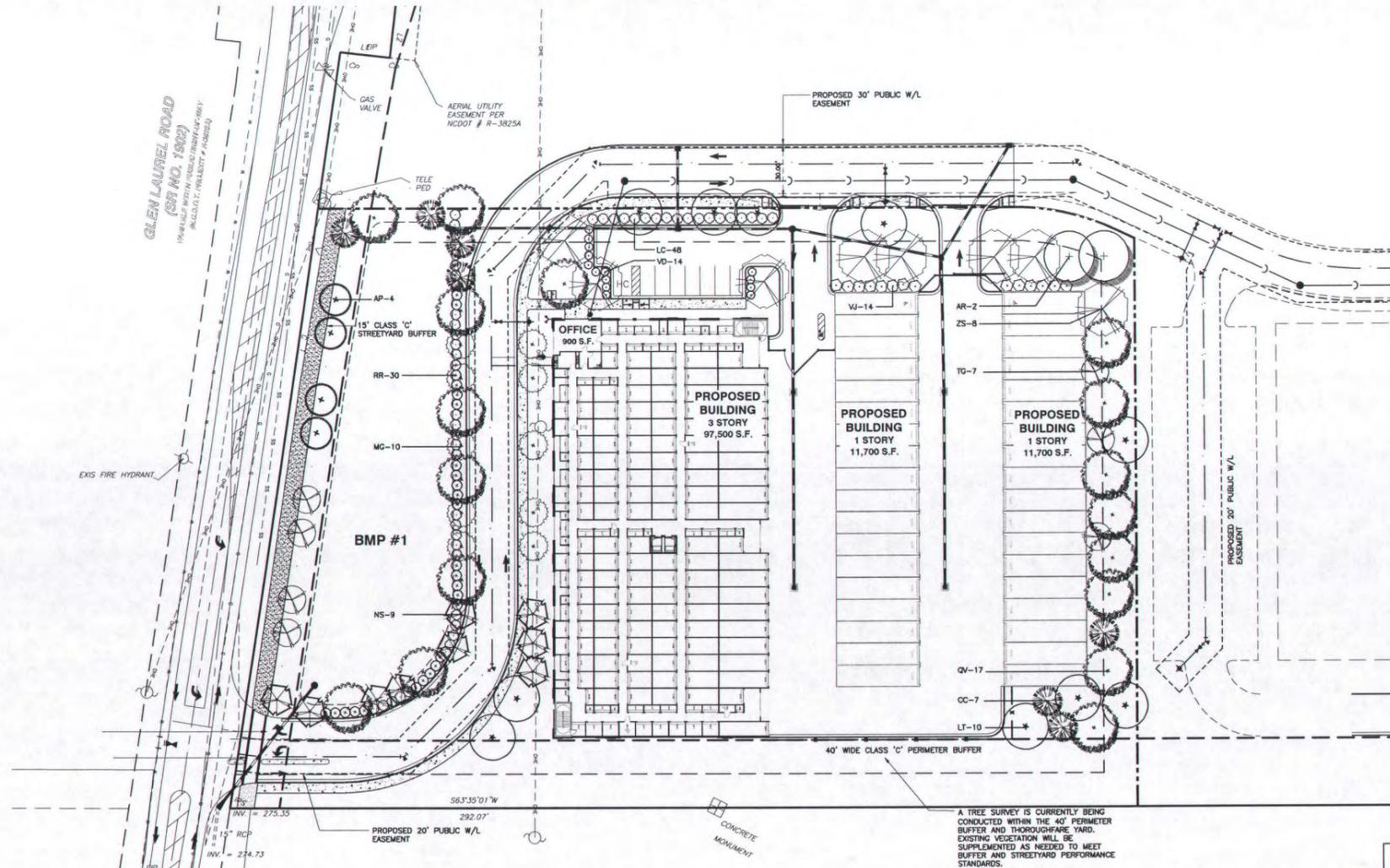
- A/C UNITS, TRANSFORMERS AND OTHER MECHANICAL OR UTILITY EQUIPMENT, NOT SHOWN ON THE PLAN, SHALL BE SCREENED FROM VIEW EITHER BY ADJUSTING PLANTINGS SHOWN IN CLOSE PROXIMITY TO EQUIPMENT OR BY THE ADDITION OF WAX MYRTLES @ 24" HT, 5" OC (SEE GENERAL NOTES FOR EQUIPMENT ACCESSIBILITY AND PLANTING PROXIMITY, ETC.). DUMPSTER IS SCREENED FROM OFF-SITE VIEWS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING.
- MULCH SHALL BE 3" DEEP PINE STRAW UNLESS OTHERWISE NOTED.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL TREES, SHRUBS, GROUNDCOVER, ETC. SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL ROOTBALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO PLANTING.
- B&B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED & BURLAPPED.
- ALL PLANTS/PLANTINGS SHALL BE MULCHED IMMEDIATELY AFTER PLANTING AND WATERED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO PREVIOUS EXISTING GRADE (UNLESS OTHERWISE NOTED).
- ALL TREES AND SHRUBS SHALL REQUIRE MULCH RINGS AT THEIR BASE IF LEFT WITHIN LAWN AREAS.
- MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
- CULVERTS, RIP-RAP STRUCTURES, AND OTHER STORMWATER DEVICES SHALL BE SCREENED WITH EVERGREEN SHRUBS. IF STRUCTURES ARE NOT SHOWN ON THE PLAN, INSTALL WAX MYRTLES @ 24" HT, 5" OC.
- A 2' BUMPER OVERHANG, FROM THE BACK OF CURB, SHALL BE ALLOTTED FOR MATURE SHRUBS.
- TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (C.O.). THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A (C.O.).
- ALL TREES SHALL BE LOCATED A MINIMUM OF 6' FROM SIDEWALKS.

PLANTING NOTES:
 LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC.
 ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
 SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	REMARKS
SHADE TREES							
AR	Acer rubrum 'Somenet'	Red maple	2	2.5"	10'	B&B	
LT	Liriodendron tulipifera	Tulip Poplar	10	2.5"	10'	B&B	
QV	Quercus virginiana	Live Oak	17	2.5"	10'	B&B	
ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	8	2.5"	10'	B&B	
		Total Shade Trees	37				
UNDERSTORY TREES							
AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	4	1.5"	6'	B&B	
CC	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7	2"	8'	B&B	
MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	10		8'	B&B	
NS	Syssa sylvatica	Tepeala	9		8'	B&B	
TG	Thuja 'Green Giant'	Green Giant Arborvitae	7		8'	CONT.	
		Total Understory Trees	37				
SHRUBS							
IEB	Ilex x Emily Bruner	Emily Bruner Holly	6		48"	CONT.	
LC	Loropetalum chinensis 'Chang's Ruby'	Loropetalum	30		12"	CONT.	
RR	Rosa 'Double Red'	Double Knockout Rose	30		12"	CONT.	
VD	Viburnum davidii	David Viburnum	8		12"	CONT.	
VJ	Viburnum japonicum	Japanese Viburnum	14		24"	CONT.	

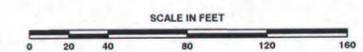
Note: Buffer quantities are not reflected in plant list as these numbers are subject to change based on existing tree survey. Quantities will be verified prior to final site review.



NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



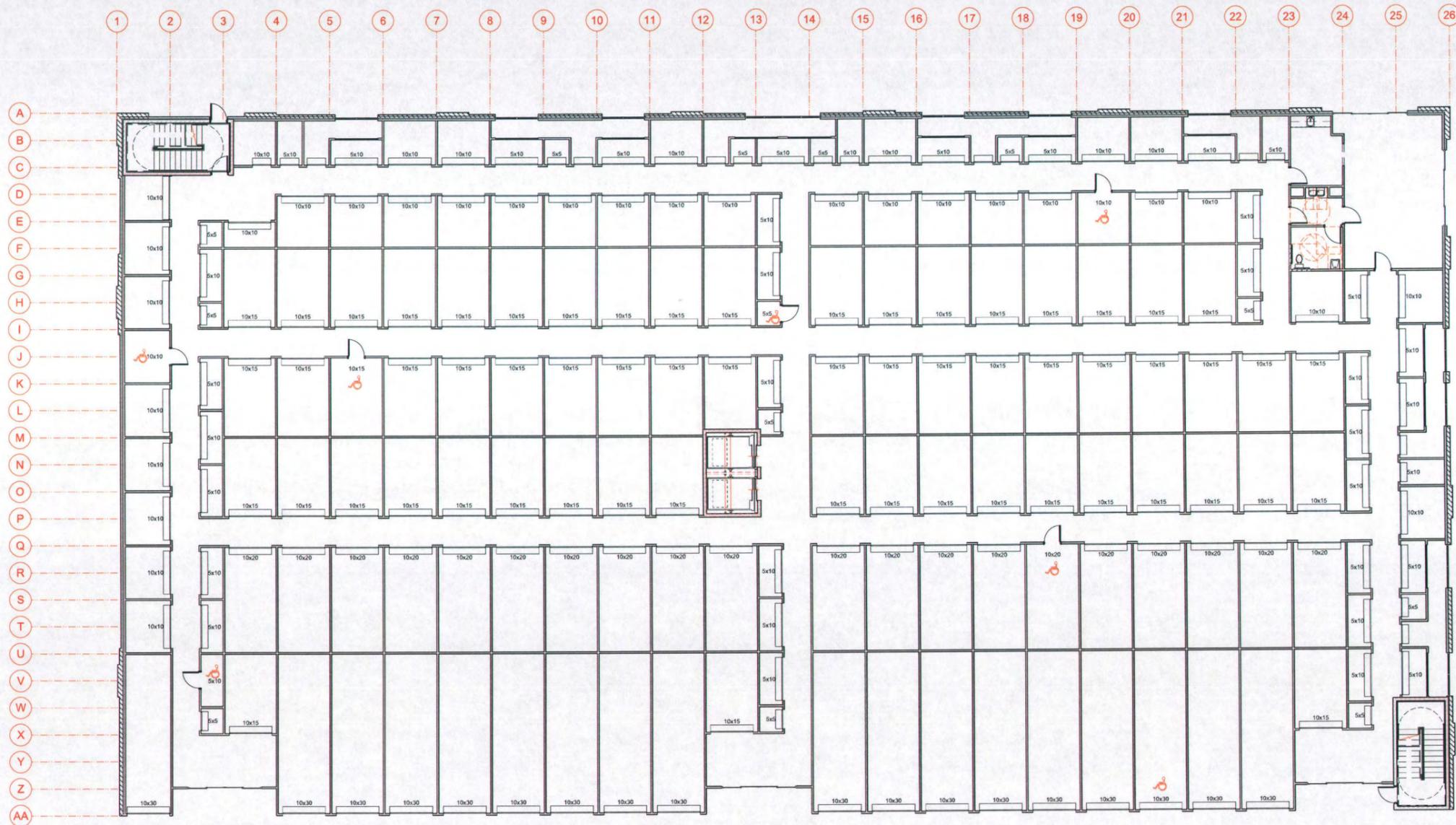
BASS, NIXON & KENNEDY, INC.
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NO.	DATE	DESCRIPTION	BY	REVISIONS
1	12-01-15	TOWN OF CLAYTON COMMENTS	GW	
2	12-17-15	TOWN OF CLAYTON COMMENTS	GW	

GLEN LAUREL STORAGE FACILITY
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
 SHEET L1.1 OF 7
 SCALE: 1" = 40'

UNIT MIX CALCULATIONS							
Building	Unit Size	1st Floor	2nd Floor	3rd Floor	Quantity	# of Accessible Units	Comments
Building 1	5x5	12	7	7	26	1	
	5x10	38	54	106	198	4	
	7.5x10	0	0	40	40	1	
	10x10	29	68	89	186	5	
	10x15	60	79	39	178	4	
	10x20	20	20	0	40	2	
	10x10 (exterior)	6	0	0	6	1	
10x30 (exterior)	18	0	0	18	1		
	Sub-total	183	228	281	692		
Building 2	13x50 (exterior)	18			18	1	
	Sub-total	18			18		
Building 3	13x50 (exterior)	18			18	1	
	Sub-total	18			18		
TOTAL					728	21	
						20.56	10, plus 2% of total # of units over 200

*Note: All unit sizes noted on floor plans are nominal based on self storage standards, and do not reflect actual unit sizes.



A1.08 FIRST FLOOR PLAN 3/32"

*Note - All dimensions are to face of stud U.N.O.



NC 42 CLAYTON STORAGE
BUILDING 1
2276 CLEM
CLAYTON, NC 27527

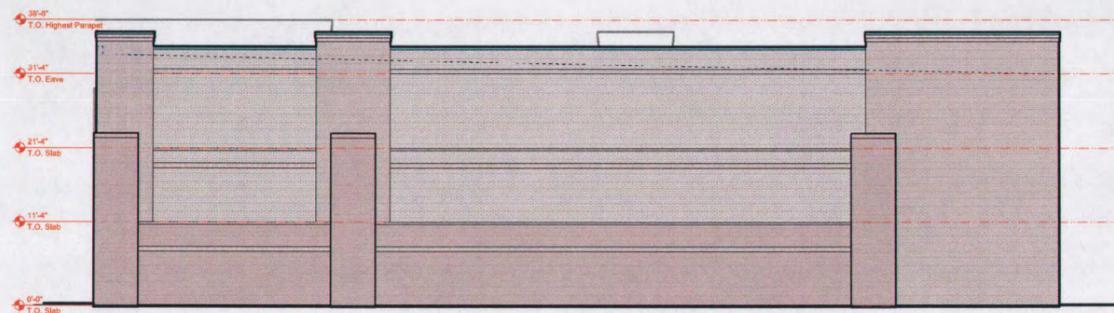
FIRST FLOOR PLAN

CONSTRUCTION DRAWINGS
NOVEMBER 17, 2015

A1.0

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COTHRAN HARRIS
ARCHITECTURE
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
5725 COLANDREA DRIVE, SUITE E1
WILMINGTON, NC 28403



A1.52 ELEVATION - SOUTH 3/32"



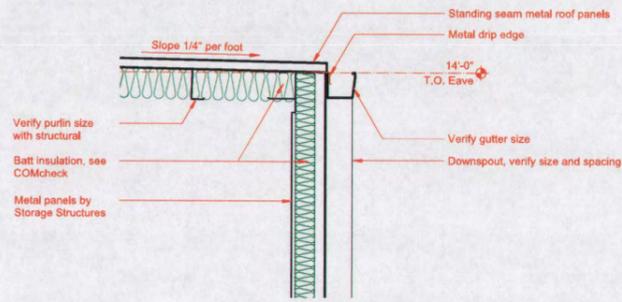
A1.54 ELEVATION - WEST 3/32"



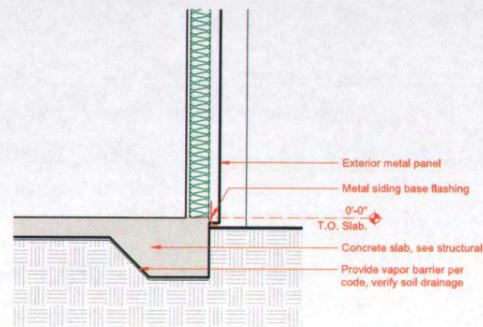
A1.56 ELEVATION - NORTH 3/32"



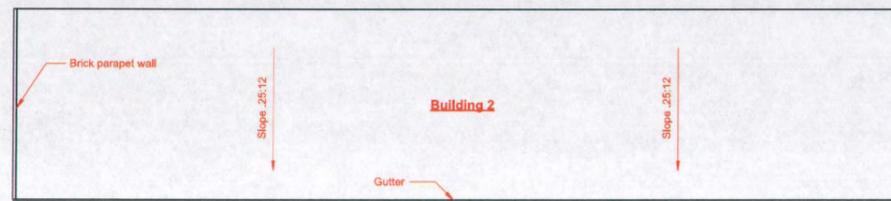
A1.58 ELEVATION - EAST 3/32"



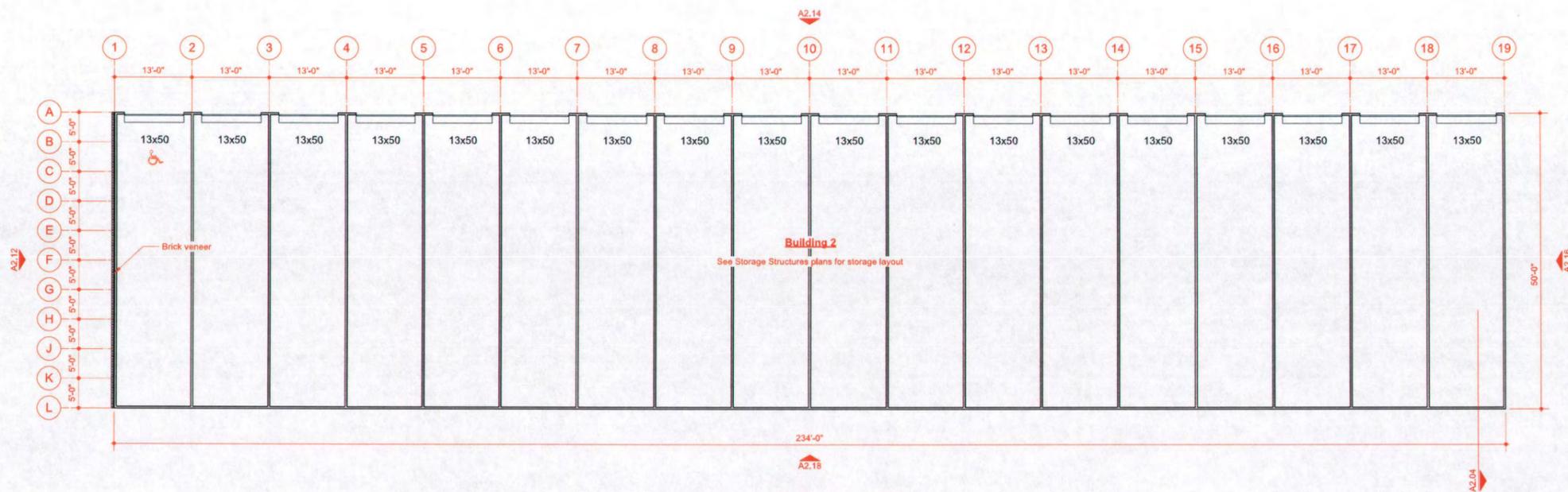
A2.01 TYP. EAVE DETAIL 3/4"



A2.04 TYP. FOOTING DETAIL 3/4"



A2.06 ROOF PLAN N.T.S.



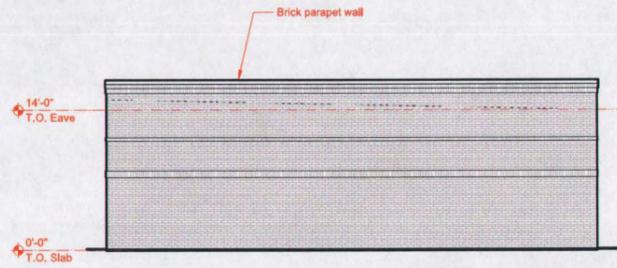
A2.08 FLOOR PLAN 3/32"

*Note - All dimensions are to face of stud U.N.O.
- See site plan for building orientation and locations.

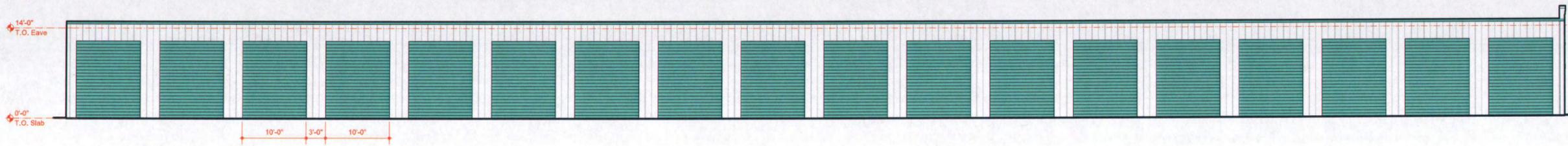
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	10x20	20	20	0	40	2	
Building 2	13x50 (exterior)	18			18	1	
	Sub-total	18			18		
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	Sub-total	18			18		
TOTAL					728	21	20.56% 10, plus 2% of total # of units over 200

*Note: All unit sizes noted on floor plans are nominal based on self storage standards, and do not reflect actual unit sizes.

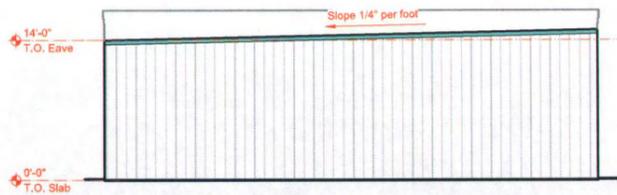




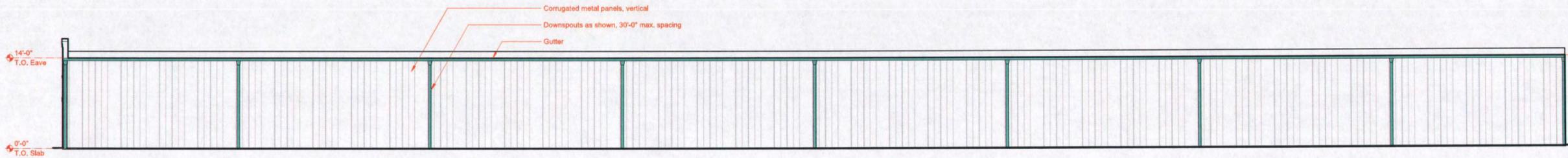
A2.12 ELEVATION - NORTH 1/8"



A2.14 ELEVATION - EAST 1/8"



A2.16 ELEVATION - SOUTH 1/8"



A2.18 ELEVATION - WEST 1/8"



COTTHRAN HARRIS
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MEMBER AMERICAN INSTITUTE OF ARCHITECTS
5725 WILSON DRIVE, SUITE E1
WILMINGTON, NC 28403

NC 42 CLAYTON STORAGE
RV BUILDINGS 2 & 3
2276 GLEN LAUREL RD.
CLAYTON, NC 27927

BUILDING 2 ELEVATIONS

CONSTRUCTION DRAWINGS
DECEMBER 1, 2015
919.799.1811
cotthranharris.com

A2.1
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