

AGENDA
CLAYTON PLANNING BOARD MEETING

Monday, January 26, 2015

6:00 PM

TOWN COUNCIL CHAMBERS

111 E. SECOND STREET

For Information: (919) 553-5002

- I. CALL TO ORDER**
- II. ADJUSTMENTS TO THE AGENDA**
- III. APPROVAL OF MINUTES FROM THE OCTOBER 27, 2014, NOVEMBER 19, 2014, and DECEMBER 17, 2014 MEETINGS**
- IV. REPORTS AND COMMENTS**
- V. OLD BUSINESS**
- VI. NEW BUSINESS**
 - A. SUP 2014-143 Murdock Solar Farm
Special Use Permit for Solar Farm on a property located off of Guy Road, adjacent to the Wake County line.
Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.
 - B. SP 2014-144 Murdock Solar Farm
Solar Farm on a property located off of Guy Road, adjacent to the Wake County line.
Planning Board will make a recommendation to approve or deny the request. Approval is contingent on Town Council approval of SUP 2014-143.
 - C. PSD 2014-145 LionsGate Phases 7A-7D
Major Subdivision off Amelia Church, Middleton, and Fieldspar.
Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.
 - D. PDD 2014-127 Steeplechase Planned Development – Rezoning to PD-MU
This request is to rezone approximately 631 acres to PD-MU (Planned Development – Mixed Use). Current zoning districts include R-10 (Residential – 10), R-8 (Residential-8), R-E (Residential – Estate), and B-2 (Neighborhood Business). The property is located west

of N. O'Neil St and Covered Bridge, east of City Road, and north of Sam's Branch creek. Associated with PSD 2014-128.

Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.

E. PSD 2014-128 Steeplechase Planned Development: Master Plan / Preliminary Subdivision Plan

Request for Master Plan / Preliminary Subdivision Plat approval for a 631 acre, mixed use Planned Development to include a maximum of 2,500 residential units and a maximum of 25,000 square feet of commercial development. Associated with PDD 2014-127.

Planning Board will make a recommendation to approve or deny the request, and the request is scheduled to move on to the Town Council February 16th workshop and March 2nd meeting for decision.

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

VIII. ADJOURN

**MINUTES
CLAYTON PLANNING BOARD
OCTOBER 27, 2014**

The regular meeting of the Clayton Planning Board for the month of October was held at 6:00pm at Town Hall, 111 East Second Street.

PRESENT: Frank Price (Chair) (ETJ), David Teem (Vice Chair) (TL), George “Bucky” Coats (TL), Jim Lee (ETJ), Ronald L. Johnson (TL), Dana Pounds (ETJ) (arrived around 6:10 PM), Marty D. Bizzell (ETJ), Robert J. Ahlert (TL), James Lipscomb (ETJ) [Alt.], Michael Grannis (Councilman), and Bob Satterfield (Councilman).

ABSENT: Jean M. Sandaire(TL) [Alt.], Sarah Brooks

ALSO PRESENT: David DeYoung, Planning Director; Emily Beddingfield, Planner; Kimberly Moffett, Town Clerk; John McCullen, Town Engineer; Stacy Beard, Public Information Officer; Rebecca Powers, Clerk to Planning Board; and a member of the Clayton News Star.

I. CALL TO ORDER:

Chairman Frank Pierce called the Clayton Planning Board meeting to order at 6:04 PM.

David DeYoung took Roll.

II. ADJUSTMENTS TO THE AGENDA:

Chairman Frank Pierce asked if there were any adjustments to the agenda at 6:05 PM.

David DeYoung stated that there are adjustments to tonight’s agenda and listed item D. RZ 2014-94 Powhatan Park Rezoning, item G. PDD 2014-111 ParkView Planned Development – Rezoning to PD-R, and item H. PSD 2014-112 ParkView Planned Development: Master Plan/Preliminary Subdivision Plat as postponements per the applicant’s request from tonight’s meeting, being moved to the November Planning Board meeting.

Frank Pierce acknowledged the postponements.

III. APPROVAL OF MINUTES FROM THE SEPTEMBER 22, 2014 REGULAR PLANNING BOARD MEETING:

Frank Pierce requested approval of the minutes from the September 22, 2014 Planning Board meeting at 6:05 PM and asked if any findings were found that should be noted.

Mr. Johnson made a motion to approve the September 22, 2014 minutes at 6:06 PM. Mr. Teem seconded the motion. The motion passed unanimously at 6:06 PM.

IV. REPORTS/COMMENTS:

Frank Pierce asked if there were any reports or comments at 6:06 PM.

David DeYoung stated that there was one report and one comment. He asked first that the Board notice the new Motion Forms at their seats that the Town's Attorney asked to be introduced, one being for a text amendment and one for a rezoning. He offered to answer any questions that the Board may have.

David DeYoung introduced the new Town Clerk, Kimberly Moffett, as well as the new Planning Department Admin and Clerk to Planning Board and Board of Adjustment, Rebecca Powers at 6:07 PM.

David DeYoung clarified the location and time of the Steeple Chase neighborhood meeting for any guest that may be looking for that meeting instead of the Planning Board meeting.

V. OLD BUSINESS:

Frank Pierce asked if there were any items of old business that needed to be discussed at 6:07 PM.

David DeYoung responded that there were none.

VI. NEW BUSINESS:

Frank Pierce stated at 6:08 PM that Board member James Lipscomb had informed him that he may have a conflict of interest with the first three items on the agenda, A., B., and C, and therefore asks to be recused from those items. He then stated that if there were no objections, the Board would recuse Mr. Lipscomb from items A., B., and C. Mr. Lipscomb left his seat at the Board member desk at 6:09 PM.

A. PSD 2014-106 Oxford Hills Major Subdivision Modification. Request for a Major subdivision modification of the Oxford Hills subdivision to increase the number of lots from 51 to 52, accomplished by subdividing an existing 1.4 acre lot into two lots (Lot 29, 220 S Essex Ln).

Frank Pierce read the explanation of the request at 6:08 PM and noted that the request would move onto the Town Council for discussion. He then stated that the Board will be making a decision to approve or deny the request.

David DeYoung explained in detail the Oxford Hills major subdivision modification at 6:09 PM. He stated that the lot is within the residential of the State zoning district and that there is a

30,000 sq. ft. minimum for lots that have public water and septic systems. He mentioned that this is a recent change, where previously you had to have a minimum of 40,000 sq. ft. lot. Mr. DeYoung went on to give a more detailed explanation of where the subdivision is located. He then explained that the subdivision was approved originally in two phases, the first phase in 1988 and the second phase in 1990.

At 6:10 PM David DeYoung explained to the Board that before the modification mentioned earlier at 6:09 PM regarding the minimum of 40,000 sq. ft. compared to 30,000 sq. ft. for lots with both public water and septic system, this same lot subdivision request was submitted as a variance application to the Board of Adjustment in 2013 (2013-97). That request was denied on January 15, 2014 for not meeting 2 of the 4 finding of fact.

At 6:11 PM Mr. DeYoung gives background information on the Oxford Hills subdivision. Mr. DeYoung states that the subdivision is an older subdivision with an average lot size of 1.4 acres. Mr. DeYoung states that currently the smallest lot size is 0.86 acres and the largest lot is 2.89 acres. He goes on to explain that the split of the 1.4 acre lot (lot 29) would bring each of the new lots (lot 29 and lot 29A) to 0.69 acres, just over 30,000 sq. ft. in size, making them the smallest lots in the entire subdivision by approximately 7,300 sq. ft. Mr. DeYoung also explained the change in density going from 1 unit per 1.55 acres to 1 unit per 1.52 acres.

Mr. DeYoung refers to pictures of the lot in the PowerPoint at 6:12 PM to (show) the division, topography, and where the house on the lot is located currently. He also states that as far as the staff is concerned, they are not aware of any environmental concerns. He explains that there are no buffering and landscaping requirements applicable. He also explains that sidewalks are not required because there are no sidewalks in the entire subdivision. He mentions at 6:13 PM that septic permits would be required from Johnston County Public Health. Mr. DeYoung also states that the applicant is not asking for any waivers or deviation from code.

At 6:13 PM Mr. DeYoung explains that staff feels that the proposed lots are inconsistent with the Oxford Hills and surrounding neighborhood lot sizes. He goes on to explain that the 2013 code modification for the minimum 30,000 sq. ft. lot was not intended to go back into subdivisions and subdivide lots, but to allow new, infield developments to continue to develop with water and not sewer. Mr. DeYoung acknowledges that the applicant did address the findings of fact in the application and have been included in the staff report as Attachment 1.

At 6:14 PM Mr. DeYoung states that staff is recommending denial of the request to subdivide lot 29 of the Oxford Hills subdivision as it would modify the subdivision and have a negative impact on the surrounding homeowners within the subdivision. He then refers to fact number 3, which states that the subdivision of lot 29 would not negatively impact the surrounding or violate the character of existing properties in the surrounding area.

At 6:15 PM Mr. DeYoung explains that the neighbors in this subdivisions purchased homes there because of the size of the lots and they should be able to feel secure in that the whole subdivision won't start splitting lots. He adds that staff believes it would set a bad precedent. Mr.

DeYoung then asks if there are any questions from the Board and states that the applicant is present to address any questions as well.

At 6:15 PM Frank Pierce states that it looks like there is a low area in the middle of the potential new lot, so if Council does consider it and make a recommendation then he's glad that staff reported needing Johnston County to address the septic issues.

At 6:16 PM Dana Pounds apologizes for her tardiness and states that on page 3 it's noted that the feasibility of a septic system should not effect the decision, but then on page 4 it states that the septic system would have to be located on the same property as the home, so which is correct? She states that the comments somewhat contradict one another.

David DeYoung addresses the question at 6:16 PM stating that if the county determines that the septic system will not fit on the newly created lot, then the lot will not be allowed to be created. He goes on to explain that the feasibility could not be considered until the health department had done their review.

Ms. Pounds expressed her understanding.

Frank Price asks at 6:17 if there were any other questions.

Ronald Johnson asks at 6:17PM for clarification that staff is in fact recommending denial of the request.

David DeYoung responds in the affirmative.

Michael Grannis asked a question about the findings of fact. David DeYoung explained that the findings of fact from the variance application were different from the findings of fact for the current application and that he would get that information for Mr. Grannis and Council.

Frank Price notes that there are no further questions and calls on the applicant at 6:18 PM.

Curk Lane of True Line Surveying representing PRAD, LLC approaches the podium at 6:18 PM and addresses the environmental health concerns stating that Environmental Health has done a preliminary review of the lot and it will withstand a 3 bedroom home onsite and the house placement is in the same street scape as the existing home. He offers to answer any questions.

Frank Price asks if there are any questions for the applicant. Hearing none, he thanks Mr. Lane and dismisses him from questioning. At 6:19 PM Mr. Price asks the public if there is anyone who wishes to come forward and express any concerns or ask any questions.

At 6:20 PM Jeremy Kenworthy approaches the podium and states his address as 224 Essex Lane, bordering property to the one discussed, and has lived there for 17 years now. He states that there is concern due to the smaller size of the lots proposed with the subdivision of lot 29.

He also states that the average lot size of the properties on the street where the subdivision is being proposed is 62,000 sq. ft., which is double what the new lots will be. He mentions the previous denial of this request back in January of 2014. Mr. Kenworthy goes on to discuss a flooding concern. He states that the lot drops off and the back half of the lot is very marshy and that runs off onto his property. He shares pictures of the flooding with the Board. He states that when the subdivision was initially built they planned on putting three lots at the end of the road, but then realized a house could not be put there because the wet soil and it declines off of the road. He states that they joined that property together and then split it in half making each lot 1.4 acres. Mr. Kenworthy reiterates his concerns at 6:21 PM. One being the flooding onto his property, especially with the increase of impervious area and the elimination of the vegetation, and the other being septic seeping onto his property.

At 6:22 PM Mr. Price verifies with Mr. Kenworthy that he is there tonight to agree with the staff recommendation of denying the request.

Mr. Kenworthy answers in the affirmative and offers to answer any questions.

Jim Lee asks Mr. Kenworthy if there is a Home Owner's Association.

Mr. Kenworthy answers that there is not.

Mr. Price asks if there are any others that would like to address the Board.

At 6:22 PM Floyd Knechel approaches the podium and states his address as 221 Essex, caddy cornered from the proposed lot subdivision, and he has lived there for 18 years. His concern is that if you let one do it that opens up the gate to others wanting to split their lots. He doubts that his neighbors would want him splitting his lot. He states that they moved into Oxford Hills because of the larger size of the lots. Mr. Knechel goes on to explain that the lot under review (lot 29) was bought as a foreclosure and was intended to be a financial gain. He stated that they bought the home, fixed it up, and did not succeed so now they are trying to make a profit by splitting the lot and selling it. Mr. Knechel states that this isn't right. He mentions the flooding and septic concerns and leaves the podium.

At 6:23 PM Mr. Price thanks him for his comment and opens the floor again.

At 6:24PM Chris Beebe comes to the podium. He explains the location of his and neighbors lots in relation to one another. He expresses his concern about squeezing another lot in, as well as the marshy area of the lot.

At 6:25 PM Mr. Price opens the floor again. Dana Pounds asks Curk Lane if it will be owner occupied and he responds that it will not.

At 6:25 PM Bob Ahlert makes a motion to recommend to Town Council to deny the request. Bucky Coats seconds the motion. The Board votes unanimously to deny the request.

B. RZ 2014-100 East Village Office Rezoning. Request to rezone approximately 1.14 acres at the corner of East Front Street and Old NC 42 Hwy, just north of NC 42 Hwy E, from R-10 (Residential -10) to O-I (Office – Institutional). NC PIN 166807-68-2584. This request will move on to the Town Council for decision.

At 6:26 PM Mr. Price addresses item B, RZ 2014-100 East Village office rezoning. Marty Bizzell asks to be excused due to his involvement with the project. Mr. Price allows his excusal.

At 6:26 PM Emily Beddingfield, Town of Clayton Planner, comes to the podium and explains the request in more detail. She explains the intent to rezone the area from residential-10 to Office-Institutional. She also points out that the request comes from Marty Bizzell. She notes that an annexation will be required for the area of the property that falls within the ETJ.

At 6:28 PM Emily explains that the area is also in the watershed protection overlay and has a maximum 24% impervious. She goes on to explain surrounding land use and zoning.

At 6:29 PM Emily shows maps of current and proposed zoning for the area in question. She points out that the proposed land map is from 2008 and shares that planning staff's opinion is that the map did not take into account the Front Street extension and the impact the extension would have, making it more appropriate for the institutional/commercial use.

At 6:30 PM Emily explains that if the property is rezoned, a Class C buffer would be required. She also explains that they would expect more commercial use at new intersections than residential.

At 6:31 PM Emily states that staff feels is consistent with objective 2.1 of the Strategic Growth Plan, however it is not consistent with the proposed land use map, but points out again that staff is not in agreement with some of what is proposed on the 2008 map.

At 6:32 PM she notes that a neighborhood meeting for this request was held on October 15th, 2014 and that the minutes are in their reports. Emily goes on to state that staff is recommending approval of the rezoning, as well as approval of the statement of consistency and reasonableness which was also included in the agenda packet. She goes on to explain that this request will go on to Town Council for ultimate decision.

At 6:32 PM Dana Pounds asks if the little piece of property on the other side of Old 42 eventually become a more business/commercial area.

At 6:33 PM Emily clarifies that that area is included in the proposed zoning request. Dana states that she understands that and asks in a little more detail, basically to share her concern with it becoming over-commercialized and mentions an ice machine and explains that it will happen; if it's zoned for that kind of thing, someone will eventually ask to put these kind of things on that property. Emily confirms that yes; the approval of this request would rezone the entire area. She

also mentions that any modifications would have to come back for either minor or major site plan review.

At 6:33 PM Mr. Price and Dana do a little back and forth about the little area on the same side of Old 42, basically mentioning that this area will be rendered useless until a decision is made.

At 6:34 PM Mr. Price states that the Town is redoing its development plan, so these are likely to change with that update, though currently it stands the way it is.

At 6:34 PM Jim Lee asks about impervious calculations and whether or not the small section is included in that calculation. Emily answers that it is and explains that they can go into that in more detail on the next item, Site Plan, as it goes into more detail about impervious.

At 6:35 PM Jim Lee asks that if this is approved for rezoning, can they change their minds and renovate that building into a commercial property or can we restrict it. Emily answers that if they proposed to renovate the building it would need to be brought up to commercial building code and lots of other things would have to be considered as well. Mr. Price jumps in and asks that if any modifications were done, they would have to go back for approval right? Emily confirms that yes it would have to come back for approval.

At 6:36 PM Mr. Price begins speaking then there is a lot of back and forth between multiple people that can't be made out. Emily states that with a standard rezoning you can put no conditions onto the rezoning. Mr. Price points out that they don't make final rezoning decisions, Town Council members do.

At 6:37 PM Mr. Price offers for Emily to answer any questions. There are none so she sits. Mr. Price then opens floor for applicant to share anything.

At 6:37 PM Thomas Taft approaches the podium and explains that he is one of the owner's of the property being addressed. He first speaks to Mr. Lee's concern and says that the house will be moved within the next 1-2 weeks as it doesn't fit with what they want Front Street to look like for existing and soon to be commercial properties there. He then explains that the reason they have put in the request is to set the character of that strip of commercial development between the post office and 42. He explains that they have a vested interest to develop a really nice retail and commercial corridor and have tried hard to put all necessary information into the site plans and rezoning request. He concludes and introduces Garry Walston of BNK at 6:38 PM. Gary goes on to explain that he is there in place of Marty and will answer any questions.

At 6:38 PM Mr. Price states that they are very thrilled about what's happening there on Front Street and appreciate their reassurance that it's continuing to head that way. Mr. Price goes on to ask if anyone in the audience would like to comment. No one approaches.

At 6:39 PM Bob Ahlert motions to approve the rezoning request.

At 6:40 PM Dana Pounds seconds the motion. Emily reminds them about the new motions for rezoning. Mr. Ahlert reads motion to approve East Village rezoning. Dana seconds again. Mr. Price announces that the motion is approved unanimously.

- C. **SP 2014-101 East Village Office – Site Plan.** Request for a new 7,000 sq. ft. office building at the corner of East Front Street and Old NC 42 Hwy, just north of NC 42 Hwy E. Contingent on approval of RZ 2014-100. NC PIN 166807-68-2584. Planning Board Decision.

At 6:41 PM Emily Beddingfield introduces SP 2014-101, Site Plan approval for a 7,000 sq. ft. general office building to go on the property that just received Planning Board approval for rezoning. The approval of the site plan is contingent on town council approval of the rezoning request (RZ 2014-100). This parcel is 1.18 acres and is within the watershed protection overlay. This will require a special intensity allocation to be granted by Town Council, making it a little funny as the site plan will need to be approved by the Planning Board subject to approval of the special intensity allocation. Basically the Town is able to grant up to 10% of all property within our watershed protection overlay, an impervious level over 24%. The calculations to come will show that they are well within the 75% impervious. Staff is recommending approval of that.

At 6:42 PM Emily goes onto give specifications of the building. It is one story, 24.5 feet maximum height. 51% is proposed as impervious. 24 parking spaces are required, 28 are proposed. Because of additional four spaces and additional alternative parking plan has been submitted and is in the packet. Access will be off of East Front Street extension. A Class C landscaping buffer is required anywhere on the property that abuts a residential zoned district and a Class A buffer along the street, standard street buffering.

At 6:44 PM Emily continues explaining details of request. She states that a monument sign is on site plan and that any other signage will have to go through permit and approval requirements. She goes on to the existing 10 foot multi-modal path that extends down East Front Street, and explains that it currently stops somewhere in the middle of this property. She states that if the site plan is approved, the path will extend along the property towards Walden Woods to ensure connectivity across the site.

At 6:45 PM Emily refers to the slide show and presents the layout and footprint of the site and office building, pointing out landscaping around perimeter and parking area, all within code. Next she shows and explains the architectural elevations, which are a mix of materials with shingled roof.

At 6:46 PM Emily states that the proposed development is generally consistent with the Strategic Growth Plan and with the Unified Development Code if the rezoning is approved along with the special intensity allocation and alternative parking plan. She explains that the applicant held a neighborhood meeting on October 15th, 2014 and minutes and materials from that meeting are included in their packets.

Emily states that staff is recommending three things. One is approval of alternative parking plan, next is the approval of the special intensity allocation, and finally the approval of the site plan with conditions listed within the staff report. She offers to answer any questions.

At 6:47 PM Mr. Ahlert asks if there was an annexation application submitted and if it needs approval for this project to move forward. Emily states that that's a standard condition wording and it can be modified to clarify that the annexation must be approved or else the development of this site is not valid.

At 6:48 PM Mr. Grannis states that he didn't notice an area for a refuse container on the plat. Emily states that there is not one and that the applicant indicated that there will not be a dumpster on-site, that they will be using roll carts.

Mr. Ahlert asks why there is an alternative parking plan when the original exceeds the code requirements. Emily explains that our code sets minimum and maximum numbers in regards to parking spaces. The reason is to avoid situations where someone comes in and wishes to create a sea of parking. This is to avoid problems down the road with future development with a slight increase of a few spaces to allow for a little extra. Mr. Ahlert then asks if there are any plans on changing the code, as it seems a little ridiculous to do an alternative plan for four spots. Emily states that it's something that can be looked at. Mr. Price states that it used to work and now things are a little different, but just used to what we have so maybe another look would be helpful.

At 6:50 PM Mr. Price calls on the applicant. Garry Walston offers his insight.

At 6:51 PM Mr. Grannis asks where the roll carts will be located since they don't have an area for a dumpster. Gary states that they haven't allocated an area yet and are considering a private collection service since this will be a small office area. He goes onto explain that if the roll out carts will be on-site, they will be hidden. Mr. Grannis stated that's why he asked, but would assume that they would be hidden just nothing showing that on the site plan. Gary explains again that since they haven't decided on how to handle the trash, they haven't made a place for it on the site plan.

At 6:52 PM Mr. Price states that it is a very nice looking building and the adequate parking layout is nice. Gary explains that the extra parking is to help maximize opportunity for future tenants. No more questions and Gary takes a seat.

At 6:53 PM Mr. Price asks for three separate motions for all specific requests. First is the alternative parking plan.

At 6:54 PM Mr. Coats makes a motion to approve the alternative parking plan. Mr. Johnson seconds the motion. The alternative parking plan is approved unanimously.

Next, Mr. Ahlert motions to approve the special intensity allocation request. Mr. Teem seconds the motion. The request is approved unanimously at 6:54 PM.

Finally at 6:55 PM Mr. Johnson makes a motion to approve the site plan. Mr. Teem seconds the motion. Mr. Ahlert jumps in and states that the shielding of the refuse containers needs to be addressed. Mr. Coats states that something should be done now, as tenants may see differently on how to handle their refuse. Mr. DeYoung states that once the site plan gets approved, we make sure that the refuse containers will be shielded. Our code spells out specifically that containers must be hidden.

At 6:56 PM Mr. Price goes back to the original approval of the site plan with conditions. The site plan is approved unanimously.

D. RZ 2014-94 Powhatan Park Rezoning: POSTPONED

- E. PSD 2014-113 LionsGate Phase 1A & 1B Preliminary Subdivision Plat.** Request for preliminary subdivision plat approval to create 32 single family lots as Phases 1A & 1B of the LionsGate Planned Development. Total approximately 6.89 acres, a portion of NC PINs 165919-51-7554 and 165919-61-2030. This request will move on to the Town Council for decision.

At 6:57 PM Mr. Price introduces item E, PSD 2014-113 LionsGate Phase 1A & 1B. A request to create 32 single family lots on approximately 6.89 acres. This request will move on to Town Council for decision.

David DeYoung approaches the podium and begins explaining the request. LionsGate is a planned development located on Amelia Church Rd. He pauses to point out how in the past and up until now because of the economy, developers are not able to build developments on the large scale as they could in the past. They have to build in smaller phases and a phase or two at time. He explains that this has made it hard on the developers, planning staff, and the board, because they have to come together and give approval for all small changes to a Master Plan. Mr. DeYoung states that he hopes they can modify the current requirements to allow planning staff to make some smaller modifications without having to come to the Planning Board each time.

At 6:58 PM Mr. DeYoung moves back to explaining the request. He points out that this is a request from Donnie Adams and the 6.69 acres area is the one that they've been clearing that can be seen off of Amelia Church Rd. He states that the 32 single family lots they are requesting will be dimensionally consistent with the standards approved in the original Master Plan that was approved. Average lot sizes will be between .1 and .3 acres. Recreational amenities are in place and will be shared with the other Fred Smith communities. Access will be an extension off of Middleton Street and this will become a loop road with sidewalks on both sides of the street, as well as walking paths. Applicant is dedicating, in an adjacent phase, a 35

foot easement for future development of the Clayton Community Center connector that runs along Amelia Church Rd, (shows on map). Mr. DeYoung closes at 7:01 PM stating that this is a pretty straight forward 32 lot subdivision and that nothing is changing from what was approved in the Master Site Plan. He then states that the development is consistent with their Strategic Growth Plan and UDC. He also states that the applicant has met the findings of fact. There was no neighborhood meeting because it wasn't required. Mr. DeYoung explains to the Board that staff is recommending approval with conditions explained in the staff report.

At 7:02 PM Mr. Ahlert asks what constructed vs. bonded means in relation to the sidewalks. Mr. DeYoung explains that they will be removing that condition, but explains why it was their originally.

At 7:03 PM Fred Smith approaches the podium and states that Mr. DeYoung did a great job explaining and has nothing further to add unless someone has some questions. Mr. Grannis points out that one of the required items regarding boundaries was not checked and asked why. Donnie Adams approaches the podium and explains that there are no boundaries shown on preliminary plat, but will be shown on the final plat.

At 7:05 PM Mr. Price opens the floor again for questions. There are none so he moves on for a motion. Mr. Coats makes a motion to approve the request. Dana Pounds seconds the motion and it receives approval unanimously at 7:05 PM.

- F. **SP 2014-110 Grifols – New Office Building.** Request for Major Site Plan approval for a new 100,000 sf office building on the Grifols Therapeutics site. NC PIN 167800-21-5181. Planning Board decision.

At 7:05 PM Mr. Price moves on to item F., a new 100,000 sq. ft. office building at Grifols. He points out that the board has approved several other projects there at the Grifols site, and this request is part of their expansion. He then opens the floor to Emily Beddingfield.

At 7:06 PM Emily begins explanation of the request. She points out that the intent of this request is to consolidate office and temporary offices as well as make room for future expansion. She refers to photos and continues with more detail. She states that it's located on an existing parking lot, is located in the ETJ, and is zoned I-1 which supports the use requested. She explains that the site is within the watershed overlay and did receive special intensity allocation in the past and is not increasing impervious surface, so should not be an issue with this request. She goes on to explain the height of the building as 3 stories or a maximum of 47 feet and that 400 parking spaces would be required for this office space. She next points out that the site plan shows 248 parking spaces, which sounds greatly under the required amount, however you may remember in the past there were a couple of parking lot requests for the area just east of this site. Those lots will serve to replace displaced parking spots by this new building. Those plans have been approved and will be built to support the construction of the new office building.

At 7:09 PM Emily explains that landscaping meets code, that the area is multimodal, and there are no environmental impacts.

At 7:10 PM Emily refers to an aerial picture with proposed layout and parking. She points out separate lots for parking, all required handicap parking is located in the adjacent lot. She explains that the proposed request is consistent with code, there was a neighborhood meeting held on October 13th with no attendees.

At 7:11PM Mr. Price points out that Emily noted the previously requested parking had been approved and should accommodate this new building. Dana Pounds asks if there is any sort of parameters set as within how many feet these extra parking amenities have to be in relation to the office building. Emily answers that yes within parking is off-site there are stipulations, for example shuttles. In this particular case it's all one parcel so there are no specific distance stipulations set, but the town is working with Grifols to ensure the parking is convenient and accessible. She also mentioned that the applicant is also considering shuttles. Mr. Price mentions that 400 feet is considered reasonable distance from parking to building and all of these lots and buildings look to be within that distance. Mr. Coats asks if there will be any additional access from Highway 70. Emily states that there are no additional access points, only the existing access points and gates.

Mr. Price then calls on the applicant. Dan Simmons with Triangle Civil Works approaches the podium. Mr. Simmons explains that this new building will hold about 460 of their current employees that are now scattered across the site. The goal is to eliminate around 99% of the mobile offices and make the site smaller so that employees are closer together. He also explains that they are working towards and trying to accommodate parking and shuttles to make things easy for employees. He offers to answer any questions. Mr. Price compliments the look of the building and thanks him for providing jobs and business in Clayton.

At 7:16 PM Mr. Johnson makes a motion to approve the request. Mrs. Pounds seconds the motion. It's approved unanimously.

G. PDD 2014-111 ParkView Planned Development – Rezoning to PD-R – POSTPONED

H. PSD 2014-112 ParkView Planned Development: Master Plan/Preliminary Subdivision Plat – POSTPONED

I. Unified Development Text Amendment 155.202 (B) Table 2-1 “Use Regulations” – Modifications to update the Use Regulations table.

At 7:17 PM David DeYoung states that Mr. Grannis recommended staff look over Use Regulations Table and see if anything could be modified. He explains that they did find some things that could be changed. The first is in the residential use section there is a “p/s” meaning permitted/subject to special use. He and Emily didn't think that made sense so they've changed it to just “s”, special use, so upper story residences are special use. No changes in public and civic use section. In public and recreational use they've added indoor entertainment and fitness center as a conditional use in the O-I category. There has been interest of a fitness center in Gateway Park, which is now not permitted but could be under conditional use approval. Also in the commercial section funeral homes and there being permitted was modified depending on

zone. Also, restaurant drive-thrus also modified, so that none are allowed downtown. Self storage was eliminated as a conditional use in B-2. Vet clinics were added as a conditional use in O-I, and internet cafes/video sweepstakes were also modified uses. Mr. DeYoung explains that as of November 1, 2014 all of the internet cafes/video sweepstakes are being shut down by the state. He goes on to explain that staff is not comfortable taking regulations for them out of the code until they are outlawed, but that they are eliminating them as a conditional use in the code completely, eliminating it as a use in any of the business districts, and making it a special use in the industrial districts. Therefore, any existing video sweepstakes, once they close they will become nonconforming after 6 months and will not be able to reopen in the same space, but can reopen in the industrial district, although it would probably be denied.

At 7:27 PM Dana Pounds makes a motion to approve the amendment. Mr. Coats seconds the motion. It's approved unanimously at 7:28 PM.

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

At 7:28 PM there is discussion to move the November meeting to the week before Thanksgiving, Tuesday the 18th at 6pm. At 7:30 PM Mr. Coats motions to approve the new meeting date. Mr. Teem seconds the motion and it's approved unanimously.

At 7:31 PM Mr. DeYoung mentions upcoming expiring terms, Mr. Price, Mr. Bizzell, and Mr. Teem. He asks if they are all still interested in continuing on the board so that Town Council can approve or disapprove. All three expiring are interested in continuing to serve. Mr. DeYoung also mentions that a spot is opening on the Board of Adjustment in case anyone on the Planning Board is interested.

VII. ADJOURN

At 7:35 PM Mr. Teem motions to adjourn. Seconded by someone but couldn't make out their name. The meeting is adjourned at 7:35 PM.

Duly adopted this 26th day of January 2015, while in regular session.

X

Frank Price
Planning Board Chairman

ATTEST:

X

Rebecca Powers
Clerk to Planning Board

**MINUTES
CLAYTON PLANNING BOARD
NOVEMBER 19, 2014**

The regular meeting of the Clayton Planning Board for the month of November was held at 7:00pm at Town Hall, 111 East Second Street.

PRESENT: Frank Price (Chair) (ETJ), David Teem (Vice Chair) (TL), George “Bucky” Coats (TL), Jim Lee (ETJ), Ronald L. Johnson (TL), Dana Pounds (ETJ), Marty D. Bizzell (ETJ), Robert J. Ahlert (TL), James Lipscomb (ETJ) [Alt.], Jean M. Sandaire (TL) [Alt.], Sarah Brooks (TL)

ABSENT: Michael Grannis (Councilman), Bob Satterfield (Councilman)

ALSO PRESENT: David DeYoung, Planning Director; Emily Beddingfield, Planner; John McCullen, Town Engineer; Stacy Beard, Public Information Officer; Rebecca Powers, Clerk to Board of Adjustment

I. CALL TO ORDER:

At 7:02PM Vice Chair David Teem called the Clayton Planning Board meeting to order. David DeYoung took Roll.

II. ADJUSTMENTS TO THE AGENDA:

Mr. Teem asks if there are any adjustments to the agenda and David DeYoung answers no.

III. APPROVAL OF MINUTES FROM THE SEPTEMBER 22, 2014 REGULAR PLANNING BOARD MEETING:

Mr. Teem asks if they should approve minutes from previous meeting. David DeYoung explains that they are still working out the kinks of getting the clerk up to speed and that the minutes should be ready for approval at the next Planning Board meeting.

IV. REPORTS/COMMENTS:

Mr. Teem then asks for any reports and/or comments. David DeYoung only mentions the possible date of December 16th for the Christmas party.

V. OLD BUSINESS:

Mr. Teem moves on to old business, which David DeYoung answers that there is none.

VI. NEW BUSINESS:

- A. RZ 2014-111 ParkView Planned Development – Rezoning to PD-R-Request for rezoning approval of approx. 82.9 acres from R-10 (Residential-10) and R-E (Residential Estate) to PD-R (Planned Development – Residential), located north of Municipal Park and between City Road and Liberty Lane. Associated with PSD 2014-112. NC PINs 165912-96-6490, 165912-97-6270, 166905-07-1503, 166905-07-0894, 166905-07-2906, 165908-98-8050, 165908-97-4746, and 165912-87-5175. This request will move on to the Town Council for decision.**
- B. PSD 2014-112 ParkView Planned Development: Master Plan / Preliminary Subdivision Plat-Request for Master Plan / Preliminary Subdivision Plat approval for a 82.0 acre, 330 unit residential Planned Development, located north of Municipal Park and between City Road and Liberty Lane. Contingent on approval of PDD 2014-111 rezoning. NC PINs 165912-96-6490, 165912-97-6270, 166905-07-1503, 166905-07-0894, 166905-07-2906, 165908-98-8050, 165908-97-4746, and 165912-87-5175. This request will move on to the Town Council for decision.**

At 7:04PM Mr. Teem asks for new business and goes on to introduce RZ 2014-111 (Rezoning of 82.9 acres from R-10 and R-E to PDR at the area North of Municipal Park between City Road and Liberty Lane) and PSD 2014-112 (approval of a Master Plan which is now a PSD).

David DeYoung begins explanation that is accompanied by a PowerPoint presentation. He reiterates the general information that Mr. Teem stated and explains the proposed development in relation to its local to the surrounding parks Legend, Municipal, Mystery, and Civitan. He explains that the area in question is made up of 8 parcels some of which are within the town limits and others are within ETJ, therefore staff will require the applicant to annex the area not within the town limits. Up to 330 mixed residential units are proposed which is about 4 units per acre. The applicant is requesting a max of 45% impervious. The Town of Clayton would supply electric, water, and sewer. Mr. DeYoung clarifies that approval would approve Master Plan, as well as future criteria for development.

Mr. DeYoung goes on to explain that certain things, ie) road connections, would have to come back to the board for approval. He also mentions that UDC requires multiple access points based on number of units. More specifically, the applicant/builder would have to ensure that at least 3 access units would be available once all proposed units were built. Mr. DeYoung explains that the applicant will be requesting waivers to have sidewalks on one side of the street only, compared to sidewalks on both sides. The side of the street with sidewalks would have tree buffers. This is to allow for 10 feet wide greenways, which in turn expands the town's greenway system. He points out that staff is in definite support of the greenway in lieu of both sides of the street being sidewalk.

Mr. Teem asks if a motion is needed for the waiver to be approved and Mr. DeYoung states that it would be necessary and would be a 3rd motion after the motion to approve rezoning and the

Master Plan. Mr. DeYoung goes on to explain that a class C buffer, setbacks, impervious criteria, etc. would all be set within the Master Plan. That being said, the exact layout is not known at this time. Mr. DeYoung states that he has seen the areas and types of housing for the areas, but that those may move around as long as everything stays within the criteria of the original Master Plan that's approved.

Mr. DeYoung shows the housing types for the development, which include single family detached, single family attached, and townhomes. He also shows and discusses open and recreation space proposed, which is 2-3 times the required amount (27.4 acres outside of reserved recreation areas. Mr. DeYoung shows the proposed mail clusters which are now required by the post office, as well as sign details. He points out that a Master Sign Plan will be required eventually. He also states that the developers are required to put protective fencing around Research Conservation Areas.

Mr. DeYoung explains that a traffic impact analysis has been conducted by Kimley, Horn, & Associates and was submitted to the town and to NCDOT. He states that they have received no comments yet from NCDOT. Mr. DeYoung goes on to explain that staff has done a preliminary review and thinks it necessary to include a left turn lane into the main entrance to the development on City Road, as well as a right decel lane on City Road.

Mr. DeYoung and staff feel that the development is consistent with surrounding land use and density, as well as the strategic growth plan and the future land use map. He also points out the development falling in line with the town's objectives of increasing residential land use downtown, offering more housing opportunities beyond starter homes, and encouraging a diverse housing stock. Mr. DeYoung states that the applicant has addressed the findings of fact and that a neighborhood meeting was held on October 20, 2014 that was well attended and explains that the applicant can go into more detail about that. Mr. DeYoung states that he and staff are recommending approval of RZ 2014-111, PSD 2014-112, and waivers for alternate street sections. He offers to answer any questions.

Dana Pounds asks a question in regards to cost of linear vs. square feet when discussing sidewalks vs. greenways. David DeYoung explains that the cost of a sidewalk is different than the cost of a greenway and this is fair to the developer. Expands saying that the fee in lieu of any difference, unless the difference is in the developers favor. Bob Ahlert questions the wording of bonded vs. built. David DeYoung addresses this by explaining that staff requires the applicant to put entrances and exits in, and on a Plat those have to be bonded so we know that they will eventually be constructed during development. Bob asks if they should just change the wording to 'constructed'. Mr. DeYoung agrees that they can do that.

Jim Lee states that earlier he was told that there would be no access to the park, and now it sounds like it's anticipated. Mr. DeYoung explains that staff is working with the developer on the west section of the project into Municipal Park, but discussions haven't happened yet. He states that the developer can go into more detail on that. Jim Lee addresses the 'dollar for dollar' comments in relation to the sidewalks/greenway and asks that if the developer runs short of

making the connection, are they committed. Mr. DeYoung states that they haven't discussed that, but imagines that the town would be responsible for paying for the rest of the connection. Jim goes on to ask if they can make it a requirement. Dave states that right now they don't know if that's the case but we can look at it with the developer. Jim asks if setbacks would be the same whether the house has sidewalk or greenway. Dave responds that yes the setbacks would be the same.

Jim Lee next addresses the community garden and states that he likes it, but is there a parking area? Mr. DeYoung states that there is not at this time. Jim asks if one can be added. Mr. DeYoung explains that the developer can address that but he believes that that is what the shed is for, to store gardening tools so that there is no need to carry anything to and from the garden. Jim goes on to mention his concerns about the risk of accidents at Cross Street and City Road. Mr. DeYoung explains that it was actually staff's recommendation to have the connection at Cross Street, as they thought it would work better to have the secondary access unit on a side street and not another on City Road. Jim Lee asks another question that cannot be made out. Mr. DeYoung refers to the developer but states that he thinks it was done because of concerns from the Civitans to create more of a noise and light buffer between the residential units and the park.

Dana Pounds goes back to the wording of sidewalks vs. greenways and Mr. DeYoung states that they will go back and clear that wording up. He recognizes that it is creating a lot of confusion and that was not the intention at all.

Bob Ahlert asks whether or not the private residences on City Road agreed to have the greenway come through their property. Dave responds that they will try to obtain easements for that, but if not they will just take that section out.

Marty Bizzell asks if they've received any feedback from NCDOT. David DeYoung states no they have not. Mr. Bizzell goes on to ask about the unimproved right of way at Cross Street and will it be improved with this project. Mr. DeYoung explains that he will work with the developer at least till the main project entrance, or secondary project entrance.

A question is raised about what, if anything will come back to the Planning Board. Mr. DeYoung explains that only major revisions will come back and also explains the wish to modify the process on what exactly comes to Planning Board. He explains that development is different that it was in the past and developers and builders have to work in smaller phases, which in turn takes up a lot of the developer's time, a lot of staff's time, and a lot of the Board's time. He hopes that eventually only things that deviate from the master plan will have to come back to Planning Board for review and approval.

The applicant, Reid Smith approaches the podium. He goes on to explain his excitement for the development and for its influence on the Town. Reid Smith explains the quality of life that will be offered to residents of ParkView, from the elderly to single parents. He touches on how much open space is offered, pointing out that this was done to cut down on residences backing up to

one another. He then mentions the community being maintenance free. He then brings up the agri-community being introduced in the Town. A community garden will be the first and they will be working on other amenities that will allow for community interaction. Reid also mentions the gazebo and the lake, which will be available for parties and get-togethers. The next asset of the community that Reid discusses is the three parks that touch the community and the extension of Sam's Branch parkway. Residents of ParkView will receive bronze level memberships to Fred Smith community amenities.

Reid goes on to mention the neighborhood meeting which was well attended. He discusses that the Clayton Civitan group attended and had three concerns. One concern was the noise from the park. Second being the lighting from the park and the resident's opinion of how the lights and noise may interfere with their experience. Their third concern was the future of the community and the Civitan's activities would not be prohibited. Reid explained that they went back and looked at the plans and made some immediate adjustments to fix some of the noise and lighting concerns. He also went to the Planning Department and went over changes that could be made to accommodate some of the concerns. He explains that they met again with the Civitans again to discuss the updates and the Civitans are gathering some recommendations but they have yet to meet again since that second meeting.

Reid explained that he and his family went to a Civitan game the other night and checked out the lighting and the noise in relation to the ParkView community. He states that the noise and lighting were nowhere near the state of being an annoyance and were barely noticeable from afar. He moves on to the future of the community and park living together and the civitans not losing the ability to carry on with their activities. He mentions that they plan on adding an addendum and in the covenants that the buyer is surrounded by three parks and should expect some lighting and noise from the activities that take place there. He mentioned being ok with the Planning Board making those conditions of the project that way if anyone ever comes to the Town with complaints, it will be handled already in those documents and agreements. Reid offers to answer any questions.

Dana Pounds asks about foot access to the parks. Reid answers that right now there is none, but they will look into possibilities of that. Mr. Coats asks about the burden on the other Fred Smith community's amenities would be by allowing all of these new residents access. Reid explains that he doesn't think it would be a burden on just one facility and that it would spread out among all of their facilities omitting a burden on any one particular location. Sarah Brooks asks about the 4 units per acre; for single family homes, how many units per acre are you planning? Depending on market, they wanted flexibility on which home types to build where. It's still up in the air as to what housing type will go where, all of which can only be 4 units per acre.

Mr. Ahlert asks about possible improvements to Liberty Lane. Mr. DeYoung explains that yes, Liberty Lane is an interesting street, mostly belonging to the Town but not completely. The developer is responsible up to Liberty Lane. Mr. DeYoung also explains that unless the NCDOT recommends improvements, it will stay as it is for now. There is some back and forth between Mr. Coats, Mr. Ahlert, and Mr. DeYoung about the sufficiency of Liberty Lane with increased

traffic. Ultimately, Mr. DeYoung says he will agree for now, but go and measure the road since he thinks it's in decent shape compared to other Town roads. Mr. DeYoung points out to the Planning Board again that they do not have results of the traffic study yet, so their concerns are not falling on deaf ears, as once the Planning Department receives the study they will be taking recommendations and making possible updates. Mr. Teem asks if the traffic study will be ready before this goes to Town Council. Mr. DeYoung responds yes.

Jim Lee asks about access to Civitan Park, the need for a few parking spaces at the community garden, the Liberty Lane connection, and a rumor that fireworks would no longer take place at Municipal Park. Mr. DeYoung explains that it's true; if ParkView is developed then fireworks will have to be done somewhere else. Reid Smith address the park access and garden parking questions and states that they will address these and see what they can come up with. Marty Bizzell compliments Reid on his presentation and asks what staff's opinion is on the addendum and covenants including information about the parks so that the parks won't be held liable for any interference with community residents. Mr. DeYoung explains that he thinks Reid has gone above and beyond and thinks his ideas regarding including information about the parks in the addendums and covenants are great. Dave and Reid both reiterate the efforts being made to lessen any noise and lighting impacts to residents of the community, along with other efforts to keep a good relationship with the Civitans.

Mr. Teem brings up the turn lane and decel lanes off of City Road and asks Reid's thoughts. Reid says he hasn't really had much time to get any thoughts together. He plans on getting the traffic study and then going from there. Mr. Teem reiterates the safety concern with the new traffic. Reid answers that he will definitely sit down with staff to review the study and make some decisions.

Dana Pounds refers to a member of the audience, Brach Wilson 54 East Moss Creek Drive of HTR, about the legality of whether or not the Planning Board can require addendums to purchase agreements and restrictions of covenants are a real estate agent issue. Mr. Wilson explained that it would be easy to put it in the restrictions and covenant but that he was unsure if the Planning Board had the legal power to have any say or control over that.

Mr. Teem asks if any audience members would like to speak. Troy Smith of 105 Marion Drive, a Civitan, approaches the podium. He states that his concern is for the Civitans and that their activities continue. He states that yes he has sat down with Reid Smith and a few others to discuss how things will progress. He explains that he's compiled a list of concerns. One is security of increased traffic to the park since the crime has increase on that side of town. He also mentions insurance for fly balls in case a homerun goes through someone's window. He then mentions Cross Street running into right field of the junior ball field. He then mentions that the map shown now is different than the map they saw at the meeting. He states that they will be neighbors and wants to work with the developers, but wants to make sure everyone understands the concerns of the Civitans. Dana Pounds asks about typical time for lights going out. Troy explains that usually around 8:30PM, but occasionally on Friday's and Saturday's it could be 10-10:30PM.

Tom Malpass, 2001 Donna Court Clayton, approaches the podium. He explains that he lives in Smith Ridge subdivision. He brings up the Arp Property and the future development there, making the City Road intersection even more of a safety issue. He is concerned about the quality of life that will be impacted and asks that they consider the long-time residents.

Mr. DeYoung states that there will be several intersections impacted by all of the proposed projects. NCDOT and the Town are aware of the concerns and are both working to make sure things go smoothly with future developments and that roads function as best as possible.

At 8:15PM Sarah Brooks makes a motion to approve the rezoning request. Mr. Ahlert seconds the motion. The rezoning request passes unanimously at 8:16PM.

At 8:19PM Dana Pounds motions to approve recommendation of the Master Plan with conditions. Mr. Coats seconds the motion. It passes unanimously at 8:20PM.

At 8:20PM Marty Bizzell motions to approve the waiver for sidewalks. Mr. Ahlert seconds the motion. It passes unanimously at 8:20PM.

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

David DeYoung brings up a tentative date of December 16th for the appreciation dinner. He also discusses the December Planning Board meeting date and suggests December 17th. At 8:23PM Mr. Coats made a motion to approve the new date of December 17th for the Planning Board meeting. Sarah Brooks seconds the motion. It passes unanimously at 8:23PM.

VII. ADJOURN

At 8:24PM Mr. Coats motions to adjourn. Sarah Brooks seconds the motion and it passes unanimously at 8:24PM.

Duly adopted this 26th day of January 2015, while in regular session.

X

Frank Price
Planning Board Chairman

ATTEST:

X

Rebecca Powers
Clerk to Planning Board

**MINUTES
CLAYTON PLANNING BOARD
DECEMBER 16, 2014**

The regular meeting of the Clayton Planning Board for the month of December was held at 6:00pm at Town Hall, 111 East Second Street.

PRESENT: Frank Price (Chair) (ETJ), David Teem (Vice Chair) (TL), George “Bucky” Coats (TL), Jim Lee (ETJ), Ronald L. Johnson (TL), Dana Pounds (ETJ), Marty D. Bizzell (ETJ), Robert J. Ahlert (TL), James Lipscomb (ETJ) [Alt.], Jean M. Sandaire (TL) [Alt.], Sarah Brooks (TL); Bob Satterfield (Councilman); Michael Grannis (Councilman)

ABSENT:

ALSO PRESENT: David DeYoung, Planning Director; Emily Beddingfield, Planner; John McCullen, Town Engineer; Stacy Beard, Public Information Officer; Rebecca Powers, Clerk to Board of Adjustment

I. CALL TO ORDER:

At 6:00PM Frank Price called the meeting to order. David DeYoung took roll at 6:01PM.

II. ADJUSTMENTS TO THE AGENDA:

Mr. DeYoung states that there are no adjustments to the agenda.

III. APPROVAL OF MINUTES FROM THE SEPTEMBER 22, 2014 REGULAR PLANNING BOARD MEETING:

Mr. Price acknowledges that the agenda shows approval of minutes for both the October and November meetings have been moved to the January 26, 2015 meeting.

IV. REPORTS/COMMENTS:

David DeYoung states there are two reports. First introduces Jay McLeod as new Planner and reintroduces Rebecca Powers as staff and new Board Clerk. Second he goes on to give updates on the ParkView Development.

Mr. DeYoung starts the update by address the community’s access points. Originally the three access points included two on City Road and one on Liberty Lane. The one on Liberty Lane will stay, but one on City Road is being removed and instead being moved to connect to the Creech tract which is planned to come in shortly for development approval. Mr. DeYoung states that staff and the developer believe this will be a better connection. Mr. DeYoung points out that if

the entrance configuration remains the same at Liberty Lane, then Liberty Lane will need to be improved to a 27' back to back road right of way and a 50' foot right of way.

Mr. DeYoung goes on to address the concern regarding parking spaces at the community garden, explained that the developer has added 3-4 spaces to the plan.

Mr. DeYoung next address the overall concern from the Board regarding the greenway vs. side walk fee in lieu not being equivalent. He explains that the developer went back and did research and found that they are almost equivalent in length and cost. He then states that the 10 foot greenway will run the length of City Road and Sam's Creek which brings great value to the Town.

Mr. DeYoung also addressed the concern about having to obtain easements from some land owners that weren't included in the parcel being developed in order to have the greenway connection. Mr. DeYoung states that the path is going to deviate from the right of way, which will allow connectivity without having to obtain the easements from the land owners.

The next concern was the traffic study. Mr. DeYoung explains that the study conducted showed that the project did not generate enough traffic to require any roadway improvements. Mr. DeYoung explained that NCDOT and Planning Department staff disagreed with that. They both have come to the conclusion that 2 left turn lanes are needed, one on City Road at the main entrance and one into Legend Park.

Mr. DeYoung also mentions that the developer is asking that whatever fee in lieu is left over to improve Legend Park, possibly entrance modifications, especially when Sam's Branch continues phase 3.

Lastly, Mr. DeYoung addresses some of the Civitan's concerns, specifically lighting and how to notifying existing owners. He explains that they went back and measured some of the buffer areas and most have existing buffers that are more than the minimum requirement, and if not they will place whatever is necessary to inhibit lighting issues. Civitan was also concerned about Cross Street coming in and hitting the right field of one of their baseball diamonds. Staff, Council, and Town Manager are working on a plan to abandon Cross Street and a portion of Kilgo Street, as it's not desirable for the developer, the Civitans, or the Town and would be a win-win to drop this street. Mr. DeYoung offers to answer any questions and states that the developer is there to answer any questions as well.

Jim Lee asks about the turn lanes on City Road for clarification. He states that with this project and future projects will warrant a decel lane to keep people from getting rear-ended. Mr. DeYoung states that a decel lane is still a condition in approving the plan and that NCDOT says that the volumes are pretty low, maybe 40 right turns. Mr. Lee still insists that the future development near this property needs to be taken into consideration, not so much what is there now. Mr. DeYoung agrees that it should be considered.

Marty Bizzell states that the changes look great and asks if the Civitan has been informed of the updates. Mr. DeYoung states that yes; the Civitan has been notified along with some adjacent property owners and Reid can explain that in more detail.

Reid Smith, 1117 Pritchard Road, approaches the podium. He thinks things are going in the right direction and the meetings with both the neighbors and Civitan, as well as with the Planning Board are only helping to make this project better. He goes on to explain that he has met with the Civitans and they were ecstatic about the idea of dropping Cross Street. He then states that the walking trail will connect to the parks on Cross Street and are still working out the details in regards to how it will connect to the Civitan's Park, but will have that mapped out before the Town Council meeting.

V. OLD BUSINESS:

Mr. DeYoung states that there is none and they move on to new business.

VI. NEW BUSINESS:

A. SP 2014-136 Lot 4 at Spring Branch – Major Site Plan

This is a request for an approximately 10,000 sq. ft. multi-tenant building including an end unit drugstore with a drive thru. Mr. DeYoung begins by explaining that the building will be located within the Spring Branch development, close to the nursing home which will be opening very soon. He gives info on the surrounding buildings, which includes the medical office building. He also mentions the neighboring assisted living facility. Mr. DeYoung gives details about the building 10,000 sq. ft., one story, mixed use building, including retail. He states that the lot is 75% impervious and shows 50 parking spaces required by code. Mr. DeYoung then shows the site layout on slide show, pointing out two access points, parking in the front, loading and garbage in the rear. Mr. DeYoung the points out the driveway on the South side of the building along with other requirements for drive-thrus. He goes on to explain that the roof top mechanical equipment will be screened from view. He states that they are providing crosswalks on all 4 sides of the roundabout making it easily accessible and easy to move around the development. He also mentions that the developer has included a bike rack which is required by code.

Mr. DeYoung moves on to the landscaping and buffering details. He states that there are no recreation or open space requirements. Environmental issues were resolved with the original Master Plan Development. Mr. DeYoung states that they are going to have a monument sign and will have to obtain permits from the Planning Department.

Mr. DeYoung then states that there is really only one thing that the site is not in compliance with and that's the small area plan. The small area plan suggests buildings that front on main roads, particularly at intersections, should be pulled up to the road with all parking to the rear or side. Staff thinks they can let it slide since they were so far along in the process and probably couldn't make accommodations at that point, but future parcels that front to Hwy 42 will be expected to meet that code. Mr. DeYoung then explains that the proposed development is consistent with surrounding land use and Strategic Growth Plan, all Unified Development Code requirements,

and Spring Branch Master Plan with some conditions. Staff is recommending approval with conditions stated in Staff Report.

Jim Lee asks about elevations. Mr. DeYoung states that the elevations will have to match the style of the rest of the Spring Branch Development. Mr. Lee also asks about the mailboxes being in the back of the building. Mr. DeYoung states that he'll let the applicant address that, and that they have been deferring to the post office about that.

Marty Bizzell asks about five spaces as the queueing requirement. Mr. DeYoung states that it's actually four from the window, plus a bypass.

Bob Satterfield asks if the back of the building will be facing another street. Mr. DeYoung explains that it will be an access street not a named street. Mr. Satterfield wants them to keep the back side of the building looking nice. Mr. DeYoung explains that screening on all four sides is required. Mr. Satterfield mentions Stucco and explains that it's more that the architectural features stay consistent on the back of the building as well. Mr. DeYoung states that he will let Gabe Guillois address that question.

Johnathan Barnes of 446 E Main Street Clayton, approaches the podium. He introduces himself and offers to answer any questions along with Gabe Guillois and Trey Evans. He first addresses the mailboxes being at the back of the building, stating that it initially made sense that the tenants would be going out back to check the mail.

Gabe Guillois with the Lundy Group approaches the podium and addresses Mr. Satterfield's concern of the architectural features of the back of the building matching the front. Mr. Guillois explains that he will have to sit down with the architect, and that he isn't so sure that he wants it to match completely, but understands what Mr. Satterfield is saying.

Mr. DeYoung approaches the podium again and recommends making another condition to address the previous concern, stating that architecture shall be similar on all four sides of the building. Mr. Price adds that as condition 10.

At 6:33PM Sarah Brooks makes a motion to approve PSD 2014-136 with conditions. Ronald Johnson seconds the motion. The request passes unanimously at 6:33PM.

B. Text Amendment to 155.705 (O) of the UDC – update and clarify major vs. minor modifications to Planned Development Master Plans.

Mr. DeYoung begins explaining item B. He states that this section of the code has been causing some problems. It requires that amendments to master plans of subdivision plans they have the ability to do changes up to 10%. The problem is it states 'as long as the quantity of phases remains'. He explains that the economy is different, there are smaller take down of lots than what previously used to come through for approval. Mr. DeYoung states that staff should be able to handle this without Planning Board having to sit through approval request. This modification would allow staff to modify subdivisions and master plans on their own for minor changes, or administrative modifications. Major modifications will still need to go back to

Planning Board and Town Council. It's also stated that if this amendment is approved by the Planning Board, it will move on for Town Council consideration.

At 6:37PM Mr. Lipscomb makes a motion to approve the Text Amendment to the UDC. The motion is seconded by Mr. Ahlert. After discussion, it's decided that Mr. Lipscomb can't make a motion as an alternate tonight. At 6:38PM Mr. Ahlert makes the motion to approve the amendment. Mr. Lee seconds the motion and at 6:38PM it passes unanimously.

C. Adoption of 2015 meeting schedule

Mr. Price briefly covers the proposed 2015 schedule. Mr. Ahlert makes a motion to approve the 2015 meeting schedule at 6:40PM. Mr. Teem seconds the motion and it passes unanimously at 6:40PM.

VII. INFORMAL DISCUSSION AND PUBLIC COMMENT

Mr. Price states that there are no audience members to come up and comment and asks if anyone else has anything to share. He goes on to sincerely thank the Town and Staff for the wonderful social the night before. Mr. DeYoung lets them know we have gifts for those who didn't get theirs last night.

VII. ADJOURN

At 6:42PM Mr. Teem motions to adjourn. Mr. Price explains that all in favor can stand and leave. The meeting ends at 6:42PM

Duly adopted this 26th day of January 2015, while in regular session.

X

Frank Price
Planning Board Chairman

ATTEST:

X

Rebecca Powers
Clerk to Planning Board



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Fax: 919-553-1720

*Planning Board
January 26, 2015*

STAFF REPORT

Application Number: SUP 2014-143 (Special Use Permit)
Project Name: Murdock Solar Farm

NC PIN / Tag #: 164900-26-3570 / 05G02021WC
Town Limits/ETJ: ETJ
Overlay: none
Applicant: Sunlight Partners, LLC.
Owners: Albert Newsome
Developer: Sunlight Partners, LLC.

Neighborhood Meeting: Held January 6th, 2014.
Public Noticing: January 16, 2015

PROJECT LOCATION: The project is located at 2663 Guy Rd. The parcel's western border is the Wake County / Johnston County line. It is west of Guy Rd, south of US Hwy 70 W Business, and south of Golden Nugget Dr.

REQUEST: The applicant is requesting special use permit approval for a 21± acre solar farm on a 31.9 acre parcel. A solar farm is a low-impact industrial-type use where solar panels generate electricity that is sold into the grid through the local electricity provider, in this case Duke Energy. This Special Use Permit application is running concurrently with a Site Plan (SP2014-144), which contains the site plan details for the solar farm use on the property.

SITE DATA:

Acreage: 31.9 acres
Present Zoning: Residential Estate (R-E)
Proposed Zoning: Residential Estate (R-E)
Existing Use: Vacant and/or agriculture

DEVELOPMENT DATA:

Proposed Uses: Solar farm

Buildings:	None – three small structures would house equipment, approx. 100 sqft. each and 8’ tall.
Number of Stories:	The solar panel arrays will extend 12’ above grade.
Impervious Surface:	5±%
Required Parking:	none.
Proposed Parking:	1 for maintenance.
Fire Protection:	Town of Clayton Fire Department.
Access/Streets:	Access will be provided via an access easement off of Guy Rd, through an adjacent parcel owned by Donald Larry Newsome (Tag # 05G02022WC). Internal access will be along a proposed 20’ wide gravel road.
Water/Sewer Provider:	none.
Electric Provider:	Duke Energy

ADJACENT ZONING AND LAND USES:

North:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
South:	Zoning:	Residential Estate (R-E)
	Existing Use:	Vacant or agricultural, Single Family Residential
East:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
West:	Zoning:	Residential-30 (R-30) (in Wake County)
	Existing Use:	Vacant or agricultural, Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting a Special Use Permit to use the land for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be shielded visually from surrounding properties by a 12’-15’ evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is consistent with the current surrounding uses, which are primarily vacant land or agricultural. This Special Use Permit application is with a concurrent Site Plan application (SP2014-144).

Associated Site Plan

Pursuant to §155.711(D)(1), concurrent with a request for a special use permit, an applicant shall submit a site plan for review and approval. This site plan is processed as any other site plan with a final decision made by the applicable reviewing body.

The concurrent site plan application running this this Special Use Permit is SP2014-144, the applicant is requesting site plan approval for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is not inconsistent with the current surrounding uses, which are primarily vacant land or agricultural.

Consistency with the Strategic Growth Plan

The proposed development is not inconsistent with the Strategic Growth Plan. Locating this type of use on the outskirts of the ETJ on the Wake County border is not objectionable to the Strategic Growth Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC).

Landscaping and Buffering

The proposed site plan will have a 12'-15' tall (at 3-5 years after planting) evergreen landscaping buffer planted along it's entire perimeter, with some natural vegetation kept where the buffer intersects existing wetland areas (less than 5% of the perimeter).

Recreation and Open Space

N/A.

Environmental

Three small wetlands have been identified in the site plan. **None of them are required to be managed per Town Code.** They will be trimmed manually and maintained at heights of 4' on the interior wetland and 12' on the wetlands in the landscape buffer.

Signs

No monument signs are requested at this time and none will likely be requested.

Site Design

A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Access/Streets

An access easement on the north side of the parcel will be obtained from the adjacent landowner. A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Waivers/Deviations/Variances from Code Requirements

A modified landscape buffer is being proposed that will provide a year-round visual buffer of the 12' tall solar panels.

FINDINGS

When considering a Special Use Permit application, The Town Council shall consider specific Findings of Fact. A Special Use which fails to meet any of these Findings shall be deemed adverse to the public interest and shall not be approved. The applicant has addressed the Findings expressly established by Chapter 155.711 (l) of the UDC. The applicant's Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONSIDERATIONS

- The Town Council approves Special Use Permits.
 - This site is on the outskirts of the ETJ on the Wake County line.
 - Solar farms are possible in Residential Estate (R-E) areas with a Special Use Permit. This Site Plan is running concurrently with a Special Use Permit application.
 - Planning Board will approve/deny the Site Plan.
 - Planning Board will make a recommendation to the Town Council on the Special Use Permit.
-

RECOMMENDATION:

Staff is recommending **approval of the Special Use Permit with the following conditions:**

1. The development of the site is limited to approved site plan (reference project # SP 2014-144).
 2. All mechanic equipment (excluding the electrical tie-in and utility metering area) must be completely screened from view from outside of the site.
 3. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
-

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS

- 1) Findings of Fact, 2) Aerial/Zoning Map, 2) Application, 3) Neighborhood Meeting Materials

REQUIRED FINDING OF FACT

Section 155.711(l) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.**

The Murdock Solar Project will not materially endanger the public health, safety, or general welfare if located where proposed and developed according to the plan as submitted and approved.

Public Health & Safety- *The Murdock Solar facility will not adversely affect public health and safety. The solar facility is an unmanned, infrequently visited project site. As such, the project will not increase the existing demand on public safety agencies (police and fire departments). The project site will be enclosed with a fence, preventing access to the general public.*

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.**

The Murdock Solar project will comply with all required regulations of the Unified Development Ordinance (UDO) and any specific conditions and specifications required for this project. The UDO was reviewed during the design phase of this project, as a good faith effort at compliance, prior to the submittal of the Conditional Use Permit application.

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.**

Because the Murdock Solar project will have landscaping and natural buffers shielding the project from view, the project will not adversely affect the use, physical attribute, or impact the value of adjoining or abutting property.

In 2013, David Massey was commissioned to perform an analysis on solar farm impacts on adjacent property values within Guilford County, North Carolina. Mr. Massey is a State Certified General Real

Estate Appraiser by the State of North Carolina and a Licensed Real Estate Broker. Mr. Massey's practice consists of residential and commercial appraisals in Guilford, Alamance, Orange, Durham, Randolph, Chatham and Caswell Counties of North Carolina.

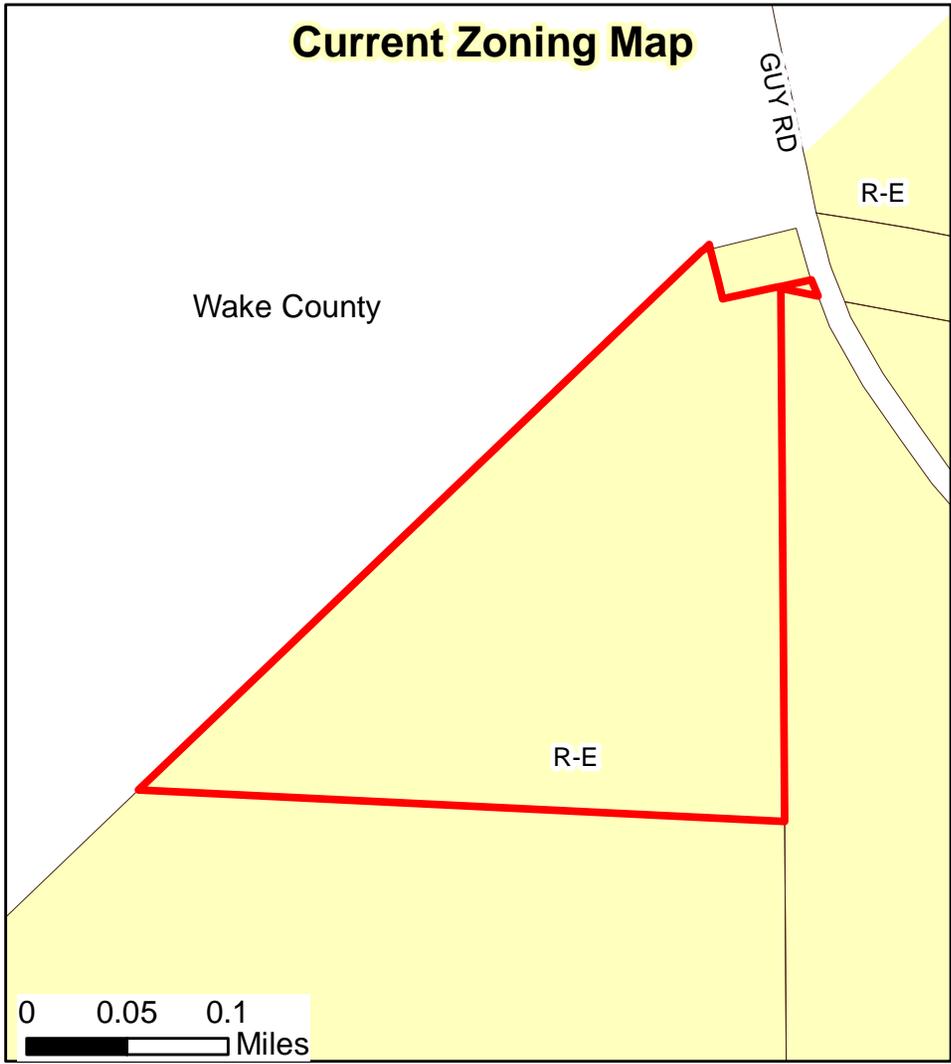
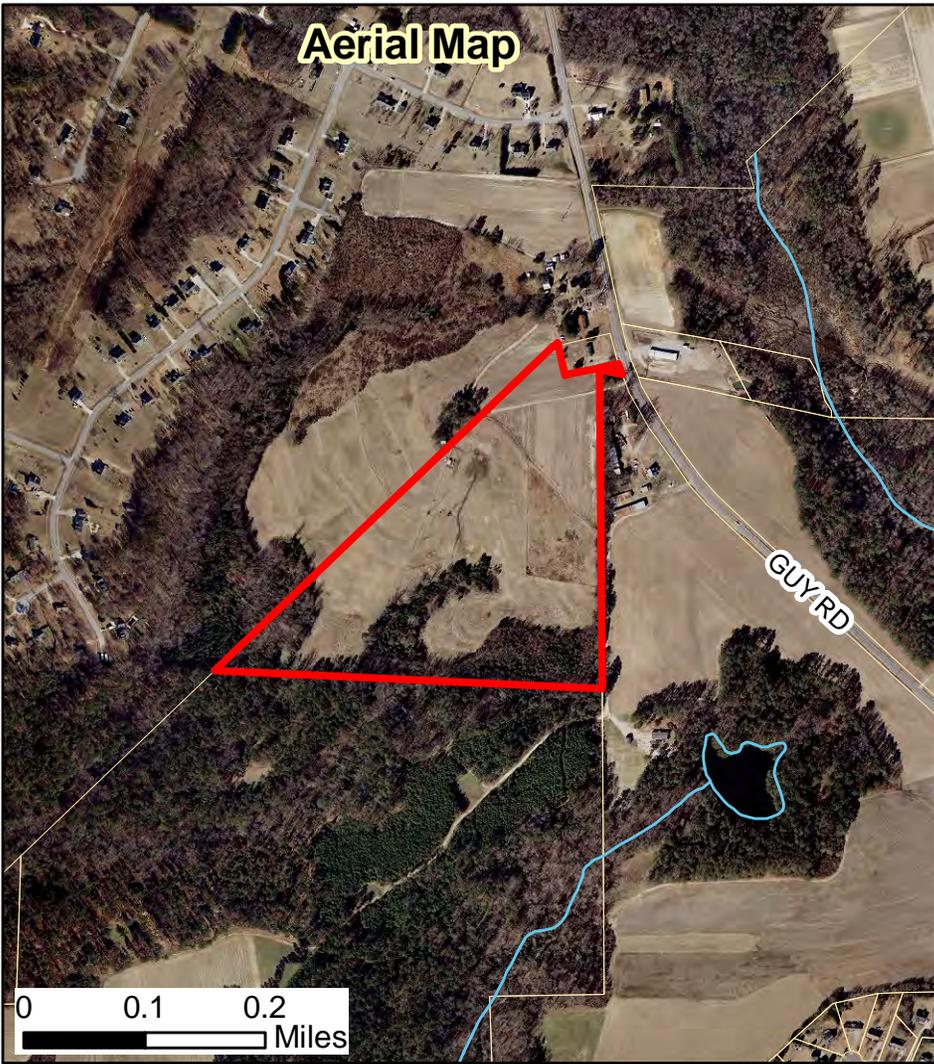
Mr. Massey's study was performed to address the impact on adjacent property values related to two similar sized solar projects that Sunlight Partners was permitting in Guilford County. In the study (Attachment B) Mr. Massey concludes that, "My professional and expert opinion is that the two proposed Solar Farms that will not be visible will have no impact on the market values of the surrounding properties. The Solar Farms with the proposed landscaping buffers and natural buffers will not create a negative externality for the surrounding properties as they will not be visible."

4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

The proposed location for the Murdock Solar project is designated as Residential-Agricultural District. The Murdock Solar project will be in harmony with the area and will be in compliance with the plan for the physical development of the Town due to the fact that project will not increase the population density within the Residential/Agricultural area, will not require urban services, will not decrease the level of service on existing roads, and views of the Murdock Solar project will be shielded by natural and landscape buffers.

CONCLUSION

The Murdock Solar project has been designed, in good faith, to meet all required conditions and specifications as set forth by the Town of Clayton. Sunlight Partners believes that the finding of facts has been adequately addressed, and that the Murdock Solar project meets the requirements for approval of a Conditional Use Permit (CUP).



Murdock Solar Farm Special Use Permit and Site Plan

Applicant: Murdock Solar c/o Keith Colson
 Property Owner: Albert Lee Newsome
 Parcel ID Number: 164900-26-3570
 Tag #: 05G02021WC
 File Number: SUP 2014-143 and SP 2014-144

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

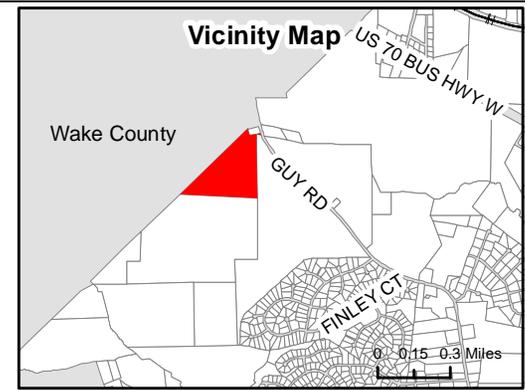


12/29/14



Legend

- Murdock_Solar_Farm_Site
- FLOODZONE**
- A
- AE - 100 Year Flood Zone
- AEFW - Floodway
- SHADED X - 500 year Flood





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL USE APPLICATION

Pursuant to Article 7, Section 155.711 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to allow a Special Use. Special Uses are uses that may be appropriate in a particular district, but have the potential to create incompatibilities with adjacent uses.

Fee: The application fee is \$400.00. All fees are due when the application is submitted.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Special Use Permit applications.

APPLICATION TYPE

- New Special Use Permit
 Major Modification to an approved SUP
Permit Modified: _____

SITE INFORMATION

Name of Project: Murdock Solar Acreage of Property: 31.9
 Parcel ID Number: 05G02021 WC Tax ID: GPIN 164900-26-3570
 Deed Book: _____ Deed Page(s): _____
 Address/Location: 2780 Guy Road, Clayton NC 27520

Existing Use: Ag Proposed Use: 4MW Solar Facility
 Is project within a Planned Development? No Yes
 Planned Development District (if applicable): _____
 Is project within an Overlay District: No Yes
 Overlay District (if applicable): _____

OFFICE USE ONLY

Date Received: <u>12/1/14</u>	Amount Paid: <u>400⁰⁰</u>	Permit Number: <u>2014-143</u> 2014-142
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MASTER PROJECT
2014-142

PROPERTY OWNER INFORMATION

Name: Albert Newsome

Mailing Address: 433 Guy Road, Clayton NC 27520

Phone Number: 919-553-4275

Fax: _____

Email Address: _____

APPLICANT INFORMATION

Applicant: Murdock Solar, LLC

Mailing Address: 4115 East Valley Auto Drive #204 Mesa AZ, 85206

Phone Number: 480-582-1540

Fax: _____

Contact Person: Keith Colson

Email Address: keith.colson@sunlightpartners.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Conditional Use Permit (CUP) application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
2. Review Fee (\$400)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
3. Completed application (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. Owner's Consent Form (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
5. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
6. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
7. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
8. If applicant is concurrently applying for site plan approval, a copy of the proposed site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements included in this packet</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
10. Set of stamped, addressed envelopes using the adjacent property owners list	May be provided at time of submittal OR no later than 25 days prior to the Town Council meeting.				
11. Neighborhood meeting summary form (9 copies) <i>Form is included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

Note: More information may be requested by the Planning Department depending on the project

REQUIRED FINDINGS OF FACT

Section 155.711(I) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.

Please See Attached Project Narrative

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.

Please See Attached Project Narrative

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

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- 4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

Please See Attached Project Narrative



2014

Project Narrative for Murdock Solar



Submitted by:
Sunlight Partners, LLC
11/20/2014

INTRODUCTION2

PROJECT DESCRIPTION2

PROJECT LOCATION3

REQUIRED FINDING OF FACT.....4

CONCLUSION6

INTRODUCTION

Sunlight Partners respectfully submits the following as supporting documentation for the affirmation that the Candace Solar project meets the requirements for approval of a Conditional Use Permit (CUP) within the I-2 zoning districts.

PROJECT DESCRIPTION

The proposed Murdock Solar project will consist of an unmanned, 4 Mega-watt (MW), fixed tilt, photovoltaic solar farm. The project is situated on Parcel No. 05G2021WC within the Town of Clayton.

Components of the project will consist of mounted photovoltaic solar panels, electrical power inverters, electrical transformers, and buried electrical conduit. The solar generating facility will interconnect to the existing utility grid. **Figure 1** shows a typical photovoltaic solar generating facility.



Figure 1 - Conceptual Site Rendering.

PROJECT LOCATION

The Murdock Solar project site is located at 433 Guy Road, Clayton, NC.

Figure 2 depicts project location.

Figure 2 – Murdock Solar project site.



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Town of Clayton
Planning Department

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Murdock Solar Address or PIN #: _____

AGENT/APPLICANT INFORMATION:

Keith Colson _____ 4115 East Valley Auto Drive # 204 _____
(Name - type, print clearly) (Address)
Mesa, AZ 85206 _____
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Site Plan _____ Zoning Compliance Permit _____
Special Use Permit _____

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Elizabeth Newsome _____ 4333 Gray Rd. _____
Albert Newsome Jr. _____ (Address)
(Name - type, print clearly)
Elizabeth Newsome _____ Clayton NC 27520 _____
Albert Newsome Jr. _____ (City, State, Zip)
(Owner's Signature)

STATE OF NORTH CAROLINA
COUNTY OF Johnston

Sworn and subscribed before me Willis Bruce Lee, a Notary Public for the above State and County, this the 3rd day of December, 2014.

SEAL _____
Notary Public
My Commission Expires: June 18, 2018

NEIGHBORHOOD MEETING MATERIALS

MURDOCK SOLAR FARM REQUEST
SUP 2014-143 AND SP 2014-144



Sunlight Partners, LLC
4115 E. Valley Auto Dr. Suite #204
Mesa, AZ 85206

David DeYoung
Town of Clayton Planning Director
111 E. 2nd Street
Clayton, NC 27528

December 23, 2014

Dear Mr. DeYoung,

This letter is to inform you that Sunlight Partners will be holding a meeting to discuss our proposed solar facility that is planned in your area. We would like to answer any questions you may have, we will be holding a meeting at the Town of Clayton Town Hall GS 223 on January 6th at 6pm. Please do not hesitate to contact me if you have any questions.

Where:

Town of Clayton Town Hall Room GS 223
111 E. 2nd Street
Clayton, NC 27528

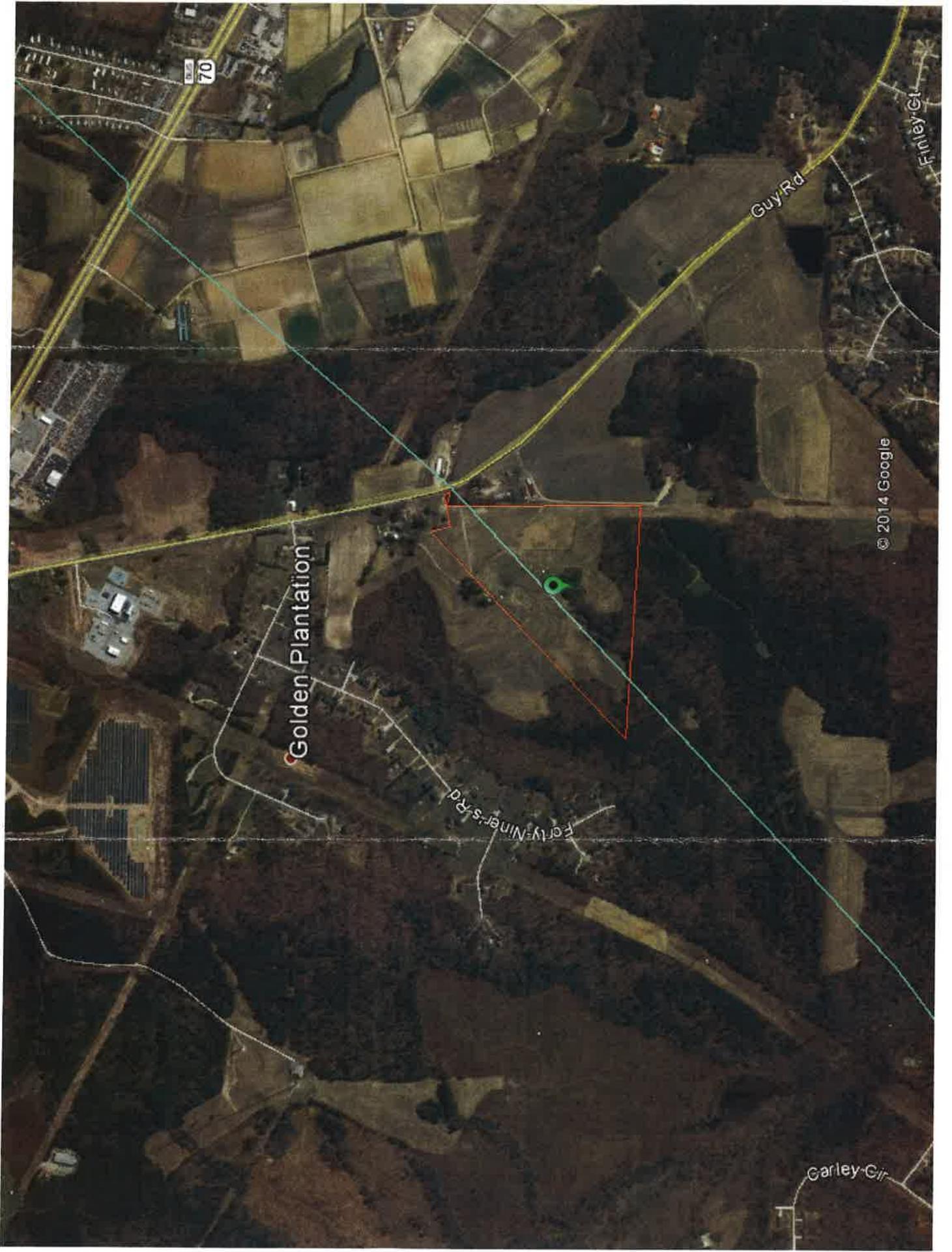
When:

January 6th at 6pm

Thank you,

A handwritten signature in black ink, appearing to read "Tracy Brunson", with a long horizontal flourish extending to the right.

Tracy Brunson
Project Manager
Sunlight Partners
Office 800-673-1125
Direct 480-582-1575



© 2014 Google

Golden Plantation

Guy Rd

Carley-Niner's Rd

Carley Cir

70

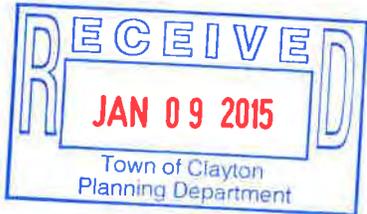
ADJACENT PROPERTY OWNERS LIST

Project Name: MURDOCK SOLAR, LLC

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05602021WC	ALBERT LEE NEWSOME	4333 GUY RD
05602034W	ALBERT LEE NEWSOME	4333 GUY RD
05602022WC	DONALD NEWSOME	3017 BUTTON WOOD LN
05F01003B	GORRELL INC	544 PYLON RD
056021981	GORRELL INC	544 PYLON RD
164906505A	GORRELL INC	544 PYLON RD
1649272720	ALBERT NEWSOME	4333 GUY RD
1649277698	ALBERT NEWSOME	4325 GUY RD

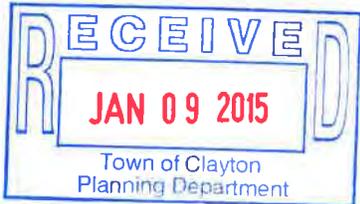


NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: MURDOCK SOLAR

Location/Date: TOWN OF CLAYTON / 1-6-15

	NAME	ADDRESS
1	<i>Josh Smith</i>	<i>601 5316 Birchleaf Dr</i>
2	<i>Ham Newsome</i>	<i>101 Buttonwood Dr, Clayton, NC</i>
3	<i>Larry Newsome</i>	<i>3017 Buttonwood Lane</i>
4		<i>Clayton N.C.</i>
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NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: 12-23-14

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: TRACY BRUNSON

Signature: 

Date of Meeting: JAN 6, 2014 Time of Meeting: 6pm

Location of Meeting: 111 E. 2nd Street CLAYTON, NC 27520

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

DISCUSSED facility Access + How it will be maintained +

DISCUSSED Replacement of electric fence

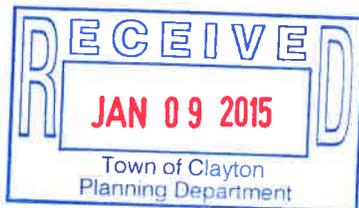
DISCUSSED Lease Agreement

DISCUSSED Process of selling power

DISCUSSED PPA w/ DUK + How that works

SEE ATTACHED MINUTES

Please write clearly (or submit a typed summary), and use additional sheets if necessary.





Sunlight Partners, LLC
4115 E. Valley Auto Dr. Suite #204
Mesa, AZ 85206

January 12, 2015

Jay McLeod, AICP
Planner
Town of Clayton
111 East Second Street
Clayton, NC 27528
jwmcleod@townofclaytonnc.org

Mr. Jay McLeod, this letter is to be a summary of the discussion that occurred on January 6, 2015 at 6pm. Sunlight Partners (SLP) met with three landowners that have land adjacent to our proposed solar facility location.

In this meeting the question was asked about access to the site, Sunlight Partners had a discussion with Mr. Jack Gorrell regarding the existing access that cuts through his property. He agreed to provide Mr. Newsome with access; SLP has initiated the process of having all the legal documents created for this process.

Mr. Larry Newsome had a concern about the removal of the existing electric fence that is used to keep the cows on the property that our solar facility is proposed on. Mr. Larry Newsome was asking if we would be willing to replace the fence. SLP asked Larry to come have a proposal put together with a cost for the new fence and then SLP could make a decision based on the need.

Mr. Adam Newsome had some general questions about the lease arrangement, how long the term is and how many extensions there are. This led into a discussion about the utility and how the PPA process is and the process of selling power. SLP was able to answer all of the questions that community had and hopefully gave them a better understanding of the project and the entire process associated with this type of project.

Thank you

Tracy Brunson
Project Manager
Sunlight Partners
Office 800-673-1125
Direct 480-582-1575



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Planning Board
January 26, 2015*

STAFF REPORT

Application Number: SP 2014-144 (Major Site Plan)
Project Name: Murdock Solar Farm

NC PIN / Tag #: 164900-26-3570 / 05G02021WC
Town Limits/ETJ: ETJ
Overlay: none
Applicant: Sunlight Partners, LLC.
Owners: Albert Newsome
Developer: Sunlight Partners, LLC.

Neighborhood Meeting: Held January 6th, 2014.
Public Noticing: January 16, 2015

PROJECT LOCATION: The project is located at 2663 Guy Rd. The parcel's western border is the Wake County / Johnston County line. It is west of Guy Rd, south of US Hwy 70 W Business, and south of Golden Nugget Dr.

REQUEST: The applicant is requesting site plan approval for a 21± acre solar farm on a 31.9 acre parcel. A solar farm is a low-impact industrial-type use where solar panels generate electricity that is sold into the grid through the local electricity provider, in this case Duke Energy. This site plan application is running concurrently with a Special Use Permit (SUP2014-143), which will allow the solar farm use on the property.

SITE DATA:

Acreage: 31.9 acres
Present Zoning: Residential Estate (R-E)
Proposed Zoning: Residential Estate (R-E)
Existing Use: Vacant and/or agriculture

DEVELOPMENT DATA:

Proposed Uses: Solar farm
Buildings: None – three small structures would house equipment, approx. 100 sqft. each and 8' tall.

Number of Stories: The solar panel arrays will extend 12' above grade.
Impervious Surface: 5±%
Required Parking: none.
Proposed Parking: 1 for maintenance.
Fire Protection: Town of Clayton Fire Department.
Access/Streets: Access will be provided via an access easement off of Guy Rd, through an adjacent parcel owned by Donald Larry Newsome (Tag # 05G02022WC). Internal access will be along a proposed 20' wide gravel road.
Water/Sewer Provider: none.
Electric Provider: Duke Energy

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

South: Zoning: Residential Estate (R-E)
Existing Use: Vacant or agricultural, Single Family Residential

East: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

West: Zoning: Residential-30 (R-30) (in Wake County)
Existing Use: Vacant or agricultural, Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

Along with a concurrent Special Use Permit (SUP2014-143) the applicant is requesting site plan approval for a 31 acre solar farm, where 21± acres of solar panels will convert sunlight to electricity, which will be sold through the electrical grid to Duke Energy. This light industrial style use will be shielded visually from surrounding properties by a 12'-15' evergreen landscape buffer. Although proposed to occur on land zoned Residential Estate (R-E), this use is consistent with the current surrounding uses, which are primarily vacant land or agricultural.

Consistency with the Strategic Growth Plan

The proposed development is not inconsistent with the Strategic Growth Plan. Locating this type of use on the outskirts of the ETJ on the Wake County border is not objectionable to the Strategic Growth Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC).

Landscaping and Buffering

The proposed site plan will have a 12'-15' tall (at 3-5 years after planting) evergreen landscaping buffer planted along its entire perimeter, with some natural vegetation kept where the buffer intersects existing wetland areas (less than 5% of the perimeter).

Recreation and Open Space

N/A.

Environmental

Three small wetlands have been identified in the site plan. **None of them are required to be managed per Town Code.** They will be trimmed manually and maintained at heights of 4' on the interior wetland and 12' on the wetlands in the landscape buffer.

Signs

No monument signs are requested at this time and none will likely be requested.

Site Design

A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Access/Streets

An access easement on the north side of the parcel will be obtained from the adjacent landowner. A 20' wide internal gravel road provides access to inverters and other equipment for maintenance.

Waivers/Deviations/Variances from Code Requirements

A modified landscape buffer is being proposed that will provide a year-round visual buffer of the 12' tall solar panels.

CONSIDERATIONS

- This site is on the outskirts of the ETJ on the Wake County line.
- Solar farms are possible in Residential Estate (R-E) areas with a Special Use Permit. This Site Plan is running concurrently with a Special Use Permit application.
- Planning Board will approve/deny the Site Plan.
- Planning Board will make a recommendation to the Town Council on the Special Use Permit.

RECOMMENDATION:

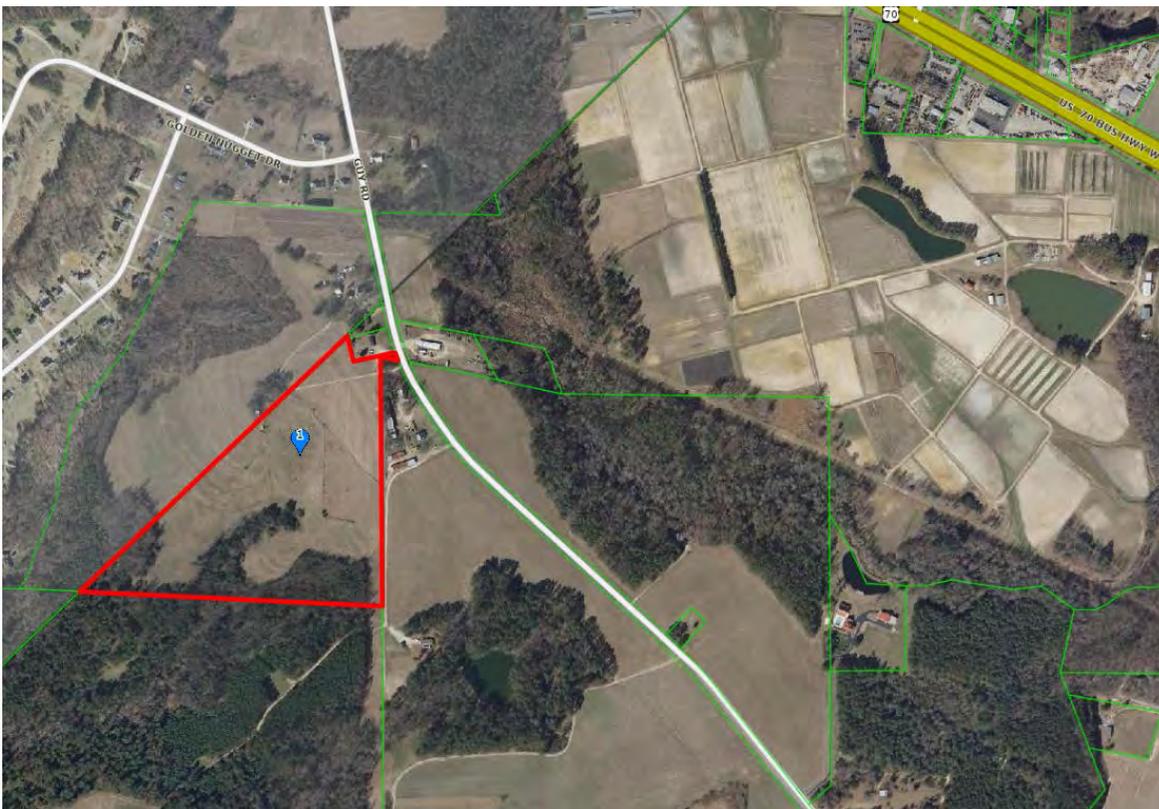
Staff is recommending **approval of the site plan with the following conditions:**

1. The development of the site is limited to the site design and uses approved by the Planning Board. Modifications to the approved site plan shall require review and approval in accordance with Section 155.707 of the Unified Development Code.

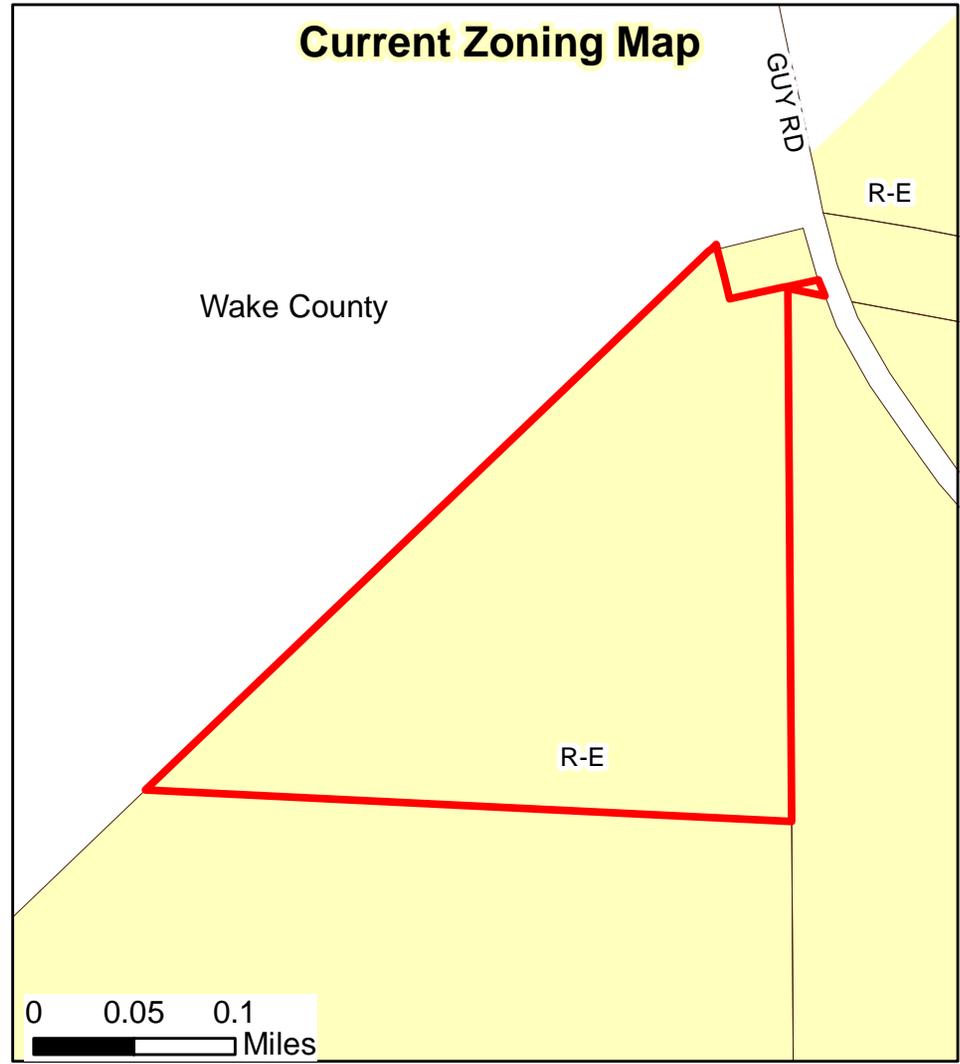
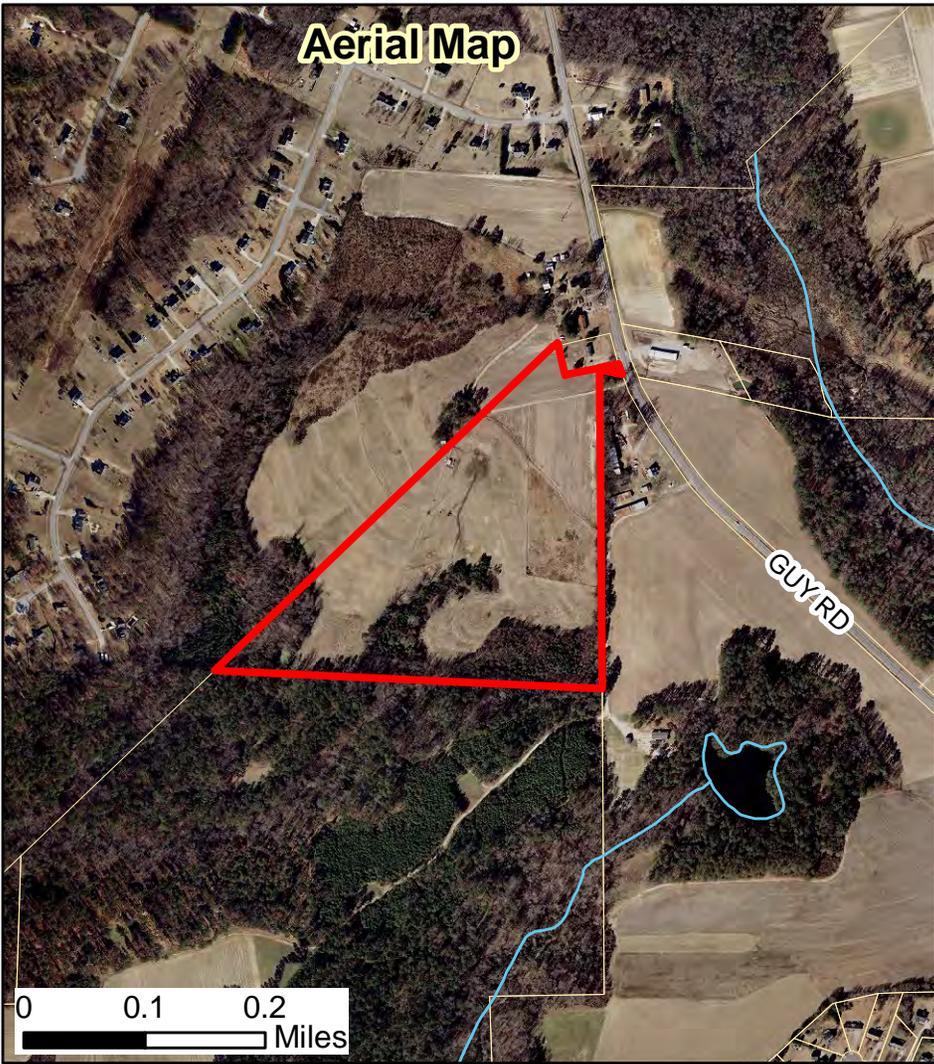
2. Following Board approvals, three copies of the Final Site Plan and Landscape Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
3. All mechanic equipment (excluding the electrical tie-in and utility metering area) must be completely screened from view from outside of the site.
4. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
5. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy. All site improvements shall be installed prior to the site inspection.

PLANNING BOARD RECOMMENDATION:

ATTACHMENTS: 1) Map, 2) Application, 3) Neighborhood Meeting Materials, 4) Site Plan



Site Location.



Murdock Solar Farm Special Use Permit and Site Plan

Applicant: Murdock Solar c/o Keith Colson
 Property Owner: Albert Lee Newsome
 Parcel ID Number: 164900-26-3570
 Tag #: 05G02021WC
 File Number: SUP 2014-143 and SP 2014-144

Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.

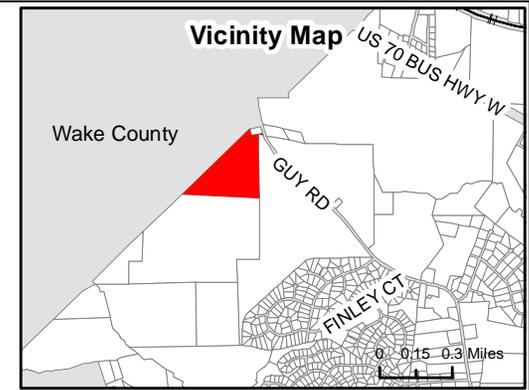


12/29/14



Legend

- Murdock_Solar_Farm_Site
- FLOODZONE**
- A
- AE - 100 Year Flood Zone
- AEFW - Floodway
- SHADED X - 500 year Flood





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

MAJOR SITE PLAN APPLICATION

Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fee: \$500.00 + \$5.00 per acre. All fees are due when the application is submitted.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Site Plan applications.

SITE INFORMATION

New Major Site Plan Major Modification to an approved site plan

Name of Project: Murdock Solar Acreage of Property: 31.9
 Parcel ID Number: 05G0201WC Tax ID: GPIN 164900-26-3570
 Address/Location: 2780 Guy Road, Clayton NC, 27520

Existing Use: Ag Proposed Use: 4MW Solar Facility
 Zoning District: _____

Is project within a Planned Development?: No
 Yes (list): _____

Is project within an Overlay District?: No
 Yes (list): _____



FOR OFFICE USE ONLY

File Number: 2014-144 Date Received: 12/1/14 Amount Paid: 660⁰⁰

MASTER PROJECT
2014-142

PROPERTY OWNER INFORMATION

Name: Albert Newsome

Mailing Address: 433 Guy Road, Clayton NC 27520

Phone Number: 919-553-4275

Fax: _____

Email Address: _____

APPLICANT INFORMATION

Applicant: Murdock Solar, LLC

Mailing Address: 4115 East Valley Auto Drive #204 Mesa, AZ 85206

Phone Number: 480-582-1540

Fax: _____

Contact Person: Keith Colson

Email Address: keith.colson@sunlightpartners.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application (9 copies)	<input type="checkbox"/>				
5. Owner's Consent Form (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i> (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
8. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
9. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
10. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
11. Neighborhood meeting summary form (9 copies)	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

See attached narrative.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Keith Colson

Print Name



Signature of Applicant

11/20/2014

Date



2014

Project Narrative for Murdock Solar



Submitted by:
Sunlight Partners, LLC
11/20/2014

INTRODUCTION 2

PROJECT DESCRIPTION 2

PROJECT LOCATION 3

REQUIRED FINDING OF FACT 4

CONCLUSION 6

INTRODUCTION

Sunlight Partners respectfully submits the following as supporting documentation for the affirmation that the Candace Solar project meets the requirements for approval of a Conditional Use Permit (CUP) within the I-2 zoning districts.

PROJECT DESCRIPTION

The proposed Murdock Solar project will consist of an unmanned, 4 Mega-watt (MW), fixed tilt, photovoltaic solar farm. The project is situated on Parcel No. 05G2021WC within the Town of Clayton.

Components of the project will consist of mounted photovoltaic solar panels, electrical power inverters, electrical transformers, and buried electrical conduit. The solar generating facility will interconnect to the existing utility grid. **Figure 1** shows a typical photovoltaic solar generating facility.



Figure 1 - Conceptual Site Rendering.

PROJECT LOCATION

The Murdock Solar project site is located at 433 Guy Road, Clayton, NC.

Figure 2 depicts project location.

Figure 2 – Murdock Solar project site.



REQUIRED FINDING OF FACT

Section 155.711(l) of the Unified Land Development Code requires applications for a Special Use to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

- 1. That the application will not materially endanger the public health or safety if located where proposed, and developed according to the plans as submitted and approved.**

The Murdock Solar Project will not materially endanger the public health, safety, or general welfare if located where proposed and developed according to the plan as submitted and approved.

Public Health & Safety- *The Murdock Solar facility will not adversely affect public health and safety. The solar facility is an unmanned, infrequently visited project site. As such, the project will not increase the existing demand on public safety agencies (police and fire departments). The project site will be enclosed with a fence, preventing access to the general public.*

- 2. That the application meets all required specifications and conforms to the standards and practices of sound land use planning and the Town Code of Ordinances and other applicable regulations.**

The Murdock Solar project will comply with all required regulations of the Unified Development Ordinance (UDO) and any specific conditions and specifications required for this project. The UDO was reviewed during the design phase of this project, as a good faith effort at compliance, prior to the submittal of the Conditional Use Permit application.

- 3. That the application will not substantially injure the value of adjoining or abutting property, and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.**

Because the Murdock Solar project will have landscaping and natural buffers shielding the project from view, the project will not adversely affect the use, physical attribute, or impact the value of adjoining or abutting property.

In 2013, David Massey was commissioned to perform an analysis on solar farm impacts on adjacent property values within Guilford County, North Carolina. Mr. Massey is a State Certified General Real

Estate Appraiser by the State of North Carolina and a Licensed Real Estate Broker. Mr. Massey's practice consists of residential and commercial appraisals in Guilford, Alamance, Orange, Durham, Randolph, Chatham and Caswell Counties of North Carolina.

*Mr. Massey's study was performed to address the impact on adjacent property values related to two similar sized solar projects that Sunlight Partners was permitting in Guilford County. In the study **(Attachment B)** Mr. Massey concludes that, "My professional and expert opinion is that the two proposed Solar Farms that will not be visible will have no impact on the market values of the surrounding properties. The Solar Farms with the proposed landscaping buffers and natural buffers will not create a negative externality for the surrounding properties as they will not be visible."*

4. That the application will not adversely affect the adopted plans and policies of the Town, or violate the character of existing standards for development of the adjacent properties.

The proposed location for the Murdock Solar project is designated as Residential-Agricultural District. The Murdock Solar project will be in harmony with the area and will be in compliance with the plan for the physical development of the Town due to the fact that project will not increase the population density within the Residential/Agricultural area, will not require urban services, will not decrease the level of service on existing roads, and views of the Murdock Solar project will be shielded by natural and landscape buffers.

CONCLUSION

The Murdock Solar project has been designed, in good faith, to meet all required conditions and specifications as set forth by the Town of Clayton. Sunlight Partners believes that the finding of facts has been adequately addressed, and that the Murdock Solar project meets the requirements for approval of a Conditional Use Permit (CUP).



Town of Clayton
Planning Department

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Murdock Solar Address or PIN #: _____

AGENT/APPLICANT INFORMATION:

Keith Colson 4115 East Valley Auto Drive # 204
(Name - type, print clearly) (Address)
Mesa, AZ 85206
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Site Plan Zoning Compliance Permit
Special Use Permit

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Elizabeth Newsome 4333 Gray Rd.
Albert Newsome Jr. (Address)
(Name - type, print clearly)
Elizabeth Newsome Clayton NC 27520
Albert Newsome Jr. (City, State, Zip)
(Owner's Signature)

STATE OF NORTH CAROLINA
COUNTY OF Johnston

Sworn and subscribed before me Willis Bruce Lee, a Notary Public for the above State and County, this the 3rd day of December, 2014.

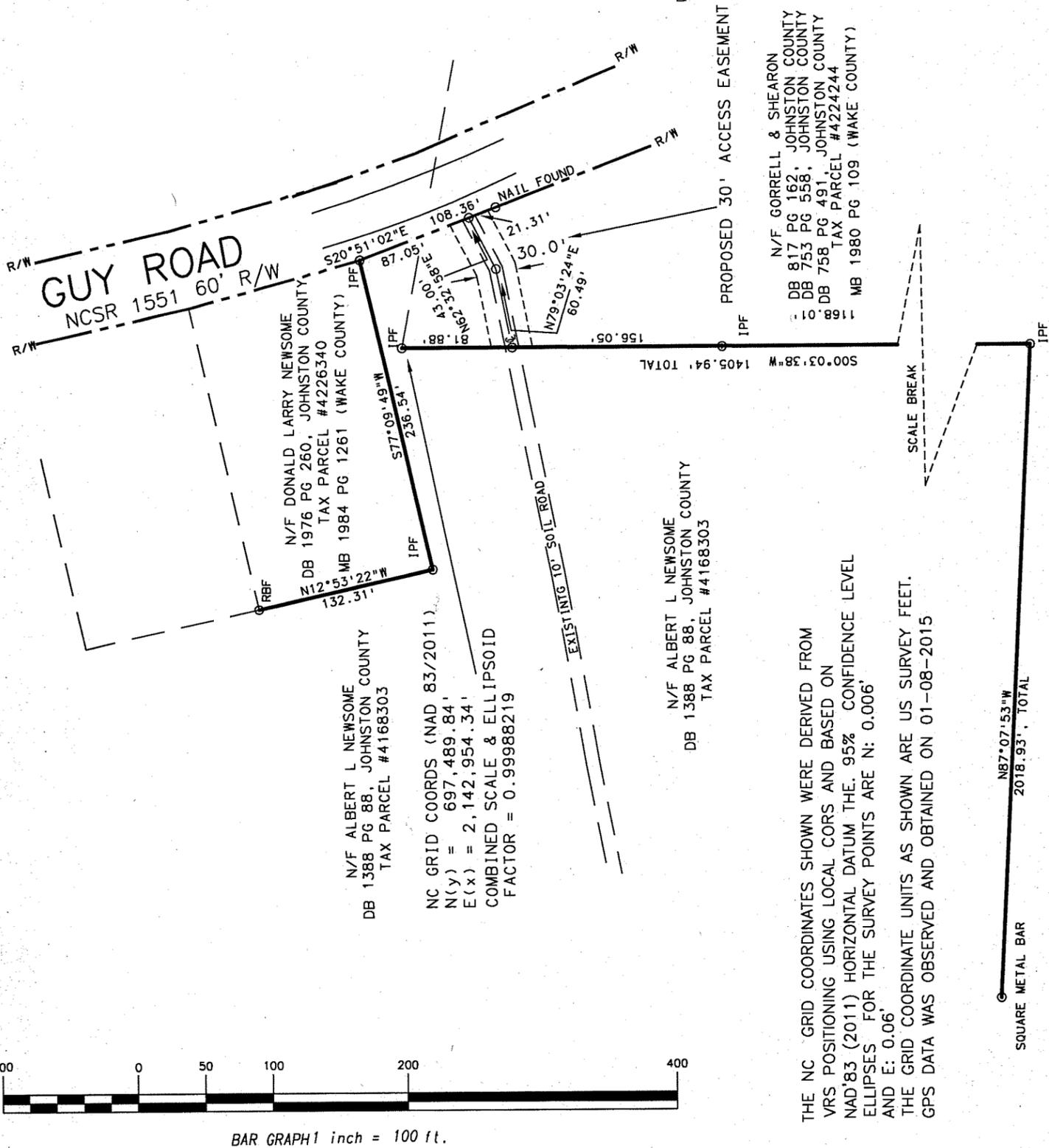
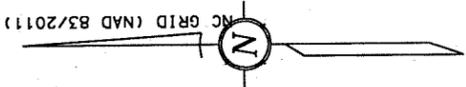
SEAL Willis Bruce Lee
Notary Public
My Commission Expires: June 18, 2018

30 FOOT ACCESS EASEMENT EXHIBIT

ACROSS LANDS OF N/F GORRELL & SHEARON
 LOCATED CLAYTON TWP., JOHNSTON COUNTY, NORTH CAROLINA
 REFERENCE DB 817 PG 162, DB 753 PG 558, & DB 758 PG 491, JOHNSTON
 COUNTY REGISTER OF DEEDS.

UNLESS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY
 MAP - NOT FOR RECORDING, SALES OR CONVEYANCE.

- LEGEND**
- IPF = IRON PIPE FOUND
 - RBF = METAL REBAR FOUND
 - IPS = IRON PIPE SET
 - RBS = METAL REBAR SET
 - CP = COMPUTED POINT (NO CORNER MONUMENT FOUND OR SET)
 - ⊙ = CENTERLINE

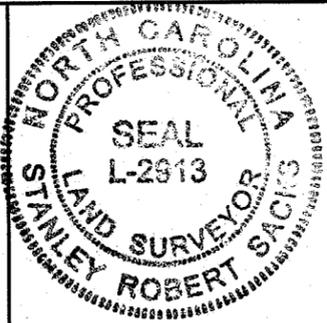


CERTIFICATE OF RLSNAME
 I, STANLEY ROBERT SACKS DO HEREBY
 CERTIFY THAT THIS MAP WAS DRAWN FROM AN
 ACTUAL FIELD SURVEY PERFORMED UNDER
 MY DIRECTION AND SUPERVISION, WITNESS MY
 HAND AND SEAL.

Stanley Robert Sacks

STANLEY R SACKS, PLS L-2913

LAST REVISED:



JANUARY 8, 2015



Sacks
 Surveying &
 Mapping, P.C.

Land Surveyors
 3308-B Edgefield Road
 Greensboro, NC 27409
 (336) 931-0566
 FAX 931-0558
 SacksSurveying.com
 FIRM LIC #C-2741

NEIGHBORHOOD MEETING MATERIALS

MURDOCK SOLAR
SUP 2014-143 AND SP 2014-144



Sunlight Partners, LLC
4115 E. Valley Auto Dr. Suite #204
Mesa, AZ 85206

David DeYoung
Town of Clayton Planning Director
111 E. 2nd Street
Clayton, NC 27528

December 23, 2014

Dear Mr. DeYoung,

This letter is to inform you that Sunlight Partners will be holding a meeting to discuss our proposed solar facility that is planned in your area. We would like to answer any questions you may have, we will be holding a meeting at the Town of Clayton Town Hall GS 223 on January 6th at 6pm. Please do not hesitate to contact me if you have any questions.

Where:

Town of Clayton Town Hall Room GS 223
111 E. 2nd Street
Clayton, NC 27528

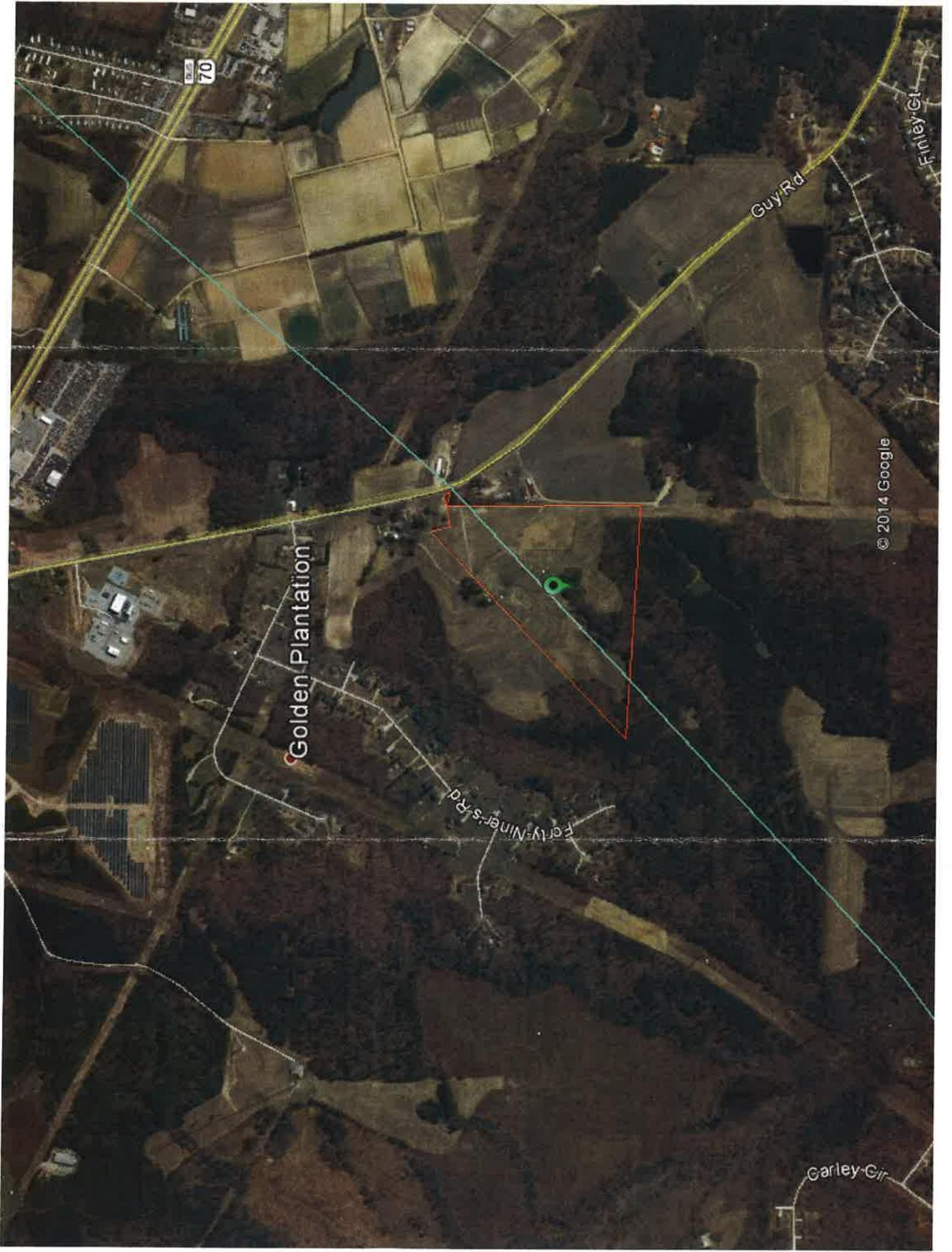
When:

January 6th at 6pm

Thank you,

A handwritten signature in black ink, appearing to read "Tracy Brunson", with a long horizontal flourish extending to the right.

Tracy Brunson
Project Manager
Sunlight Partners
Office 800-673-1125
Direct 480-582-1575



© 2014 Google

Golden Plantation

Guy Rd

Carley-Niner's Rd

Carley Cir

70

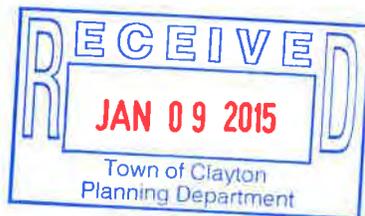
ADJACENT PROPERTY OWNERS LIST

Project Name: MURDOCK SOLAR, LLC

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05602021WC	ALBERT LEE NEWSOME	4333 GUY RD
05602034W	ALBERT LEE NEWSOME	4333 GUY RD
05602022WC	DONALD NEWSOME	3017 BUTTON WOOD LN
05F01003B	GORRELL INC	544 PYLON RD
056021981	GORRELL INC	544 PYLON RD
164906505A	GORRELL INC	544 PYLON RD
1649272720	ALBERT NEWSOME	4333 GUY RD
1649277698	ALBERT NEWSOME	4325 GUY RD

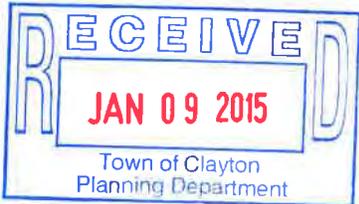


NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: MURDOCK SOLAR

Location/Date: TOWN OF CLAYTON / 1-6-15

	NAME	ADDRESS
1	<i>Josh Smith</i>	<i>601 5316 Birchleaf Dr</i>
2	<i>Ham Newsome</i>	<i>101 Buttonwood Dr, Clayton, NC</i>
3	<i>Larry Newsome</i>	<i>3017 Buttonwood Lane</i>
4		<i>Clayton N.C.</i>
5		
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20		



NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

Date of Mailing: 12-23-14

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name:

TRACY BRUNSON

Signature:



Date of Meeting: JAN 6, 2014 Time of Meeting: 6pm

Location of Meeting: 111 E. 2nd Street CLAYTON, NC 27520

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

DISCUSSED facility Access + How it will be maintained +

DISCUSSED Replacement of electric fence

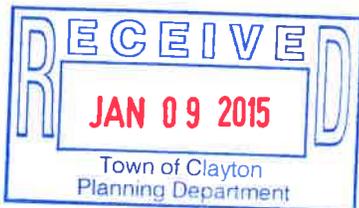
DISCUSSED Lease Agreement

DISCUSSED Process of selling power

DISCUSSED PPA w/ DUK + How that works

SEE ATTACHED MINUTES

Please write clearly (or submit a typed summary), and use additional sheets if necessary.





Sunlight Partners, LLC
4115 E. Valley Auto Dr. Suite #204
Mesa, AZ 85206

January 12, 2015

Jay McLeod, AICP
Planner
Town of Clayton
111 East Second Street
Clayton, NC 27528
jwmcleod@townofclaytonnc.org

Mr. Jay McLeod, this letter is to be a summary of the discussion that occurred on January 6, 2015 at 6pm. Sunlight Partners (SLP) met with three landowners that have land adjacent to our proposed solar facility location.

In this meeting the question was asked about access to the site, Sunlight Partners had a discussion with Mr. Jack Gorrell regarding the existing access that cuts through his property. He agreed to provide Mr. Newsome with access; SLP has initiated the process of having all the legal documents created for this process.

Mr. Larry Newsome had a concern about the removal of the existing electric fence that is used to keep the cows on the property that our solar facility is proposed on. Mr. Larry Newsome was asking if we would be willing to replace the fence. SLP asked Larry to come have a proposal put together with a cost for the new fence and then SLP could make a decision based on the need.

Mr. Adam Newsome had some general questions about the lease arrangement, how long the term is and how many extensions there are. This led into a discussion about the utility and how the PPA process is and the process of selling power. SLP was able to answer all of the questions that community had and hopefully gave them a better understanding of the project and the entire process associated with this type of project.

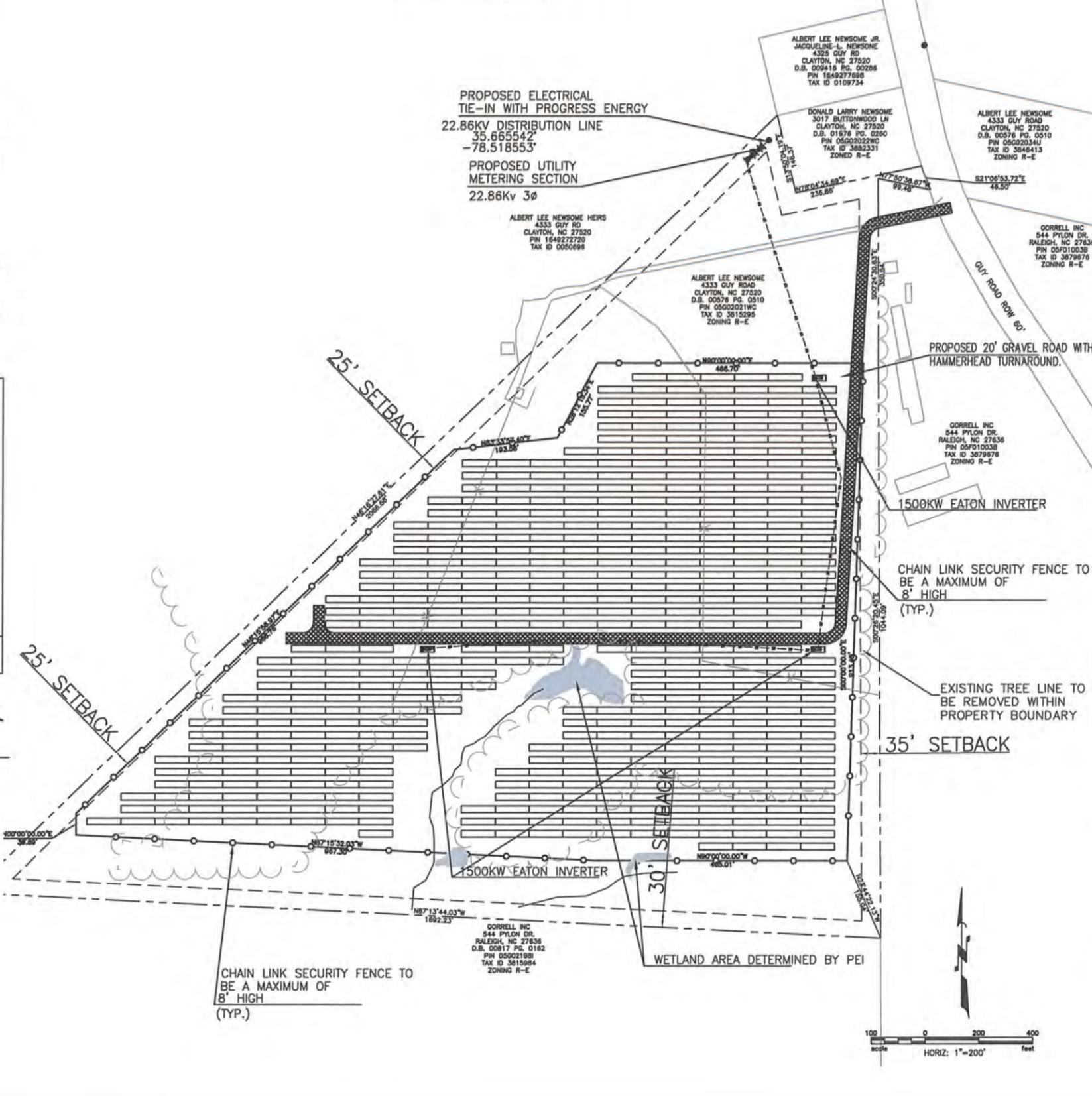
Thank you

Tracy Brunson
Project Manager
Sunlight Partners
Office 800-673-1125
Direct 480-582-1575

ENGINEER'S NOTE

1. DUE TO THE LOW TRAFFIC VOLUME, MINIMAL PARKING WILL BE PROVIDED UPON BUILD OUT OF THIS DEVELOPMENT. TEMPORARY MAINTENANCE CREW SHALL UTILIZE THE GRAVEL ACCESS WAY FOR PARKING.
2. THE PURPOSE OF THIS PLAN IS FOR A SPECIAL USE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE TOWN OF CLAYTON (ETJ) TOWN COUNCIL TO CONSTRUCT A SOLAR ELECTRIC POWER PLANT. THE LOCATION OF PROPOSED IMPROVEMENTS INCLUDING BUT NOT LIMITED TO, FENCING, SOLAR ARRAY, RACKING, INVERTERS, OVERHEAD POLES AND LINES ETC. SHOWN IS APPROXIMATE AND MAY BE SUBJECT TO MODIFICATION DUE TO SITE CONDITIONS. ADDITIONAL PERMITTING REQUIREMENTS (NCDOT, NCDENR, USACOE, ETC.) EQUIPMENT SPECIFICATIONS, AND/OR OTHER CONSTRAINTS. ANY REVISIONS WILL BE SUBMITTED FOR STAFF APPROVAL PRIOR TO CONSTRUCTION TO VERIFY COMPLIANCE WITH ZONING REQUIREMENTS AND CONDITIONS AS APPROVED.
3. THE ONLY UTILITY PROPOSED FOR THIS SITE SHALL BE PROGRESS. NO OTHER UTILITIES SHALL BE EMPLOYED OR PROPOSED FOR THIS PROJECT.
4. MINIMAL SIGNAGE SHALL BE PROPOSED AT THIS TIME.
5. NO EXTERIOR LIGHTING IS PROPOSED AT THIS TIME.
6. DURING GRADING AND CONSTRUCTION, DUST CONTROL WILL BE PROVIDED BY WATERING AND CONTROLLED VEHICULAR SPEEDS. AFTER CONSTRUCTION, DUST CONTROL WILL BE IMPLEMENTED BY INSTALLING GRAVEL ROADS AS WELL AS REDUCING THE VEHICULAR SPEEDS. THE SOLAR PANELS WILL ACT AS WIND BREAKS, THE PERIMETER FENCING WILL ACT AS A WIND BREAK.
7. WEED AND NOXIOUS PLANTS SHALL BE ROUTINELY REMOVED FROM THE SITE. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO REGULARLY PROVIDE THIS SERVICE TO THE SITE.
8. STRUCTURES WILL NOT EXCEED 12 FEET IN HEIGHT AS MEASURED FROM GRADE AT THE BASE OF THE STRUCTURE TO ITS HIGHEST POINT.
9. NO PERMANENT STRUCTURES ARE PROPOSED FOR THIS PROJECT.
10. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON-SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION
11. PROJECT AREA INCLUDING CONSTRUCTION STAGING AREAS WILL BE CLEARED AND GRUBBED AS NECESSARY RETAINING PRE-DEVELOPMENT DRAINAGE PATTERNS (I.E. NO MASS GRADING). A PORTION OF PROJECT AREAS MAY CONSIST OF TREE CLEARING ONLY (NO GRUBBING) TO ALLEVIATE SHADING OF THE ARRAY, AS INDICATED ON THE SITE PLAN. MINOR GRADING WILL OCCUR AROUND INVERTER AREAS TO DIVERT SURFACE DRAINAGE, CONSTRUCTION STAGING AND AREAS SUBJECT TO RUTTING DURING CONSTRUCTION WILL BE TEMPORARILY STABILIZED WITH LOGGING MATS, WHICH WILL BE REMOVED FOLLOWING CONSTRUCTION, THE ONLY PERMANENT IMPERVIOUS SURFACES WILL BE TWO CONCRETE SLABS, TOTALING LESS THAN 100 SF AT EACH INVERTER.
12. SYSTEMS, EQUIPMENT AND STRUCTURES WILL NOT EXCEED TWELVE FEET IN HEIGHT WHEN GROUND MOUNTED. EXCLUDED FROM THIS HEIGHT REQUIREMENT, ARE ELECTRIC TRANSMISSION LINES AND UTILITY POLES.

SITE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA



DEVELOPER
SUNLIGHT PARTNERS, LLC
4115 E. VALLEY AUTO DR. SUITE#204
MESA, ARIZONA 85205
PHONE: 801-550-7150
FAX: 480-582-1575
ATTN: KEITH COLSON

OWNER
ALBERT NEWSOME
4333 GUY RD
CLAYTON, NC 27520

ENGINEER
D.E.E.P. ENGINEERING SOLUTIONS
25 CARRIAGE WAY
SCARBOROUGH, ME 04074
PHONE: 207-217-2216
ATTN: MICHAEL WALLACE

SITE ADDRESS
MURDOCK SOLAR LLC
2663 GUY RD
CLAYTON, NC 27520

PARCEL NUMBER
PARID # 164900-26-3570
ZONING DISTRICT = R-E

SITE SUMMARY TABLE

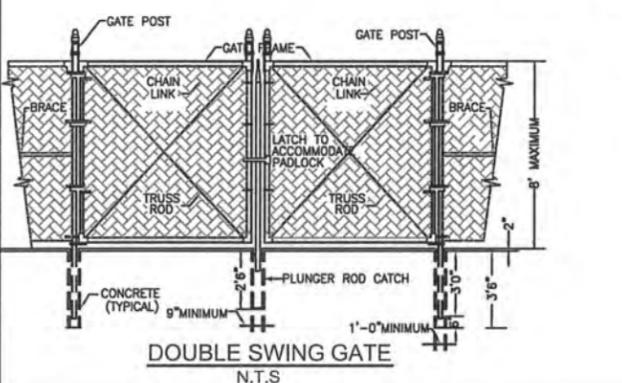
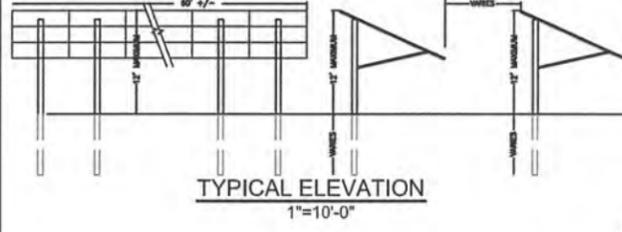
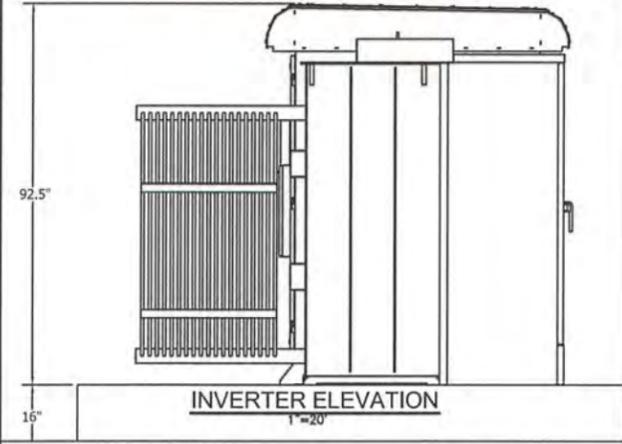
GROSS ACREAGE	:31.9 ACRE
NET ACREAGE	:31.9 ACRE
EXISTING LAND USE	AGRICULTURAL
PROPOSED LAND USE	ALTERNATIVE ENERGY FACILITY
PERCENT IMPERVIOUS	:25%
AREA OF DISTURBANCE	:+/- 21 ACRES

SETBACKS
FRONT = 35 FEET
SIDE = 25 FEET
REAR = 30 FEET

SHEET INDEX
1.....SITE PLAN

LEGEND

	BOUNDARY LINE
	SET BACK LINE
	SECURITY FENCE
	PROPOSED UTILITY METERING SECTION
	EXISTING TREELINE
	SOLAR PANELS
	INVERTER
	NCS MONUMENT
	R/W LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	WETLAND AREA



REVISIONS

1	TIC COMMENTS 12/15/14
2	TIC COMMENTS 1/9/15

SITE PLAN
 PROJECT: "MURDOCK SOLAR LLC"
 TOWN OF CLAYTON, NORTH CAROLINA

DATE

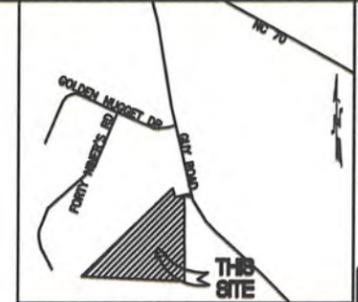
Drawn By	IB
Checked	MTW
1st Submittal	11-21-14
2nd Submittal	1-8-15
3rd Submittal	

CALL THESE NUMBERS BEFORE YOU GO
1-800-632-4949

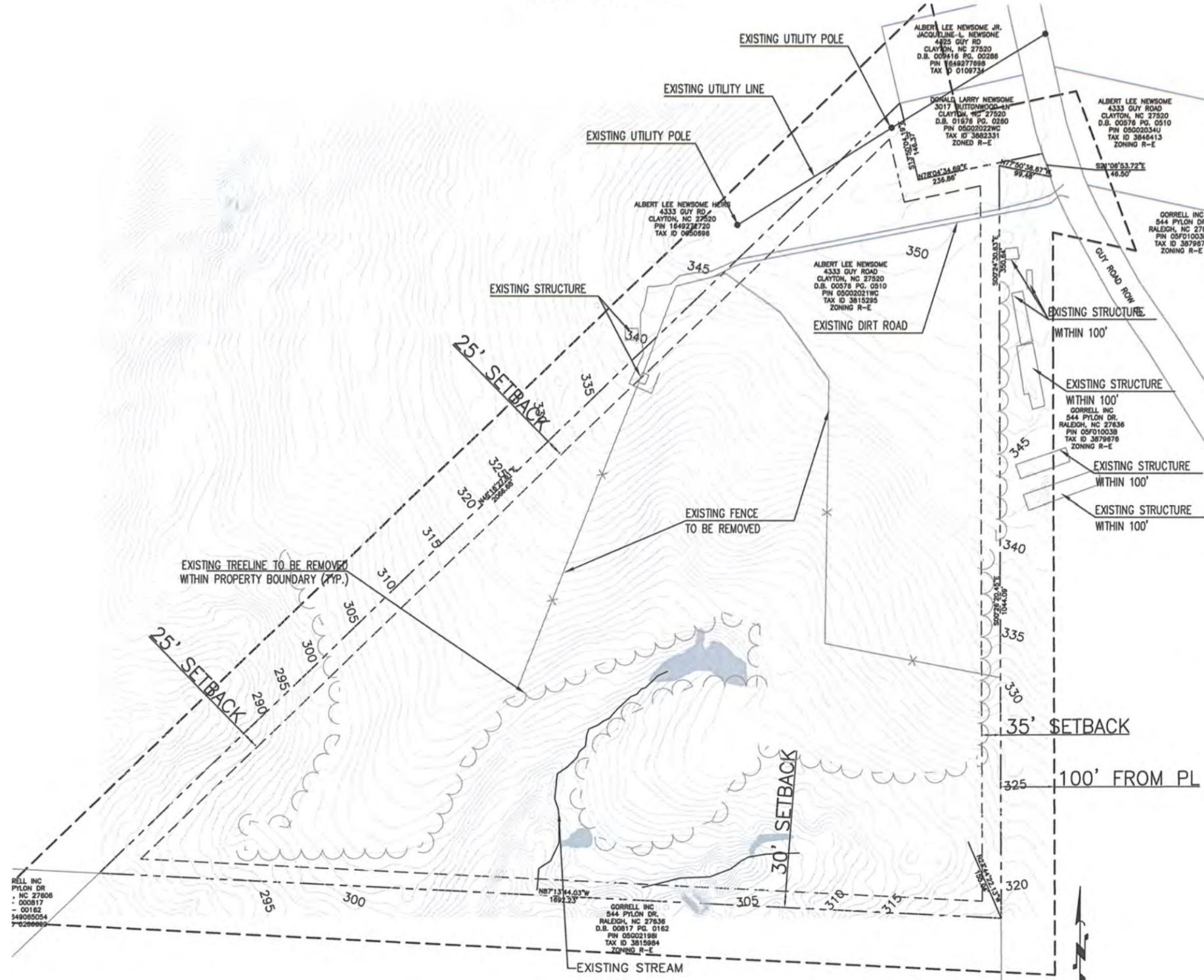
JOB NO.
MURDOCK SOLAR

SHEET NO.
1

SITE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA



VICINITY MAP
N.T.S.



DEVELOPER
SUNLIGHT PARTNERS, LLC
4115 E. VALLEY AUTO DR. SUITE#204
MESA, ARIZONA 85206
PHONE: 801-550-7150
FAX: 480-582-1575
ATTN: KEITH COLSON

OWNER
ALBERT NEWSOME
4333 GUY RD
CLAYTON, NC 27520

ENGINEER
D.E.P. ENGINEERING SOLUTIONS
25 CARRIAGE WAY
SCARBOROUGH, ME 04074
PHONE: 207-217-2218
ATTN: MICHAEL WALLACE

SITE ADDRESS
MURDOCK SOLAR LLC
2863 GUY RD
CLAYTON, NC 27520

PARCEL NUMBER
PARID # 164900-26-3570
ZONING DISTRICT = R-E

SITE SUMMARY TABLE

GROSS ACREAGE	:31.9 ACRE
NET ACREAGE	:31.9 ACRE
EXISTING LAND USE	:AGRICULTURAL
PROPOSED LAND USE	:ALTERNATIVE ENERGY FACILITY
PERCENT IMPERVIOUS	:.23%
AREA OF DISTURBANCE	:+/- 21 ACRES

SETBACKS
FRONT = 35 FEET
SIDE = 25 FEET
REAR = 30 FEET

SHEET INDEX
1.....SITE PLAN

LEGEND

	BOUNDARY LINE
	SET BACK LINE
	SECURITY FENCE
	PROPOSED UTILITY METERING SECTION
	EXISTING TREELINE
	SOLAR PANELS
	INVERTER
	NCS MONUMENT
	R/W LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	WETLAND AREA



REVISIONS

1	TRC COMMENTS 12/17/14
2	TRC COMMENTS 1/9/15

EXISTING CONDITIONS
"MURDOCK SOLAR LLC"
TOWN OF CLAYTON, NORTH CAROLINA

PROJECT:

Drawn By	TP
Checked	MLW
1st Submittal	11-21-14
2nd Submittal	1-9-15
3rd Submittal	

CALL THESE NUMBERS FIRST BEFORE YOU GO
1-800-632-4949

JOB NO.
MURDOCK SOLAR

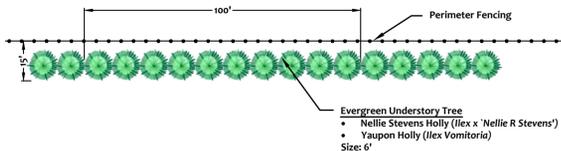
SHEET NO.
2

C:\Users\jason\Documents\Murdock Solar\Drawings\2760\SP\Callouts\Murdock Solar\2760\2760.dwg 1/9/2015 2:02:51 PM

LANDSCAPE PLAN FOR "MURDOCK SOLAR LLC" TOWN OF CLAYTON NORTH CAROLINA

LANDSCAPE NOTES

- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
- UNDERSTORY TREES SHALL BE 6' TALL AND 2" CALIPER AT THE TIME OF PLANTING AND SCREENING SHRUBS SHALL BE 30" TALL AT THE TIME OF PLANTING.
- PLANT SPECIES LISTED IN THE BUFFER DETAIL PLAN ARE MEANT TO INDICATE THE BASIS OF DESIGN. OTHER SIMILAR SPECIES WILL BE ACCEPTABLE PENDING FINAL ADMINISTRATIVE REVIEW AND APPROVAL BY TOWN OF CLAYTON PLANNING DEPARTMENT.
- MANAGED RE-GROWTH IN WETLAND AREAS REFERS TO MANAGING CLEARED VEGETATION (ACTIVITY THAT IS CONSIDERED EXEMPT FROM BEING CONSIDERED AND IMPACT BY THE US ARMY CORPS OF ENGINEERS) TO KEEP IT FROM REACHING HEIGHTS THAT WOULD SHADE THE ARRAY. SHADE BUFFER LAND CLEARING SHOWN IN JURISDICTIONAL AREAS IS NOT CONSIDERED A DISCHARGE OF DREDGE MATERIAL AS DEFINED IN SECTION 232.2 (3)(ii) "Activities that involve only the cutting or removing of vegetation above the ground (e.g., mowing, rotary cutting, and chainsawing) where the activity neither substantially disturbs the root system nor involves mechanized pushing, dragging, or other similar activities that redeposit excavated soil material."

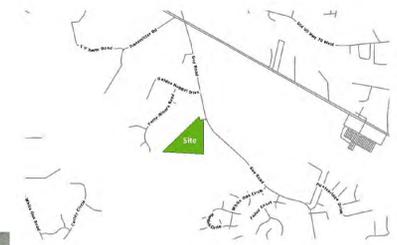


Typical Buffer Planting Detail per 100'

PLANTING SCHEDULE PER 100 LINEAR FT.						
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE COND	REMARKS
	IV	10	Ilex vomitoria	Yaupon Holly	6' B&B/Cont.	Evergreen
ALTERNATE SPECIES VARIETY						
	INS	10	Ilex x Nellie R Stevens	Nellie R Stevens Holly	6' HT. B&B/Cont.	Evergreen



Buffer Elevation



VICINITY MAP
N.T.S.

DEVELOPER
SUNLIGHT PARTNERS, LLC
4115 E. VALLEY AUTO DR. SUITE#204
MESA, ARIZONA 85206
PHONE: 801-550-7150
FAX: 480-582-1575
ATTN: KEITH COLSON

OWNER
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CLAYTON, NC 27520

ENGINEER
D.E.E.P. ENGINEERING SOLUTIONS
25 CARRIAGE WAY
SCARBOROUGH, ME 04074
PHONE: 207-217-2216
ATTN: MICHAEL WALLACE

LANDSCAPE ARCHITECT



SITE ADDRESS
MURDOCK SOLAR LLC
2663 GUY RD
CLAYTON, NC 27520

PARCEL NUMBER
PARID # 164900-26-3570
ZONING DISTRICT = R-E

SITE SUMMARY TABLE

GROSS ACREAGE	:31.9 ACRE
NET ACREAGE	:31.9 ACRE
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PROPOSED LAND USE	:ALTERNATIVE ENERGY FACILITY
PERCENT IMPERVIOUS	:15%
AREA OF DISTURBANCE	:+/- 21 ACRES

SETBACKS

FRONT = 35 FEET
SIDE = 25 FEET
REAR = 30 FEET

LEGEND

	BOUNDARY LINE
	SET BACK LINE
	SECURITY FENCE
	PROPOSED UTILITY METERING SECTION
	EXISTING TREELINE
	SOLAR PANELS
	INVERTER
	NCS MONUMENT
	R/W LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	FLOW LINE
	PROPOSED BUFFER PLANTING



EXISTING CONDITIONS
PROJECT: "MURDOCK SOLAR LLC"
TOWN OF CLAYTON, NORTH CAROLINA

Job No.: TB
Drawn By: TB
Checked: MFW
Tel. Submittal: 11-21-14
Snd. Submittal:
3rd Submittal:

CALL THESE NUMBERS FIRST
BEFORE YOU GO
1-800-652-4949

JOB NO.
MURDOCK SOLAR

SHEET NO.
3

3 OF 3



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Planning Board
January 26, 2015*

STAFF REPORT

Application Number: PSD 2014-145 (major subdivision)
Project Name: LionsGate Phases 7A -7D

NC PIN: A portion of parcels 165919-51-7554 and 165919-61-2030
County Tag #: A portion of 05G02198M and 05E01199C
Town Limits/ETJ: Town Limits
Overlay: None
Master Plan: LionsGate SUP 2013-71 (to be modified for consistency)
Applicant: DC Adams Engineering, Inc.
Owners: LionsGate Village, LLC

Neighborhood Meeting: Not required – part of an approved Planned Development Master Plan
Public Noticing: Property posted January 16, 2015

PROJECT LOCATION: The project is located within the LionsGate Planned Development, near the intersection of Amelia Church and Shotwell Road, within Town Limits.

REQUEST: The applicant is requesting preliminary subdivision plat approval for the major subdivision of Phases 7A, 7B, 7C, and 7D in the LionsGate Planned Development to allow a total of 82 townhome units.

SITE DATA:

Acres: 10.31 acres total
Phase 7A: 4.43 acres
Phase 7B: 2.62 acres
Phase 7C: 1.29 acres
Phase 7D: 1.97 acres

Zoning: PD-MU (Planned Development – Mixed Use)
Existing Use: Vacant
Existing Impervious: None - property is vacant.

DEVELOPMENT DATA:

Proposed Uses: Townhome residential units
Buildings: 82 residential units (15 buildings) – each unit will be on its own subdivided lot
Number of Stories: Maximum height of 40 feet
Impervious Surface:

Maximum allowed impervious for combined phases 7A-7D (<i>per approved master plan</i>):	60%
Proposed total impervious for combined phases 7A-7D:	45% (203,946 SF / 4.68 acres)
Maximum impervious per lot:	2,000 square feet

Required Parking: 2 spaces per unit plus 1 guest space per 4 units (multi-family requirement)
Total required at 82 units: 185 spaces
Proposed Parking: 188 spaces, including 6 handicap-accessible spaces
Fire Protection: The Town of Clayton Fire Department will provide fire protection.
Access/Streets: Accessed off of Fieldspar Lane and Middleton Street within the LionsGate development.
Water/Sewer Provider: Town of Clayton
Electric Provider: Duke/Progress Energy

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential-10 (R-10)
Existing Use: Vacant, Single Family Residential

South: Zoning: Planned Development Mixed Use
Existing Use: LionsGate future Phases 1A, 1B, and 2A

East: Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: LionsGate Planned Development (Open Space)

West: Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: LionsGate Planned Development (Existing Daycare, Single Family Residential)

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for Phases 7A, 7B, 7C, and 7D as depicted on the LionsGate Master Plan.

The applicant is requesting approval for a total of 82 lots:

- Phase 7A: 36 lots/units
- Phase 7B: 24 lots/units
- Phase 7C: 10 lots/units
- Phase 7D: 12 lots/units

Each townhome unit will be on an individual subdivided lot. Townhomes will not have garages or driveways and instead will share common parking areas. The proposed layout includes a range of 3 to 8 units per building and all will be accessed off of the future Fieldspar Lane, which will be constructed as part of Phases 1A and 1B (single family homes).

Consistency with Master Plan

The latest approved version of this plan is SUP 2013-71. A minor amendment to this plan is required for consistency with the proposed 7A-7D phases (to adjust phase lines and park location). Approval of this preliminary subdivision plat is subject to approval of the revised Master Plan and is listed as a Condition of Approval.

Despite the need for minor modifications to the Master Plan, the proposed subdivision is consistent with the approved Master Plan.

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC) with the exception of the waiver request for the buffer (read below).

Landscaping and Buffering

A Class C perimeter buffer is provided along Amelia Church Road and will be located within the 35 foot greenway easement. The proposed buffer is "Alternative 3" as defined in the Unified Development Code and will be variable in width from 20 feet to 35 feet to allow for placement of the future greenway.

The applicant is requesting alternative compliance to the Class C buffer requirement. This buffer usually includes a visual buffer which is six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The applicant is requesting alternative compliance because they have dedicated a 35' greenway easement and the Clayton Community Center Pedestrian Connector Greenway will be passing through the buffer.

In addition to the above, the installation of buffer materials will be delayed until such time as the greenway is built to allow for flexibility in greenway location, and plantings may be placed on either side of the trail.

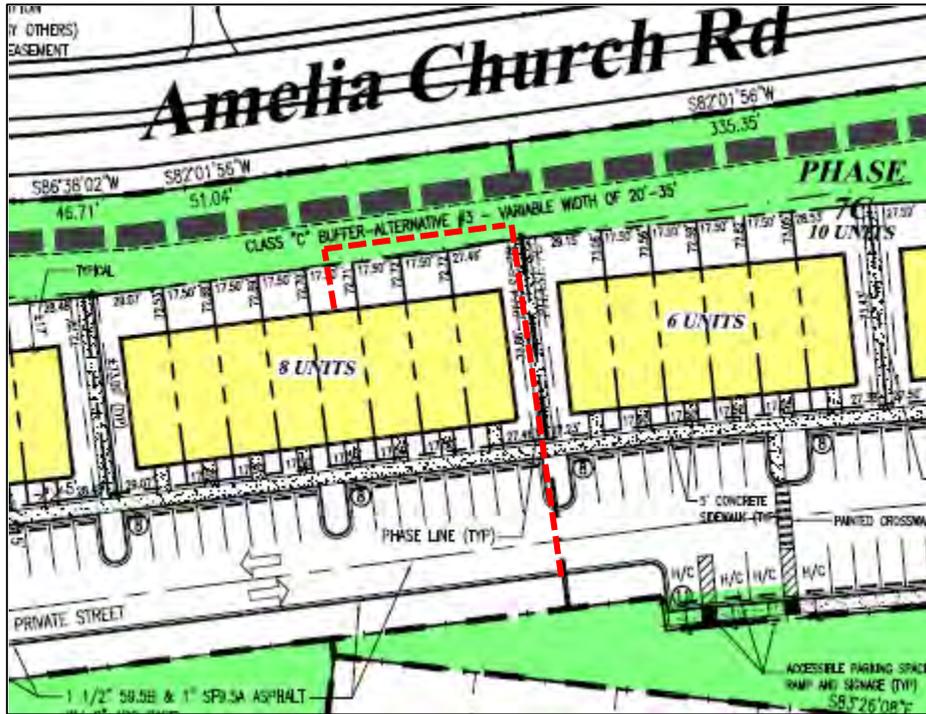
Garbage / Recycling

Individual roll-out carts are proposed for this development. As the townhomes do not have garages, the residents will be required to keep their roll-out containers in the rear of their home or otherwise hidden from view.

Staff does not feel roll out carts are a good waste management solution for this phase of LionsGate, and believe the applicant should provide garbage pick-up in the form of dumpsters for trash and recycling. However, the applicant has chosen to move forward with the request to allow individual roll-out containers.

Issues identified by staff include:

- 1) By keeping the trash cans in the rear, residents must travel from their backyard, around the building, and finally to a designated trash can area where the waste management vehicle will be able to access the cans for pick-up. For example, the red line below shows a possible route:



- a. The applicant has proposed a 10-foot access easement between buildings, as well as a five foot paved sidewalk along this access easement to facilitate travel for residents.
- 2) This path would require that for at least 10 units, residents enter the 35 foot greenway easement to avoid passing through the private property of adjacent property owners (as shown in graphic, above).

There is at least one other example in town of a townhome community with a similar design that utilizes individual roll-out containers – the townhomes located off of Barber Mill Road, just south of NC 42 W. There have been no identified issues here. However, the difference is that in the Barber Mill Townhomes, the units are individually platted, but there are not private lots as there are in the LionsGate proposal, thus removing the concern of travel through private property or an easement. See below (lot lines in green):



Recreation and Open Space

Recreation and open space requirements were set by the overall LionsGate Planned Development.

The recreation and open space proposed in Phases 7A-7D is required to meet the requirements set forth in the LionsGate Planned Development Master Plan, which designates a 0.95 acre park adjacent to the daycare facility. The current proposed design requests a relocation of this park. As noted earlier in this report, a Master Plan revision is required to relocate park areas and phase lines. So long as the park area is not decreased in size, these modifications are considered minor.

The proposed park will require Minor Site Plan approval prior to construction, and will require construction or bonding prior to issuance of a certificate of occupancy for Phase 7A.

Environmental

Resource conservation areas (stream buffers, 100-year flood zones) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted. In this case, the stream buffer shown will be required to meet minimum state requirements only (50 foot buffer including two zones: zone one being 30 feet of undisturbed buffer and zone two being 20 feet of area that may be graded, but not built upon) rather than the Town's standard requirement for a 50 foot undisturbed buffer. This is because the Master Plan showing the two-zone state requirement was approved prior to the Town's rule for a 50 foot undisturbed buffer.

Signs

No signage is requested as part of this request. Any signage will be required to receive applicable permits and meet requirements of the Unified Development Code.

Access/Streets

Access will be provided off of the future Fieldspar Lane, approved as part of Phase 1A and 1B. Fieldspar Lane is accessed off of Middleton Street, which is the existing primary entrance to LionsGate off of Amelia Church Road. No additional access to Amelia Church Road is proposed.

The townhomes will be accessed via two private drives extending off of Fieldspar Lane. The townhomes to the west of Fieldspar Lane have an exit-only option onto Middleton Street to limit dead-end parking within the development.

Multi-Modal Access

Sidewalks are provided along Fieldspar Lane, and are provided along the front of the townhomes along the private drives. The site includes a 10 foot multi-use path for a portion of Fieldspar Lane, which will connect from Middleton Street to the future greenway along Amelia Church Road. The greenway that will be constructed by the developer will be constructed as part of the associated phase.

Architecture/Design

The townhomes do not have garages or driveways and instead utilize a common parking area. Architectural elevations have been provided by the applicant for approval along with the preliminary subdivision plat.

Waivers/Deviations/Variations from Code Requirements

The applicant is requesting alternative compliance for the buffer along Amelia Church Road:

- 1) Alternative compliance within the Class C buffer along Amelia Church Road to remove the visual buffer requirement of six feet at installation (generally achieved via a berm or fence) as required per §155.402(E)(3). The Clayton Community Center Pedestrian Connection greenway will be built within a dedicated 35 foot easement in this location. The greenway within the buffer and creates a unique situation where the berm, fence, or wall is not desirable.

CONSIDERATIONS:

- The applicant is requesting Preliminary Subdivision Plat approval for Phases 7A, 7B, 7C, and 7D.
- The applicant is requesting alternative compliance to the requirements of the Class C buffer along Amelia Church Road.

FINDINGS:

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

CONDITIONS:

If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications may require additional approvals pursuant to Section 155.706 of the Unified Development Code.

2. Approval is subject to approval of a revision to the approved Master Plan for LionsGate to ensure consistency between the proposed subdivision of Phases 7A-7D and the specifications of the Master Plan.
3. Development shall be consistent with the specifications and conditions of approval associated with the approved LionsGate Planned Development Master Plan.
4. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy for each phase of the development. All site improvements shall be installed prior to the final site inspection.
5. The park shall be approved via a Minor Site Plan and built prior to issuance of a Certificate of Occupancy for phase 7A.
6. All development fees shall be paid prior to final plat recordation.
7. The bike trail shall be constructed prior to the issuance of a certificate of occupancy for the associated phase.
8. Sidewalks shall be constructed or bonded prior to issuance of a Certificate of Occupancy for the associated building.
9. Resource conservation areas as defined by Section 155.500 of the Unified Development Code (UDC) shall be identified on the final plats as being permanently set aside, and shall be protected in perpetuity by a binding legal instrument recorded with the deed which includes clear restriction on the use of the resource conservation area, as described in Section 155.500(F) of the UDC.
10. The review and approval of project water, sewer, storm drainage and street construction drawings shall be approved by the Public Works Department prior to issuance of building permits. Two sets of these drawings must be submitted for approval to Public Works Department when they become available.

Planning Board Recommendation:

Attachments: 1) Subdivision Findings of Fact 2) Zoning & Aerial Map, 3) Application, 4) Preliminary Subdivision Plan

APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDD. FURTHERMORE, THIS SUBDIVISION IS CONSISTENT WITH ALL REQUIREMENTS SET ASIDE BY THE APPROVED MASTER PLAN.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

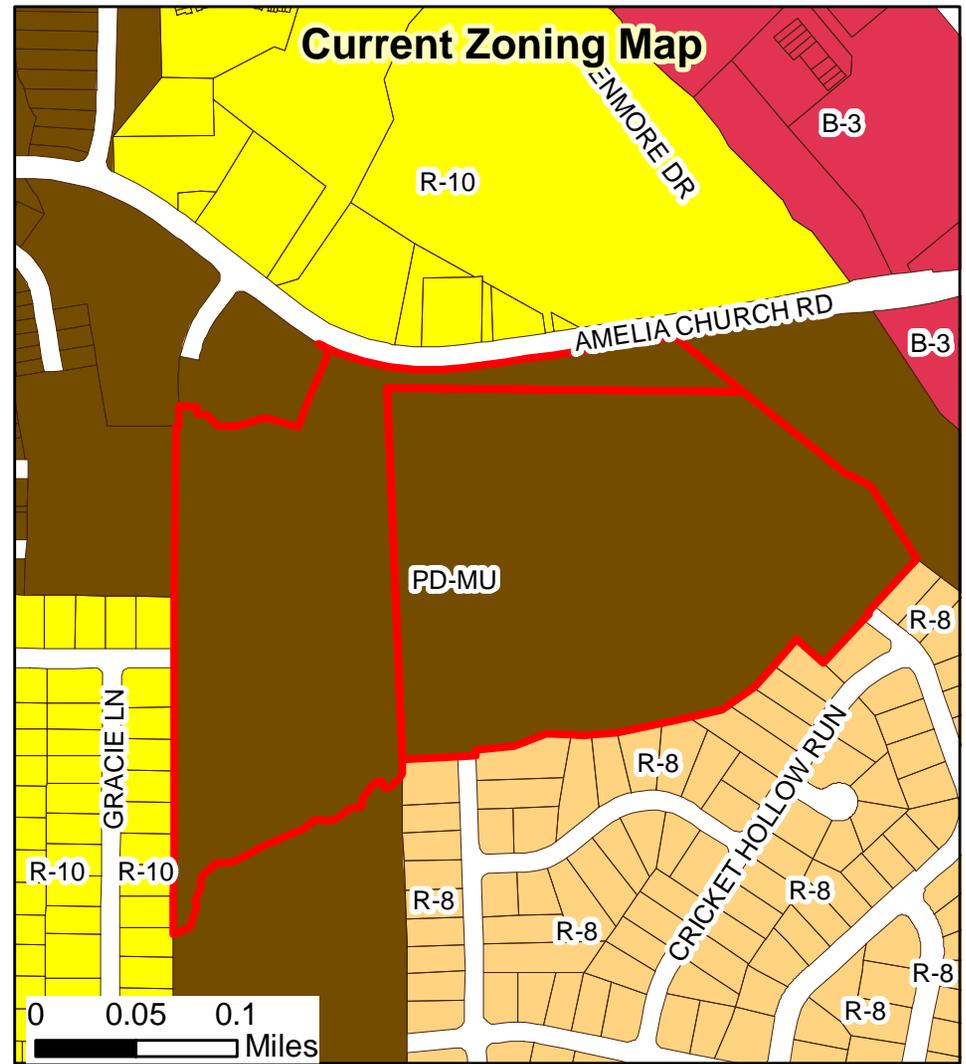
THE SUBDIVISION DESIGN IS SUCH THAT IT WILL BE BENEFICIAL TO ORDERLY DEVELOPEMENT ON ADJACENT TRACTS. THIS DEVELOPEMENT WILL ADD TO THE TOWN'S GREENWAY TRAIL SYSTEM AND IMPROVE WALKABILITY WITHIN THE CITY LIMITS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE SUBDIVISION IS DESIGNED TO PROVIDE PROPER TRAFFIC FLOW WITHIN THE NEIGHBORHOOD AND PROVIDES APPROPRIATE CONNECTIONS TO THE EXISTING STREET SYSTEM FOR SAFE INGRESS AND EGRESS.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPEMENT PATTERN IN THE TOWN.



**LionsGate Phase 7A - 7D - Preliminary Subdivision
Part of LionsGate Planned Development**

Applicant: DC Adams Engineering, c/o Donnie Adams
 Property Owner: LionsGate Village, LLC
 NC PIN(s): A portion of 165919-51-7554 and 165919-61-2030
 Tag #: A portion of 05G02198M and 05E01199C
 File Number: PSD 2014-145

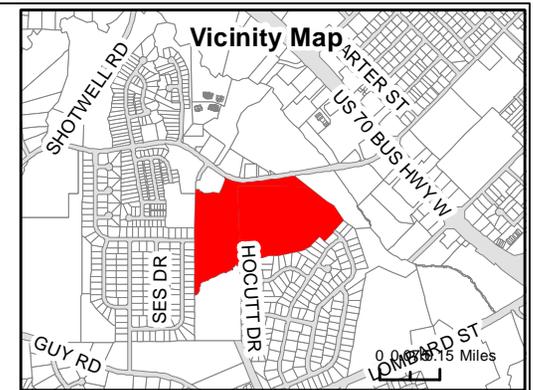
Produced by: TOC Planning
 Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



12/29/14

Legend

- LionsGate Subject Parcels
- FLOODZONE**
- AE - 100 Year Flood Zone
- AEFW - Floodway





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION APPLICATION

Pursuant to Article 7, Section 155.706 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a Subdivision (major, minor, final plat, or exempt) application. Applicants seeking subdivision approval shall schedule a pre-application conference with the Planning Director in accordance with Section 155.702(A).

Subdivision applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fees are as follows:

- *Minor Subdivision: \$200.00 + \$5.00/lot.*
- *Major Subdivision: \$400.00 + \$5.00/lot.*
- *Open Space Subdivision = \$700.00 + \$5.00/acre.*
- *Final Plat: \$250.00 + \$5.00/lot.*
- *Exempt Map/Recombination: \$100.00.*

All fees are due when the application is submitted. Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Subdivision applications.

SUBDIVISION TYPE:

Application Type:

- Minor Subdivision
 Major Subdivision
 Final Plat
 Exempt Map
 Recombination

SITE INFORMATION:

Name of Project: LIONSGATE PHASES 7A - 7D Acreage of Property: 10.10
 Preliminary Plat Approval Date (if applicable): N/A
 Parcel ID Number: 05602198M & 05E0119C Tax ID: 3816029 & 381376
 Location: OFF MIDDLETOWN ST - OFF AMELIA CHURCH RD - FIELDSPAR LN
 Section(s): LIONSGATE Phase(s): 7A-THRU 7D
 Number of Lots (Existing): 0 (Proposed): 82 Min. Lot Size: _____
 Zoning District: PD-MU Planned Development? (Y/N): Y Electric Provider: DUKE ENERGY
 Specific Use: SINGLE FAMILY
 Recreation/Open Space Requirement:
 Fee in lieu
 Land Dedication (acreage) N/A

FOR OFFICE USE ONLY

File Number: 2014-145 Date Received: DEC 01 2014 Amount Paid: \$810.00

July 2013 Town of Clayton Planning Department Town of Clayton Planning Department Page 1 of 11

2014-145

OWNER INFORMATION:

Name: LIONSGATE VILLAGE, LLC
Mailing Address: 400 RIVERWOOD DR, CLAYTON, NC 27527
Phone Number: 919-550-8080 Fax: N/A
Email Address: brian.strickland@fredsmithcompany.com

APPLICANT INFORMATION:

Applicant: DC ADAMS ENGINEERING, INC
Mailing Address: 335 ATHLETIC CLUB BLVD
Phone Number: 919-763-7278 Fax: N/A
Contact Person: DONNIE ADAMS
Email Address: dennie@dcadamspe.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a Subdivision Plan application. This information is required, except where otherwise noted:

- Required plans (please see the plan requirements checklist below).
- Road Name Approval Application (if applicable).
- A signed and sealed traffic impact analysis (if required).
- Verification of wastewater allocation (granted or requested).
- Verification of approval for the potable water and waste water system improvements from North Carolina Department of Environment and Natural Resources (NCDENR).
- Verification of approval for individual well and septic systems from Johnston County Department of Environmental Health Services (if applicable).
- Driveway permits (Town of Clayton or NCDOT encroachment with associated documentation).
- A copy of proposed deed restrictions and/or covenants (if applicable).

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton to approve the subject Subdivision Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

DONNIE ADAMS
Print Name

[Signature]
Signature of Applicant

12/1/2014
Date

APPLICANT STATEMENT – MAJOR SUBDIVISIONS ONLY

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

THIS SUBDIVISION MEETS ALL APPLICABLE REGULATIONS AND CONFORMS TO THE UDD. FURTHERMORE, THIS SUBDIVISION IS CONSISTENT WITH ALL REQUIREMENTS SET ASIDE BY THE APPROVED MASTER PLAN.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

THE SUBDIVISION DESIGN IS SUCH THAT IT WILL BE BENEFICIAL TO ORDERLY DEVELOPEMENT ON ADJACENT TRACTS. THIS DEVELOPEMENT WILL ADD TO THE TOWN'S GREENWAY TRAIL SYSTEM AND IMPROVE WALKABILITY WITHIN THE CITY LIMITS.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

THE SUBDIVISION IS DESIGNED TO PROVIDE PROPER TRAFFIC FLOW WITHIN THE NEIGHBORHOOD AND PROVIDES APPROPRIATE CONNECTIONS TO THE EXISTING STREET SYSTEM FOR SAFE INGRESS AND EGRESS.

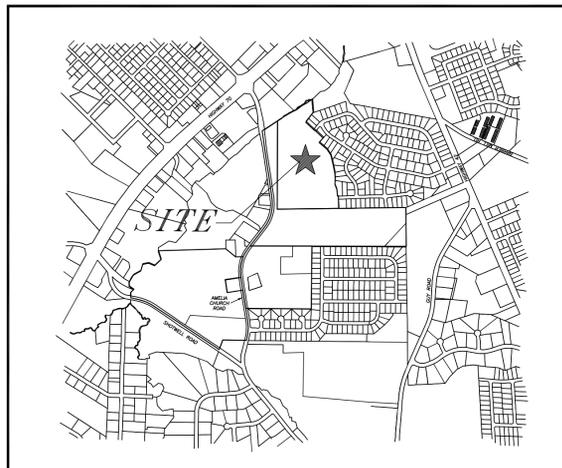
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

THIS SUBDIVISION IS CONSISTENT WITH THE ORDERLY GROWTH AND DEVELOPEMENT PATTERN IN THE TOWN.

PRELIMINARY SUBDIVISION DESIGN

LIONSGATE
PHASES 7A-7D

IN
TOWN OF CLAYTON, NC



SITE VICINITY MAP
NOT TO SCALE

SHEET INDEX

DEVELOPER/APPLICANT:

FRED SMITH COMPANY, LLC
400 Riverwood Drive
Clayton, NC 27527

CONTACT/AGENT: DONNIE C. ADAMS
919 763-7278

<u>SHEET TITLE</u>	<u>SHEET No.</u>
EXISTING CONDITIONS.....	1
SITE PLAN.....	2
UTILITY PLAN.....	3
LANDSCAPE PLAN.....	4
LANDSCAPE DETAILS.....	5



335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
919-763-7278 donnie@dcadamspe.com
FIRM # C-3894

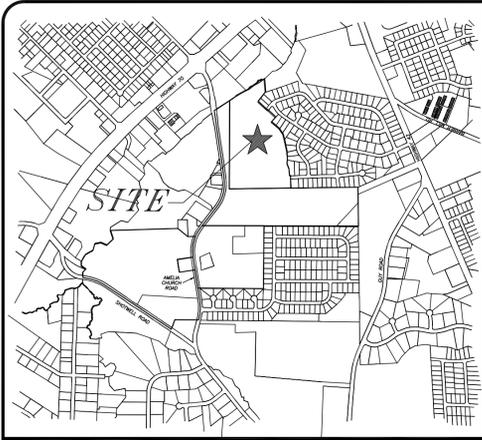
LIONSGATE PHASES 7A-7D
FRED SMITH COMPANY, CLAYTON, NC 27527



Donnie C. Adams

NOT RELEASED FOR
CONSTRUCTION

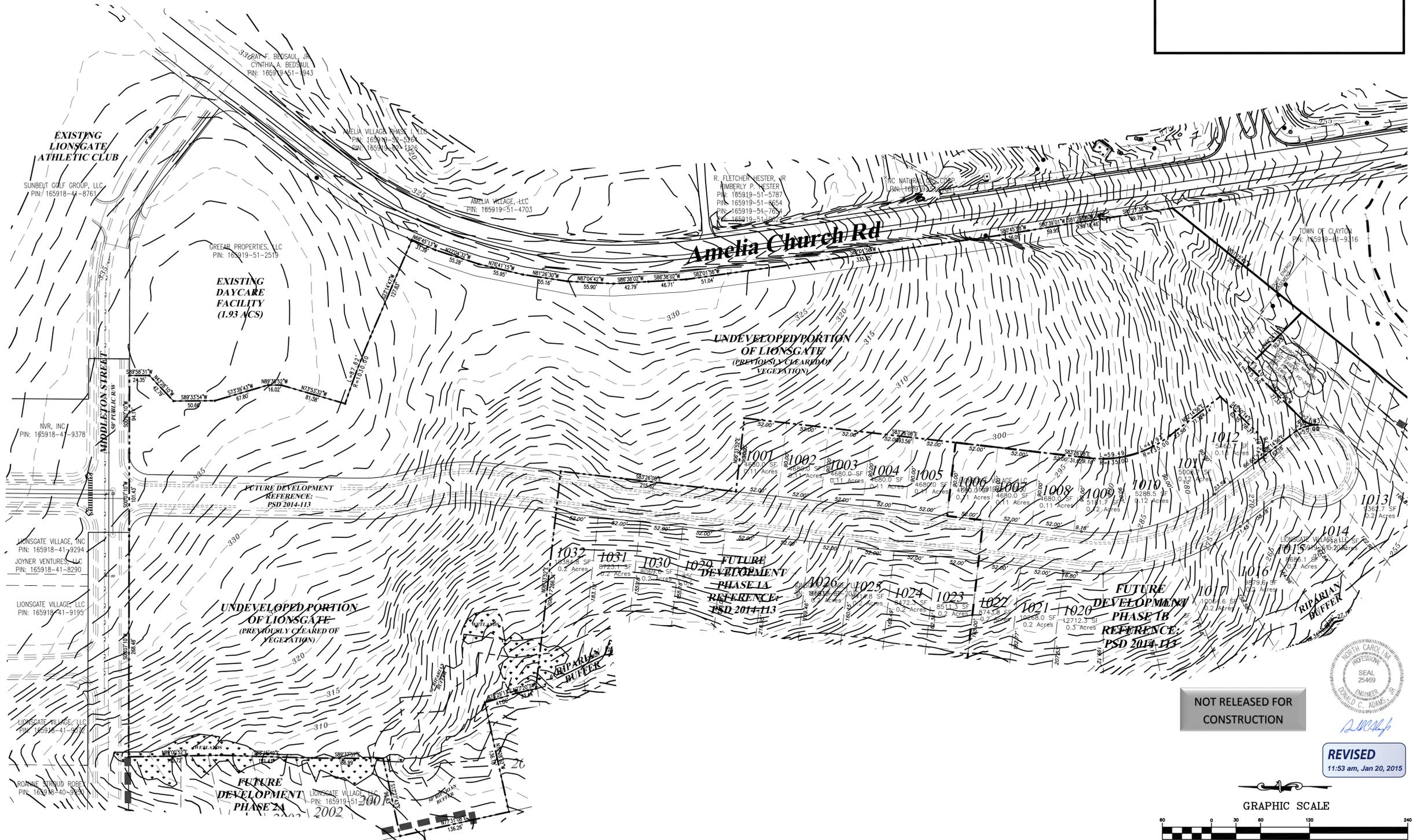
REVISED
11:52 am, Jan 20, 2015



VICINITY MAP
SEE SHEET

SITE INFORMATION

1. OWNER: LIONSGATE VILLAGE, LLC
400 RIVERWOOD DR.
CLAYTON, NC 27520
2. SITE IS LOCATED WITHIN TOWN LIMITS
3. PARCEL #: 165919-51-7554 & 165919-61-2030
4. TAX #: 05G02198M & 05E01199C
5. TOTAL SITE ACREAGE: (SEE CHART SHEET 2)
6. RESOURCE CONSERVATION AREA: 0.60 AC (INCLUDES RIPARIAN BUFFER AND WETLANDS)
7. NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720165900I, DATED 12/02/2005
8. CURRENT ZONING: PD-MU
9. PROPOSED USE: TOWNHOME SUBDIVISION



SUNBELT GOLF GROUP, LLC
PIN: 165918-41-8761

NVR, INC
PIN: 165918-41-9378

LIONSGATE VILLAGE, INC
PIN: 165918-41-9294

JOYNER VENTURES, LLC
PIN: 165918-41-8290

LIONSGATE VILLAGE, LLC
PIN: 165918-41-9195

LIONSGATE VILLAGE, LLC
PIN: 165918-41-9197

ROANNE STRAUD ROBERTS
PIN: 165918-40-9387

GREAR PROPERTIES, LLC
PIN: 165919-51-2519

AMELIA VILLAGE PHASE I, LLC
PIN: 165919-51-2969
PIN: 165919-51-2970

AMELIA VILLAGE, LLC
PIN: 165919-51-4703

R. FLETCHER HESTER, JR.
PIN: 165919-51-5787
PIN: 165919-51-6654
PIN: 165919-51-7654
PIN: 165919-51-1007

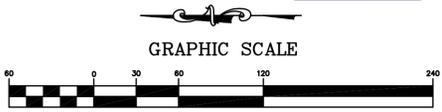
TRC NATURAL RESOURCES, INC.
PIN: 165919-51-1007

TOWN OF CLAYTON
PIN: 165919-61-9316

NOT RELEASED FOR
CONSTRUCTION



REVISED
11:53 am, Jan 20, 2015



REVISIONS:
 1. 01/16/2015 - TOWN OF CLAYTON REC COMMENTS
 2. 01/17/2015 - TOWN OF CLAYTON REC COMMENTS
 335 ATHLETIC CLUB BLVD
 CLAYTON, NC 27527
 dca@dcadams.com
 919-763-2728
 FIRM # C-3894

DC ADAMS
ENGINEERING, INC

Adams

LionsGate
 Phase 7 Townhomes
 FRED SMITH COMPANY, CLAYTON, NC 27527

EXISTING
 CONDITIONS

FILE: LIONSGATE 7A-7D
 DESIGN: DCA
 DRAWN: TMH
 CHECKED: DCA
 HORIZONTAL SCALE: 1"=60'
 VERTICAL SCALE: N/A
 DATE: 12/01/2014
 JOB NO.:
 SHEET: 1 OF 5

Class "C" Buffer-Alternative 2

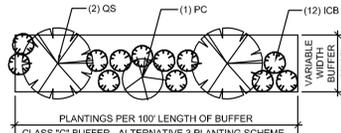
TOTAL LENGTH OF CLASS "C" BUFFER: 959 L.F.

TREES/SHRUBS REQUIRED FOR LENGTH OF BUFFER:

(20) CANOPY TREES [20 QS]

(10) UNDERSTORY TREE [10 PC]

(120) SHRUBS [120 ICB]



PLANTINGS PER 100' LENGTH OF BUFFER

CLASS "C" BUFFER - ALTERNATIVE 3 PLANTING SCHEME

PER 100 LINEAR FOOT:

(2) CANOPY TREES

(1) UNDERSTORY TREE

(12) SHRUBS

NOTE: BUFFER CAN VARY IN WIDTH WITHIN THE GREENWAY EASEMENT TO ACCOMMODATE THE GREENWAY TRAIL CONSTRUCTION

Class "A" Buffer-Alternative 2

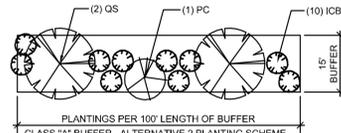
TOTAL LENGTH OF CLASS "A" BUFFER: 387 L.F.

TREES/SHRUBS REQUIRED FOR LENGTH OF BUFFER:

(8) CANOPY TREES [8 QS]

(4) UNDERSTORY TREE [4 PC]

(40) SHRUBS [40 ICB]



PLANTINGS PER 100' LENGTH OF BUFFER

CLASS "A" BUFFER - ALTERNATIVE 2 PLANTING SCHEME

PER 100 LINEAR FOOT:

(2) CANOPY TREES

(1) UNDERSTORY TREE

(10) SHRUBS

STREET YARD TREES

1. STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FEET (SPACE A MAXIMUM OF 50 FEET APART).

2. ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED NO LESS THAN FIVE FEET OR MORE THAN 15 FEET FROM THE BACK OF THE SIDEWALK.

3. SPECIES SELECTION SHALL COMPLY WITH TOWN OF CLAYTON APPROVED LIST.

Plant List

PLANT LIST

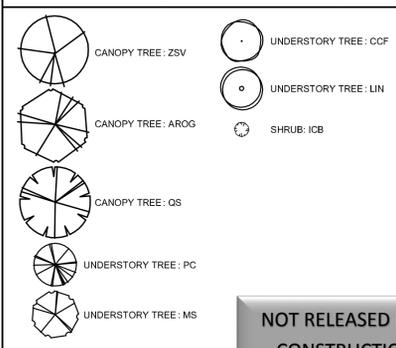
ALIAS	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
CANOPY TREES (CANOPY TREES = 83)								
AROG	28	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5"	8' MIN.	-	B & B	PARKING TREES
QS	33	QUERCUS SHUMARDII	SHUMARD OAK	2.5"	8' MIN.	-	B & B	BUFFER PLANTINGS
ZSG	39	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5"	8' MIN.	-	B & B	STREET TREES
UNDERSTORY TREES (UNDERSTORY TREES = 54)								
CCF	15	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2"	6' MIN.	-	CONT/B&B	
LIN	7	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE STANDARDS	2"	6' MIN.	-	CONT/B&B	
MS	18	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	2"	6' MIN.	-	CONT/B&B	
PC	14	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL	2"	6' MIN.	-	CONT/B&B	BUFFER PLANTINGS
SHRUBS (TOTAL SHRUBS = 160, INCLUDES SHRUBS USED FOR SCREENING/BUFFERS)								
ICB	179	ILEX CORNUTA BURFORDII	BURFORD HOLLY	-	30" MIN.	-	1 GAL.	BUFFER PLANTINGS/ PARKING SCREEN

LAWN AREAS: SEEDDED WITH TARHEEL II TALL FESCUE (NOTE: OWNER MAY SUBSTITUTE BERMUDA, CENTIPEDE OR ZOYSIA SOD AS DESIRED)

- ALL PLANTS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF CLAYTON RULES, REGULATIONS AND REQUIREMENTS AND, AT THE LEAST, MEET THE TOWN'S MINIMUM REQUIREMENTS FOR CODE COMPLIANCY
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND IS TO NOTIFY THE CONTRACTOR ASAP OF ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLAN THAT REQUIRE CLEARANCES FOR ACCESS
- THE LANDSCAPE CONTRACTOR SHALL ADJUST ANY SCREEN PLANTING AS NEEDED TO MAINTAIN REQUIRED CLEARANCES AROUND TRANSFORMERS, GENERATORS AND OTHER UTILITIES THAT REQUIRE CLEARANCES FOR ACCESS
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A DESIGN-BUILD IRRIGATION PLAN FOR THIS PROJECT TO THE OWNER FOR REVIEW AND ACCEPTANCE. REFER TO SHEET LS2.00 FOR IRRIGATION DIRECTIVES

NOTE: THIS SEAL AND SIGNATURE APPLIES ONLY TO THE LANDSCAPE PLAN, LANDSCAPE DETAILS AND LANDSCAPE NOTES

Plant Symbol Key

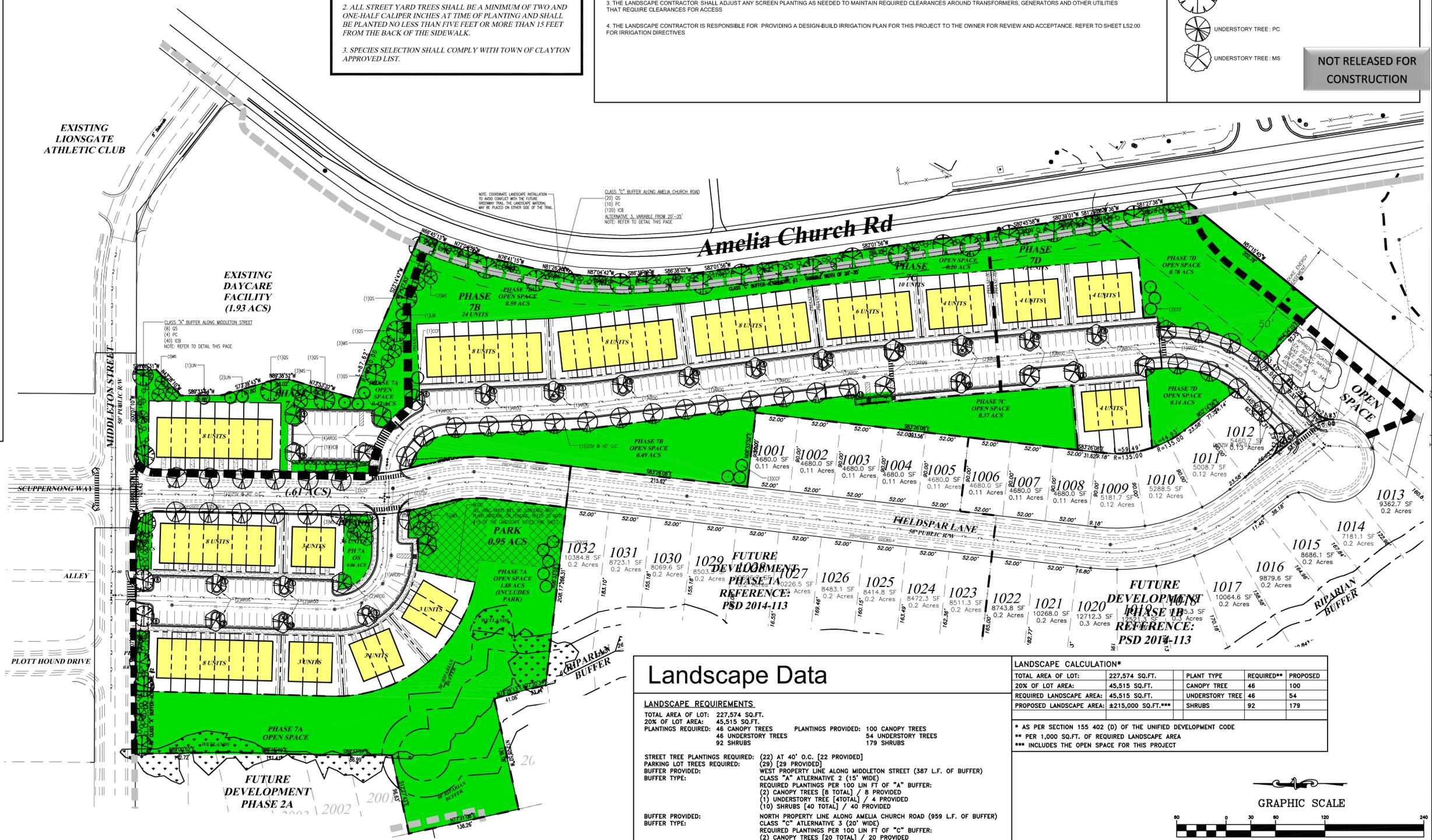


NOT RELEASED FOR CONSTRUCTION

Landscape Notes

GENERAL LANDSCAPE NOTES

- ALL PLANT MATERIALS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ANY DAMAGES MADE TO UNDERGROUND UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE LANDSCAPE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT IDENTIFIED TO EITHER BE SEEDDED OR SOODED SHALL BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS, SAUCERS, AND AREAS DESIGNATED TO BE MULCHED SHALL BE MULCHED WITH A MINIMUM OF 3/4 INCHES OF TRIPLE SHREDDED HARDWOOD MULCH.
- PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A 2" TO 3" DEEP "V" CUT ALONG ITS BORDER WITH SOODED OR SEEDED AREAS.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- GOYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL LANDSCAPING IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN AND ENUMERATED ON THIS SHEET UNLESS ALTERNATIVE METHODS OR PRACTICES ARE REVIEWED AND ACCEPTED BY THE LANDSCAPE ARCHITECT.
- AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS THAT ARE SQUARE IN SHAPE AND ARRANGED IN ROWS SHOULD BE PRUNED INTO BOXED AND CLIPPED HEDGEROWS.
- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
- ALL HVAC AND MECHANICAL EQUIPMENT WILL BE SCREENED WITH LANDSCAPING OR DECORATIVE FENCING.



Landscape Data

LANDSCAPE REQUIREMENTS

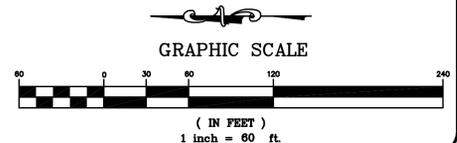
TOTAL AREA OF LOT: 227,574 SQ.FT.
 20% OF LOT AREA: 45,515 SQ.FT.
 PLANTINGS REQUIRED: 46 CANOPY TREES PLANTINGS PROVIDED: 100 CANOPY TREES
 46 UNDERSTORY TREES 54 UNDERSTORY TREES
 92 SHRUBS 179 SHRUBS

STREET TREE PLANTINGS REQUIRED: (22) AT 40' O.C. [22 PROVIDED]
PARKING LOT TREES REQUIRED: (29) [29 PROVIDED]
BUFFER PROVIDED: WEST PROPERTY LINE ALONG MIDDLETON STREET (387 L.F. OF BUFFER)
BUFFER TYPE: CLASS "A" ALTERNATIVE 2 (15' WIDE)
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "A" BUFFER:
 (2) CANOPY TREES [8 TOTAL] / 8 PROVIDED
 (1) UNDERSTORY TREE [4 TOTAL] / 4 PROVIDED
 (10) SHRUBS [40 TOTAL] / 40 PROVIDED

BUFFER PROVIDED: NORTH PROPERTY LINE ALONG AMELIA CHURCH ROAD (959 L.F. OF BUFFER)
BUFFER TYPE: CLASS "C" ALTERNATIVE 3 (20' WIDE)
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "C" BUFFER:
 (2) CANOPY TREES [20 TOTAL] / 20 PROVIDED
 (1) UNDERSTORY TREE [10 TOTAL] / 10 PROVIDED
 (12) SHRUBS [120 TOTAL] / 120 PROVIDED

LANDSCAPE CALCULATION*			
	REQUIRED**	PROPOSED	
TOTAL AREA OF LOT:	227,574 SQ.FT.		
20% OF LOT AREA:	45,515 SQ.FT.		
REQUIRED LANDSCAPE AREA:	45,515 SQ.FT.		
PROPOSED LANDSCAPE AREA:	±215,000 SQ.FT.***		
	PLANT TYPE	REQUIRED**	PROPOSED
	CANOPY TREE	46	100
	UNDERSTORY TREE	46	54
	SHRUBS	92	179

* AS PER SECTION 155 402 (D) OF THE UNIFIED DEVELOPMENT CODE
 ** PER 1,000 SQ.FT. OF REQUIRED LANDSCAPE AREA
 *** INCLUDES THE OPEN SPACE FOR THIS PROJECT



LANDSCAPE WORK SPECIFICATIONS

SCOPE OF WORK: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK OF THIS SECTION INCLUDING INSTALLATION OF TREES, SHRUBS, GROUND COVERS, PERENNIALS, SOD, SEEDING, MULCH, AND APPURTENANCES.

JOB CONDITIONS: ATTENTION SHALL BE DIRECTED TO THE LOCATION OF ACTIVE UTILITIES WITHIN THE LIMITS OF WORK. BEFORE COMMENCING ANY WORK REQUIRED BY THE CONTRACT, THE CONTRACTOR SHALL LOCATE ALL UTILITIES, SUBSURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MARKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM THE WORK COVERED BY THE CONTRACT.

MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR HIS AGENT. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

PLANT MATERIALS: ALL MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IF FIELD GROWN, NATURALLY SHAPED, AND WELL-BRANCHED FULL FOLIAGED WHEN IN LEAF WITH HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS FURNISHED SHALL BE FREE OF ANY INSECT INFESTATIONS OR THEIR EGGS, AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT LOCALITY. ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY.

PLANT SIZE: SPECIFIED SIZES INDICATE MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND SIZE ARE INDICATED FOR A SINGLE SPECIES, BOTH REQUIREMENTS MUST BE MET.

PLANT HANDLING & STORAGE: PLANTS AND THEIR ROOT SYSTEMS SHALL BE ADEQUATELY PROTECTED FROM DRYING OUT AT ALL TIMES. PLANT MATERIALS SHALL BE WATERED PRIOR TO TRANSPORT AND KEPT MOIST PRIOR TO PLANTING. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE KEPT IN THE SHADE AND WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.

BALLED & BURLAPPED PLANTS SHALL BE LIFTED FROM THE BOTTOM ONLY, NOT BY STEMS OR TRUNKS.

CARE SHALL BE TAKEN WHEN REMOVING THE CONTAINER FROM CONTAINER-GROWN PLANTS SO AS NOT TO INJURE THE PLANTS' ROOTS.

SUBSTITUTIONS: IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT AVAILABLE, A WRITTEN PROPOSAL FOR USE OF A SIMILARLY-SIZED AND TYPE OF PLANT AND CORRESPONDING COST ADJUSTMENT WILL BE CONSIDERED. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

BACKFILL MATERIAL: NATIVE SOIL SHALL NOT BE USED FOR BACKFILL BUT IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. THE REMAINDER OF UNUSED NATIVE SOIL SHALL BE HAULED AWAY FROM THE SITE. BACKFILL MATERIAL SHALL BE A BLENDED SOIL MATERIAL AND SHALL BE CONSIST OF 40% COMPOST, 35% SAND, AND 25% CLAY. THE COMPOST SHALL A TURKEY COMPOST BEARING THE U.S. COUNCIL SEAL OF ASSURANCE. THE SAND SHALL BE OBTAINED FROM A SAND QUARRY AND FREE OF ALL VIABLE WEED SEED. OTHER CONDITIONS OF THE BACKFILL SHALL BE AS FOLLOWS:

- MAXIMUM SOLUBLE SALTS: 350 PPM
- RELATIVE DENSITY: 25%-50%, LOOSE
- RELATIVE PERMEABILITY: 2.5-10 IN./HR.
- PLASTIC INDEX: 4-10
- PH RANGE: 6.0-6.8

BACKFILL MATERIAL SHALL BE TESTED AND TEST RESULTS SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE.

PLANT FERTILIZER: SHALL BE A COMPLETE FERTILIZER OF WHICH 50% OF THE NITROGEN IS DERIVED FROM NATURAL ORGANIC SOURCES OR LEPREFORM. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 10% NITROGEN, 10% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

WATER: SHALL BE FURNISHED BY THE OWNER.

PLANT MATERIAL INSTALLATION: MATERIALS SHALL ONLY BE PLANTED DURING PERIODS OF SUITABLE WEATHER CONDITIONS.

THE OWNER SHALL BE NOTIFIED OF SUBSURFACE CONDITIONS THAT WOULD PROVE DETRIMENTAL TO PLANT SURVIVAL OR GROWTH. ALTERNATE LOCATIONS FOR MATERIAL SHALL BE DETERMINED BY THE CONTRACTOR AND LANDSCAPE ARCHITECT.

ALL TREES AND SHRUBS SHALL BE PLANTED IN INDIVIDUAL HOLES. THE SIDES AND BOTTOM OF HOLES SHALL BE SCARIFIED PRIOR TO PLANTING. BACKFILL WITH THE SOIL MIXTURE SPECIFIED ON THE DRAWINGS. BACKFILLING SHALL BE ACCOMPLISHED IN LIFTS TO ENSURE ELIMINATION OF ALL AIR POCKETS. ALL PLANTS SHALL BE POSITIONED TO PLACE MOST ATTRACTIVE SIDE TO VIEW AND IN A PLUMB POSITION.

INSTALL 6 FT. DIAMETER SAUCERS MADE OF SOIL AROUND LARGE TREES AND 4 FT. DIAMETER SAUCERS AROUND SMALL TREES.

IMMEDIATELY FOLLOWING PLANTING, PLANTS SHALL BE MULCHED. WHERE PLANTS ARE PLANTED IN GROUPS, THE AREA ABOUT THE PLANT AS WELL AS THE AREA BETWEEN PLANTS SHALL BE COVERED WITH MULCH. PLANTS SHALL BE THOROUGHLY WATERED FOLLOWING MULCHING.

STAKE ALL TREES IN ACCORDANCE WITH THE DRAWINGS.

PRUNING SHALL BE LIMITED TO THE REMOVAL OF INJURED BRANCHES AND TWIGS. USE CLEAN AND SHARP PRUNING TOOLS.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN DURING PROGRESS OF INSTALLATION WORK.

PLANTING BEHIND SEGMENTAL RETAINING WALLS: CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE INSTALLATION OF PROPOSED TREES AND SHRUBS BEHIND SEGMENTAL RETAINING WALLS. CONTRACTOR SHALL PROCEED WITH CAUTION WHEN EXCAVATING SO AS NOT TO TEAR OR REMOVE SECTIONS OF THE GEGRID FABRIC THAT IS TYPICALLY LOCATED 18 TO 24 INCHES BELOW FINISHED GRADE. PENETRATION OF THE GEGRID IS PERMITTED TO PLANT INDIVIDUAL TREES OR LARGE SHRUBS AS NECESSARY. HOWEVER, EXCAVATION OF THE PLANTING HOLE AND PERFORATION OF THE GEGRID FABRIC SHALL BE ACCOMPLISHED USING AN AUGER OR BY HAND CUTTING THE FABRIC FOLLOWING EXCAVATION BY A BACKHOLE WITH A SMOOTH-EDGE BUCKET.

MAINTENANCE OF PLANT MATERIALS: PLANT MATERIALS SHALL BE MAINTAINED FOLLOWING PLANTING AND UNTIL FINAL ACCEPTANCE IS GRANTED BY THE OWNER. MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, PRUNING, MULCHING, ADJUSTMENT OF GUYING, RESTORATION OF PLANT POSITION OR SAUCERS, AND SPRAYING IF NECESSARY. FINAL ACCEPTANCE FOR SEGMENTS OF THE CONTRACT WORK MAY BE GRANTED BY THE OWNER.

THE CONTRACTOR SHALL PROTECT PLANTED AREAS WITH STAKES AND FLAGGING TO LIMIT DAMAGE.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN WHEN MAINTENANCE OPERATIONS ARE IN PROGRESS.

ALL INSTALLED MATERIALS SHALL BE IN ACCEPTABLE CONDITION WHEN CONTRACTOR APPLIES FOR PAYMENT.

INSPECTION AND ACCEPTANCE OF WORK: UPON 48 HOURS ADVANCE NOTICE, THE LANDSCAPE ARCHITECT SHALL INSPECT ALL WORK FOR ACCEPTANCE. THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE SHALL TERMINATE AT THE DATE OF ACCEPTANCE OF EACH SEGMENT OF WORK. UPON THE DATE OF ACCEPTANCE, THE GUARANTEE PERIOD SHALL COMMENCE.

GUARANTEE: THE CONTRACTOR SHALL GUARANTEE TO PROVIDE TO THE OWNER THRIVING PLANT MATERIALS TO INCLUDE TREES, SHRUBS, AND GROUND COVERS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE. ADDITIONALLY, THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THRIVING PERENNIALS, ANNUALS, WELL-ESTABLISHED SEEDED AREAS, AND WELL-ROOTED SODDED AREAS FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE. THE GUARANTEES ARE SUBJECT TO THE FOLLOWING CONDITIONS:

THE OWNER IS RESPONSIBLE FOR PROPER WATERING OF PLANT MATERIALS, SEEDED AREAS, AND SODDED AREAS FOLLOWING FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN INSTRUCTIONS SPECIFYING THE RATES AND EXTENT OF WATERING REQUIRED. THE CONTRACTOR SHALL MAKE MONTHLY INSPECTIONS FOR A PERIOD OF (1) YEAR AT NO EXTRA COST TO THE OWNER, TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE TO THE WATERING PROGRAM. ANY RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING.

DAMAGE CAUSED TO PLANT MATERIALS FROM ACTS OF NATURE, VANDALISM, EROSION, OR MALICIOUS ACTS WILL VOID THE GUARANTEE FOR ANY EFFECTED MATERIALS.

DAMAGE TO PLANT MATERIALS CAUSED BY DISEASE INCLUDING BROWN PATCH IN TURF GRASSES EXCLUDE ANY EFFECTED MATERIALS FROM THE GUARANTEE.

PLANT MATERIAL REPLACEMENT: THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL PLANTS NOT IN THRIVING CONDITION AS DETERMINED BY THE OWNER DURING AND AT THE END OF THE GUARANTEE PERIOD. THE REPLACEMENT OF ALL REJECTED PLANTS SHALL EXTEND FOR AN ADDITIONAL 30 CALENDAR DAYS.

TURF MATERIALS: MATERIALS REQUIRED FOR SEEDING AND OR SODDING SHALL CONFORM TO THE FOLLOWING:

FERTILIZER: SHALL BE A TURFGRADE, HIGH PHOSPHORUS FERTILIZER, IN WHICH 1/2 TO 3/4 OF THE NITROGEN IS SLOWLY AVAILABLE. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 18% NITROGEN, 24% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

LIME: SHALL BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 30% MAGNESIUM CARBONATES IN A PELLETED FORM.

ANTI-EROSION MULCH: SHALL BE CLEAN, SEED-FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.

GRASS SEED: SHALL BE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY "OFFICIAL SEED ANALYSTS OF NORTH AMERICA." PROVIDE TYPE OR MIXTURE COMPOSED OF SPECIES AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

SOD: SHALL BE FRESHLY CUT, DROUGHT-RESISTANT SOD, FREE OF OBJECTIONABLE BROADLEAF OR GRASSY WEEDS. PROVIDE TYPE AS SPECIFIED BELOW.

PREPARATION OF TURF AREAS: PRIOR TO SEEDING OR SOD INSTALLATION, VERIFY THAT ALL TRENCHING AND OTHER LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED.

ALL DISTURBED AREAS SHALL BE DRESSED TO TYPICAL SECTIONS AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. REMOVE FROM THE SITE ALL TEMPORARY SEEDING OR STABILIZATION MEASURES.

ALL AREAS TO RECEIVE SEED OR SOD SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE:

REMOVE ANY UNDESIRABLE VEGETATION OR DEBRIS.

APPLY LIMESTONE ACCORDING TO SOIL TEST RECOMMENDATION OR AT A RATE OF 4000 LBS. PER ACRE.

RIP THE AREA TO A MINIMUM DEPTH OF 4 TO 6 INCHES.

REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER DEBRIS AND PULVERIZE THE TOP 2 INCHES OF LOOSENED SOIL TO PROVIDE A SMOOTH AND UNIFORM SURFACE.

APPLY TURFGRADE FERTILIZER IN A MANNER THAT ENSURES UNIFORM DISTRIBUTION. FERTILIZER SHALL BE APPLIED AT A RATE THAT PROVIDES 5 LBS. OF PHOSPHORUS PER 1000 S.F. LIGHTLY MIX WITH SOIL AND SMOOTH SURFACE.

SODDING: APPLY DROUGHT-RESISTANT, TURF-TYPE FESCUE SOD (E.G. "REBEL III", "BOANANZA", "CONFEDERATE", ETC.) IN THE FOLLOWING MANNER:

SOD SHALL BE PLACED ON A SMOOTH, EVEN SURFACE CONFORMING TO FINISH GRADE REQUIREMENTS. FINISH GRADE SHALL BE 1 INCH BELOW SURFACES OF ADJACENT SIDEWALKS AND CURBING. SOIL SHALL BE WATERED BEFORE SOD IS LAID. ALL SOD SHALL BE CUT BY AN APPROVED MECHANICAL SOD CUTTER. UNDER NO CIRCUMSTANCES SHALL ANY SODDING WORK BE DONE UNLESS WEATHER AND SOIL CONDITIONS ARE SUITABLE.

HANDLING OF SOD SHALL BE DONE IN A MANNER AS TO PREVENT TEARING, BREAKING, DRYING, OR OTHER DAMAGE.

SOD SHALL BE INSTALLED ON-SITE IN NOT MORE THAN 72 HOURS AFTER CUTTING. IF THE SOD IS NOT INSTALLED WITHIN 48 HOURS AFTER CUTTING, IT SHALL BE UNSTACKED OR UNROLLED, PLACED IN SHADE, AND KEPT MOIST UNTIL INSTALLATION.

LAY SOD PARALLEL TO THE DIRECTION OF THE SLOPE AND IN A MANNER WHICH WILL PERMIT JOINTS TO ALTERNATE.

FIT SOD PIECES TOGETHER TIGHTLY SO THAT NO JOINT IS VISIBLE, AND TAMP SOD FIRMLY AND EVENLY BY HAND.

AFTER SODDING IS COMPLETE AND APPROVED BY LANDSCAPE ARCHITECT, SODDED AREAS SHALL BE ROLLED WITH A 200 LB. ROLLER.

WATER SODDED AREAS IMMEDIATELY AFTER FINAL ROLLING WITH A FINE SPRAY TO A DEPTH OF 4 INCHES. KEEP ALL SODDED AREAS CONTINUOUSLY MOST THEREAFTER UNTIL 30 CALENDAR DAYS FOLLOWING INSTALLATION. USE FINE SPRAY NOZZLES ONLY.

INSPECT AND MAINTAIN SODDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SODDED AREAS FAIL TO BECOME ROOTED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS WITH NEW SOD MATERIALS.

SEEDING: APPLY TURF-TYPE SEED MIXTURE (E.G. "CONFEDERATE" FESCUE MIXTURE, "TRI-BLEND", ETC.) AT A RATE OF 6 LBS. PER 1000 S.F. KENTUCKY 31 TALL FESCUE IS UNACCEPTABLE.

CUT/PACK SEEDED AREAS AND APPLY ANTI-EROSION MULCH AT A RATE OF 2 TONS PER ACRE.

INSPECT AND MAINTAIN SEEDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SEEDED AREAS FAIL TO BECOME ESTABLISHED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS FOR ESTABLISHMENT OF A SUITABLE TURFGRASS.

IRRIGATION DIRECTIVES

A. THE GENERAL CONTRACTOR SHALL SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF HIS CHOICE, OR HAVE THE PLANTING CONTRACTOR SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF THEIR CHOICE

B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO SPRAY THE LAWN AND PLANT BEDS SEPARATELY AS SHOWN ON THE PLAN AROUND THE BUILDING, BUT, IN OUTLYING AREAS ISLANDS OF SHRUBS SHALL BE OVERSPRAYED WITH THE LAWN HEADS OR, PER PLAN, MAY HAVE SHRUB HEADS ON THE ADJACENT LAWN ZONE

C. PROVIDE ADEQUATE ZONES TO INDIVIDUALLY CONTROL IRRIGATION FOR ALL THE DIFFERENT EXPOSURES AND SLOPES AT LEAST AS INDICATED ON THE PLANS AS WELL AS TO BE ABLE TO BEST MATCH THE WATER AVAILABLE TO THE SYSTEM

D. SUBMIT HEAD LAYOUT AND ROUTING PLAN TO THE ARCHITECT FOR APPROVAL OF THE LAYOUT AND ZONE DESIGN

E. IN MUNICIPAL AREAS PROVIDE THE OWNER A (DOLLAR) CHOICE TO SET A SEPARATE METER FOR THE IRRIGATION, OR TO USE THE EXISTING METERED SOURCE FOR THE IRRIGATION

F. IN MUNICIPAL AREAS THE CONTRACTOR SHALL PROVIDE THE BACK-FLOW PREVENTION DEVICES REQUIRED BY THE MUNICIPALITY

G. PROVIDE THE OWNER A PLASTIC COVERED COLOR CODED PLAN TO TACK TO THE WALL NEXT TO THE CONTROLLER LOCATION

H. PROVIDE (3) THREE COPIES OF "AS-BUILT" LAYOUT AND OPERATING INSTRUCTIONS TO THE OWNER.

IRRIGATION NOTES

- NOTE TO IRRIGATION CONTRACTOR:** MANY MUNICIPALITIES ARE CURRENTLY REVISING THEIR ORDINANCES AND REGULATIONS REGARDING IRRIGATION SYSTEMS. BEFORE THIS PROJECT IS BID OR INSTALLED, THE CONTRACTOR SHALL VERIFY WITH THE RULING MUNICIPALITY THAT THE PROPOSED SYSTEM MEETS ALL LOCAL REGULATIONS, AREAS OF SPECIAL CONCERN INCLUDE:
1. RIGHT-OF-WAY EASEMENT AGREEMENTS FOR PLACEMENT OF IRRIGATION WITHIN STREET/ROAD RIGHT-OF-WAYS.
 2. BACKFLOW PREVENTION DEVICES, WHETHER THESE ARE REQUIRED AND IF SO, WHAT TYPES ARE APPROVED.
 3. CERTIFICATION/LICENSE TO INSTALL BACKFLOW PREVENTER DEVICES AND METERS.
 4. "WINTER SERVICE" REQUIREMENTS FOR BACKFLOW PREVENTER DEVICES.
 5. USE OF A SECOND METER FOR IRRIGATION USE ONLY.
 6. WATER RATION DAYS IN WHICH IRRIGATION SYSTEM CANNOT BE USED.
 7. ALL OTHER REGULATIONS NOT MENTIONED HEREIN.

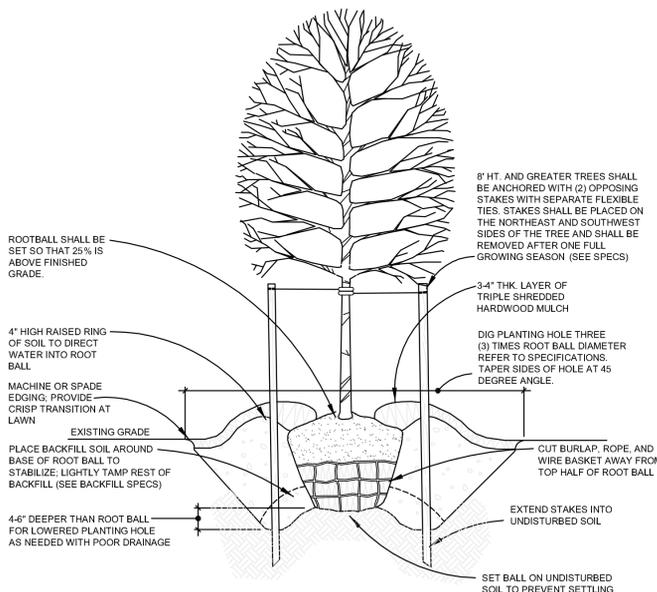
SHOULD THE BID/CONSTRUCTION DOCUMENTS BE INCONSISTANT WITH CURRENT LOCAL REGULATIONS, THE CONTRACTOR SHALL PRESENT THE OWNER WITH A QUOTE/CONTRACT THAT INDICATES MODIFICATIONS TO MAKE THE SYSTEM COMPLIANT WITH ALL THE LOCAL CODES.

PERMITS FEES: THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO INSTALL THE SYSTEM AND HE SHALL PAY ANY ASSOCIATED FEES, COST FOR THESE ITEMS SHALL BE INCLUDED IN THE QUOTE/CONTRACT FOR THE IRRIGATION SYSTEM.

IRRIGATION DIRECTIVES AND NOTES
SCALE: NTS 5

NOTES

1. THE PLANTING PROCES IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
2. FOR SINGLE STEM TREES, DO NOT SUPPLY TREES WITH MULTIPLE LEADERS. ONLY PROVIDE TREES WITH A SINGLE LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS AND TO INSURE COMPLIANCE WITH SIGHT DISTANCE STANDARDS.
3. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
4. WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL ADJUSTMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA.
5. FOR CONTAINER-GROWN TREES, SET THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
6. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
7. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAKING DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.



LANDSCAPE WORK SPECIFICATIONS
SCALE: NTS 6

*** TYPICAL TREE INSTALLATION**
SCALE: NTS 4

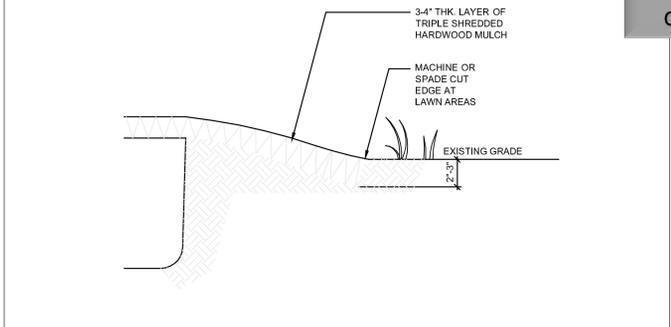
MASSING PLANT INSTALLATION
SCALE: NTS 3

NOT RELEASED FOR CONSTRUCTION

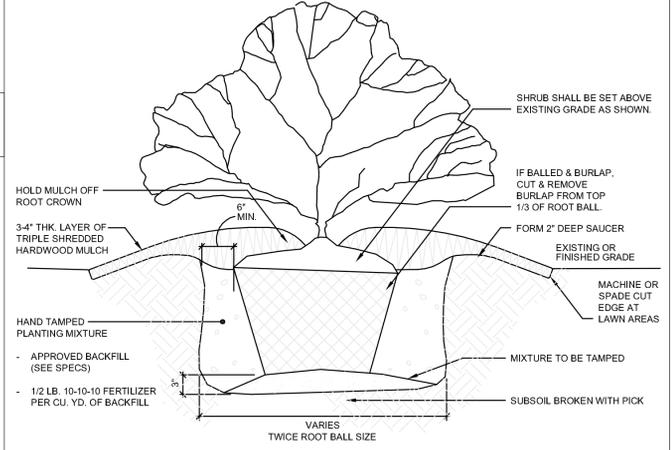


TALMAGE "MARK" HALL, ASLA
100 Dove Court
Clayton, NC 27520
tel 919.810.8408
email: talmagemark@gmail.com

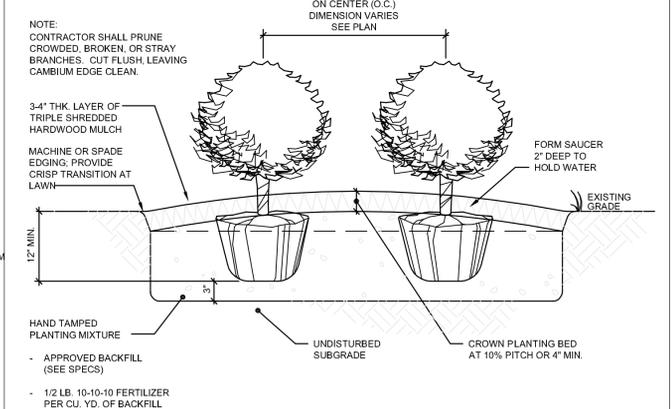
NOTE: THIS SEAL AND SIGNATURE APPLIES ONLY TO THE LANDSCAPE PLAN, LANDSCAPE DETAILS AND LANDSCAPE NOTES



BED EDGING
SCALE: NTS 1



***TYPICAL SHRUB INSTALLATION**
SCALE: NTS 2



REVISIONS:
1. 12/29/2014 TOWN OF CLAYTON TRC COMMENTS
2. 01/13/2015 - TOWN OF CLAYTON TRC COMMENTS
3. 01/29/2015 - TOWN OF CLAYTON TRC COMMENTS

DC ADAMS ENGINEERING, INC
335 ATHLETIC CLUB BLVD
CLAYTON, NC 27527
dominic@dcadamspe.com
919-763-7278
FIRM # C-3894



LionsGate Phase 7 Townhomes
FRED SMITH COMPANY, CLAYTON, NC 27527

LANDSCAPE DETAILS

FILE: LONSATE 7A-7D
DESIGN: TMH
DRAWN: TMH
CHECKED: DCA
HORIZONTAL SCALE: 1"=60'
VERTICAL SCALE: N/A
DATE: 12/01/2014
JOB NO.:

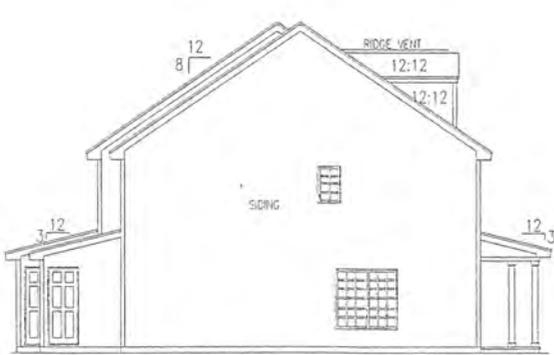
SHEET 5 OF 5

ATTIC SPACE VENTILATION
 REQUIRED
 $660 \text{ SQ. FT. OF CLG.} / 150 = 4.4 \text{ SQ. FT. REQUIRED}$
 REFER TO SECTION R806 (ROOF VENTILATION) IN NORTH CAROLINA STATE 2003 INTERNATIONAL RESIDENTIAL BUILDING CODES.

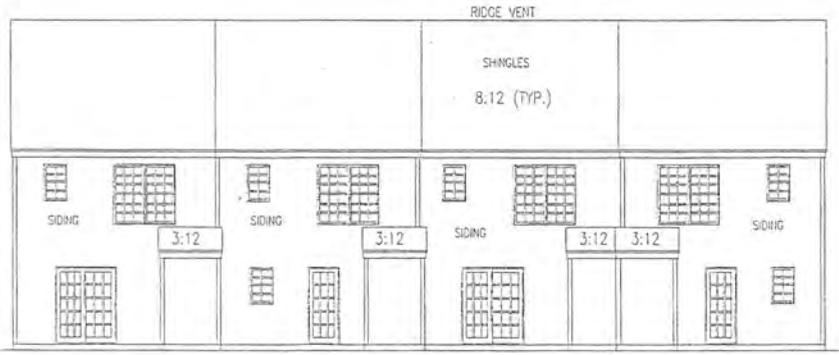
MEAN ROOF HGT.			
Soffit Hgt. From Assumed Grade	+ Highest Ridge Hgt. From Assumed Grade	+ 2	= Mean Roof Hgt.
17'-8"	+ 28'-8"	+ 2	= 23'-2" Mean Roof Hgt.



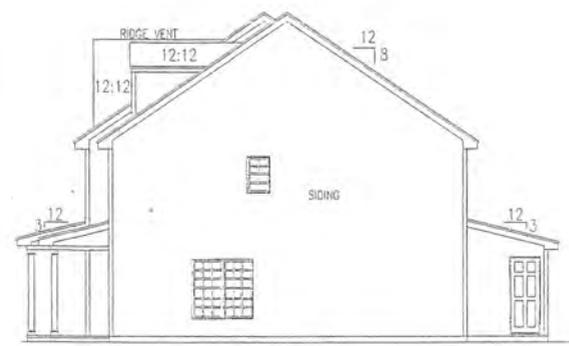
FRONT ELEVATION (4 UNITS)



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

SCALE
 $24" \times 36" = 1/4" = 1'-0"$
 $11" \times 17" = 1/8" = 1'-0"$

REVISIONS:
 5/29/13
FRED SMITH COMPANY
 400 RIVERWOOD DRIVE
 CLAYTON, NC 27520 (919) 550-8086

The AG
 4 Unit
 Elevations

FILE
 DESIGN ADS
 DRAWN ADS
 CHECKED
 DATE 6/12/13
 SHEET



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Planning Board
January 26, 2014*

STAFF REPORT

Application Number: PDD 2014-127 (Rezoning to Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PSD 2014-128 (Master Plan)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting approval to rezone the subject property to Planned Development – Mixed Use.

SITE DATA:

Acreage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

ADJACENT ZONING AND LAND USES:

North:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
South:	Zoning:	Residential Estate (R-E), Residential 8 (R-8 SUD)
	Existing Use:	Vacant / Single Family Residential /Agriculture
East:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential / Agriculture
West:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting the subject property be rezoned to Planned Development – Mixed Use (PD-MU). Concurrent with the request to rezone property to a Planned Development District, a Master Plan has been submitted. That application is under concurrent review under case #PSD 2014-128. Both the rezoning and the master plan must be approved for the PD-MU District to be approved. Details of the Master Plan are provided in a separate staff report.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Compatibility with Surrounding Land Uses

Although the overall proposed density is 4 dwelling units per acre, the master plan has been designed to provide lower densities adjacent to existing subdivisions. These lower densities are compatible to the densities in the adjacent subdivisions and provide a transition from the higher density/intensities. The commercial parcel is currently limited in the master plan regulating documents to neighborhood commercial (B-2 uses) and a maximum of 75,000 square feet of floor area.

Landscaping and Buffering

Planned Developments require a Class C perimeter buffer is provided along the boundary of the property.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions.

CONSIDERATIONS

- The applicant is requesting approval of a rezoning of the subject parcel to Planned Development – Mixed Use.
- This approval is subject to approval of PSD 2014-128 (Master Plan).
- The final decision is made by the Town Council with recommendation from the Planning Board.

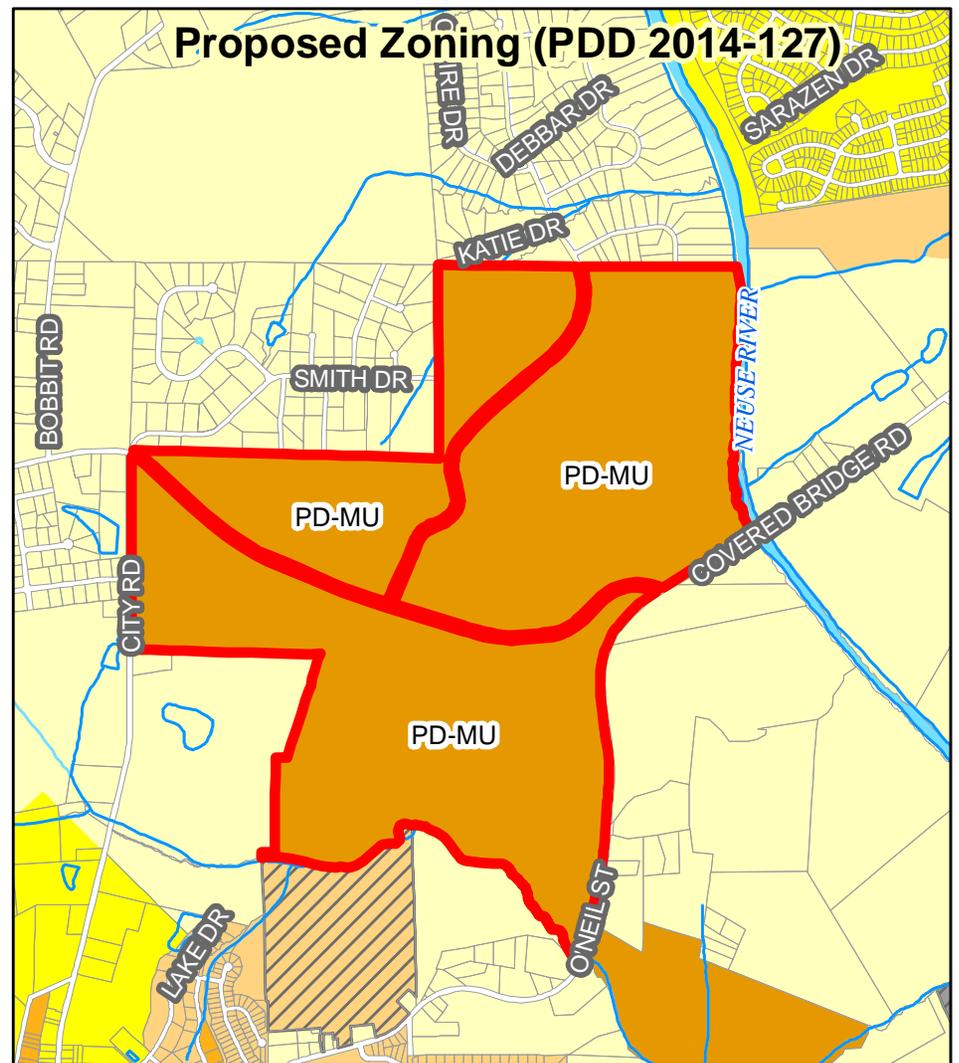
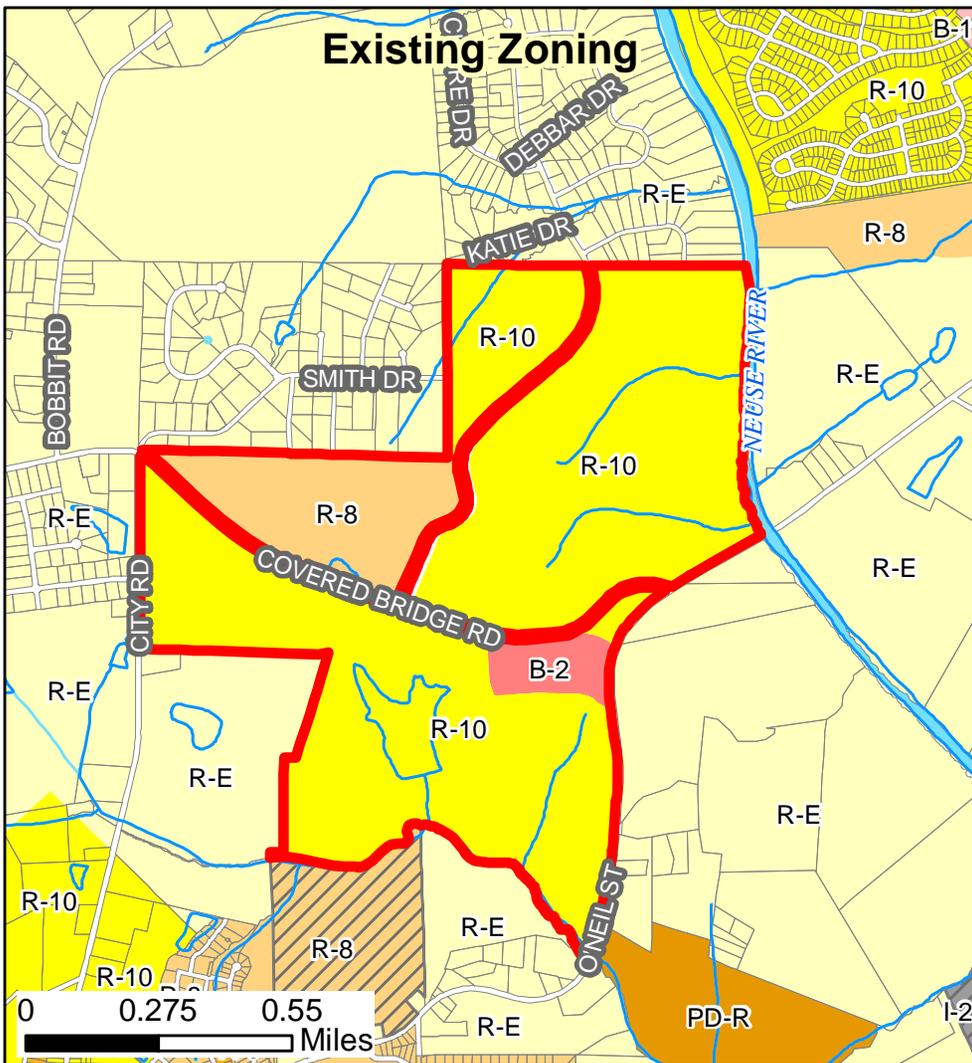
STAFF RECOMMENDATION

Staff is recommending:

- 1) Approval of the rezoning.

Planning Board Recommendation:

Attachments: 1) Existing and Proposed Zoning Map, **2)** Aerial Map, **3)** Application, **4)** Neighborhood Meeting Materials



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

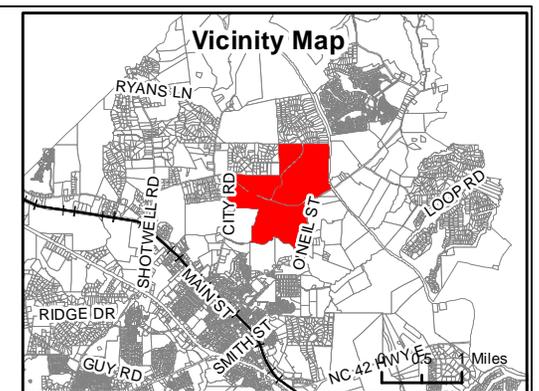
Produced by: TOC Planning

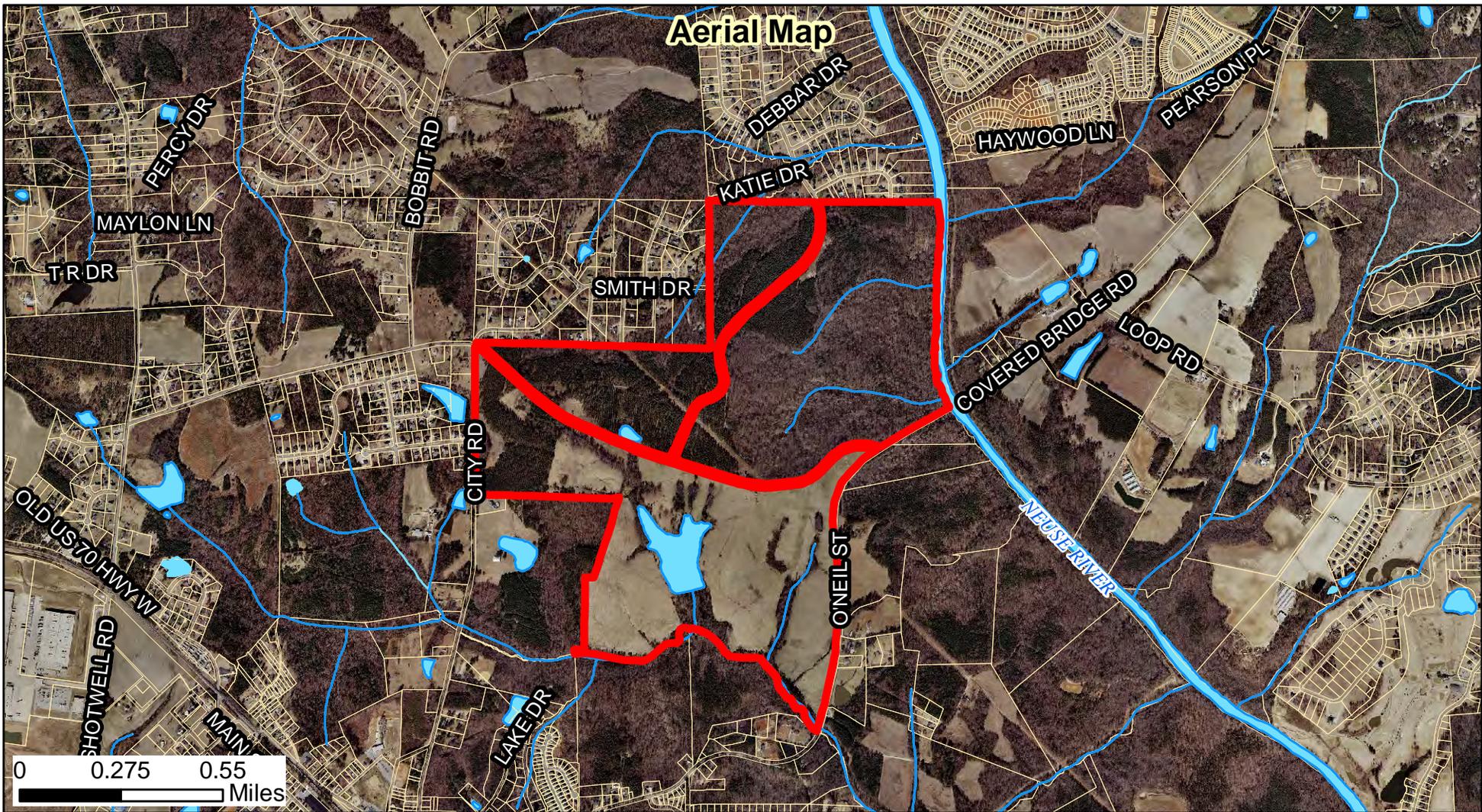
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				Special Use District
				B-3
				PD-C
				I-1
				I-2
				O-1
				PD-MU





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
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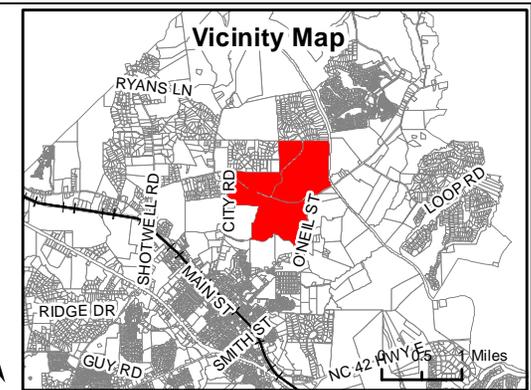
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

- SteepleChase_Site
- Water Features





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.

If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.

SITE INFORMATION:

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed AC)
 Parcel ID Number: 05H02009 Tax ID: 0869846
 Deed Book: 03897 Deed Page(s): 0735
 Address: 1162 Covered Bridge Road, Clayton, NC 27520
 Location: South of Smith Ridge Estates and Ole Mill Stream Subdivisions, and North of Sams Branch
Greenway between Covered Bridge Road and City Road
 Existing Use: Vacant Proposed Use: Residential/Commercial
 Existing Zoning District: R-10, R-8, and Neighborhood Business (B-2)
 Requested Zoning District: PD MU
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): Watershed Protection Overlay District

FOR OFFICE USE ONLY

File Number: 2014-127 Date Received: 10/6/14 Amount Paid: #4,155⁰⁰

OWNER INFORMATION:

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:**
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION:

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- A signed and sealed boundary survey (**not more than a year old unless otherwise approved by the Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

JUSTIFICATION STATEMENT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

The request is to rezone 631.06 acres at 1162 Covered Bridge Road from R-8, R-10 and neighborhood business (B-2) to PD MU. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units.

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

The Town of Claytons Strategic Growth plan adopted in 2008 designates a majority of the property as residential medium and small portion as neighborhood commercial. The residential medium designation allows up to 8 dwelling units to the acre. The proposed use is for 3.96 dwelling units to the acre which is compliant with the Strategic Growth Plan.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The permitted uses and the proposed uses are generally the same. The subject property is primarily gently rolling land with the R. E. Earp pond located on the southern tract. The USDA soils study identifies this land as suitable for residential development.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed designation allows for a mixture of residential uses with some neighborhood commercial at the intersection of O'Neil and Covered bridge Roads. These uses proposed for this property are designated in Town of Clayton's Strategic Growth Plan and complies with the balance of uses identified in the plan.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

5. It has been determined that the legal purposes for which zoning exists are not violated.

The existing zoning is not in error and is compliant with the Town of Clayton Strategic Growth Plan. The rezoning to PD MU will still allow the current uses but will allow for the orderly and unified development of the site.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

The proposed development has access to public water and sewer adjacent to the site. The stormwater will be treated on site and will address volume and quality issues prior to discharge. A Traffic Impact Analysis is in the process of being completed and should indicate that with the proposed road improvements adjacent to the site that there will be no adverse traffic impacts as well.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

No one adjacent property owner will benefit at the detriment of the general public. The proposed uses are already permitted in the current zoning, the rezoning will allow for an orderly and unified development of the site. The orderly and unified development of the site should benefit the adjacent property owners overall.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

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05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
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05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT, CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
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05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

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05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
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05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
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05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY, CLAYTON, NC 27520-5507
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05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
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05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

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05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
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05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
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05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn (Name - type, print clearly) 3100 SMOKETREE CT (Address)
Raleigh NC 27604 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley (Name - type, print clearly) 7020 NC 42 East (Address)
Mary Earp Worley (Owner's Signature) Selma, NC 27576 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

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Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard
 (Name - type, print clearly)

3100 SMOKE TREE CT
 (Address)
Raleigh NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

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OWNER AUTHORIZATION:

Nancy C Karp
 (Name - type, print clearly)

7230 NC 42 E
 (Address)

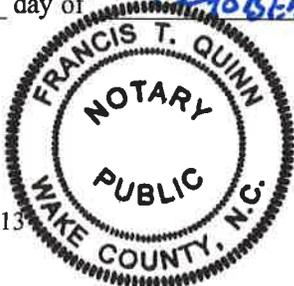
Nancy C Karp
 (Owner's Signature)

Selma, NC 27576
 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING MATERIALS

STEEPLECHASE DEVELOPMENT
PDD 2014-127 AND PSD 2014-128



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Jay Hill 2013	Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Moore Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton,
2	John Clarke	1415 Brook Hill Drive
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NC
27520

NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Planning Board
January 26, 2014*

STAFF REPORT

NOTE: DUE TO THE COMPLEXITY OF THIS PROJECT, THE FULL STAFF REPORT IS BEING FINALIZED AND WILL BE PROVIDED WHEN AVAILABLE. THE BELOW INFORMATION IS AN ABBREVIATED STAFF REPORT WITH BASIC INFORMATION ABOUT THE PROPOSAL.

Application Number: PSD 2014-128 (Preliminary Plat / Master Plan for Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PDD 2014-127 (Rezoning to PD-MU)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and north of Sam's Branch.

REQUEST: The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

SITE DATA:

Acreeage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Existing Impervious: None – site is undeveloped

Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

DEVELOPMENT DATA:

All information below is as proposed by the applicant. Planned developments are unique in that they do not carry pre-established development standards. All bulk, area, and dimensional standards are set by the approval process and are binding once approved by town council. (See §155.202(L))

Proposed Uses:	Residential units – mix of housing types (single family, triplex, duplex, and townhome).
Proposed Buildings:	Multiple Buildings include mixed residential, commercial and recreational (club house).
Proposed Residential Density:	Maximum 4 units per acre for residential portion of property (calculation does not include commercial site)
Proposed Commercial Intensity:	9.91 acres / 80% per lot building coverage / 75,000 SF max.
Proposed Maximum Building Height:	<p>Detached Homes – Single Family: 35 feet max</p> <p>Attached Homes – Townhome & Single Family: 45 feet max</p> <p>Multi-Family – Condos & Apartments: 55 feet max</p> <p>Amenity and Club: 45 feet max</p> <p>Commercial Area: 80 feet max</p> <p><i>Staff note: For reference, the maximum height in all existing general residential zoning districts is 35 feet. Maximum height in existing general commercial zoning districts is 60 feet (in B-3 and O-I). Maximum height for apartments/condos/townhomes is set by the Special Use Permit process.</i></p> <p><i>Staff supports the request for 80 feet in height for the Commercial area because it would allow for mixed use development with office and residential uses in upper stories.</i></p>
Proposed Impervious Surface:	<p>Overall Development: 70%</p> <p><i>The Master Plan is divided into a series of phases. Each phase will have a set maximum impervious surface percentage. As phases are approved for development in the future, they will be reviewed for consistency with the maximums set in the Master Plan, which will ensure the overall development does not exceed the 70% maximum.</i></p>
Required Parking:	Parking will be required as established by the Unified Development Ordinance and will be reviewed as each phase is approved for development.
Access:	Primary access is off of Covered Bridge Road and North O’Neil Street. Additional internal connections exist along Brook Hill Drive as well as interconnectivity to existing stub streets in Smith Ridge estates and Ole Mill Stream subdivisions. Several major roadway improvements will be necessary

	as a part of this development. Details of roadway and intersection improvements will be determined as part of the review of the Traffic Impact Analysis. A Traffic Impact Analysis was submitted by the applicant and is under review by NCDOT.
Water/Sewer Provider:	Town of Clayton
Electric Provider:	Town of Clayton
Proposed minimum Recreation and Open Space:	Overall Proposed: 65.08 acres (10.3% of gross site; 12.5% of net site area) <i>Required: minimum 64.98 acres (12.5% of net site area)</i> <ul style="list-style-type: none"> - Active Recreation Proposed: 29.22 acres - <i>Minimum required: 16.25 acres (25% of required recreation space)</i> <i>Recreation and Open Space and Active Recreation acreages are minimums and cannot be reduced except by Town Council approval via a major modification to the Master Plan.</i>
Proposed Dimensional Standards:	Minimum Dimensional Standards (setbacks, building coverage, and height) are set based on use in the Master Plan. The Master Plan includes a provision that all setbacks may be modified by up to 20% with approval by the Planning Director.

ADJACENT ZONING AND LAND USES:

North: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

South: Zoning: Residential Estate (R-E), Residential 8 (R-8 SUD)
Existing Use: Vacant / Single Family Residential /Agriculture

East: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential / Agriculture

West: Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

AS NOTED ABOVE, THE BELOW ANALYSIS IS AN ABBREVIATED REPORT. FULL STAFF REPORT AND ANALYSIS WILL BE PROVIDED WHEN COMPLETE.

Overview

The applicant is requesting preliminary subdivision plat approval for the Master Plan for the Steeplechase Planned Development. This 631 acre project is under concurrent request to be rezoned to Planned Development Mixed

Use (PD-MU) under case # PDD 2014-127. Both the rezoning and the master plan must be approved for the PD-MU District to be approved.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

Per §155.203(L), Planned Developments are subject to the following requirements:

- The development proposed in the master plan is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
- Each planned development shall provide a comprehensive set of design guidelines that demonstrate the project will be appropriate within the context of the surrounding properties and the larger community. All bulk, area and dimensional standards shall be established by the Town Council at the time of approval.
- No resource conservation area (see § 155.500) shall be counted towards lot area. This shall not preclude the platting of lots in such areas, provided that adequate lot area outside the resource conservation area is provided.
- No resource conservation area shall be counted towards the recreation and open space requirements.
- The planned development master plan shall meet or exceed the recreation and open space requirements of an open space residential subdivision.
- A phasing plan is required.

Master Plan Approval Criteria (§155.705(K)):

1. Compliance with all applicable requirements of the UDC;
2. Consistency with the Clayton General Design Guidelines;
3. Conformance of the proposal with the stated purpose of the requested planned development district;
4. Compatibility of the proposed development with the adjacent community;
5. The quality of design intended for each component of the project and the ability of the overall development plan to ensure a unified, cohesive environment at full build-out;
6. Compatible relationships between each component of the overall project;
7. Self-sufficiency of each phase of the overall project;
8. Documentation that the proposed infrastructure improvements accommodate the additional impacts caused by the development, or documentation to assure that the development, as proposed, will not overtax the existing public infrastructure systems;
9. The fiscal impact of the proposal and the proposed financing of required improvements;
10. The success of the proposal in providing adequate pedestrian and bicycle links within the development and with the adjacent community; and
11. The effectiveness with which the proposal protects and preserves the ecologically sensitive areas within the development.

Preliminary Plat Findings of Fact

Since the Master Plan is also acting as a Preliminary Subdivision Plat, the applicant is required to address the Findings of Fact outlined in §155.706 of the UDC. These have been included with this report as Attachment 1.

Attachments: 1) Subdivision Findings of Fact, **2)** Zoning & Aerial Map, **3)** Application, **4)** Neighborhood Meeting Materials, **5)** Master Plan / Preliminary Subdivision Plan

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

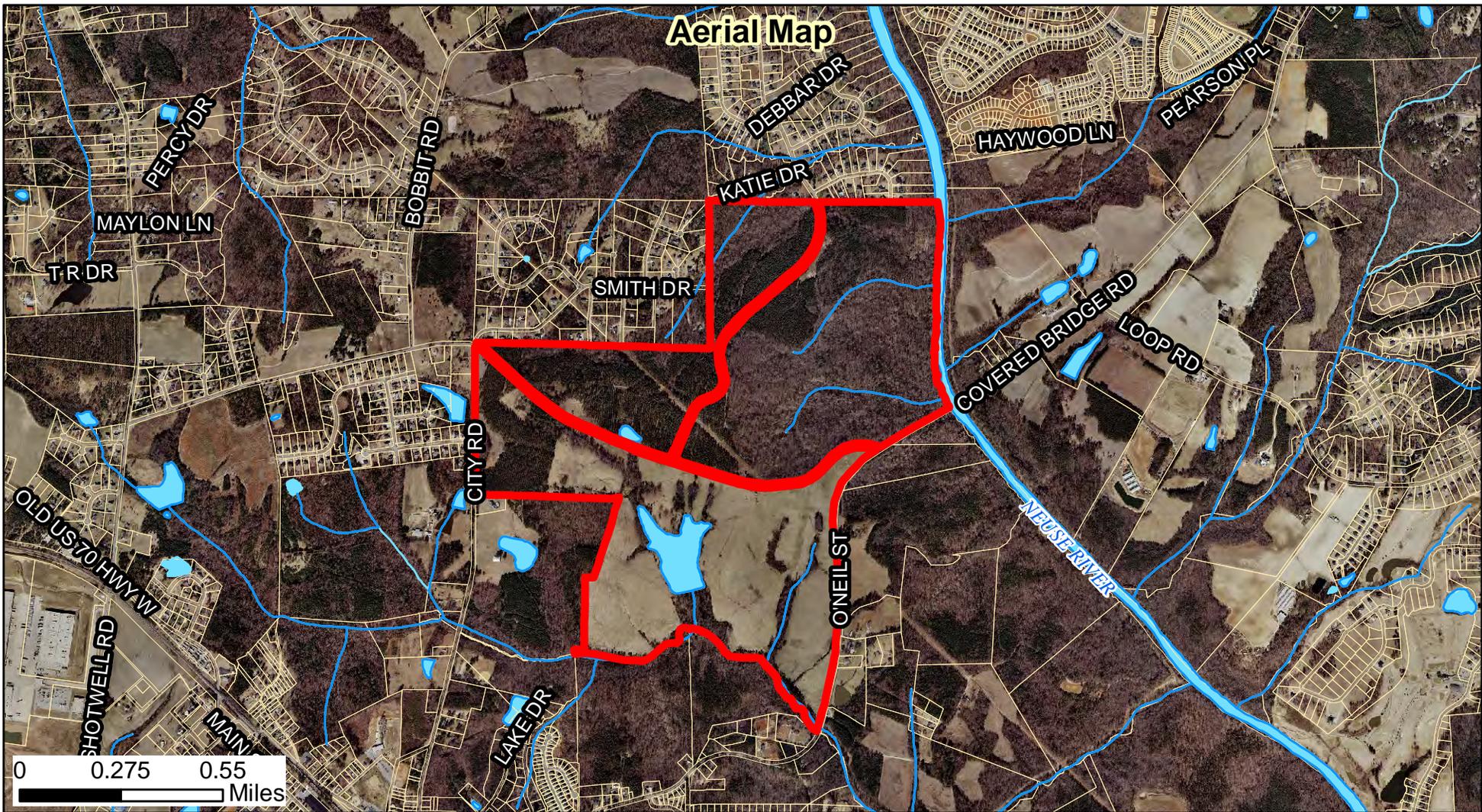
- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
 Print Name

[Signature]
 Signature of Applicant

10-2-14
 Date



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

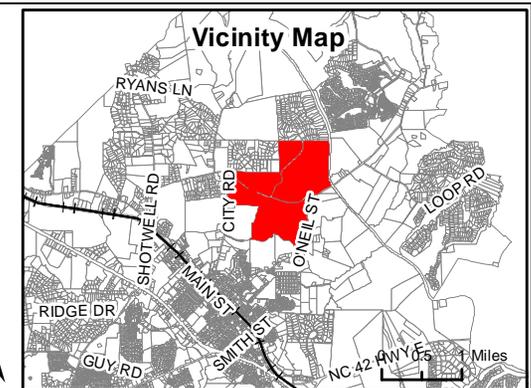
Produced by: TOC Planning

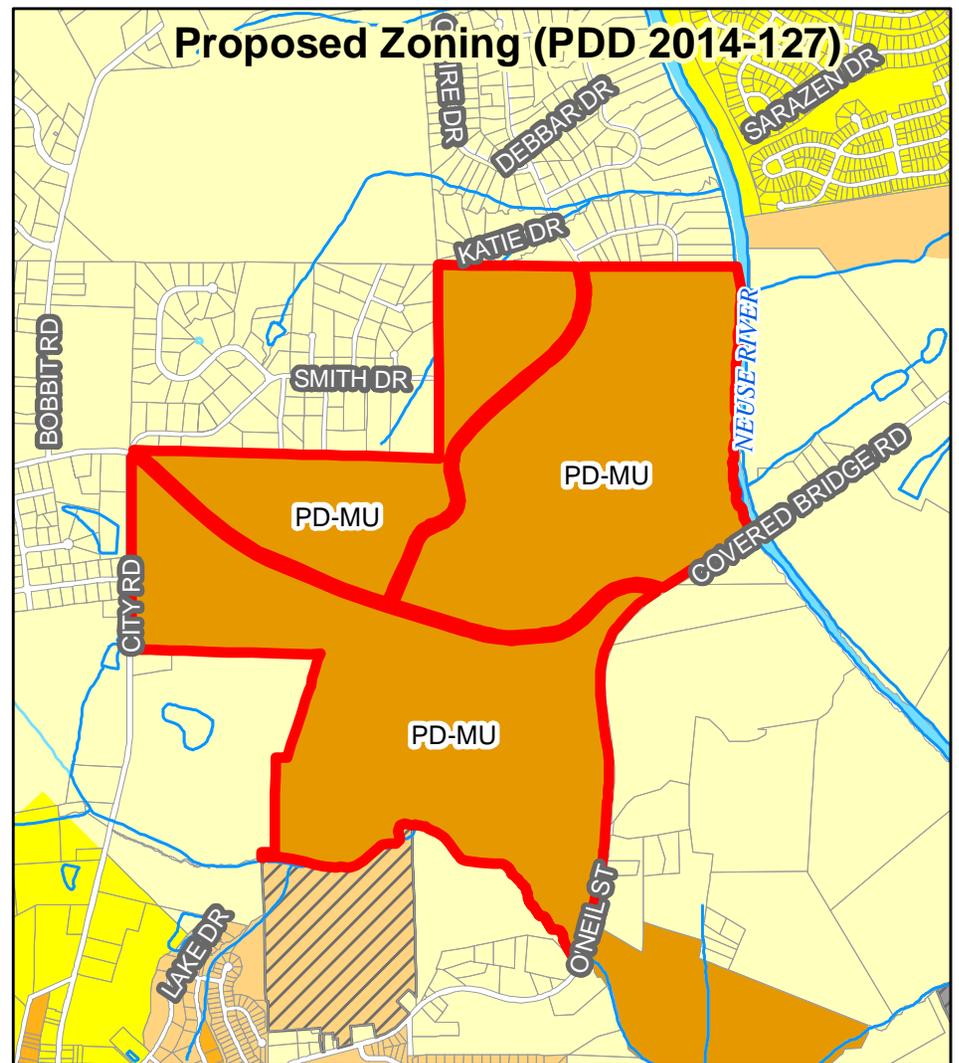
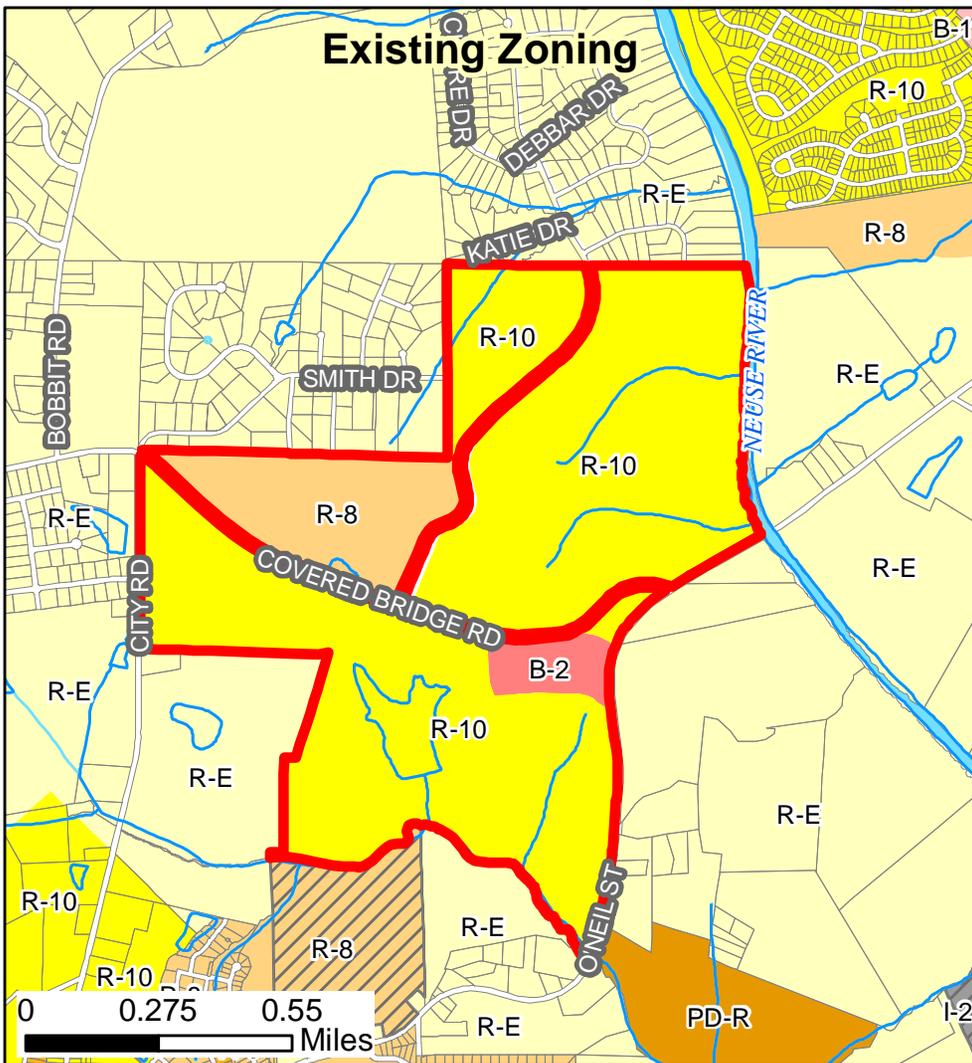
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

- SteepleChase_Site
- Water Features





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

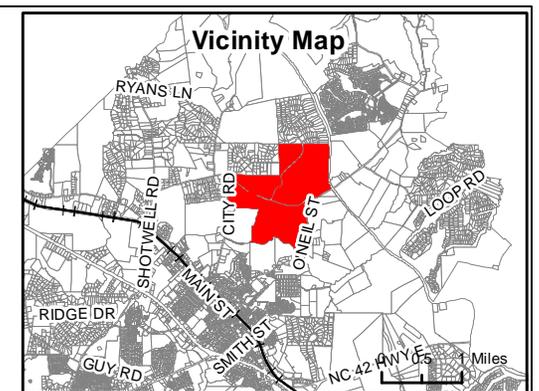
Produced by: TOC Planning

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 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			B-3
				I-1
				I-2
				O-1
				PD-MU
				Special Use District
				B-1





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
 Subdivision Master Plan: \$700.00 + \$5.00 per acre
 Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified



See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: _____ *Open Space:* _____ Modification to Approved Preliminary Plat
Major: _____ *Minor:* _____
 New Subdivision Master Plan

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed)

Tag #: 05H02009 NC PIN: 066900-38-4997

Location: 1162 Covered Bridge Road, Clayton, NC 27520

Number of Lots (existing): 1 (Proposed) 2500 Min Lot Size: Single family 4500 SF

Zoning District: R-8, R-10 with WPOD and Neighborhood business Electric Provider: Town of Clayton

Wastewater: Septic Well
 Sewer (check one) Water: Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: 10/6/14 Amount Paid: _____ File Number: 2014-128

Fee not submitted w/ app.
 CEB

PROPERTY OWNER INFORMATION

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:** _____
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh NC 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

10/6/14 EB

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/30/14</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Completed Application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Review Fee	<input type="checkbox"/>			<input checked="" type="checkbox"/>	
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

At Final Plats

12. A signed and sealed Traffic Impact Analysis (if required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Neighborhood Meeting Notice Letter <i>See sample letter and meeting requirement, included in this packet. NOT REQUIRED FOR MINOR MODIFICATIONS.</i>	<input type="checkbox"/>	<input type="checkbox"/>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.
14. Neighborhood Meeting summary form <i>Included in this packet – NOT submitted with application. NOT REQUIRED FOR MINOR MODIFICATIONS</i>		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
 The request is to master plan 631.06 acres at 1162 Covered Bridge Road. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units. The club and amenity areas will be focused around the existing R. E. Earp pond and will form the core of the development. Development will begin south of covered bridge road and will move north of covered bridge in the future. A neighborhood commercial development will be located at the intersection of Covered Bridge Road and O'Neil Street.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
 Print Name

[Signature]
 Signature of Applicant

10-2-14
 Date

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
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Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

NEIGHBORHOOD MEETING MATERIALS

STEEPLECHASE DEVELOPMENT
PDD 2014-127 AND PSD 2014-128



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

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05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
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05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
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05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Joy Hill 2013	Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe S. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton,
2	John Clarke	1415 Brook Hill Drive
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NC
27520

NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: *KD*

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.

STEEPLECHASE
Planned Development / Master Plan Document



Prepared for Town of Clayton
January 2015



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Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

USE	ACRES	% LAND AREA
RCA's (Riparian Buffers, Flood Plain, Pond)	+/- 111.19	+/- 17.62%
Recreation Open Space	+/- 65.08	+/- 10.31%
Residential uses	+/- 444.88	+/- 70.50%
Neighborhood retail	+/- 9.91	+/- 1.57%
Total	631.06	100%

SINGLE FAMILY RESIDENTIAL MINIMUM %	LOT WIDTH	% MINIMUM OF UNITS
Small Lot Single Family	40' and 50'	10%
Medium Lot Single Family	50' and 60'	10%
Large Lot Single Family	60' and greater	10%

*Does not include Townhomes, Condos or Apartments



Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

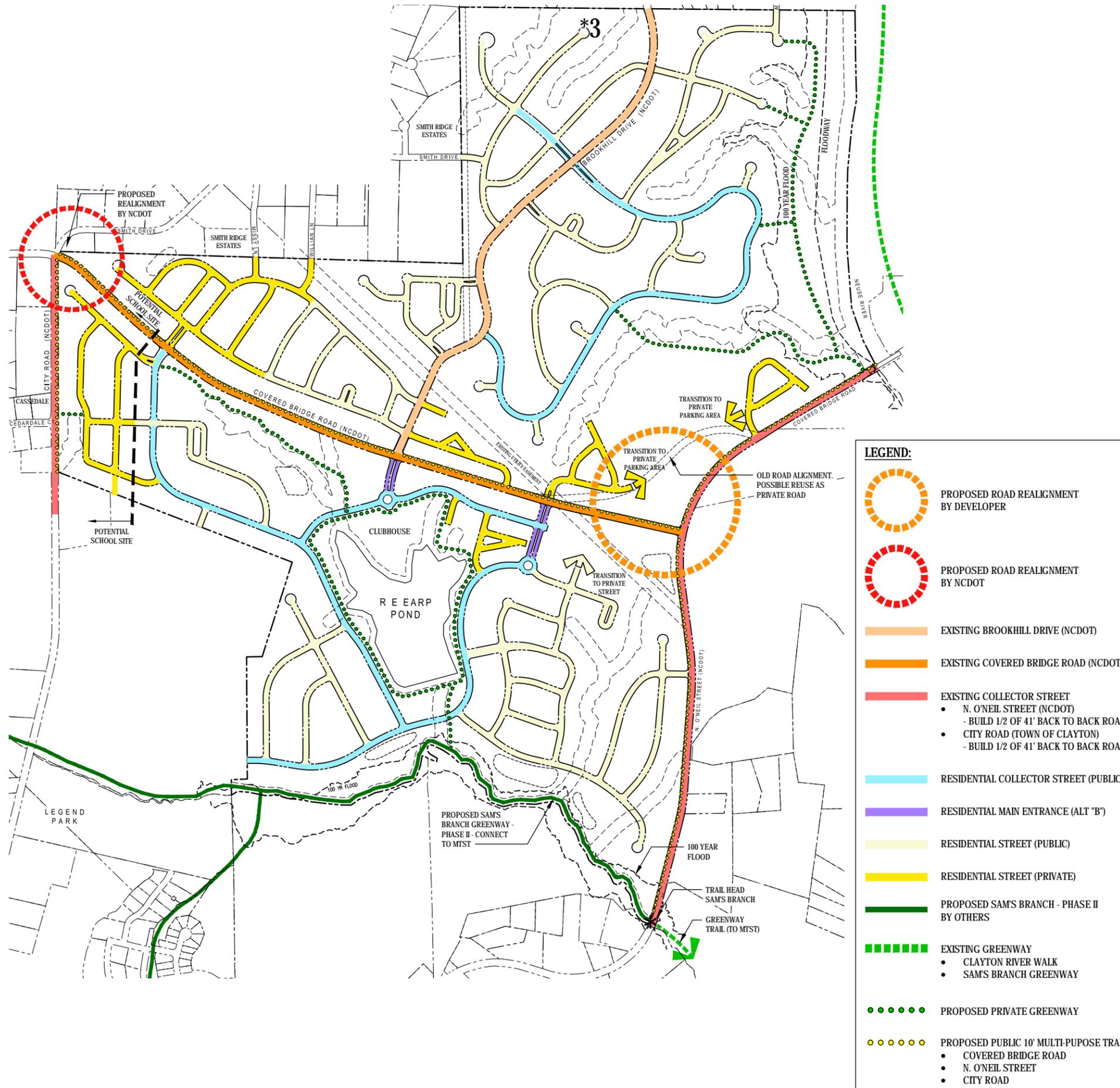
STREETS

The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets provides options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 8). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

SIDEWALKS AND STREET YARDS

Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.



Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCA's). RCA's are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCA's is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

REQUIRED RECREATION & OPEN SPACE

$$519.87 \text{ AC} \times 12.5\% = 64.98 \text{ AC}$$

REQUIRED ACTIVE RECREATION SPACE

$$64.98 \text{ ac} \times 25\% = 16.245 \text{ AC}$$

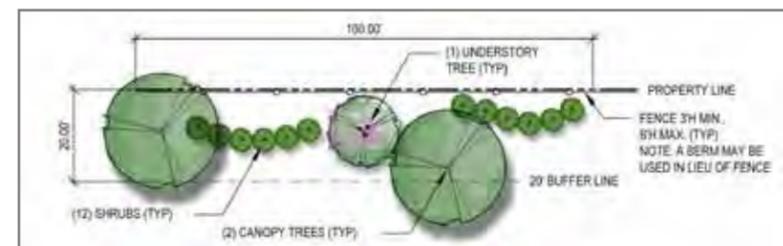
REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%

OPEN SPACE PROVIDED

Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%

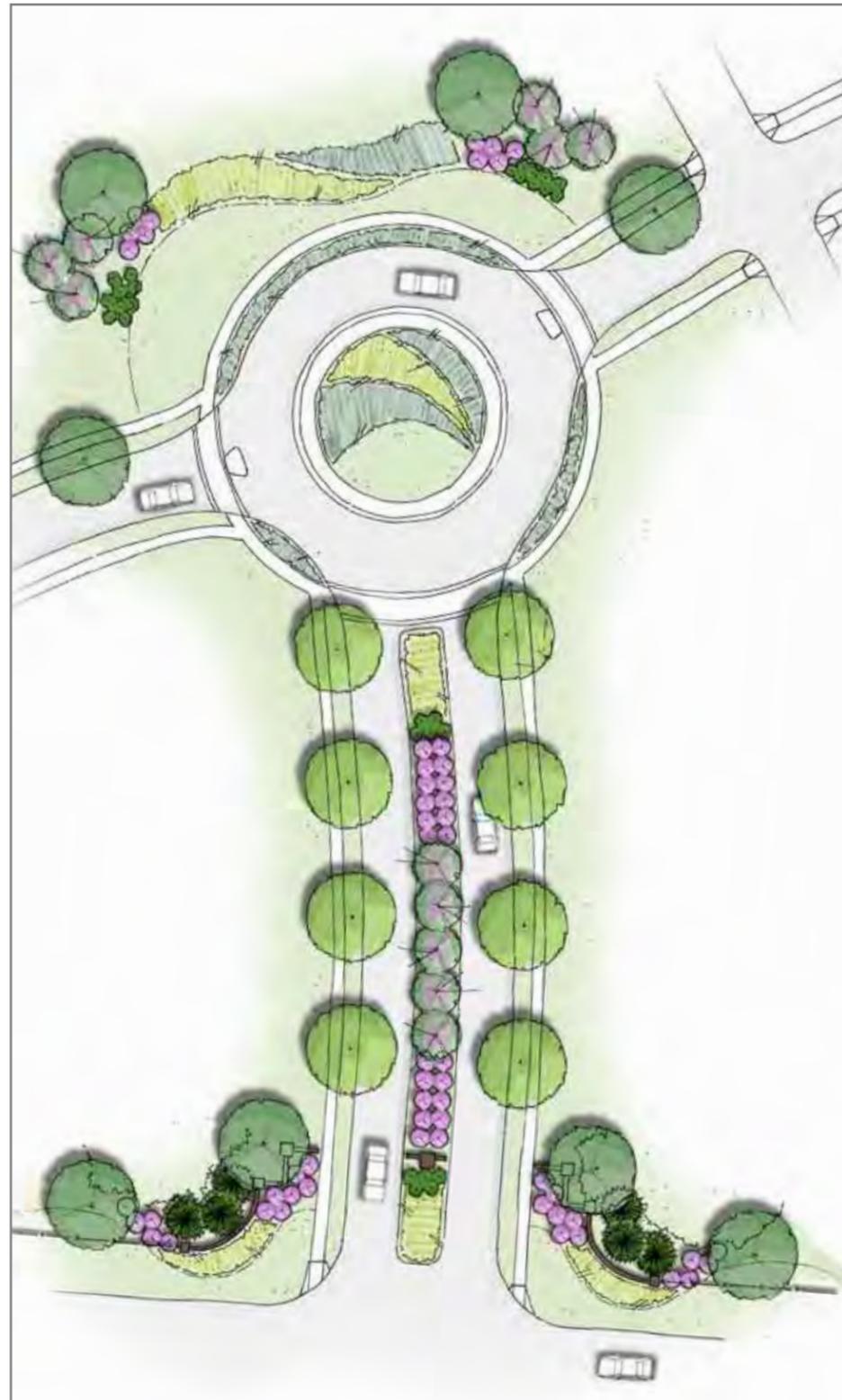
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public	+/- 12,700 LF (127,000 SF / 2.91 AC)
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)



PERIMETER LANDSCAPE BUFFER: CLASS C (typical)





**ENTRY FEATURE /
ROUNDAABOUT (TYPICAL)**

DESIGN ELEMENTS

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
 - (+/- 16) Trees
 - (+/- 75) Shrubs



GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)

DESIGN ELEMENTS

1. Trail
2. Seating

Recreation and Open Space

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

ROUND-ABOUTS

Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

GREENWAY TRAIL AND SCENIC OVERLOOK

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



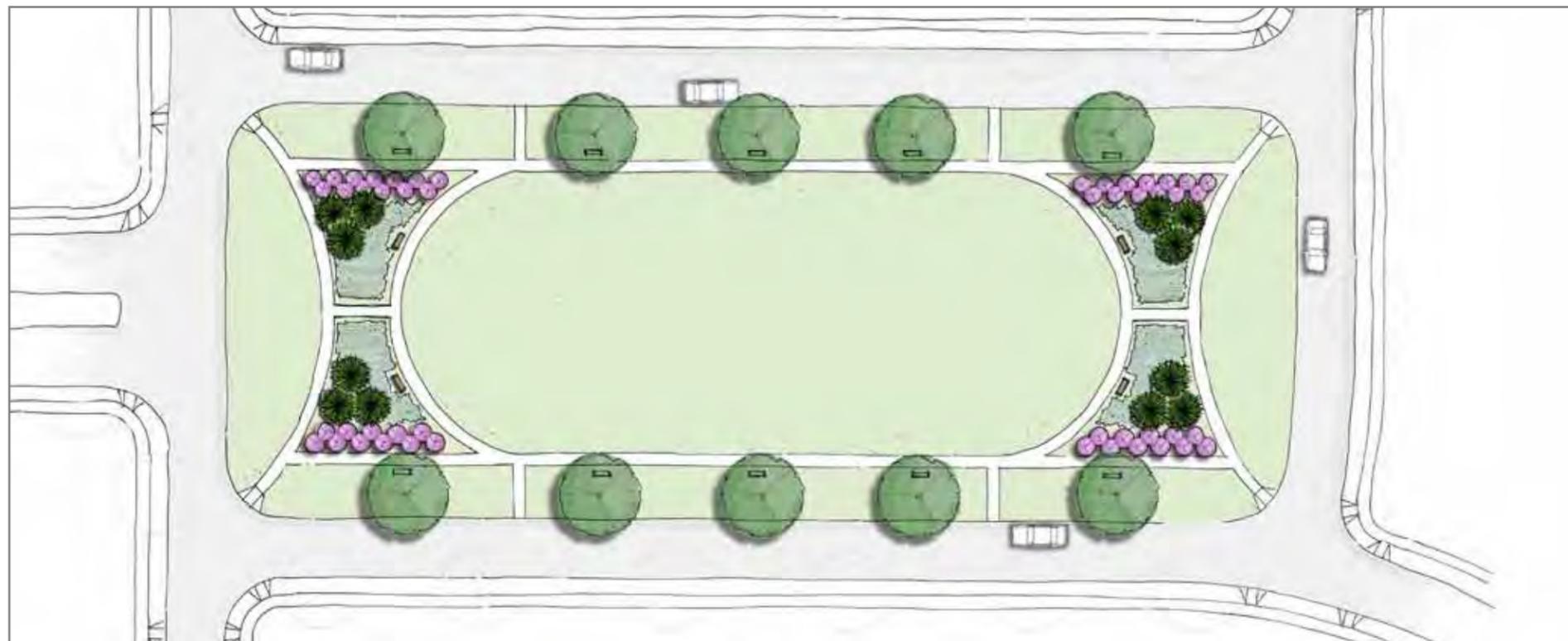
POCKET PARKS

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

"TOT LOT" (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Play Structure
3. Landscaping



POCKET PARK (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Sidewalk
3. Landscaping

Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum of 4,500 square feet. Single family homes should be clustered together throughout the community.

LOT STANDARDS

- Lot standards shall be as follows:
 - The minimum lot size shall be 4,500 square feet and no maximum is established.
 - The minimum lot width shall be 40' and no maximum is established.
 - The minimum lot depth shall be 100' and no maximum is established.
 - The maximum lot coverage shall be 70%
 - The maximum lot impervious area shall be 75%
- Setbacks shall be as follows:

Front Setback - Minimum	10'
Side Interior Setback	4'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	35'
Accessory	5'

- Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
- Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.
- The buildable zone is the area defined and bounded by the setbacks on all property lines.
- A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
- Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

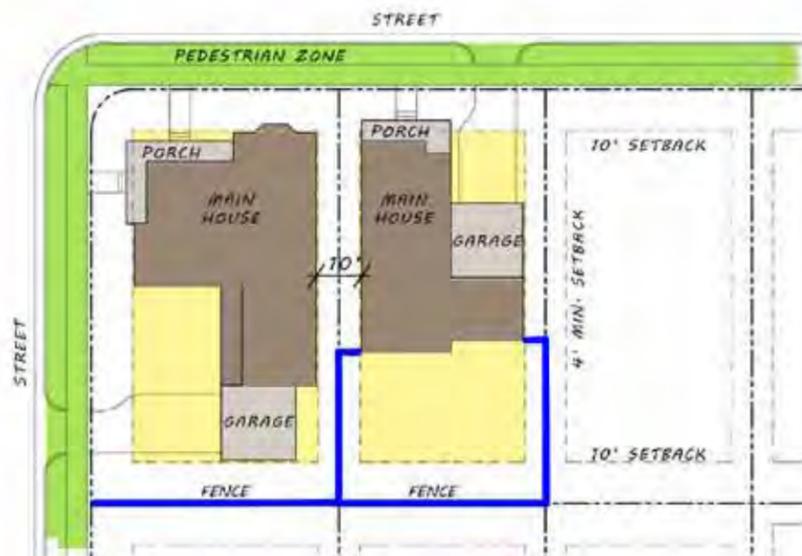
PERMITTED USES AND DIMENSIONAL STANDARDS

- Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and maybe alley loaded. They may also have accessory apartments and/or living spaces above.
- Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
- Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
- Fences may be located on the property line (0' setback).

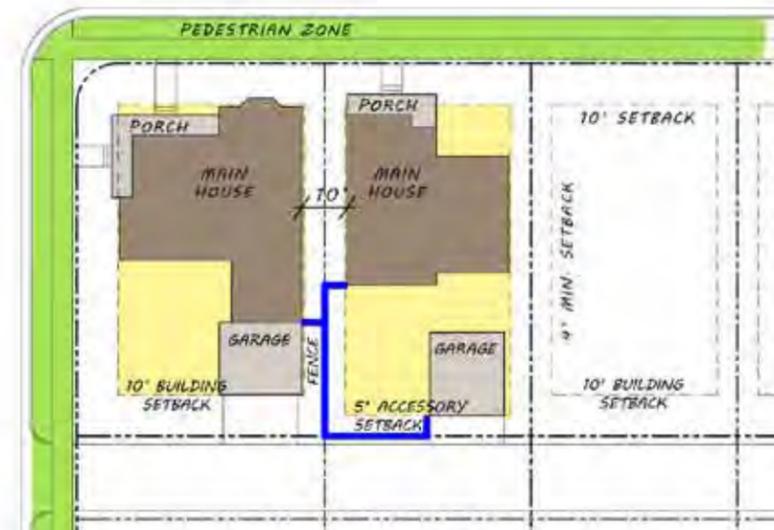
- Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

- Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
- Front porches should be no less than 5' in depth and may be at grade.
- All single family detached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Single Family - Street Access



Lot Type: Single Family - Alley Access



Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 1,000 square feet and no maximum is established.
 - b. The minimum lot width shall be 16' and no maximum is established.
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 70%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	5'
Side Interior Lot Setback	0'
Side Street Setback - Minimum	5'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	45'
Accessory	5'
3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

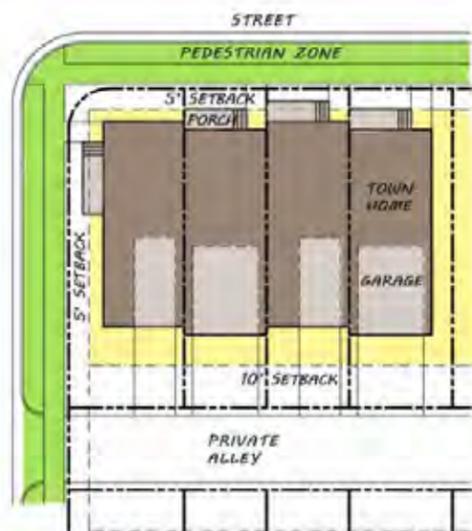
4. The buildable zone is the area defined and bounded by the setbacks on all property lines.
5. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
6. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

PERMITTED USES AND DIMENSIONAL STANDARDS

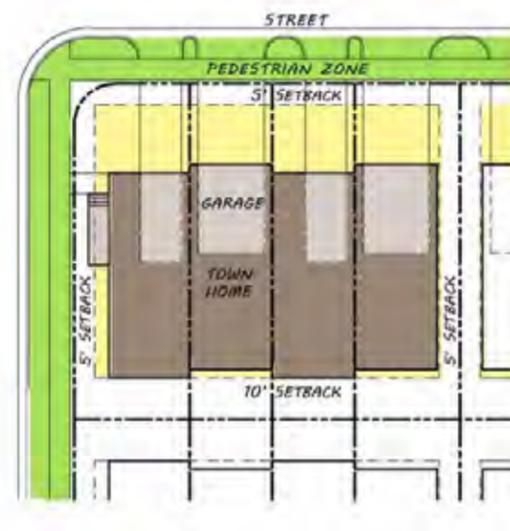
1. Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and maybe be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.
2. Party walls shall be fire rated in accordance with international building code.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

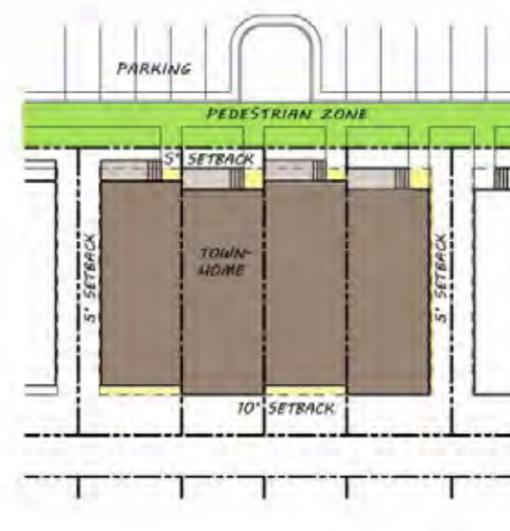
1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. There is no minimum lot size established.
- b. There is no minimum lot width established.
- c. There is no minimum lot depth established.
- d. The maximum lot coverage shall be 80%
- e. The maximum lot impervious area shall be 80%

2. Setbacks shall be as follows:

Front Setback - Minimum	0'
Side Interior Lot Setback	5' (20' min. between buildings)
Side Street Setback - Minimum	0'
Rear Setback - Minimum	5'
Height - Maximum	55'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Minimum building to building separation is 20'
5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.
6. The buildable zone is the area defined and bounded by the setbacks on all property lines.
7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips
8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

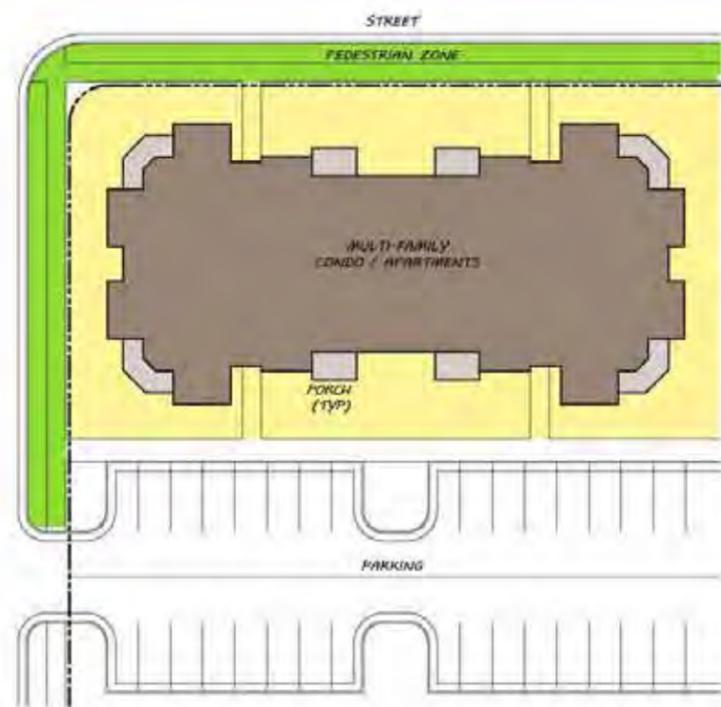
PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.
2. Party walls shall be fire rated in accordance with international building code.
3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

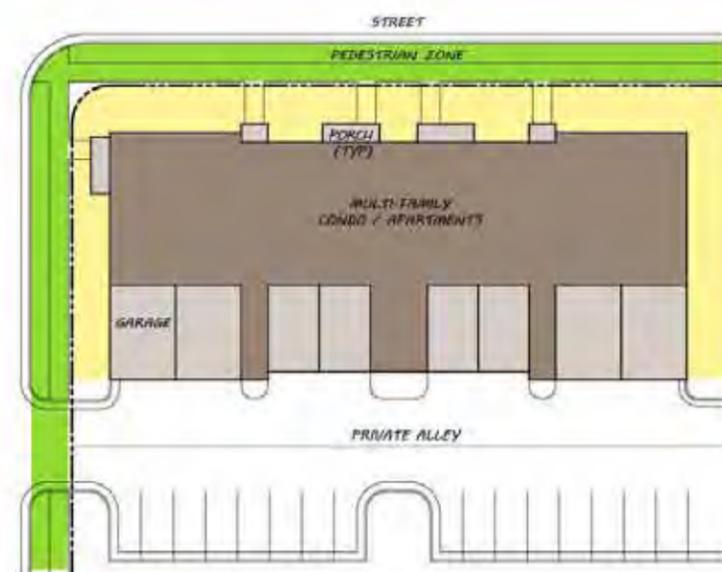
4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in .

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. Balconies or porches are shall be encouraged.
3. All multi- family units will require review by the Architectural Review Committee (see page 12).



Lot Type: Multi-Family - Surface Parking



Lot Type: Multi-Family - Alley Access



Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenway connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. There is no minimum lot size established.
 - b. There is no minimum lot width established.
 - c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

Front Setback - Minimum	15'
Side Interior Lot Setback	5' (10' min. between buildings)
Side Street Setback - Minimum	10'
Rear Setback - Minimum	5'
Height - Maximum	45'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Building entrances should be developed as pedestrian plazas for gatherings.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line but may also include an area along the edge of a public space. The pedestrian zone will include minimum 5' sidewalks and planting strips along building fronts.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.
8. Parking and service areas should be located towards the sides or rear of buildings. Where site conditions or other limiting circumstances result in a building fronting a upon a parking area, a pedestrian zone shall be provided from the back of curb to the outer edge of the sidewalk in a similar manner to that provided along a street.
9. Multi-purpose trails, outdoor seating and other spaces, i.e. docks, viewing areas, etc. maybe provided along the waterfront.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.
5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. All single community buildings will require review by the Architectural Review Committee (see page 12).



Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 6,000 square feet
 - b. The minimum lot width shall be 50'
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 75%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	20'
Side Interior Lot Setback	10'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	20'
Zero Lot Line Side Setback	0'
Height - Maximum	80'

PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).



Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.
- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)
- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.
- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.
- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.
- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

Phasing

OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251st residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

DEVELOPMENT NAME CHANGE

The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

Appendix

COVER	SHEET 0
EXISTING CONDITIONS	SHEETS 1-3
MASTER PLAN	SHEET 4
PHASING PLAN	SHEET 5
OPEN SPACE PLAN	SHEET 6
VEHICULAR AND PEDESTRIAN PLAN	SHEET 7
STREET WAIVER REQUESTS	SHEET 8
SANITARY SEWER PRELIMINARY EVALUATION DETAIL	SHEET 9



Know what's below.
Call before you dig.

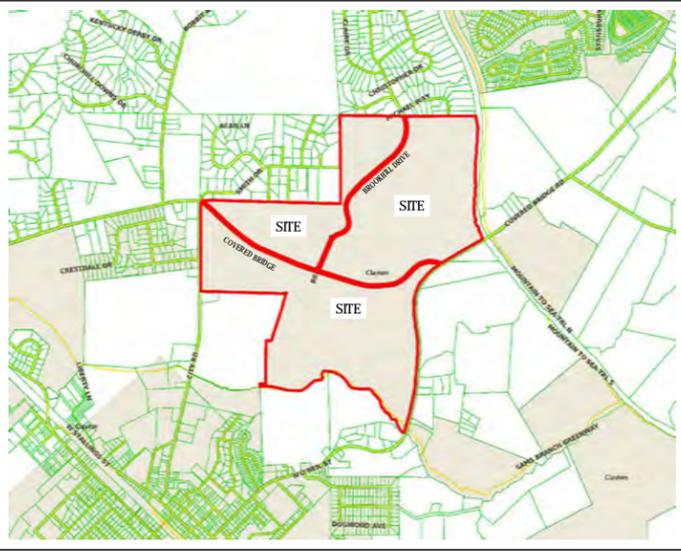
PSD 2014-128 & PDD 2014-127

Preliminary Plat Review (Major Subdivision)

1st Submittal: October 01, 2014
2nd Submittal: October 24, 2014
3rd Submittal: November 10, 2014
4th Submittal: January 7, 2015
5th Submittal: January 14, 2015
6th Submittal: January 20, 2015

Steeplechase Subdivision

1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

Vicinity Map	Project Team	Notes	Sheet Index																												
 <p>PIN NUMBER(S): 166900-38-4997 DEED: BOOK 03897, PAGE 0735 SITE ARE: 27,488.974 SF/631.06 AC (ASSESSED ACREAGE); 27,488.102 SF/631.04 AC (CALC. ACREAGE) ZONING(S): R-8, R-10, NEIGHBORHOOD BUSINESS (B-2) HORIZONTAL AND VERTICAL DATUM: NAD 83 F & NAVD 88 F</p>	<p>OWNER: <i>Nancy Crews Earp & Mary Earp Worley</i> 7230 NC 42 East Selma, North Carolina 27576 919-965-5793 & 919-915-1515 nancyearp@bellsouth.net winkworley@gmail.com</p> <p>DEVELOPER: <i>Galaxy NC, LLC</i> c/o Wakefield Development Company 3100 Smoketree Court, Suite 210 Raleigh, North Carolina 27604 919-556-4310 919-556-0690 (fax) kem@wakedev.com</p> <p>CONSULTANTS: <i>landscape architect</i> JDavis Architects, PLLC 510 Glenwood Avenue, Suite 201 Raleigh, North Carolina 27603 919-835-1500 919-835-1510 (fax) kent@jdavisarchitects.com</p> <p><i>landscape architect</i> Jerry Turner & Associates, INC 905 Jones Franklin Road Raleigh, North Carolina 27606 919-851-7150 919-851-7547 (fax) whood@jerryturnerassoc.com</p> <p>engineer <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Moore@McAdamsCo.com</p> <p>surveyor <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Frederick@McAdamsCo.com</p> <p>traffic engineer <i>Davenport</i> 305 West Forth Street, Suite 2A Winston-Salem, North Carolina 27101 336-744-1636 336-458-9377 (fax)</p> <p>Environmental <i>Spangler Environmental, INC</i> 4338 Bland Road Raleigh, North Carolina 27609 919-875-4288 919-546-0757 (fax)</p>		<p>COVER _____ 0 EXISTING CONDITIONS PLAN _____ 1-3 EXISTING CONDITIONS PLAN _____ 2-3 EXISTING CONDITIONS PLAN _____ 3-3 MASTER PLAN _____ 4 PHASING PLAN _____ 5 RECREATION & OPEN SPACE PLAN _____ 6 VEHICULAR & PEDESTRIAN CIRCULATION PLAN _____ 7 STREET WAIVER REQUESTS _____ 8</p> <table border="1"> <thead> <tr> <th>PROJECT:</th> <th>WDC-14080</th> <th>DATE</th> <th>10.01.2014</th> </tr> </thead> <tbody> <tr> <td>ISSUE:</td> <td>Preliminary Plat Review</td> <td>10.01.2014</td> <td></td> </tr> <tr> <td>REVISIONS:</td> <td>1st Review Comments</td> <td>10.24.2014</td> <td></td> </tr> <tr> <td></td> <td>2nd Review Comments</td> <td>11.10.2014</td> <td></td> </tr> <tr> <td></td> <td>3rd Review Comments</td> <td>01.07.2015</td> <td></td> </tr> <tr> <td></td> <td>4th Review Comments</td> <td>01.14.2015</td> <td></td> </tr> <tr> <td></td> <td>5th Review Comments</td> <td>01.20.2015</td> <td></td> </tr> </tbody> </table> <p>DRAWN BY: SB CHECKED BY: KT CONTENT: COVER</p> <p>0</p>	PROJECT:	WDC-14080	DATE	10.01.2014	ISSUE:	Preliminary Plat Review	10.01.2014		REVISIONS:	1st Review Comments	10.24.2014			2nd Review Comments	11.10.2014			3rd Review Comments	01.07.2015			4th Review Comments	01.14.2015			5th Review Comments	01.20.2015	
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GALAXY ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, PLLC.

JDAVIS ARCHITECTS
 310 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500 | Fax 919.835.1510
 PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, North Carolina 27520

PRELIMINARY PLAT REVIEW
 (Major Subdivision)
 Not for Construction



VICINITY MAP
NOT TO SCALE

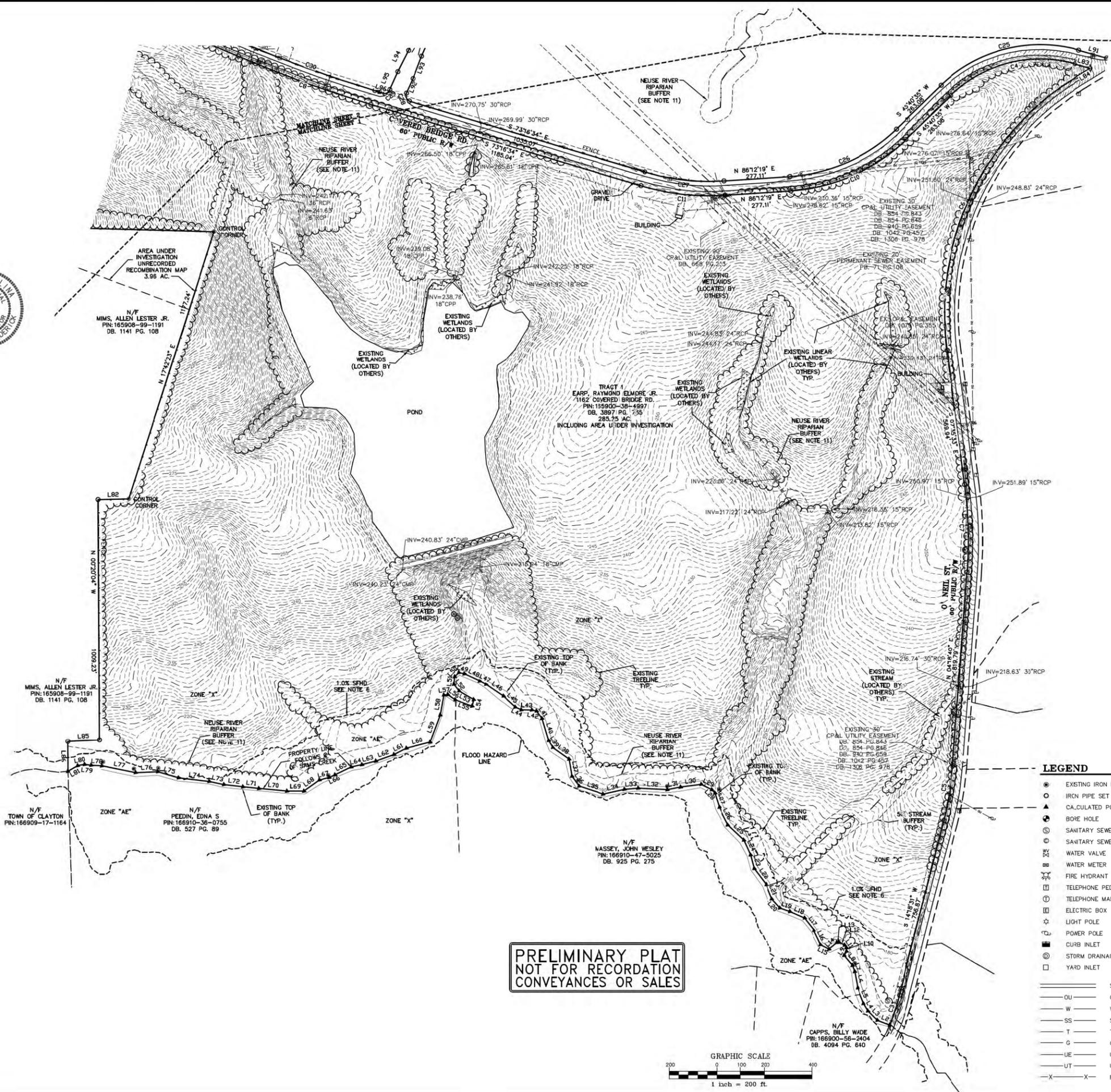
I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS

DAY OF _____ A.D. 2014.

RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (X(1)(1)(C)). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

RONALD T. FREDERICK PLS L-4720



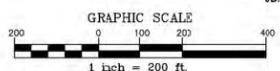
GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY FEMA FIRM COMMUNITY PANEL #372016900J & 372017600J DATED DECEMBER 2, 2005
- REFERENCES: PG. 8 PG. 73 & DB. 3897 PG. 735 OF THE JOHNSTON COUNTY REGISTRY. PIN: 165900-48-9997
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER RIPARIAN BUFFERS MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL)

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER WANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE WANHOLE
- ⊙ YARD INLET
- OU— STORM DRAIN PIPE
- W— OVERHEAD UTILITY LINES
- W— WATER LINE
- SS— SANITARY SEWER LINE
- T— TELEPHONE LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- X— UNDERGROUND TELEPHONE
- X— FENCE LINE



THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-02893
(800) 755-5646 • McAdamsCo.com



REVISIONS:

NO.	DATE	DESCRIPTION

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

PROJECT NO.	WDL14000
FILENAME:	WDL14000-C1
SURVEYED BY:	RTF
DRAWN BY:	JBT
SCALE:	1"=200'
DATE:	10-29-2014
SHEET NO.	1-3

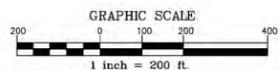
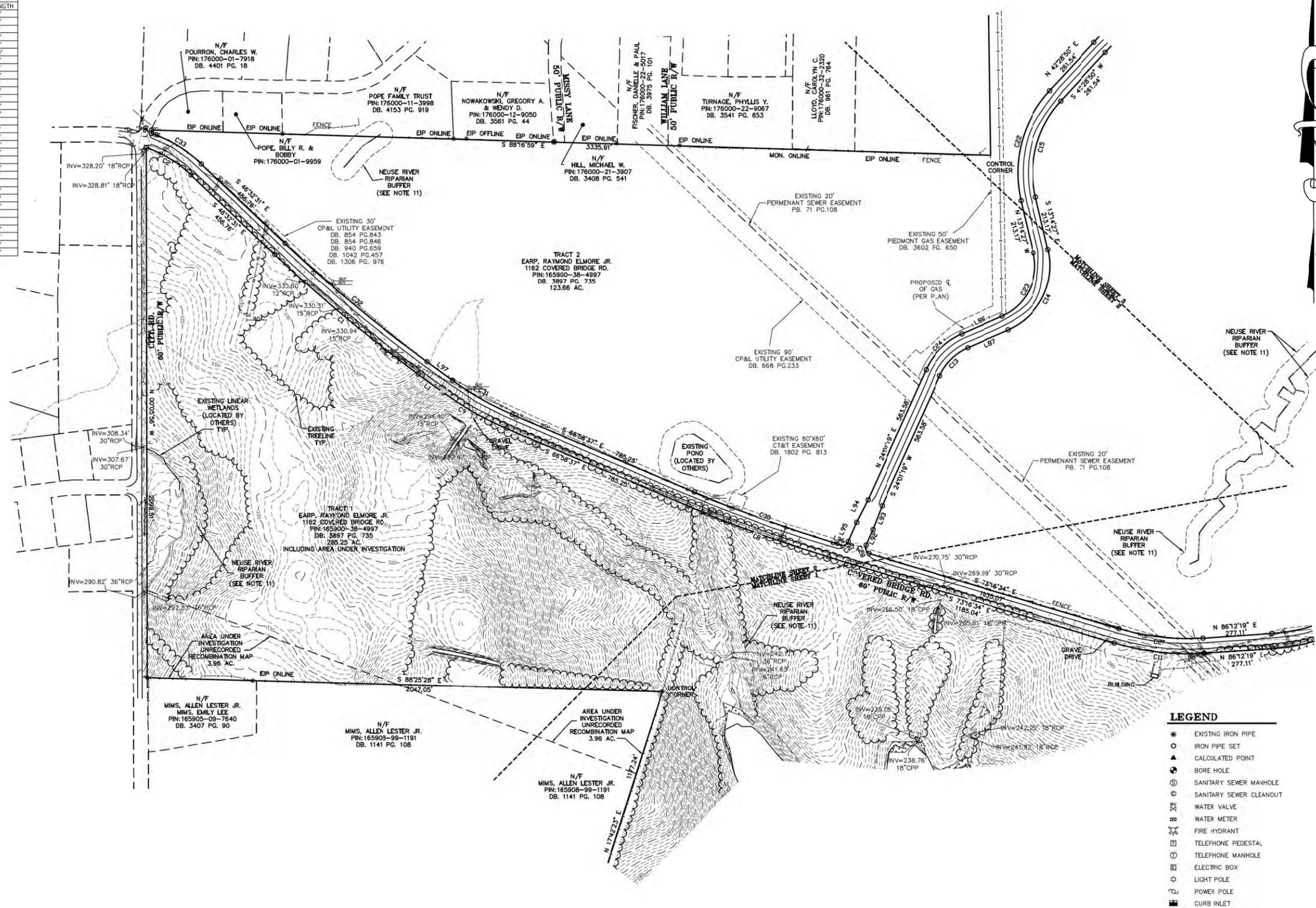


GENERAL NOTES

- SEE LINE AND CURVE TABLES THIS SHEET
- SEE SHEET 1 FOR GENERAL NOTES

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5850.00'	743.38'	S 50°10'56" E	742.89'
C2	490.00'	208.52'	N 58°43'58" W	206.95'
C3	1060.00'	130.94'	N 17°50'51" E	130.86'
C4	536.30'	563.06'	S 75°45'12" W	537.55'
C5	1320.00'	229.78'	N 09°17'53" E	229.49'
C6	1165.00'	1341.49'	S 25°13'43" V	1268.60'
C7	1770.00'	367.74'	N 01°38'27" W	367.08'
C8	5430.00'	593.47'	S 70°08'42" E	593.18'
C9	1250.00'	286.98'	S 60°23'59" E	286.35'
C10	766.00'	541.84'	N 05°36'27" E	530.61'
C11	1005.00'	359.91'	S 03°32'07" E	357.99'
C12	220.00'	160.96'	S 44°58'32" V	157.39'
C13	280.00'	386.96'	N 26°20'59" E	356.89'
C14	420.00'	408.46'	S 14°37'12" W	392.55'
C15	1170.00'	150.20'	S 46°09'30" W	150.10'
C16	1230.00'	318.44'	N 42°24'53" E	317.25'
C17	880.00'	828.39'	N 08°01'31" E	798.14'
C18	820.00'	793.21'	N 07°16'53" E	762.65'
C19	1170.00'	303.10'	N 42°24'53" E	302.25'
C20	1830.00'	157.91'	S 46°09'30" W	157.80'
C21	480.00'	466.81'	S 14°37'12" W	448.63'
C22	220.00'	304.03'	N 26°20'59" E	280.41'
C23	280.00'	204.85'	S 44°58'32" V	200.31'
C24	596.30'	626.05'	S 75°45'12" W	597.69'
C25	706.00'	499.40'	N 05°36'27" E	489.05'
C26	945.00'	338.42'	S 03°32'07" E	336.62'
C27	250.00'	37.96'	S 19°28'31" E	34.41'
C28	250.00'	27.51'	N 50°46'53" E	26.14'
C29	5370.00'	586.92'	S 70°08'42" E	586.62'
C30	1190.00'	273.21'	S 60°23'59" E	272.61'
C31	5790.00'	735.76'	S 50°10'56" E	735.26'
C32	530.00'	234.05'	N 58°43'58" W	232.29'

LINE	BEARING	DISTANCE
L1	N 53°49'21" W	125.41'
L2	S 68°22'48" E	54.82'
L3	S 45°00'04" E	55.30'
L4	S 31°01'56" E	35.81'
L5	S 21°35'11" E	71.21'
L6	S 10°46'33" E	69.38'
L7	S 20°18'57" E	27.57'
L8	S 39°28'49" E	54.26'
L9	S 30°18'17" W	19.74'
L10	S 03°25'08" E	15.80'
L11	S 32°52'53" E	12.50'
L12	S 63°36'45" E	25.28'
L13	N 88°22'42" E	9.46'
L14	N 48°48'30" E	42.88'
L15	S 62°17'19" E	40.34'
L16	S 25°28'08" E	68.84'
L17	S 37°32'55" E	64.95'
L18	S 65°49'20" E	66.77'
L19	S 70°20'45" E	44.26'
L20	S 41°43'41" E	50.71'
L21	S 22°10'52" E	65.37'
L22	S 36°58'10" E	84.09'
L23	S 14°58'39" E	59.02'
L24	S 24°21'23" E	68.05'
L25	S 46°14'39" E	92.25'
L26	S 28°18'23" E	63.28'
L27	S 17°41'06" E	61.58'
L28	S 43°38'40" E	20.09'
L29	S 62°50'21" E	49.48'
L30	S 82°17'59" E	86.87'
L31	N 70°17'07" E	87.40'
L32	S 87°03'50" E	122.72'
L33	N 85°03'51" E	57.26'
L34	N 77°00'51" E	90.83'
L35	S 71°47'00" E	108.59'
L36	S 35°43'08" E	85.80'
L37	S 09°25'19" E	72.95'
L38	S 54°19'50" E	84.79'
L39	S 31°07'13" E	34.06'
L40	S 16°40'18" E	98.00'
L41	S 36°01'29" E	38.80'
L42	S 77°32'10" E	19.64'
L43	S 89°22'39" E	44.35'
L44	S 65°23'15" E	27.92'
L45	S 47°04'21" E	68.54'
L46	S 55°50'59" E	87.81'
L47	S 62°48'31" E	29.70'
L48	S 65°02'29" E	71.02'
L49	S 77°48'47" E	24.70'
L50	N 45°06'00" E	24.51'
L51	N 08°23'27" E	31.73'
L52	N 38°27'00" W	35.79'
L53	N 59°28'45" W	71.72'
L54	N 13°37'28" E	28.25'
L55	S 69°33'57" E	76.68'
L56	S 54°46'22" E	37.78'
L57	N 83°46'40" E	16.73'
L58	N 10°10'06" E	85.68'
L59	N 20°09'29" E	122.53'
L60	N 75°31'08" E	103.55'
L61	N 62°57'11" E	58.40'
L62	N 70°05'52" E	80.21'
L63	N 75°47'12" E	61.28'
L64	N 77°51'09" E	46.17'
L65	N 63°46'59" E	75.51'
L66	N 64°46'25" E	28.12'
L67	N 76°28'40" E	43.61'
L68	N 53°48'52" E	79.19'
L69	S 89°58'29" E	72.73'
L70	S 84°41'21" E	117.79'
L71	S 84°03'12" E	68.10'
L72	S 83°05'53" E	80.01'
L73	S 77°52'22" E	62.52'
L74	S 83°23'33" E	130.27'
L75	S 73°28'38" E	90.61'
L76	N 87°44'54" E	93.77'
L77	S 78°45'25" E	144.94'
L78	S 86°29'45" E	44.76'
L79	S 83°27'49" E	27.87'
L80	N 79°58'30" E	29.29'
L81	N 59°40'56" E	47.26'
L82	N 88°47'08" E	129.50'
L83	S 74°10'10" E	66.56'
L84	S 58°23'00" W	68.68'
L85	N 87°30'58" E	132.30'
L86	N 00°29'04" W	126.60'
L87	S 65°56'25" W	175.32'
L88	N 65°56'25" E	175.32'
L89	S 27°17'20" E	193.81'
L90	S 26°51'53" E	18.08'
L91	S 74°10'10" E	121.21'
L92	S 24°01'19" W	67.23'
L93	S 21°09'34" W	100.12'
L94	N 26°53'04" E	100.12'
L95	N 24°01'19" E	82.37'
L96	S 73°18'34" E	43.63'
L97	N 53°49'21" W	125.41'
L98	S 05°44'14" W	14.80'



**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- STORM DRAIN PIPE
- OU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No. C-0285
(800) 755-5646 • McAdamsCo.com



REVISIONS:

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKEFREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

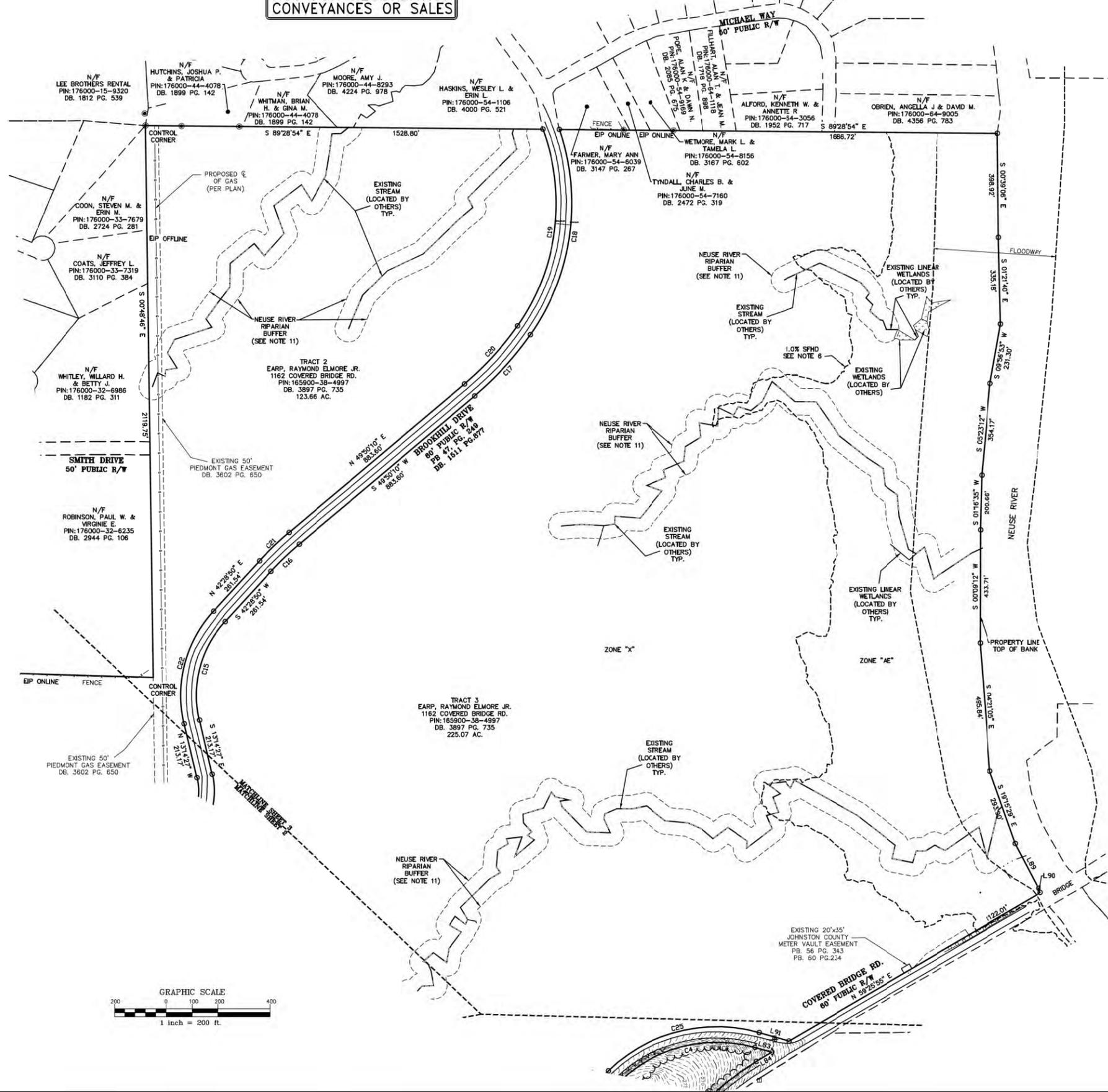
PROJECT NO. WDL-14000
FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 2-3

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GENERAL NOTES

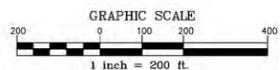
- SEE SHEET 2 FOR LINE AND CURVE TABLES.
- SEE SHEET 1 FOR GENERAL NOTES.

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**



LEGEND

- EXISTING IRON PIPE
 - IRON PIPE SET
 - ▲ CALCULATED POINT
 - ⊙ BORE HOLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SANITARY SEWER CLEANOUT
 - ⊙ WATER VALVE
 - ⊙ WATER METER
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-
- STORM DRAIN PIPE
 - OU OVERHEAD UTILITY LINES
 - W WATER LINE
 - SS SANITARY SEWER LINE
 - T TELEPHONE LINE
 - G GAS LINE
 - UE UNDERGROUND ELECTRIC
 - UT UNDERGROUND TELEPHONE
 - X — X — FENCE LINE



NC GRID NAD 83(2011)

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REVISIONS:

NO.	DATE	DESCRIPTION

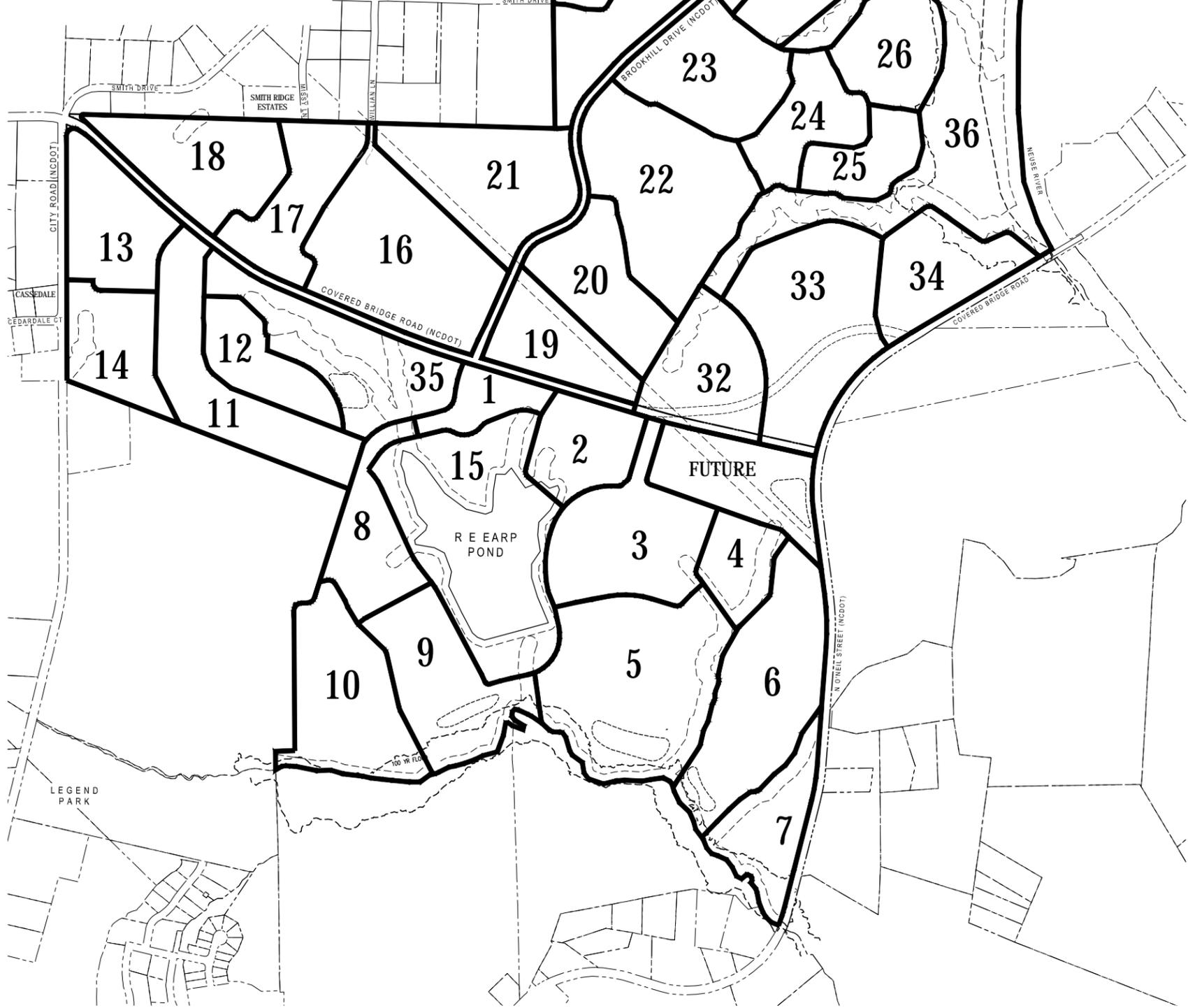
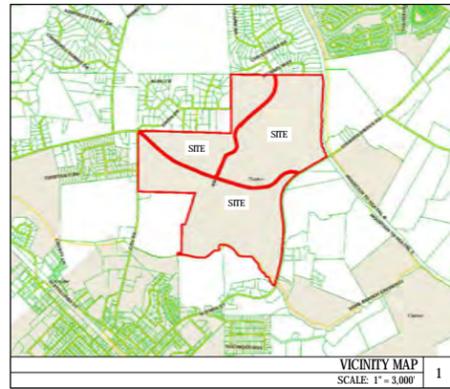
SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

PROJECT NO. WDL-14000
FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 3-3

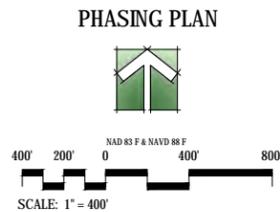


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NOTES:
 THE CLUBHOUSE PERMIT SHALL BE
 REQUIRED PRIOR TO THE 251ST
 BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 9.95
3	+/- 19.23
4	+/- 7.11
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 9.52
13	+/- 13.27
14	+/- 11.06
15	+/- 34.64
16	+/- 26.84
17	+/- 12.35
18	+/- 16.06
19	+/- 10.78
20	+/- 13.79
21	+/- 19.61
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 14.45
33	+/- 26.13
34	+/- 12.97
35	+/- 18.63
36	+/- 54.25
FUTURE	+/- 13.51
TOTAL	+/- 637.00



J DAVIS ARCHITECTS
 910 Oldwood Ave., Suite 201 | Raleigh, NC 27603 | Tel: 919.855.1500 | Fax: 919.855.1510
 PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520



Preliminary Plat Review
 (Major Subdivision)
 Not for Construction

PROJECT:	WDC-14080	DATE:	10.01.2014
ISSUE:	Prelim. Plat (Maj Sub)	DATE:	10.01.2014
REVISIONS:			
1st Review Comments		DATE:	10.24.2014
2nd Review Comments		DATE:	11.10.2014
3rd Review Comments		DATE:	01.07.2015
4th Review Comments		DATE:	01.14.2015
5th Review Comments		DATE:	01.20.2015
DRAWN BY: KT, SB			
CHECKED BY: KT			
CONTENT: PHASING PLAN			

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REQUIRED ACTIVE RECREATION SPACE
64.98 ac x 25% = 16.245 AC

REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%

OPEN SPACE PROVIDED

Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%

LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public	+/- 12,700 LF (127,000 SF / 2.91 AC)
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)

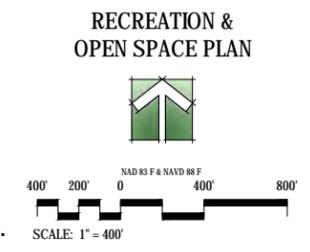
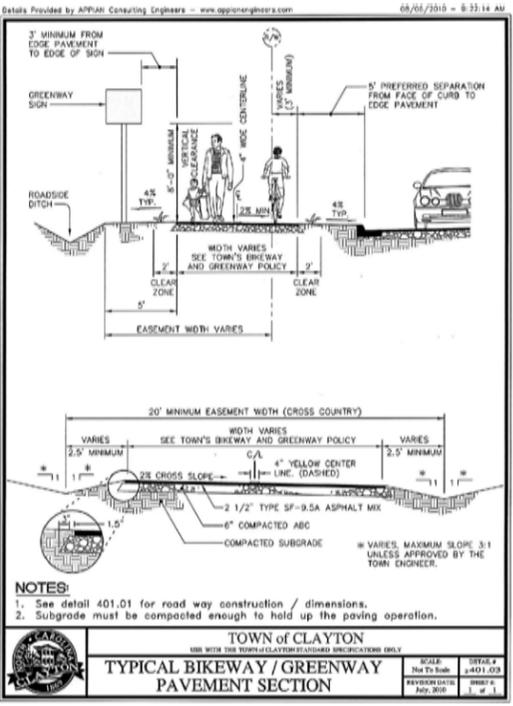
ACTIVE RECREATION SPACE BREAKDOWN

Clubhouse	7.02 AC
Greenway	3.07 AC
Parks	19.13 AC

NOTES:
ALL ACTIVE RECREATION SITES/PARKS MUST RECEIVE SEPARATE SITE PLAN APPROVAL.

LEGEND:

- ACTIVE RECREATIONAL OPEN SPACE
- PASSIVE OPEN SPACE
- RIPARIAN BUFFERS AND FLOODPLAIN
- 20' TYPE "C" PERIMETER BUFFER
- PROPOSED SAM'S BRANCH GREENWAY - PHASE II BY OTHERS
- EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
- PROPOSED PRIVATE GREENWAY
- PROPOSED PUBLIC 10' MULTI-PURPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
- DOUBLE SIDEWALK
- SIDEWALK AND GREENWAY



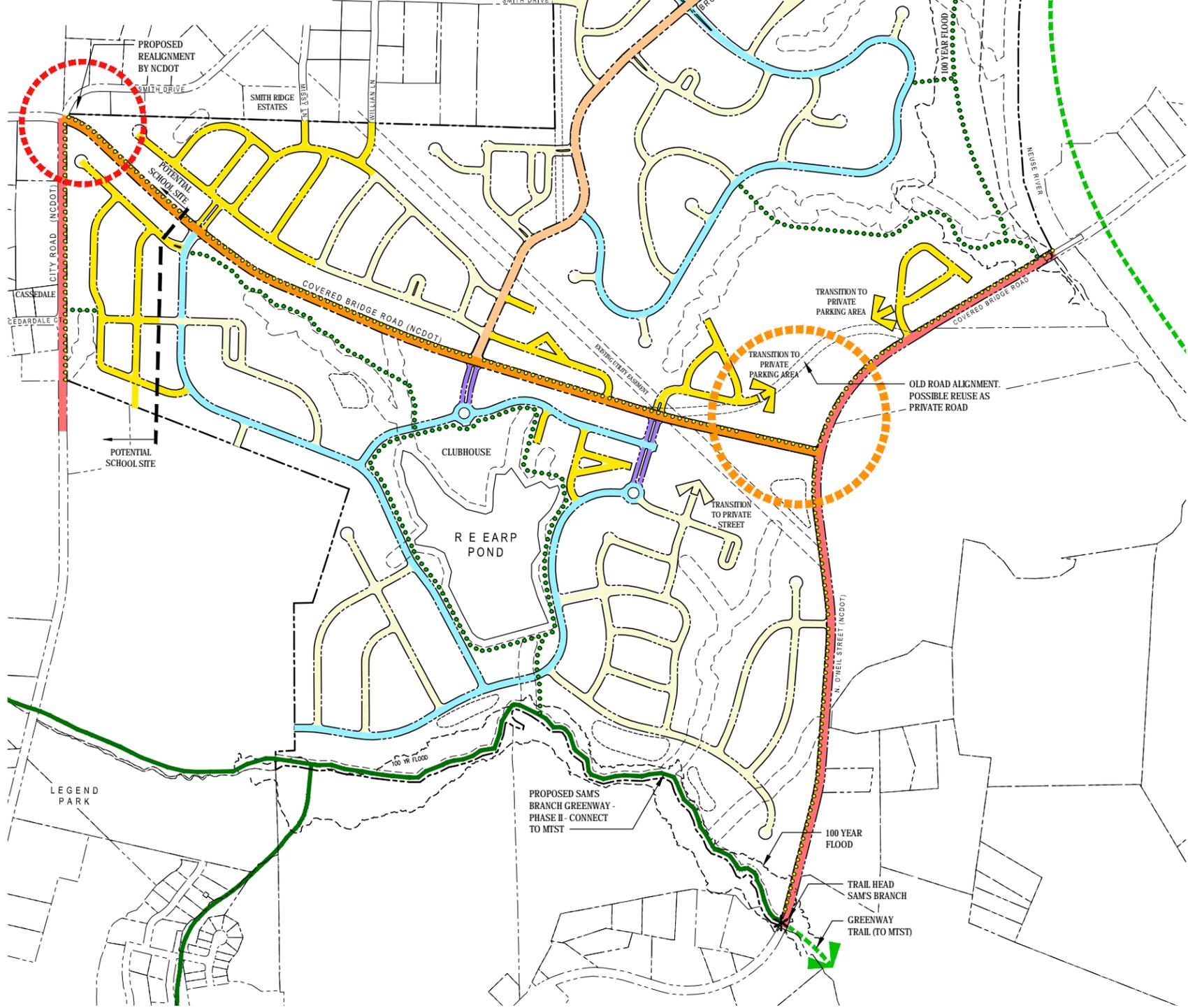
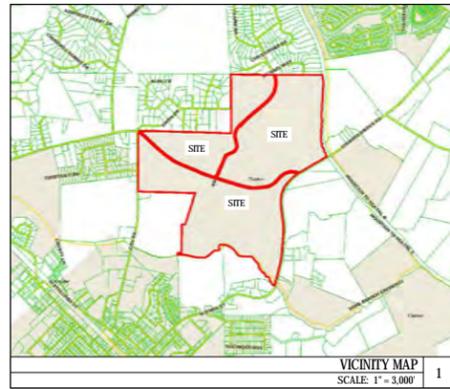
Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520



Preliminary Plat Review
(Major Subdivision)
Not for Construction

REVISIONS:	DATE
1st Review Comments	10.24.2014
2nd Review Comments	11.10.2014
3rd Review Comments	01.07.2015
4th Review Comments	01.14.2015
5th Review Comments	01.20.2015

DRAWN BY: KT, SB
CHECKED BY: KT
CONTENT: RECREATION & OPEN SPACE PLAN



- WAIVER REQUESTS:**
- ALL INTERNAL STREETS WILL HAVE SIDEWALK ON AT LEAST ONE SIDE TO PROVIDE A NETWORK OF PEDESTRIAN ACCESS THROUGHOUT THE SITE AND CONNECTION TO THE PRIVATE INTERNAL GREENWAY THAT WILL CONNECT TO THE FUTURE SAM'S BRANCH GREENWAY EXTENSION.
 - THIS PROPOSAL REQUESTS THAT IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 - *3 PROPOSED RESIDENTIAL STREET WITH CAL-DE-SAC EXCEEDS TOWN OF CLAYTON MAXIMUM LENGTH. REQUEST APPROVAL OF 1,000 LF CAL-DE-SAC.
 - THIS PROPOSAL REQUESTS THAT ALL PLANTER STRIPS BE INCREASED TO 6' WIDE AND THAT TREE SPECIES ARE TO BE APPROVED BY THE PLANNING DIRECTOR.

- STREET TREES NOTES:**
- STREET STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART
 - ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

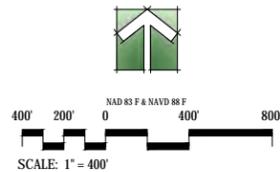
REFER SHEET 8 OF 8 FOR STREET WAIVER REQUESTS

- LEGEND:**
- PROPOSED ROAD REALIGNMENT BY DEVELOPER
 - PROPOSED ROAD REALIGNMENT BY NCDOT
 - EXISTING BROOKHILL DRIVE (NCDOT)
 - EXISTING COVERED BRIDGE ROAD (NCDOT)
 - EXISTING COLLECTOR STREET
 - N. O'NEIL STREET (NCDOT)
 - BUILD 1/2 OF 41' BACK TO BACK ROAD
 - CITY ROAD (TOWN OF CLAYTON)
 - BUILD 1/2 OF 41' BACK TO BACK ROAD
 - RESIDENTIAL COLLECTOR STREET (PUBLIC)
 - RESIDENTIAL MAIN ENTRANCE (ALT "B")
 - RESIDENTIAL STREET (PUBLIC)
 - RESIDENTIAL STREET (PRIVATE)
 - PROPOSED SAM'S BRANCH - PHASE II BY OTHERS
 - EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
 - PROPOSED PRIVATE GREENWAY
 - PROPOSED PUBLIC 10' MULTI-PUPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD

NOTE:

THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

VEHICULAR & PEDESTRIAN CIRCULATION PLAN



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Galaxy NC, LLC
c/o Wakefield Development Company

Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

PSD 2014-128 & PDD 2014-127

Preliminary Plat Review
(Major Subdivision)
Not for Construction

PROJECT:	WDC-14080	DATE:	10.01.2014
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	3rd Review Comments	01.07.2015	
	4th Review Comments	01.14.2015	
	5th Review Comments	01.20.2015	

DRAWN BY: KT, SB
CHECKED BY: KT
CONTENT: VEHICULAR & PEDESTRIAN CIRCULATION PLAN

7

Steeplechase Sanitary Sewer Preliminary Evaluation

McAdams
5-Jan-15

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

<u>Residential Unit Type</u>	<u>Res. Units/SF</u>	<u>Bedrooms</u>	<u>WW Flow Rate per Unit</u>	<u>gpd</u>	<u>Average WW Flow</u>	<u>cfs</u>	<u>Record Lots</u>
					<u>gpm</u>		<u>date</u>
Phase 1							
Open Space							
Phase 2							
Townhome	65	2.5	250 gal/day-unit	16,250	11	0.025	July-15
Phase 3							
Single Family (65-70)	68	4	250 gal/day-unit	17,000	12	0.026	July-15
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 4							
Single Family (65-70)	18	4	250 gal/day-unit	4,500	3	0.007	July-15
Subtotal	151			37,750			
Phase 5							
Single Family (65-70)	83	4	250 gal/day-unit	20,750	14	0.032	July-16
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 6							
Single Family (65-70)	77	4	250 gal/day-unit	19,250	13	0.030	July-16
Phase 7							
Single Family (65-70)	10	4	250 gal/day-unit	2,500	2	0.004	July-16
Phase 8							
Single Family (65-70)	38	4	250 gal/day-unit	9,500	7	0.015	July-16
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 9							
Single Family (65-70)	60	4	250 gal/day-unit	15,000	10	0.023	July-16
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Phase 10							
Single Family (65-70)	57	4	250 gal/day-unit	14,250	10	0.022	July-16
Single Family (50-55/60-65)	3.5		250 gal/day-unit	-	0	0.000	
Subtotal	325			81,250			
Phase 11							
Single Family (50-55/60-65)	60	3.5	250 gal/day-unit	15,000	10	0.023	July-17
Phase 12							
Single Family (50-55/60-65)	40	3.5	250 gal/day-unit	10,000	7	0.015	July-17
Phase 13							
Townhome	140	2.5	250 gal/day-unit	35,000	24	0.054	July-17
Phase 14							
Townhome	104	2.5	250 gal/day-unit	26,000	18	0.040	July-17
Subtotal	344			86,000			
Commercial							
Commercial / Retail	75,000	sf	0.13 gal/day-sf	9,750	7	0.015	July-18
Total Units Phases 1-14	820		Total WW Flow Phases 1-14	214,750	149	0.332	

Estimate of average daily flow of wastewater for Steeplechase (Phases 15-33):

<u>Residential Unit Type</u>	<u>Res. Units/SF</u>	<u>Bedrooms</u>	<u>WW Flow Rate per Unit</u>	<u>gpd</u>	<u>Average WW Flow</u>	<u>cfs</u>	<u>Recorded Lots</u>
					<u>gpm</u>		<u>date</u>
Phase 15							
Clubhouse / Amenity	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	July-18
Phase 16							
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	July-18
Phase 17							
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	July-18
Phase 18							
Townhome	80	2.5	250 gal/day-unit	20,000	14	0.031	July-18
Subtotal	270			68,605			
Phase 19							
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	July-19
Phase 20							
Single Family (50-55/60-65)	90	3.5	250 gal/day-unit	22,500	16	0.035	July-19
Phase 21							
Single Family (65-70/70-75)	80	4	250 gal/day-unit	20,000	14	0.031	July-19
Phase 22							
Single Family (65-70/70-75)	10	4	250 gal/day-unit	2,500	2	0.004	July-19
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	July-19
Phase 23							
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	July-19
Phase 24							
Single Family (50-55/60-65)	30	3.5	250 gal/day-unit	7,500	5	0.012	July-19
Subtotal	320			80,000			
Phase 25							
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	July-20
Phase 26							
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	July-20
Phase 27							
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	July-20
Phase 28							
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	July-20
Phase 29							
Single Family (65-70/70-75)	50	4	250 gal/day-unit	12,500	9	0.019	July-20
Phase 30							
Single Family (65-70/70-75)	60	4	250 gal/day-unit	15,000	10	0.023	July-20
Phase 31							
Townhome	75	2.5	250 gal/day-unit	18,750	13	0.029	July-20
Subtotal	310			77,500			
Phase 32							
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	July-21
Subtotal	380			91,200			
Phase 33							
Townhome	90	2.5	250 gal/day-unit	22,500	16	0.035	July-22
Total Units Phases 15-33	1,370		Total WW Flow Phases 15-33	339,805	236	0.526	
Total Units	2,190		Total Flow	554,555			