



# TOWN OF CLAYTON

Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

## MAJOR SITE PLAN APPLICATION

*Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.*

*Application fee: \$500.00 + \$5.00 per acre. All fees are due when the application is submitted.*

*Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Site Plan applications.*

### SITE INFORMATION

New Major Site Plan

Major Modification to an approved site plan

Name of Project: CLAYTON PROFESSIONAL CENTER, PHASE III Acreage of Property: 4.65 AC

Parcel ID Number: 05H03040F Tax ID: 165920-80-1276

Address/Location: 900 SOUTH LOMBARD ST.

Existing Use: VACANT Proposed Use: MEDICAL OFFICE

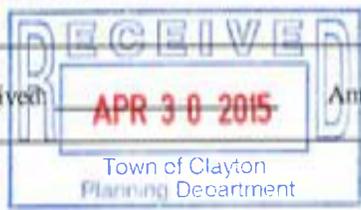
Zoning District: TOWN OF CLAYTON, O&I

Is project within a Planned Development?:  No  
 Yes (list): \_\_\_\_\_

Is project within an Overlay District?:  No  
 Yes (list): \_\_\_\_\_

### FOR OFFICE USE ONLY

File Number: \_\_\_\_\_ Date Received: APR 30 2015 Amount Paid: 525.00



## PROPERTY OWNER INFORMATION

Name: MILLENIUM DEVELOPMENTS, LLC

Mailing Address: 301 PINNER WEALD WAY, STE 201 CARY, NC 27513

Phone Number: \_\_\_\_\_

Fax: \_\_\_\_\_

Email Address: \_\_\_\_\_

## APPLICANT INFORMATION

Applicant: STEPHENSON GENERAL CONTRACTORS

Mailing Address: P.O. BOX 1187, 1090 W. MARKET ST., SMITHFIELD, NC, 27577

Phone Number: 919-934-6651

Fax: 919-934-4055

Contact Person: DURWOOD STEPHENSON

Email Address: durwood@sgcdesignbuild.com

## REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>4-16-15</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application (9 copies)	<input checked="" type="checkbox"/>				
5. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i> (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list (9 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
10. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
11. Neighborhood meeting summary form (9 copies)	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				



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**Planning Department**  
 111 E. Second Street, Clayton, NC 27520  
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 Fax: 919-553-1720

**OWNER'S CONSENT FORM**

*Consent is required from the property owner(s) and if applicable, to an agent if the property owner(s) do not intend to attend all meetings and public hearings and submit in person all material pertaining to the application. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. Attach copy of last recorded deed for subject property.*

**Project Name:** Clayton Professional Center **Submittal Date:** \_\_\_\_\_  
 Phase III

I hereby give CONSENT to M. Durwood Stephenson (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

**OWNER INFORMATION: (Corporations must submit verification that signatory has authorization to sign)**

Millennium Developments, LLC  
 (Name - type, print clearly)  
2601 Lake Drive, Suite 201  
 (Address)

(Signature)  
Raleigh, N.C. 27607-6689  
 (City, State, Zip)

**AGENT INFORMATION:**

M. Durwood Stephenson  
 (Name - type, print clearly)  
Post Office Box 1187  
 (Address)

(Signature)  
Smithfield, N.C. 27577  
 (City, State, Zip)

**STATE OF** North Carolina  
**COUNTY OF** Johnston

Sworn and subscribed before me Joyce E Augustine, a Notary Public for the above State and County, this the 28th day of April, 2015.

Notary Public

My Commission Expires: 5/16/15



\*\*\* DISCLAIMER \*\*\*  
Johnston County assumes no legal responsibility for the information represented here.



**Result 1**

id: 05H03040F  
 Tag: 05H03040F  
 Tax Unique Id: 0  
 NCPIN: 165920-80-1276  
 Mapsheet No: 165920  
 Owner Name 1: MILLENIUM DEVELOPMENTS LLC  
 Owner Name 2:  
 Mail Address 1: 301 PINNER WEALD WAY STE 201  
 Mail Address 2:  
 Mail Address 3: CARRY, NC 27513-2618  
 Site Address 1:  
 Site Address 2:  
 Book: 04519  
 Page: 0350  
 Market Value: 0  
 Assessed Acreage: 4.65  
 Calc. Acreage: 4.65  
 Sales Price: 900000  
 Sale Date: 2014-11-03

Scale: 1:2390 - 1 in. = 199.15 feet

(The scale is only accurate when printed landscape on a 8 1/2 X 11 size sheet with no page scaling.)



## NEIGHBORHOOD MEETING INFORMATION

### Purpose:

The purpose of the neighborhood meeting shall be to inform the neighborhood of the nature of the proposed land use and development features, answer questions, respond to concerns, and solicit comments.

### Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

### Meeting Time & Location:

The meeting must be held no earlier than 6:00 pm Monday through Friday, and must be held in a location generally accessible to residents within close proximity of the request.

### Meeting Notice Mailing requirements:

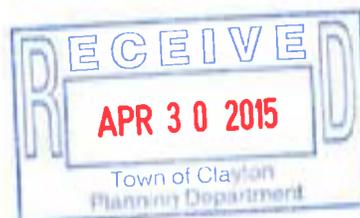
1. The applicant must contact all adjacent property owners via first class mailing (see sample letter).
2. The mailing must include all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the subject property. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property.
3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the neighborhood meeting.

### Information provided to Planning Department:

Alert the Planning Department when the date, location, and time are determined. Planning staff may attend the neighborhood meeting to answer process/code questions.

Return the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board or Board of Adjustment meeting (as applicable) in electronic or hard copy format:

- |                                     |                                   |                     |
|-------------------------------------|-----------------------------------|---------------------|
| <input checked="" type="checkbox"/> | Neighborhood Meeting Summary Form | See Attached Letter |
| <input type="checkbox"/>            | Copy of the letter mailed         |                     |
| <input type="checkbox"/>            | Mailing list                      |                     |
| <input type="checkbox"/>            | Attendance roster                 |                     |



# NEIGHBORHOOD MEETING SUMMARY FORM

## FILL OUT THE FOLLOWING:

Date of Meeting: Personal Visit April 27, 2015

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: M. Durwood Stephenson Signature: \_\_\_\_\_

Date of Meeting: April 28, 2015 Time of Meeting: \_\_\_\_\_

Location of Meeting: Johnston County Board of Education

**Meeting Summary/Minutes:** *provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.*

Visited with Dr. Croom. Explained development plans and left master plan map.

He says no impact. Does not have time or interest in neighborhood meeting.

*Please write clearly (or submit a typed summary), and use additional sheets if necessary.*



# SAMPLE NEIGHBORHOOD MEETING LETTER - PLACE ON AGENT OR OWNER LETTERHEAD

Date

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: \_\_\_\_\_

Location: \_\_\_\_\_

Time: \_\_\_\_\_

Type of Application: \_\_\_\_\_

General Description: \_\_\_\_\_

\_\_\_\_\_

If you have any questions prior to or after this meeting, you may contact us at **Insert phone number**

Sincerely,

Applicant

cc: Clayton Planning Dept.

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

**Applicant:** Millenium Developments, LLC

**Location/Date:** Johnston County Board of Education/April 27, 2015

	NAME	ADDRESS
1	Dr. Edward Croom Johnston Co. Public Schools	U.S. 70 East, Smithfield, N.C.
2		
3		
4		
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6		
7		
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9		
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11		
12		
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14		
15		
16		
17		
18		
19		
20		

# EXHIBIT A

## ADJACENT PROPERTY OWNERS LIST

**REF: PAGE 6 OF 8**

The only third party owner within 100-feet of subject lot 3 is:

- |    |  |                |         |
|----|--|----------------|---------|
| 1. | Johnston County Board of Education<br>Post Office Box 1336<br>Smithfield, North Carolina 27577 | 165807-79-2555 | 661/318 |
|----|--|----------------|---------|



# JOHNSTON COUNTY SCHOOLS

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(919) 934-6031

P. O. Box 1336, Smithfield, NC 27577  
Dr. H. Edward Croom, Superintendent

(919) 934-6035 FAX

April 27, 2015

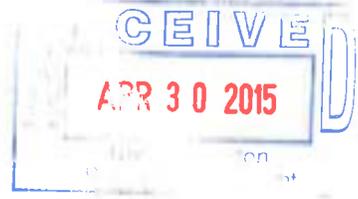
TO WHOM IT MAY CONCERN:

I have reviewed and been provided a master plan for Lot 3 at Clayton Professional Center. The planned development does not impact West Clayton Elementary School at 1012 South Lombard Street, Clayton, NC. We have no further comment, nor do we plan to attend a neighborhood meeting. Thank you for sharing this information with us.

Sincerely,

H. Edward Croom, Ed.D.  
Superintendent  
Johnston County Public Schools

HEC:llw



**Stormwater Permit Application**

Development/Site Name: Clayton Professional Center, Phase III

Owner/Developer Name: Millennium Developments, LLC

Address: c/o M. Durwood Stephenson P.O. Box 1187, Smithfield, N.C. 27577

Phone: 919-934-6651 Contact Person: M. Durwood Stephenson

Fax: 919-934-4055 No. of acres in development 4.653

Type of Development		Fee		Fee
Residential (single family)	0-10 acres*	\$700.00	10+ acres*	\$700.00 + \$50.00 per acre*
Other Development	0-5 acres*	\$700.00	5+ acres*	\$700.00 + \$100.00 per acre*

\*The review fee is based on total site acreage, rounded up to the nearest acre. All checks should be made payable to Johnston County. Check Attached - \$ 700.00

I hereby certify that all information contained within this Stormwater Management application is accurate and complete to the best of my knowledge and conforms to Johnston County's Stormwater Management Ordinance and stormwater design criteria. Johnston County has the right to inspect all stormwater facilities on this tract of land.

M. Durwood Stephenson, Agent *M. Durwood Stephenson* April 27, 2015  
Typed or Printed Name Signature of Owner/Developer Date

I assume responsibility for inspections, installation, maintenance and operation of all stormwater facilities and Best Management Practices in accordance with the Stormwater Management Plan enclosed and the Inspection and Maintenance Agreement, as applicable.

M. Durwood Stephenson *M. Durwood Stephenson* April 27, 2015  
Typed or Printed Name Signature Date

Acting as an agent for: Millennium Developments, LLC

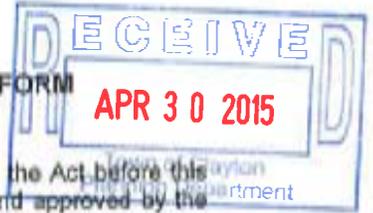
\*Note: Responsibility for the continued operation and maintenance of the proposed stormwater management facilities can be transferred from the developer to an individual landowner or Home Owner's Association. A copy of a recorded document, indicating who will be responsible for maintenance of all stormwater management facilities, must be provided as a condition of the approved Stormwater Management Plan.

Send the completed application package to:

**Stormwater Administrator, Johnston County Department of Utilities  
P.O. Box 2263  
Smithfield, North Carolina 27577**

If you have any questions or need more information, contact the Stormwater Administrator at 209-8333.

**JOHNSTON COUNTY FINANCIAL RESPONSIBILITY/OWNERSHIP FORM  
SEDIMENTATION POLLUTION CONTROL ACT**



No person may initiate any land-disturbing activity on one or more acres as covered by the Act before this form and an acceptable erosion and sedimentation control plan have been completed and approved by the Johnston County Department of Public Utilities. (Please type or print and, if the question is not applicable or the e-mail and/or fax information unavailable, place N/A in the blank.)

**Part A.**

1. Project Name Clayton Professional Center, Phase III
2. Location of land-disturbing activity: City or Township Clayton N.C.  
Highway/Street NC 42 Latitude \_\_\_\_\_ Longitude \_\_\_\_\_
3. Approximate date land-disturbing activity will commence: 10 days after plan approval
4. Purpose of development (residential, commercial, industrial, institutional, etc.): commercial
5. Total acreage disturbed or uncovered (including off-site borrow and waste areas): 1.083 Ac. (47,155 SF)
6. Amount of fee enclosed: \$ 1,250.00. The application fee of \$250.00 per acre (rounded up to the next acre) is assessed for the first 8 acres and an additional \$65 per acre for each additional acre (rounded up to the next acre).
7. Has an erosion and sediment control plan been filed? Yes  No \_\_\_\_\_ Enclosed
8. Person to contact should erosion and sediment control issues arise during land-disturbing activity:  
Name Jimmy Boykin E-mail Address jimmy@sgcdesignbuild.com  
Telephone 919-934-6651 Cell # 919-422-2962 Fax # 919-934-4055
9. Landowner(s) of Record (attach accompanied page to list additional owners):  

<u>Millennium Developments, LLC</u>	<u>919-934-6651</u>	<u>919-934-4055</u>
Name	Telephone	Fax Number
<u>c/o M. Durwood Stephenson, Agent</u>	<u>1090 West Market Street</u>	
Current Mailing Address	Current Street Address	
<u>P.O. Box 1187</u>	<u>Smithfield, N.C. 27577</u>	
<u>Smithfield, N.C. 27577</u>	<u>Smithfield, N.C. 27577</u>	
City State Zip	City State Zip	
10. Deed Book No. 4519 Page No. 350

**Part B.**

1. Person(s) or firm(s) who are financially responsible for the land-disturbing activity (Provide a comprehensive list of all responsible parties on an attached sheet):  

<u>Millennium Developments, LLC</u>	<u>durwood@sgcdesignbuild.com</u>
Name	E-mail Address
<u>c/o M. Durwood Stephenson, Agent</u>	<u>P.O. Box 1187/1090 West Market Street</u>
Current Mailing Address	Current Street Address
<u>Smithfield, N.C. 27577</u>	<u>Smithfield, N.C. 27577</u>
City State Zip	City State Zip
Telephone <u>919-934-6651</u>	Fax Number <u>919-934-4055</u>

2. (a) If the Financially Responsible Party is not a resident of North Carolina, give name and street address of the designated North Carolina Agent:

N/A

Name	E-mail Address
Current Mailing Address	Current Street Address
City State Zip	City State Zip
Telephone	Fax Number

- (b) If the Financially Responsible Party is a Partnership or other person engaging in business under an assumed name, attach a copy of the Certificate of Assumed Name. If the Financially Responsible Party is a Corporation, give name and street address of the Registered Agent:

Name of Registered Agent	E-mail Address
Current Mailing Address	Current Street Address
City State Zip	City State Zip
Telephone	Fax Number

The above information is true and correct to the best of my knowledge and belief and was provided by me under oath (This form must be signed by the Financially Responsible Person if an individual or his attorney-in-fact, or if not an individual, by an officer, director, partner, or registered agent with the authority to execute instruments for the Financially Responsible Person). I agree to provide corrected information should there be any change in the information provided herein.

Dr. Neeraj Sachdeva	Manager
Type or print name	Title or Authority
	April 27, 2015
Signature	Date

I, Joyce E Augustine, a Notary Public of the County of Wake

State of North Carolina, hereby certify that Neeraj Sachdeva appeared personally before me this day and being duly sworn acknowledged that the above form was executed by him.

Witness my hand and notarial seal, this 28th day of April, 2015

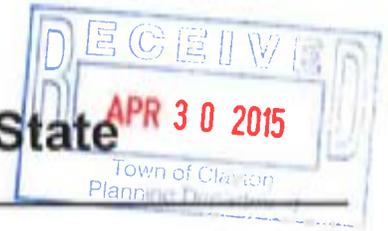


Joyce E Augustine  
Notary

My commission expires 5/16/15



**NORTH CAROLINA**  
**Department of the Secretary of State**



**To all whom these presents shall come, Greetings:**

I, Elaine F. Marshall, Secretary of State of the State of North Carolina, do hereby certify the following and hereto attached to be a true copy of

**ARTICLES OF ORGANIZATION**

**OF**

**MILLENIUM DEVELOPMENTS LLC**

the original of which was filed in this office on the 13th day of May, 2014.



Scan to verify online.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal at the City of Raleigh, this 13th day of May, 2014.

*Elaine F. Marshall*

**Secretary of State**



State of North Carolina  
Department of the Secretary of State

SOSID: 1378766  
Date Filed: 5/13/2014 8:31:00 AM  
Elaine F. Marshall  
North Carolina Secretary of State  
C2014 128 00928

Limited Liability Company  
ARTICLES OF ORGANIZATION

Pursuant to §57D-2-20 of the General Statutes of North Carolina, the undersigned does hereby submit these Articles of Organization for the purpose of forming a limited liability company.

1. The name of the limited liability company is: MILLENIUUM DEVELOPMENTS LLC  
(See Item 1 of the Instructions for appropriate entity designation)

2. The name and address of each person executing these articles of organization is as follows: (State whether each person is executing these articles of organization in the capacity of a member, organizer or both. Note: This document must be signed by all persons listed.)

DEEPAK PARTI (ORGANIZER)  
301 PINNER WEALD WAY, SUITE 201  
CARY, NC 27513

3. The name of the initial registered agent is: DEEPAK PARTI

4. The street address and county of the initial registered agent office of the limited liability company is:

Number and Street 301 PINNER WEALD WAY, SUITE 201  
City CARY State: NC Zip Code: 27513 County: WAKE

5. The mailing address, if different from the street address, of the initial registered agent office is:

Number and Street SAME AS ABOVE  
City \_\_\_\_\_ State: NC Zip Code: \_\_\_\_\_ County: \_\_\_\_\_

6. Principal office information: (Select either a or b.)

a.  The limited liability company has a principal office.

The principal office telephone number: \_\_\_\_\_

The street address and county of the principal office of the limited liability company is:

Number and Street 301 PINNER WEALD WAY, SUITE 201  
City CARY State: NC Zip Code: 27513 County: WAKE

The mailing address, if different from the street address, of the principal office of the company is:

Number and Street SAME AS ABOVE

City \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ County: \_\_\_\_\_

b.  The limited liability company does not have a principal office.

7. Any other provisions which the limited liability company elects to include (e.g., the purpose of the entity) are attached.

8. (Optional): Please provide a business e-mail address Privacy Redaction  
The Secretary of State's Office will e-mail the business automatically at the address provided above at no cost when a document is filed. The e-mail provided will not be viewable on the website. For more information on why this service is offered, please see the instructions for this document.



9. These articles will be effective upon filing, unless a future date is specified:

This is the 8 day of MAY, 2014.

\_\_\_\_\_  
*Handwritten Signature*

Signature

DEEPAK PARTI (ORGANIZER)

Type or Print Name and Title

The below space to be used if more than one organizer or member is listed in Item #2 above.

\_\_\_\_\_

\_\_\_\_\_

Signature

Signature

Type and Print Name and Title

Type and Print Name and Title

\_\_\_\_\_

\_\_\_\_\_

Signature

Signature

Type and Print Name and Title

Type and Print Name and Title

NOTES:

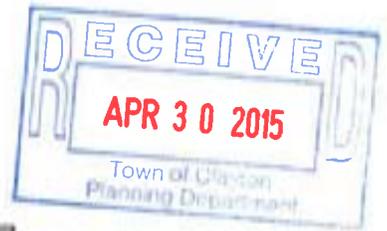
1. Filing fee is \$125. This document must be filed with the Secretary of State.



# STEPHENSON

---

## GENERAL CONTRACTORS



Post Office Box 1187  
1090 West Market Street  
Smithfield, NC 27577

Phone (919) 934-6651  
Fax (919) 934-4055

April 30, 2015

Mr. Carlos Bagley, P.E.  
Johnston County Public Utilities  
Post Office Box 2263  
Smithfield, North Carolina 27577

RE: CLAYTON PROFESSIONAL CENTER, PHASE III  
STORM WATER MANAGEMENT PLAN  
EROSION AND SEDIMENT CONTROL CALCULATIONS

Dear Mr. Bagley:

I am submitting site plans with Erosion and Sediment Control Calculations for above-identified proposed project. I am also attaching checks:

Erosion Control - \$ 500.00  
Storm Water - \$ 700.00

Copies of plans and calculations are also being delivered to John McCullen, Town of Clayton.

Thank you for your consideration and review of these documents and please contact me if you have any questions.

Sincerely,

M. Durwood Stephenson

cc: Dr. Neeraj Sachdeva  
Dr. Subhash Gumber  
Jimmy Boykin  
John McCullen

M. DURWOOD STEPHENSON & ASSOC. INC.

033651

Lot 3 Clayton Prof. Center Erosion Control \$500.00

M. DURWOOD STEPHENSON  
& ASSOC., INC.

GENERAL ACCOUNT  
P.O. BOX 1187 934-6651  
SMITHFIELD, NORTH CAROLINA 27577

FOUR OAKS BANK & TRUST COMPANY  
SMITHFIELD, NC

66-505/531

033651

CHECK NO.

VOID AFTER 90 DAYS

--Pay Five Hundred and No/100 Dollars----

DATE  
04-29-15

AMOUNT  
\$500.00

PAY  
TO THE ORDER OF Johnston County Public Utilities

M. DURWOOD STEPHENSON & ASSOC., INC.

  
AUTHORIZED SIGNATURE

⑈033651⑈ ⑆053105059⑆ 0600168801⑈

U33650

Lot 3 Clayton Prof. Center storm Water \$700.00

**M. DURWOOD STEPHENSON  
& ASSOC., INC.**  
GENERAL ACCOUNT  
P.O. BOX 1187 934-6651  
SMITHFIELD, NORTH CAROLINA 27577

FOUR OAKS BANK & TRUST COMPANY  
SMITHFIELD, NC

66-505/531

033650

CHECK NO.

VOID AFTER 90 DAYS

---Pay Seven Hundred and No/100 Dollars---

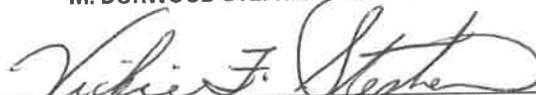
DATE

AMOUNT

04-29-15

\$700.00

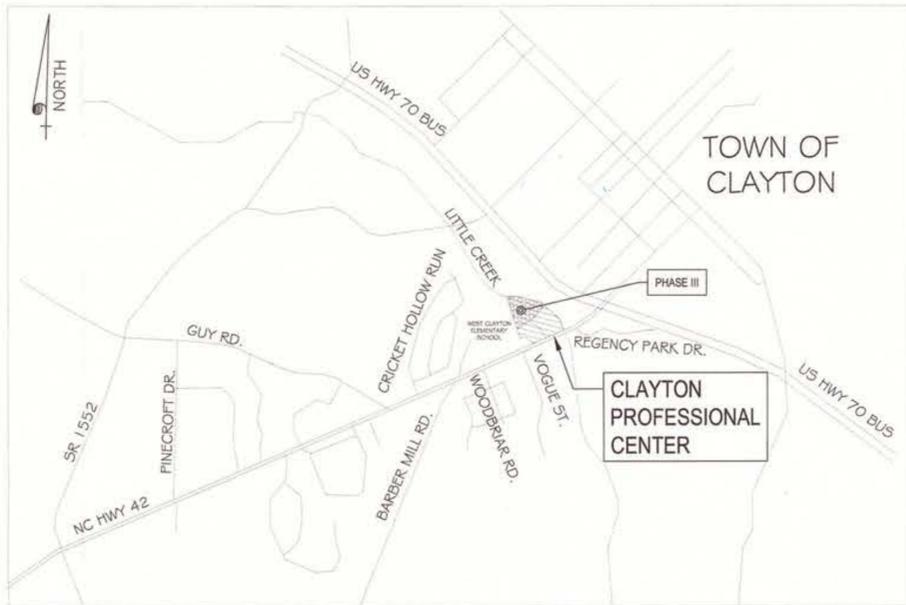
M. DURWOOD STEPHENSON & ASSOC., INC.

  
AUTHORIZED SIGNATURE

PAY  
TO THE  
ORDER  
OF

Johnston County  
Storm Water Administrator

⑈033650⑈ ⑆053105059⑆ 0600168801⑈



VICINITY MAP  
NTS

# CLAYTON PROFESSIONAL CENTER PHASE III COMMERCIAL SITE PLAN

## SOUTH LOMBARD STREET TOWN OF CLAYTON JOHNSTON COUNTY, NORTH CAROLINA

### INDEX OF SHEETS

CV-1	COVER SHEET
-----	RECORDED PLAT
EX-1	EXISTING CONDITIONS
SP-1	SITE PLAN
UP-1	UTILITY PLAN
GP-1	GRADING PLAN
DP-1	DRAINAGE PLAN
EC-1	EROSION CONTROL PLAN: PH I
EC-2	EROSION CONTROL PLAN: PH II
LSC-1	LANDSCAPING PLAN
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
D-4	DETAILS
A-2	ARCHITECTURAL ELEVATIONS
A-3	ARCHITECTURAL ELEVATIONS

PIN # : 165920-80-1276

DB 4519, PG 350

4.65 ACRES

TOWN OF CLAYTON ZONING: O&I

OWNED BY AND PREPARED FOR:  
MILLENIUM DEVELOPMENTS, LLC  
301 PINNER WEALD WAY  
STE 201  
CARY, NC 27513

PREPARED BY:  
WETHERILL ENGINEERING, INC.  
559 JONES FRANKLIN RD. STE 164  
RALEIGH, NC 27606  
PH: 919.851.8077  
FAX: 919.851.8107



FINAL DESIGN  
NOT RELEASED FOR  
CONSTRUCTION



CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA

COVER SHEET

Rev.	Date	By
CD	4-28-15	ZPN

Project No. 15336.04  
Checked By MVZ  
Drawn By ZPN

COVER SHEET

File Name: CBC\_BASE.dwg

Sheet: CV-1  
1 of 16 SHEETS

- LEGEND**
- PROPERTY BOUNDARY/LOT LINES
  - - - NEW CROSS ACCESS EASEMENT
  - - - LINES NOT SURVEYED
  - EXISTING IRON PIPE (UNLESS OTHERWISE NOTED)
  - NEW IRON PIPE SET (UNLESS OTHERWISE NOTED)
  - - - EXISTING EASEMENT
  - - - APPROX FEMA 100 YEAR FLOODPLAIN
  - - - EXISTING IRON PIPE
  - CMF CONCRETE MONUMENT FOUND
  - CC CONTROL CORNER

**CERTIFICATE OF SURVEY AND ACCURACY**

I, ANTHONY K. ALFORD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM A DEED DESCRIPTION RECORDED IN BOOK 4519, PAGE 350, THAT THE RATIO OF PRECISION AS CALCULATED IS 1:20,000+ THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015

\_\_\_\_\_  
SURVEYOR  
L-4372  
LICENSE NUMBER

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

**PLANNING DIRECTOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS RECORDED PLAT HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION ORDINANCE OF THE TOWN OF CLAYTON, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE REGISTER OF DEEDS OF JOHNSTON COUNTY.

DATE PLANNING DIRECTOR - TOWN OF CLAYTON, NC \_\_\_\_\_

JOHNSTON COUNTY REGISTER OF DEEDS  
STATE OF NORTH CAROLINA, JOHNSTON COUNTY  
THIS INSTRUMENT WAS PRESENTED FOR REGISTRATION AND RECORDING THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015 AT \_\_\_\_\_

REG. OF DEEDS BY ASST. REG. OF DEEDS

**SURVEYOR'S DISCLAIMER:** NO ATTEMPT WAS MADE TO LOCATE ANY CEMETERIES, WETLANDS, HAZARDOUS MATERIAL SITES, UNDERGROUND UTILITIES OR ANY OTHER FEATURES ABOVE OR BELOW GROUND OTHER THAN THOSE SHOWN.

**NOTES:**

- AREAS COMPUTED BY COORDINATE METHOD.
- PROPERTY SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- EACH PARCEL IS RESPONSIBLE FOR THE MAINTENANCE OF THE ACCESS ROAD WHICH SERVES ALL PARCELS OR HOA TO MAINTAIN COMMON AREAS.
- THE PARKING LOT ON LOT 2 WILL BE SHARED WITH LOT 3, THE OWNER OF LOT 2 WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THIS PARKING LOT.
- PROPERTY IS ZONED O-1.
- MINIMUM SETBACKS:  
FRONT - 30'  
SIDE - 10'  
BACK - 20'
- ONE INCH (1") IRON PIPES SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.
- THIS PROPERTY FALLS WITHIN THE TOWN LIMITS OF THE TOWN OF CLAYTON, NC
- PARENT TRACT: DB 4519 PG 350
- NC PIN NO. 165808-89-4820

RECORDED IN PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**REVIEW OFFICER'S CERTIFICATE**

STATE OF NORTH CAROLINA  
COUNTY OF JOHNSTON

I, \_\_\_\_\_ REVIEW OFFICER OF JOHNSTON COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE \_\_\_\_\_ REVIEW OFFICER \_\_\_\_\_

ELLINGTON HOMEOWNERS ASSOC. INC.  
DB 1435 PG 387  
PB 44 PG 345  
NC PIN 165919-70-4643

JOHNSTON COUNTY BOARD OF EDUCATION  
DB 661 PG 318  
NC PIN 165807-79-2555

TOWN OF CLAYTON TOWN MANAGER  
CERTIFICATION FOR A FINAL PLAT

I HEREBY CERTIFY THAT THE TOWN OF CLAYTON, NC HAS APPROVED THIS PLAT FOR RECORDING IN THE OFFICE OF THE JOHNSTON COUNTY REGISTER OF DEEDS, AND ACCEPTS THE DEDICATION OF STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC LANDS SHOWN THEREON, BUT ASSUMES NO RESPONSIBILITY TO OPEN OR MAINTAIN THE SAME UNTIL IN THE OPINION OF THE CLAYTON TOWN COUNCIL, IT IS IN THE PUBLIC INTEREST TO DO SO.

DATE \_\_\_\_\_ TOWN MANAGER \_\_\_\_\_

A PORTION OF THIS PROPERTY IS LOCATED IN A FEMA FLOOD HAZARD AREA.

FEMA FLOOD HAZARD PANEL NO. 3720165800 J  
EFFECTIVE DATE: DECEMBER 2, 2005

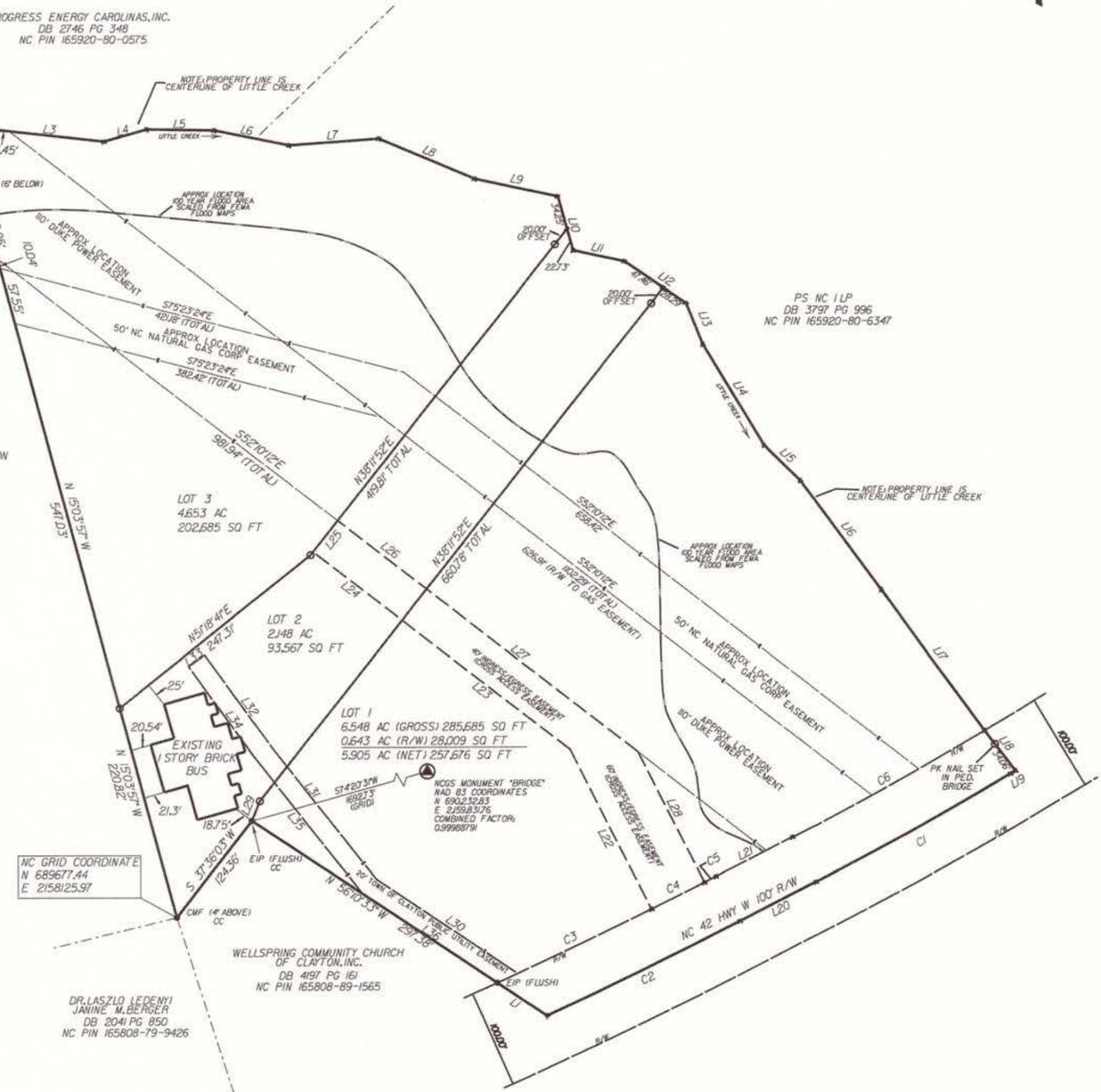
FEMA FLOOD HAZARD PANEL NO. 3720165900 J  
EFFECTIVE DATE: DECEMBER 2, 2005

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_

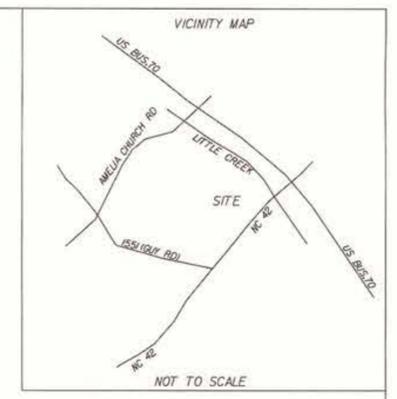
**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF CLAYTON AND THAT I HEREBY ADOPT THIS SUBDIVISION PLAN WITH MY FREE CONSENT, ESTABLISH MINIMUM SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, PARKS AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_ OWNER(S) \_\_\_\_\_  
DATE \_\_\_\_\_ OWNER(S) \_\_\_\_\_



CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	3659.38 R	225.78	S 60° 57' 19" W	225.74
C2	4942.39 R	211.50	S 63° 59' 0" W	211.49
C3	4890.87 L	173.05	N 64° 36' 0" E	173.04
C4	4890.87 L	60.00	N 63° 14' 5" E	60.00
C5	4890.87 L	13.14	N 62° 48' 23" E	13.14
C6	3607.86 R	222.60	S 60° 57' 19" W	222.56



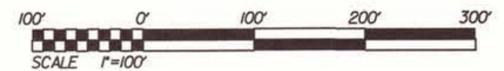
LINE	BEARING	LENGTH
L1	N 56° 10' 33" W	60.49
L2	S 75° 27' 58" E	40.09
L3	S 83° 35' 50" E	107.79
L4	N 74° 0' 38" E	45.13
L5	S 88° 59' 40" E	68.26
L6	S 78° 26' 51" E	76.76
L7	N 85° 52' 9" E	90.90
L8	S 66° 52' 26" E	104.83
L9	S 77° 39' 33" E	86.17
L10	S 15° 44' 46" E	56.98
L11	S 77° 40' 56" E	52.93
L12	S 55° 43' 28" E	75.74
L13	S 27° 43' 47" E	44.52
L14	S 37° 8' 55" E	120.09
L15	S 45° 23' 24" E	51.28
L16	S 36° 29' 45" E	137.18
L17	S 36° 5' 59" E	177.04
L18	S 37° 24' 48" E	51.86
L19	S 59° 11' 16" W	5.96
L20	S 62° 43' 22" W	86.80
L21	N 62° 43' 33" E	87.37
L22	N 26° 44' 20" W	182.08
L23	N 52° 10' 12" W	247.75
L24	N 52° 10' 12" W	113.34
L25	N 38° 11' 52" E	40.00
L26	S 52° 10' 12" E	113.34
L27	S 52° 10' 12" E	270.09
L28	S 26° 44' 20" E	149.02
L29	N 27° 23' 42" E	21.51
L30	N 55° 54' 59" W	171.86
L31	N 38° 0' 56" W	170.63
L32	N 35° 39' 7" W	115.59
L33	S 54° 20' 53" W	20.00
L34	S 35° 39' 7" E	115.79
L35	S 38° 0' 46" E	174.38
L36	S 56° 10' 33" E	163.28

**REFERENCES**

- DB 4519 PG 350
- DB 4197 PG 161
- DB 661 PG 318
- DB 1435 PG 387
- DB 2746 PG 348
- DB 3797 PG 996
- DB 1200 PG 611
- DB 1961 PG 620
- DB 1969 PG 424
- PB 44 PG 345

**OWNER**

MILLENIUM DEVELOPMENTS, LLC  
900 SOUTH LOMBARD STREET  
CLAYTON, NC 27520-2737



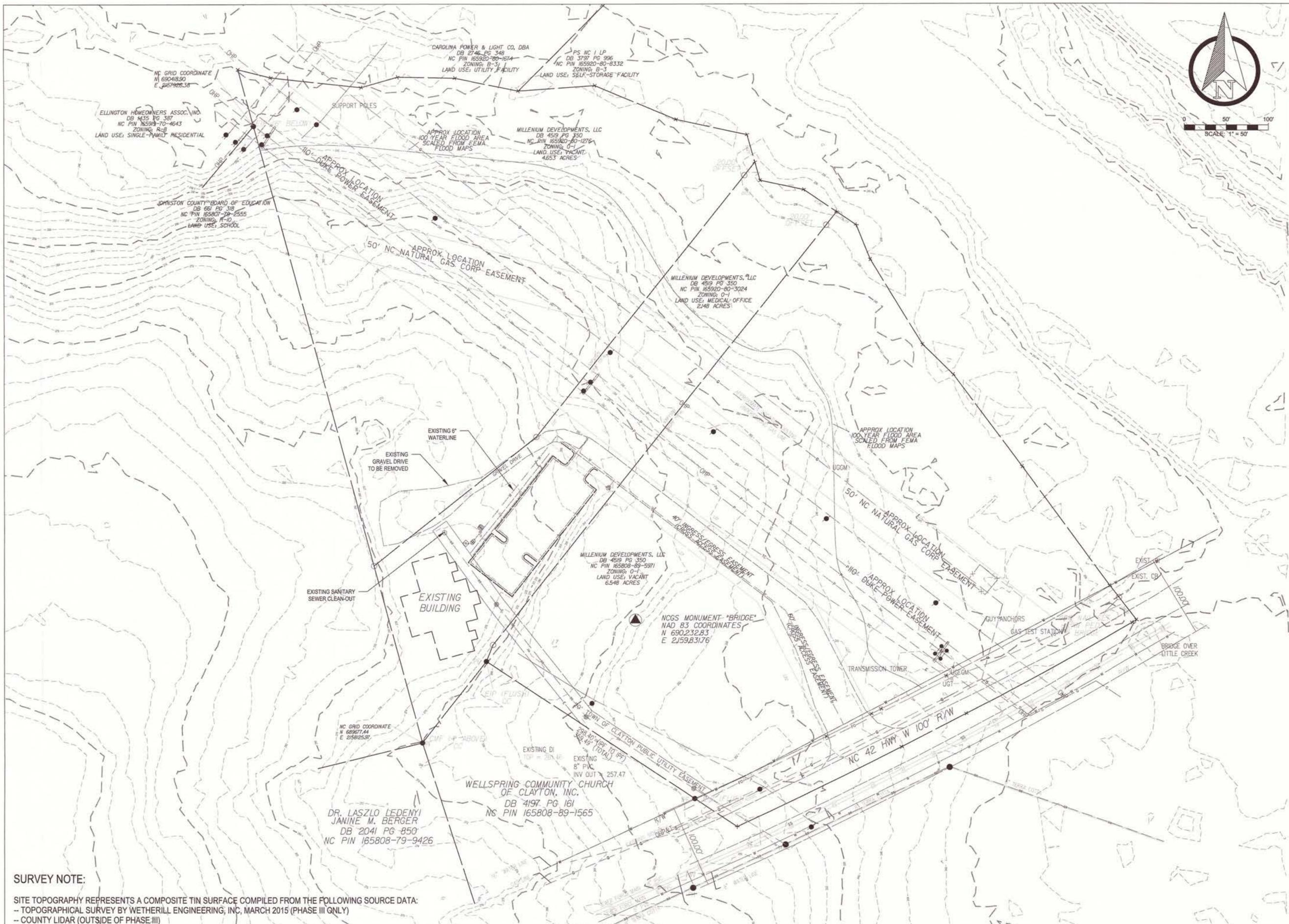
**CLAYTON PROFESSIONAL CENTER  
SUBDIVISION PLAT**

CLAYTON TOWNSHIP  
JOHNSTON COUNTY, NC  
DATE OF SURVEY - NOVEMBER 10, 2014  
SURVEYED BY ANTHONY K. ALFORD, PLS L-4372

**WETHERILL  
ENGINEERING**

559 Jones Franklin Rd. Suite 164  
Raleigh, N.C. 27606  
License No. F-0377  
Bus: 919 851 8077  
Fax: 919 851 8107

TRANSPORTATION PLANNING/DESIGN - BRIDGE/STRUCTURE DESIGN  
CIVIL/SITE DESIGN - SURVEY - CONSTRUCTION OBSERVATION



**SURVEY NOTE:**  
 SITE TOPOGRAPHY REPRESENTS A COMPOSITE TIN SURFACE COMPILED FROM THE FOLLOWING SOURCE DATA:  
 -- TOPOGRAPHICAL SURVEY BY WETHERILL ENGINEERING, INC, MARCH 2015 (PHASE III ONLY)  
 -- COUNTY LIDAR (OUTSIDE OF PHASE III)

FINAL DESIGN  
 NOT RELEASED FOR  
 CONSTRUCTION



CLAYTON PROFESSIONAL CENTER  
 PHASE III  
 TOWN OF CLAYTON  
 JOHNSTON COUNTY  
 NORTH CAROLINA  
 EXISTING CONDITIONS

Issued	Date	By
CD	4-28-15	ZPN

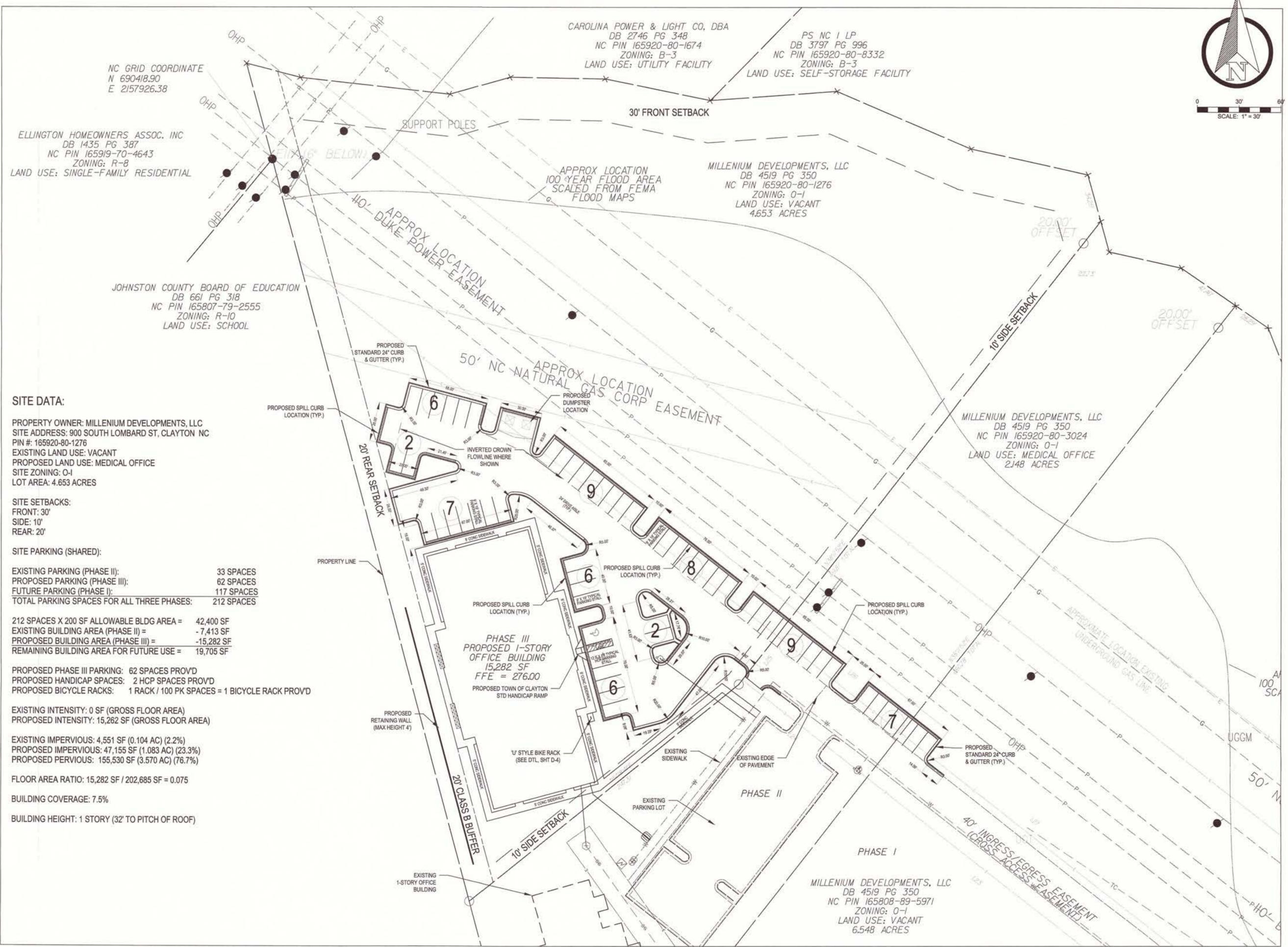
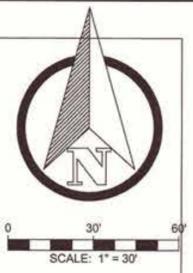
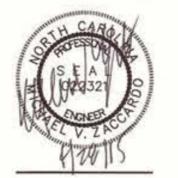
Project No. 15336.04  
 Checked by MVZ  
 Drawn by ZPN

EXISTING CONDITIONS

File Name: CPC\_BASE.dwg

EX-1  
 3 of 16 sheets

FINAL DESIGN  
NOT RELEASED FOR  
CONSTRUCTION



**SITE DATA:**

PROPERTY OWNER: MILLENIUM DEVELOPMENTS, LLC  
 SITE ADDRESS: 900 SOUTH LOMBARD ST, CLAYTON NC  
 PIN #: 165920-80-1276  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: MEDICAL OFFICE  
 SITE ZONING: O-1  
 LOT AREA: 4.653 ACRES

**SITE SETBACKS:**  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 20'

**SITE PARKING (SHARED):**

EXISTING PARKING (PHASE II):	33 SPACES
PROPOSED PARKING (PHASE III):	62 SPACES
FUTURE PARKING (PHASE I):	117 SPACES
<b>TOTAL PARKING SPACES FOR ALL THREE PHASES:</b>	<b>212 SPACES</b>

212 SPACES X 200 SF ALLOWABLE BLDG AREA = 42,400 SF  
 EXISTING BUILDING AREA (PHASE II) = - 7,413 SF  
 PROPOSED BUILDING AREA (PHASE III) = -15,282 SF  
 REMAINING BUILDING AREA FOR FUTURE USE = 19,705 SF

PROPOSED PHASE III PARKING: 62 SPACES PROV'D  
 PROPOSED HANDICAP SPACES: 2 HCP SPACES PROV'D  
 PROPOSED BICYCLE RACKS: 1 RACK / 100 PK SPACES = 1 BICYCLE RACK PROV'D

EXISTING INTENSITY: 0 SF (GROSS FLOOR AREA)  
 PROPOSED INTENSITY: 15,282 SF (GROSS FLOOR AREA)

EXISTING IMPERVIOUS: 4,551 SF (0.104 AC) (2.2%)  
 PROPOSED IMPERVIOUS: 47,155 SF (1.083 AC) (23.3%)  
 PROPOSED PERVIOUS: 155,530 SF (3.570 AC) (76.7%)

FLOOR AREA RATIO: 15,282 SF / 202,685 SF = 0.075

BUILDING COVERAGE: 7.5%

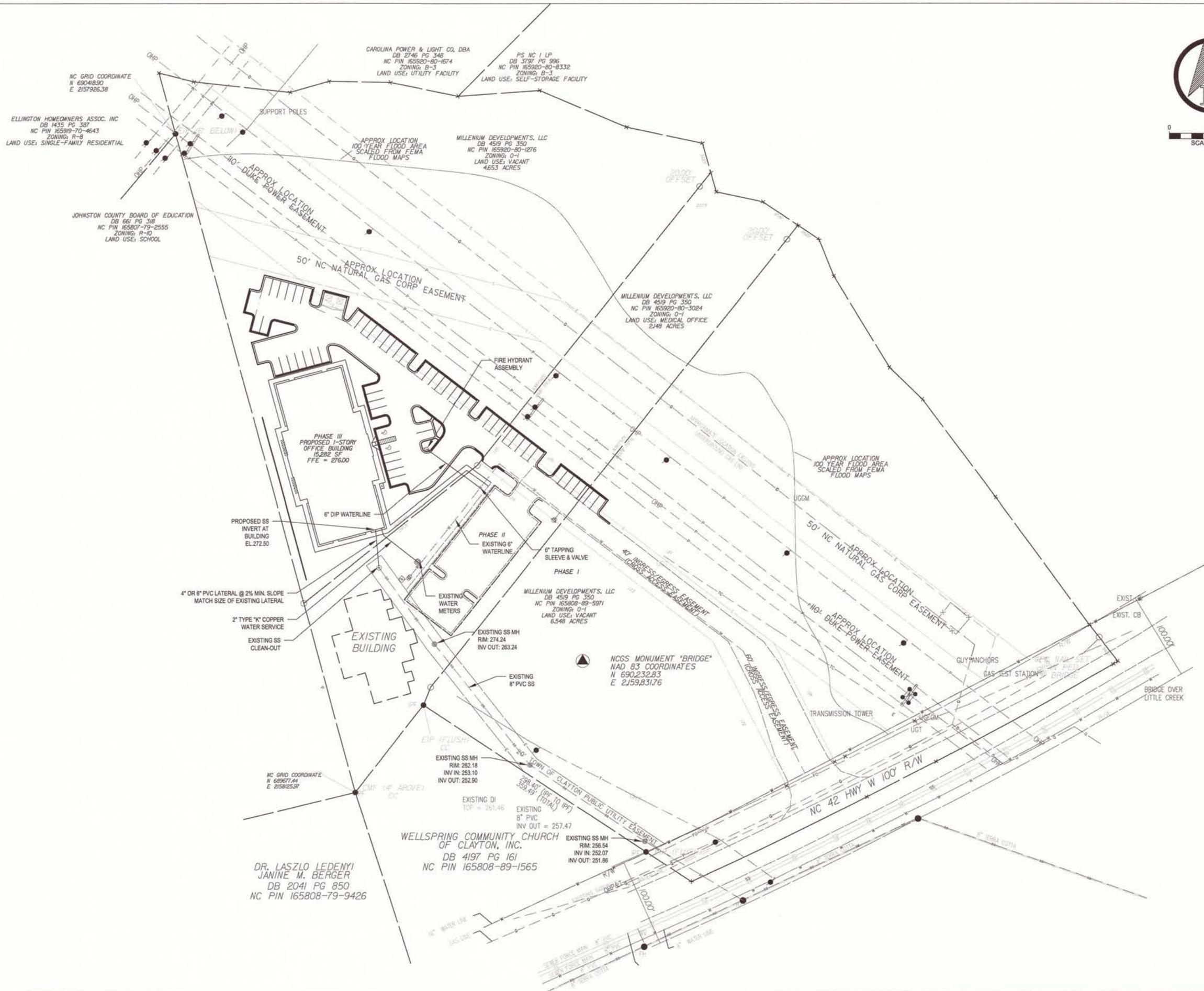
BUILDING HEIGHT: 1 STORY (32' TO PITCH OF ROOF)

CLAYTON PROFESSIONAL CENTER  
 PHASE III  
 TOWN OF CLAYTON  
 JOHNSTON COUNTY  
 NORTH CAROLINA  
 SITE PLAN

Rev	Date	By
01	4-28-15	ZPN

Project No. 15336.04  
 Checked By MVZ  
 Drawn By ZPN  
 Drawing

SITE PLAN  
 File Name: CPC\_BASE.dwg  
 Sheet



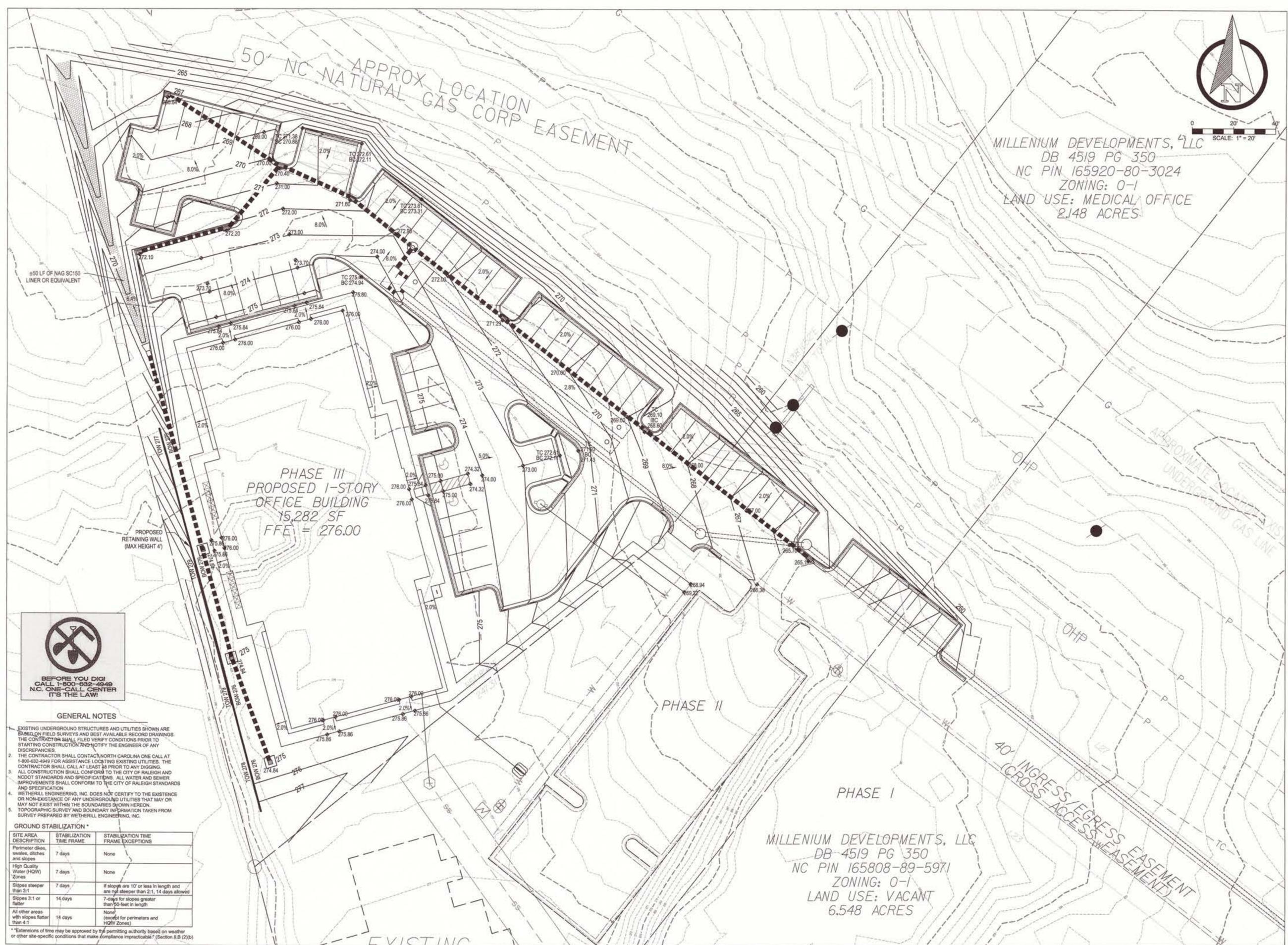
**CLAYTON PROFESSIONAL CENTER**  
 PHASE III  
 TOWN OF CLAYTON  
 JOHNSTON COUNTY  
 NORTH CAROLINA  
**UTILITY PLAN**

Revised	Date	By
CD	4-28-15	ZPN

Project No.	15336.04
Checked By	MVZ
Drawn By	ZPN
Issued	



MILLENNIUM DEVELOPMENTS, LLC  
DB 4519 PG 350  
NC PIN 165920-80-3024  
ZONING: O-1  
LAND USE: MEDICAL OFFICE  
2.148 ACRES



**GENERAL NOTES**

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 FOR ASSISTANCE LOCATING EXISTING UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS. ALL WATER AND SEWER IMPROVEMENTS SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATION.
- WETHERILL ENGINEERING, INC. DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT EXIST WITHIN THE BOUNDARIES SHOWN HEREON.
- TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY WETHERILL ENGINEERING, INC.

**GROUND STABILIZATION \***

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50-feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

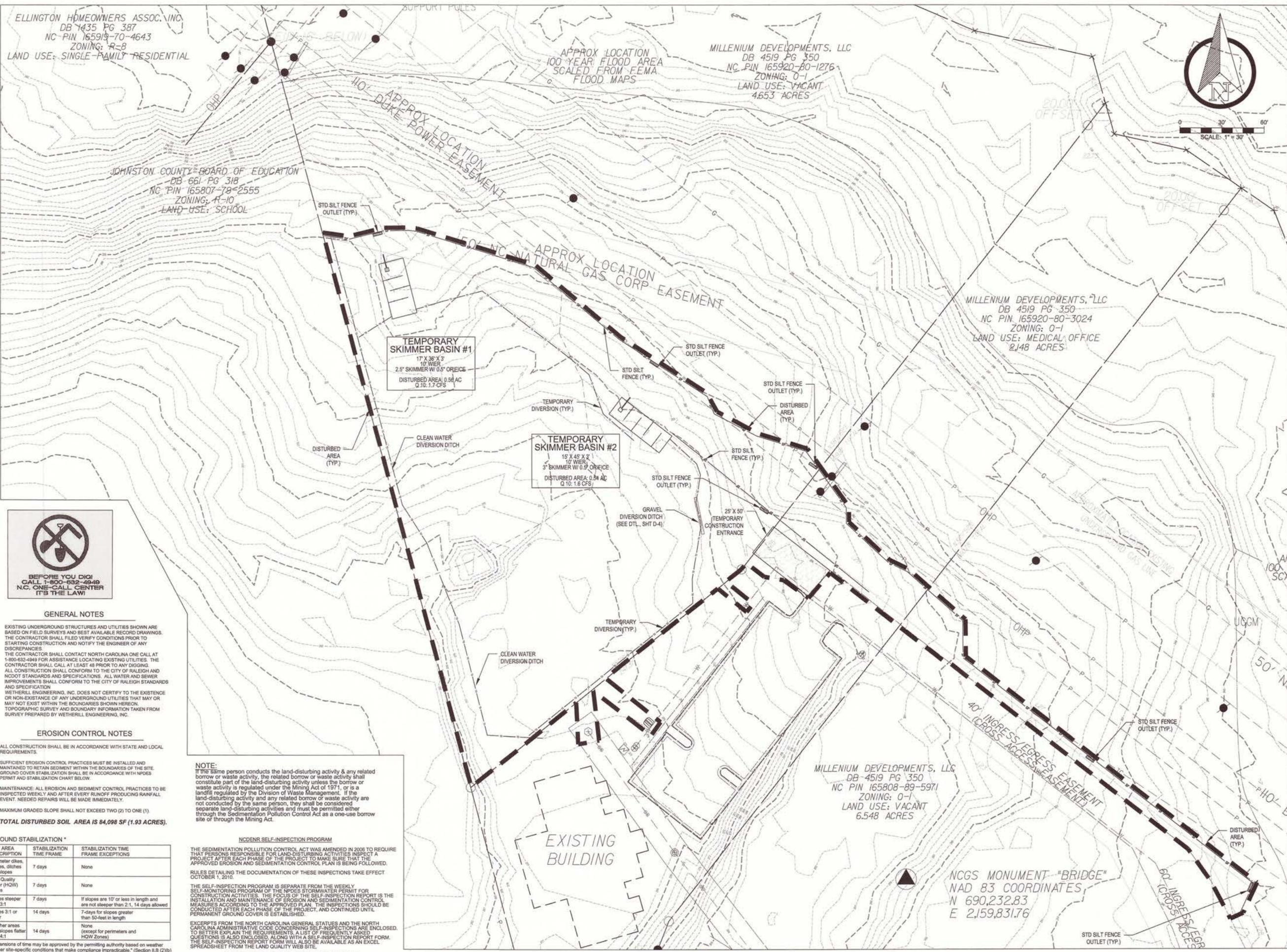
\* Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable (Section 8.B (2)(b))

CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA  
GRADING PLAN

Issued	Date	By
CD	4-28-15	ZPN

Project No: 15336.04  
Checked By: MVZ  
Drawn By: ZPN  
Drawing: GRADING PLAN  
File Name: CPC\_BASE.dwg  
Sheet: GP-1





ELLINGTON HOMEOWNERS ASSOC. INC.  
DB 1435 PG 387  
NC PIN 165919-70-4643  
ZONING: R-8  
LAND USE: SINGLE-FAMILY RESIDENTIAL

JOHNSTON COUNTY BOARD OF EDUCATION  
DB 661 PG 318  
NC PIN 165807-79-2555  
ZONING: R-10  
LAND USE: SCHOOL

APPROX LOCATION  
100-YEAR FLOOD AREA  
SCALED FROM FEMA  
FLOOD MAPS

MILLENM DEVELOPMENTS, LLC  
DB 4519 PG 350  
NC PIN 165920-80-1276  
ZONING: O-1  
LAND USE: VACANT  
4.653 ACRES

MILLENM DEVELOPMENTS, LLC  
DB 4519 PG 350  
NC PIN 165920-80-3024  
ZONING: O-1  
LAND USE: MEDICAL OFFICE  
2,148 ACRES

MILLENM DEVELOPMENTS, LLC  
DB 4519 PG 350  
NC PIN 165808-89-5971  
ZONING: O-1  
LAND USE: VACANT  
6,548 ACRES

NCGS MONUMENT "BRIDGE"  
NAD 83 COORDINATES  
N 690,232.83  
E 2,159,831.76



- GENERAL NOTES**
- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4849 FOR ASSISTANCE LOCATING EXISTING UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
  - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS. ALL WATER AND SEWER IMPROVEMENTS SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - WETHERILL ENGINEERING, INC. DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT EXIST WITHIN THE BOUNDARIES SHOWN HEREON.
  - TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY WETHERILL ENGINEERING, INC.

- EROSION CONTROL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND STABILIZATION CHART BELOW.
- MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED TWO (2) TO ONE (1).
- TOTAL DISTURBED SOIL AREA IS 84,098 SF (1.93 ACRES).**

**GROUND STABILIZATION \***

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days allowed
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50-feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

\* Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section II.B (2)(b))

**NOTE:**  
If the same person conducts the land-disturbing activity & any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated under the Mining Act of 1971, or is a landfill regulated by the Division of Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land-disturbing activities and must be permitted either through the Sedimentation Pollution Control Act as a one-use borrow site or through the Mining Act.

**NC DENR SELF-INSPECTION PROGRAM**

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TAKE EFFECT OCTOBER 1, 2010.

THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

EXCERPTS FROM THE NORTH CAROLINA GENERAL STATUTES AND THE NORTH CAROLINA ADMINISTRATIVE CODE CONCERNING SELF-INSPECTIONS ARE ENCLOSED. TO BETTER EXPLAIN THE REQUIREMENTS, A LIST OF FREQUENTLY ASKED QUESTIONS IS ALSO ENCLOSED. ALONG WITH A SELF-INSPECTION REPORT FORM. THE SELF-INSPECTION REPORT FORM WILL ALSO BE AVAILABLE AS AN EXCEL SPREADSHEET FROM THE LAND QUALITY WEB SITE.

[http://www.dnr.state.nc.us/pages/sedimentation\\_new.html](http://www.dnr.state.nc.us/pages/sedimentation_new.html)



**WETHERILL ENGINEERING**  
599 JONES RAVENHURST ROAD STE 104  
CLAYTON, NORTH CAROLINA 27666  
PHONE: 919-491-8077  
FAX: 919-491-8077  
LICENSE NO. 14077  
TRANSPORTATION PLANNING/DESIGN - ENVIRONMENTAL DESIGN  
CONCEPT DESIGN - GROUPS - SERVICES - CONSTRUCTION DESIGN

**CLAYTON PROFESSIONAL CENTER**  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA

**EROSION CONTROL PLAN: PHASE I**

Issued	Date	By
CD	4-28-15	ZPN

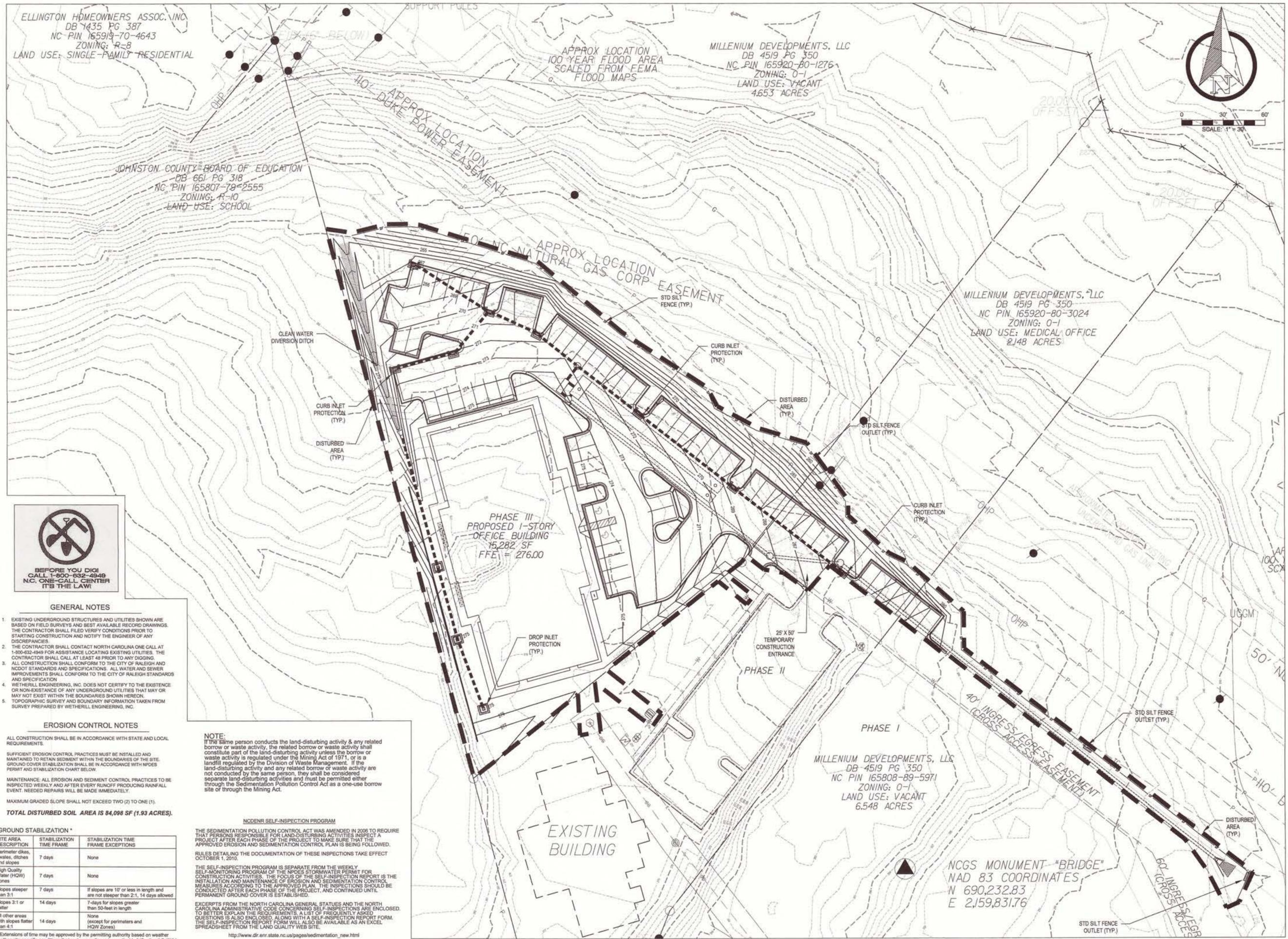
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Checked by MVZ  
Drawn by ZPN  
Date: 4/28/15  
**EROSION CONTROL PLAN: PHASE I**  
File Name: CPC\_BASE.dwg  
Sheet: **EC-1**  
8 of 16 sheets



CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA  
EROSION CONTROL PLAN: PHASE II

Rev	Date	By
CD	4-28-15	ZPN

Project No: 15336.04  
Checked by: MVZ  
Drawn by: ZPN  
Date: 4/28/15  
Title: EROSION CONTROL PLAN: PHASE II  
File Name: CPC\_BASE.dwg



GENERAL NOTES

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FILED VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 FOR ASSISTANCE LOCATING EXISTING UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
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- TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY WETHERILL ENGINEERING, INC.

EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND STABILIZATION CHART BELOW.
- MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED TWO (2) TO ONE (1).
- TOTAL DISTURBED SOIL AREA IS 84,098 SF (1.93 ACRES).**

GROUND STABILIZATION \*

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days allowed
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50-feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

\*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section II.B (2)(b))

**NOTE:**  
If the same person conducts the land-disturbing activity and any related borrow or waste activity, the related borrow or waste activity shall constitute part of the land-disturbing activity unless the borrow or waste activity is regulated under the Mining Act of 1971, or is a landfill regulated by the Division of Waste Management. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered separate land-disturbing activities and must be permitted either through the Sedimentation Pollution Control Act as a one-use borrow site or through the Mining Act.

**NCDENR SELF-INSPECTION PROGRAM**  
THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2008 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TAKE EFFECT OCTOBER 1, 2010.

THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

EXCERPTS FROM THE NORTH CAROLINA GENERAL STATUTES AND THE NORTH CAROLINA ADMINISTRATIVE CODE CONCERNING SELF-INSPECTIONS ARE ENCLOSED TO BETTER EXPLAIN THE REQUIREMENTS. A LIST OF FREQUENTLY ASKED QUESTIONS IS ALSO ENCLOSED, ALONG WITH A SELF-INSPECTION REPORT FORM. THE SELF-INSPECTION REPORT FORM WILL ALSO BE AVAILABLE AS AN EXCEL SPREADSHEET FROM THE LAND QUALITY WEB SITE.

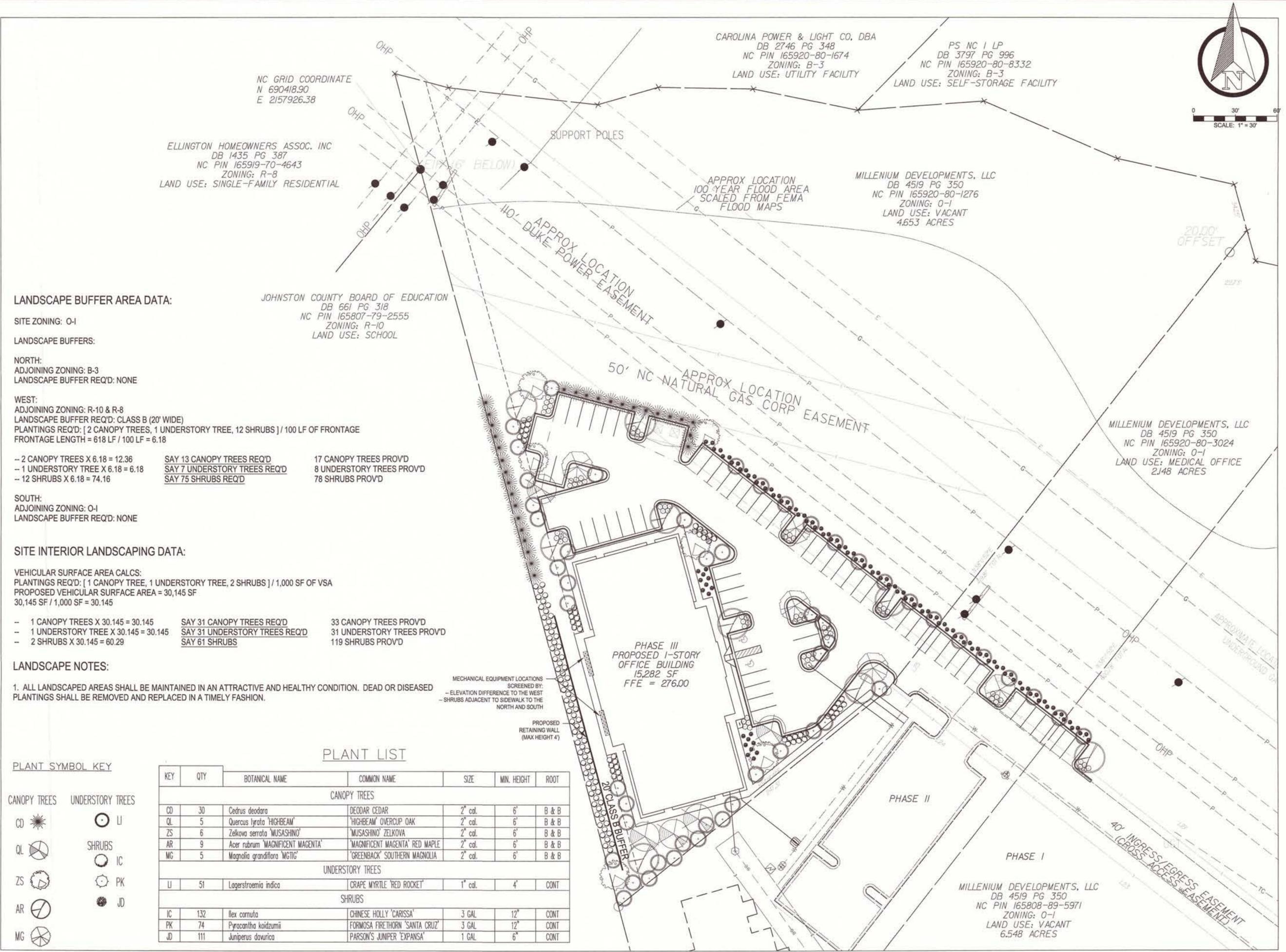
[http://www.dir.enr.state.nc.us/pages/sedimentation\\_new.html](http://www.dir.enr.state.nc.us/pages/sedimentation_new.html)



CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA  
LANDSCAPE PLAN

Sheet	Date	By
CD	4-28-15	ZPN

Project No.	15336.04
Checked by	MVZ
Drawn by	ZPN
Drawing	LANDSCAPE PLAN
File Name	CPC_BASE.dwg



LANDSCAPE BUFFER AREA DATA:

SITE ZONING: O-1  
LANDSCAPE BUFFERS:  
NORTH:  
ADJOINING ZONING: B-3  
LANDSCAPE BUFFER REQ'D: NONE

WEST:  
ADJOINING ZONING: R-10 & R-8  
LANDSCAPE BUFFER REQ'D: CLASS B (20' WIDE)  
PLANTINGS REQ'D: [ 2 CANOPY TREES, 1 UNDERSTORY TREE, 12 SHRUBS ] / 100 LF OF FRONTAGE  
FRONTAGE LENGTH = 618 LF / 100 LF = 6.18

-- 2 CANOPY TREES X 6.18 = 12.36	SAY 13 CANOPY TREES REQ'D	17 CANOPY TREES PROV'D
-- 1 UNDERSTORY TREE X 6.18 = 6.18	SAY 7 UNDERSTORY TREES REQ'D	8 UNDERSTORY TREES PROV'D
-- 12 SHRUBS X 6.18 = 74.16	SAY 75 SHRUBS REQ'D	78 SHRUBS PROV'D

SOUTH:  
ADJOINING ZONING: O-1  
LANDSCAPE BUFFER REQ'D: NONE

SITE INTERIOR LANDSCAPING DATA:

VEHICULAR SURFACE AREA CALCS:  
PLANTINGS REQ'D: [ 1 CANOPY TREE, 1 UNDERSTORY TREE, 2 SHRUBS ] / 1,000 SF OF VSA  
PROPOSED VEHICULAR SURFACE AREA = 30,145 SF  
30,145 SF / 1,000 SF = 30.145

-- 1 CANOPY TREES X 30.145 = 30.145	SAY 31 CANOPY TREES REQ'D	33 CANOPY TREES PROV'D
-- 1 UNDERSTORY TREE X 30.145 = 30.145	SAY 31 UNDERSTORY TREES REQ'D	31 UNDERSTORY TREES PROV'D
-- 2 SHRUBS X 30.145 = 60.29	SAY 61 SHRUBS	119 SHRUBS PROV'D

LANDSCAPE NOTES:

1. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

PLANT LIST

PLANT SYMBOL KEY

CANOPY TREES

CD QL ZS AR MG

UNDERSTORY TREES

LI

SHRUBS

IC PK JD

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MIN. HEIGHT	ROOT
CANOPY TREES						
CD	30	<i>Cedrus deodara</i>	DEODAR CEDAR	2" cal.	6'	B & B
QL	5	<i>Quercus lyrata</i> 'HIGHBEAM'	'HIGHBEAM' OVERCUP OAK	2" cal.	6'	B & B
ZS	6	<i>Zelkova serrata</i> 'MUSASHINO'	'MUSASHINO' ZELKOVA	2" cal.	6'	B & B
AR	9	<i>Acer rubrum</i> 'MAGNIFICENT MAGENTA'	'MAGNIFICENT MAGENTA' RED MAPLE	2" cal.	6'	B & B
MG	5	<i>Magnolia grandiflora</i> 'MGTC'	'GREENBACK' SOUTHERN MAGNOLIA	2" cal.	6'	B & B
UNDERSTORY TREES						
LI	51	<i>Lagerstroemia indica</i>	CRAPE MYRTLE 'RED ROCKET'	1" cal.	4'	CONT
SHRUBS						
IC	132	<i>Ilex cornuta</i>	CHINESE HOLLY 'CARISSA'	3 GAL	12"	CONT
PK	74	<i>Pyracantha koidzumii</i>	FORMOSA FIRETHORN 'SANTA CRUZ'	3 GAL	12"	CONT
JD	111	<i>Juniperus doaniana</i>	PARSON'S JUNIPER 'EXPANSA'	1 GAL	6"	CONT



NORTH CAROLINA

CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY

Revised	Date	By
CD	4-28-15	ZPN

Project No. 15336.04  
Checked by MVZ  
Drawn by JDS  
Drawing

DETAILS

File Name: CPC\_DETAILS.dwg

Details Provided by APPIAN Consulting Engineers - www.applan.com

**Fall Permanent Seeding** August 15 - November 1  
Lime 2 tons/ac  
5-10-10 Fertilizer 1000 lbs/ac  
0-20-0 500 lbs/ac  
Unscarified Service Lespedeza 60 lbs/ac  
Ky-31 Fescue 30 lbs/ac  
Rye Grain 25 lbs/ac  
★ Straw Mulch 2 tons/ac

**Fall Permanent Seeding - Centipede:** September 1 - February 28  
Lime 2 tons/ac  
Fertilizer (low nitrogen approved for Centipede) (Appropriate fertilizer approved for centipede application)  
Rye Grain 90 lbs/ac  
Centipede Seed 15 lbs/ac (overseeded in spring)  
★ Straw Mulch 2 tons/ac

**Winter Temporary Cover** November 1 - February 28  
Lime 2 tons/ac  
10-10-10 Fertilizer 700 lbs/ac  
Oats 50 lbs/ac  
Rye Grain 20 lbs/ac  
★ Straw Mulch 2 tons/ac

**Spring Permanent Seeding** March 1 - April 30  
Lime 2 tons/ac  
5-10-10 Fertilizer 1000 lbs/ac  
0-20-0 500 lbs/ac  
Scarified Service Lespedeza 60 lbs/ac  
Ky-31 Fescue 30 lbs/ac  
Browntop Millet 20 lbs/ac  
★ Straw Mulch 2 tons/ac

**Spring Permanent Seeding - Centipede:** April 1 - July 15  
Lime 2 tons/ac  
Fertilizer (low nitrogen approved for Centipede) (Appropriate fertilizer approved for centipede application)  
Centipede Seed 90 lbs/ac  
★ Straw Mulch 2 tons/ac

**Late Spring Permanent Seeding** March 15 - June 30  
Lime 2 tons/ac  
10-10-10 Fertilizer 1000 lbs/ac  
0-20-0 500 lbs/ac  
Scarified Service Lespedeza 60 lbs/ac  
Common Bermuda Grass (hulled) 8 lbs/ac  
★ Straw Mulch 2 tons/ac

**Summer Temporary Cover** June 30 - August 3  
Lime 2 tons/ac  
10-10-10 Fertilizer 700 lbs/ac  
Browntop Millet 40 lbs/ac  
★ Straw Mulch 2 tons/ac

**NOTES:**  
1. ★ Mulch will be doubled if crimping is the method used.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**SEEDING SPECIFICATIONS**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 1 of 4

Details Provided by APPIAN Consulting Engineers - www.applan.com

**TYPICAL SIDEWALK with UTILITY STRIP**

**TYPICAL EXPANSION JOINT DETAIL**

**NOTES:**  
1. Provide 1" deep tooled traverse structural score joint with 1/8" radius at 5'-0" o.c.  
2. 1/2" preformed asphalt impregnated expansion strip joints to be placed 40'-0" o.c. longitudinally, adjacent to curbs, when butting existing structures, concrete, or buildings, and at changes in width.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL CONCRETE SIDEWALK AND EXPANSION JOINT DETAIL**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 1 of 1

Details Provided by APPIAN Consulting Engineers - www.applan.com

**TYPICAL WHEELCHAIR RAMP - TYPE I**

**NOTES:**  
1. Detectable warnings shall contrast visually with adjoining surfaces, either light on dark or dark on light.  
2. The material used to provide contrast shall be an integral part of the walking surface.  
3. Dimensions assume sidewalk is parallel to street and perpendicular to curb.  
4. Concrete shall be tinted battleship gray. Painted surface will not be acceptable.  
5. Domes are not required for handicap ramps located in single family developments.  
6. Handicap ramps are not required until such time as sidewalk is connected to return. Otherwise contractors are required to depress curb to the minimum dimensions shown for future ramp construction.  
7. Single handicap ramps at the center of the return are not permitted.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL WHEELCHAIR RAMP - TYPE I**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 2 of 3

Details Provided by APPIAN Consulting Engineers - www.applan.com

**TYPICAL WHEELCHAIR RAMP - TYPE I**

**NOTES:**  
1. Detectable warnings shall contrast visually with adjoining surfaces, either light on dark or dark on light.  
2. The material used to provide contrast shall be an integral part of the walking surface.  
3. Dimensions assume sidewalk is parallel to street and perpendicular to curb.  
4. Concrete shall be tinted battleship gray. Painted surface will not be acceptable.  
5. Domes are not required for handicap ramps located in single family developments.  
6. Handicap ramps are not required until such time as sidewalk is connected to return. Otherwise contractors are required to depress curb to the minimum dimensions shown for future ramp construction.  
7. Single handicap ramps at the center of the return are not permitted.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**TYPICAL WHEELCHAIR RAMP - TYPE I**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 3 of 3

Details Provided by APPIAN Consulting Engineers - www.applan.com

**WATER MAIN EMBEDMENT DETAILS**

**NOTES:**  
1. For normal pipe sizes 14 inch and larger, consideration should be given to the use of laying conditions other than Type 1.  
2. Consideration of the pipe-zone embedment conditions included in this figure may be influenced by factors other than pipe strength. For additional information on pipe bedding and backfill, see ANSI/AWWA C600.  
3. See detail 511.01 for unsuitable trench subgrade requirements.  
4. See Specifications Section 02275, Section 2.1.2 for pipe bedding definitions.  
5. Loose soil shall be either native soil excavated from trench or borrow, both conforming in composition to "Selected Earth Backfill" as defined in Specifications Section 02275, Part 2 - PRODUCTS.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**WATER MAIN EMBEDMENT DETAILS**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 1 of 4

Details Provided by APPIAN Consulting Engineers - www.applan.com

**PIPE EMBEDMENT DETAILS**

**NOTES:**  
1. For normal water pipe sizes 14 inch and larger, consideration should be given to the use of laying conditions other than Type 1.  
2. Consideration of the pipe-zone embedment conditions included in this figure may be influenced by factors other than pipe strength. For additional information on pipe bedding and backfill, see ANSI/AWWA C600.

TOWN of CLAYTON  
USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY

**PIPE EMBEDMENT DETAILS**

SCALE: Not To Scale  
REVISION DATE: July, 2010  
SHEET # 2 of 4

Details Provided by APPIAN Consulting Engineers - www.applan.com

**PIPE EMBEDMENT DETAILS**

**TABLE 107 - DESCRIPTION OF MATERIAL CLASSIFICATION (As Defined in ASTM D2922)**

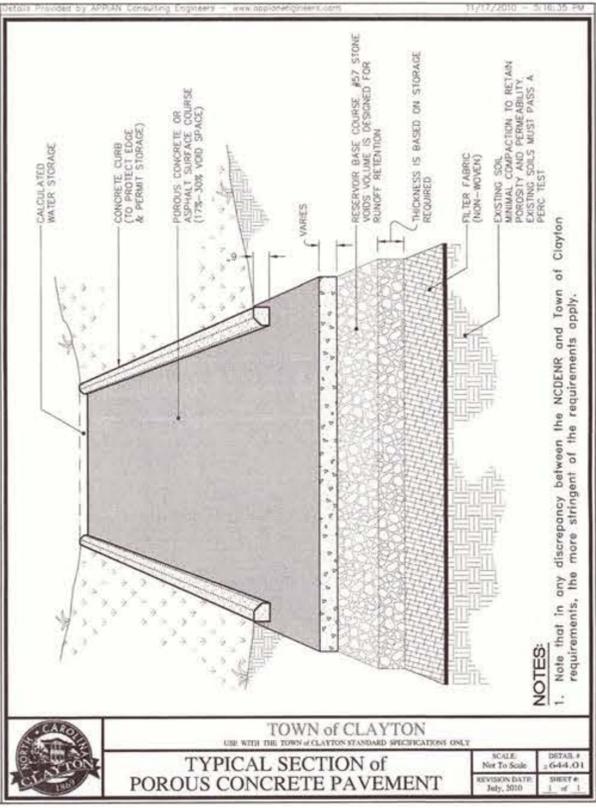
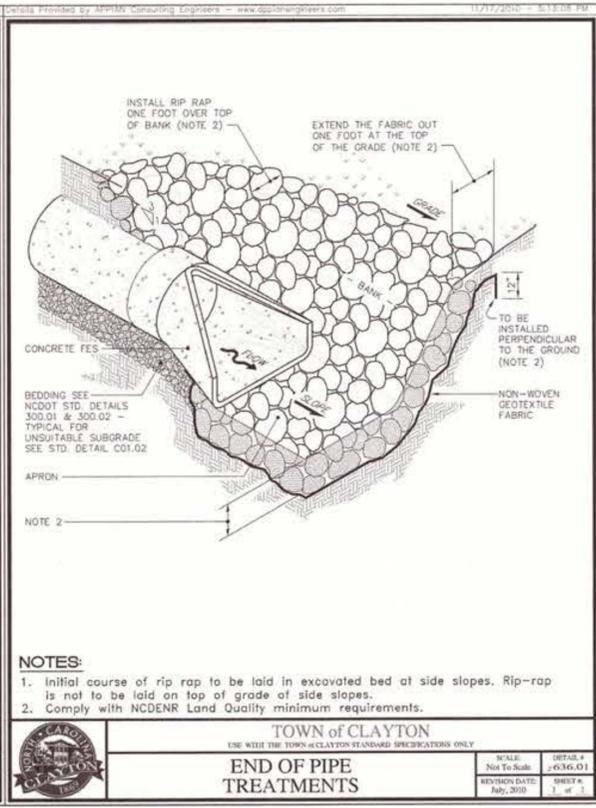
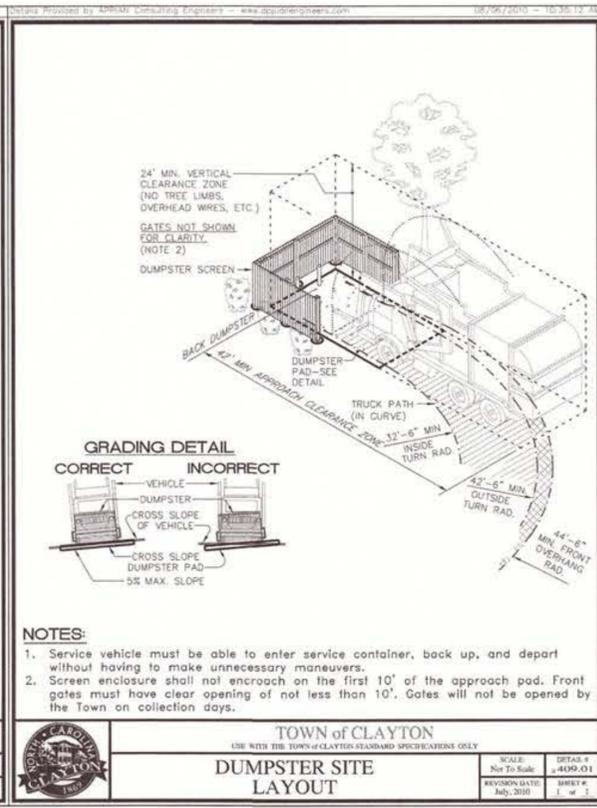
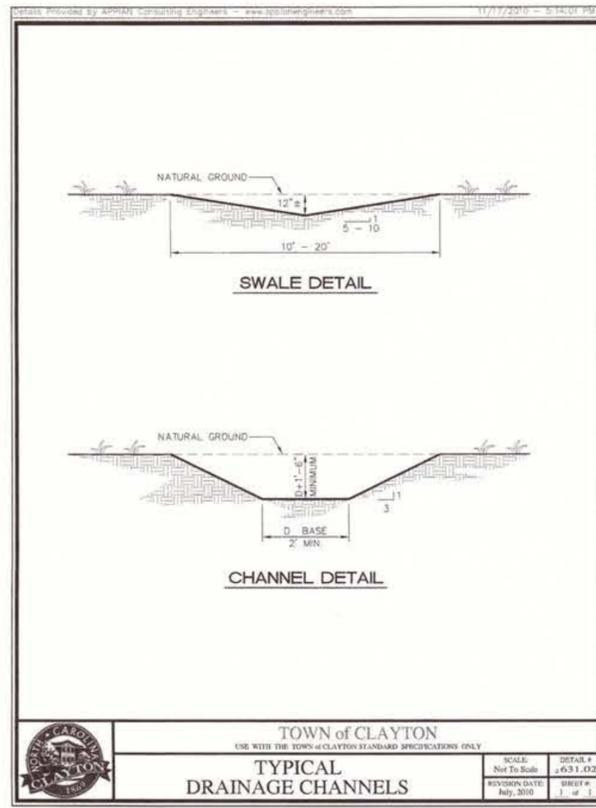
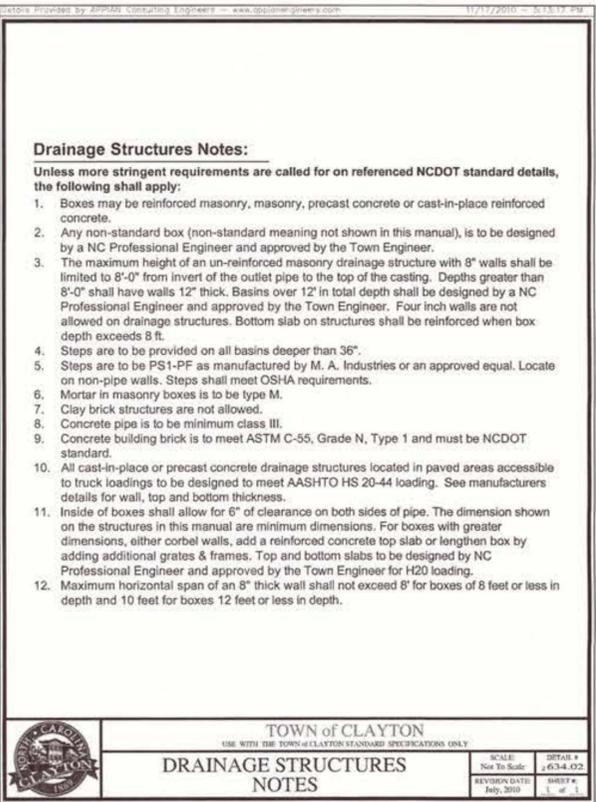
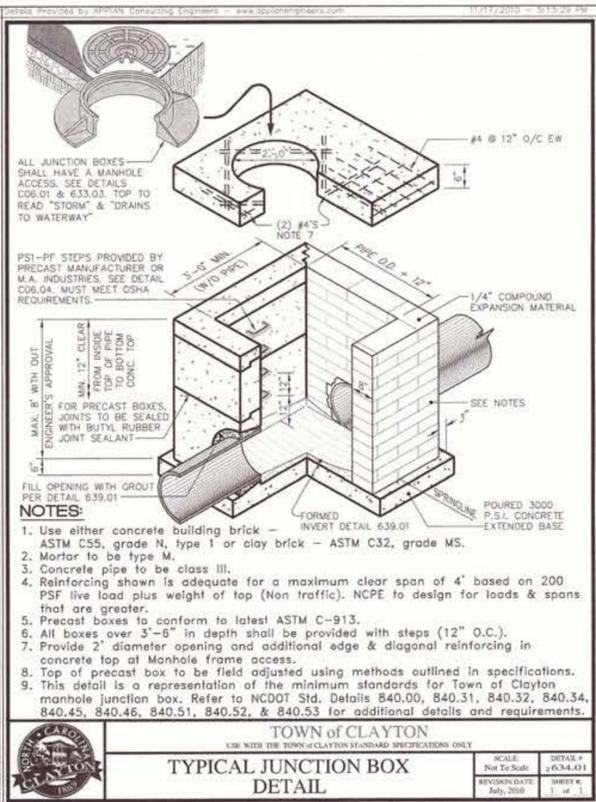
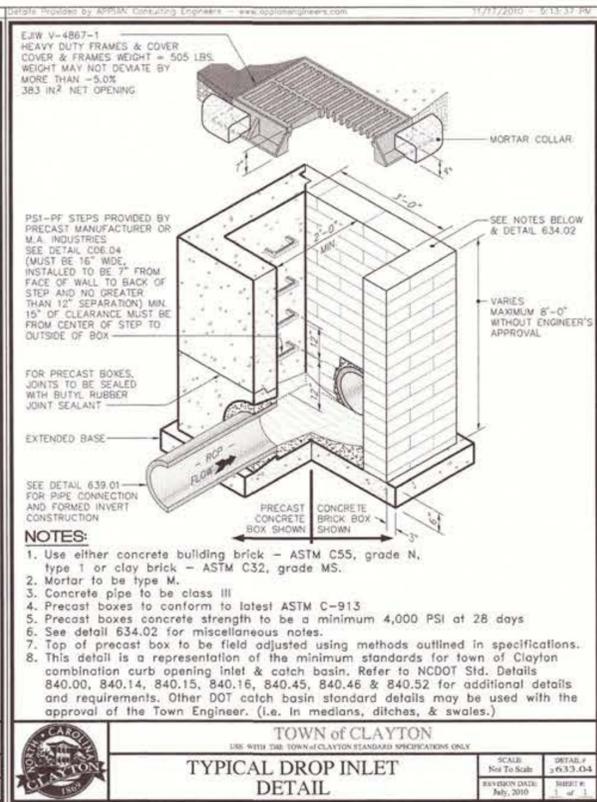
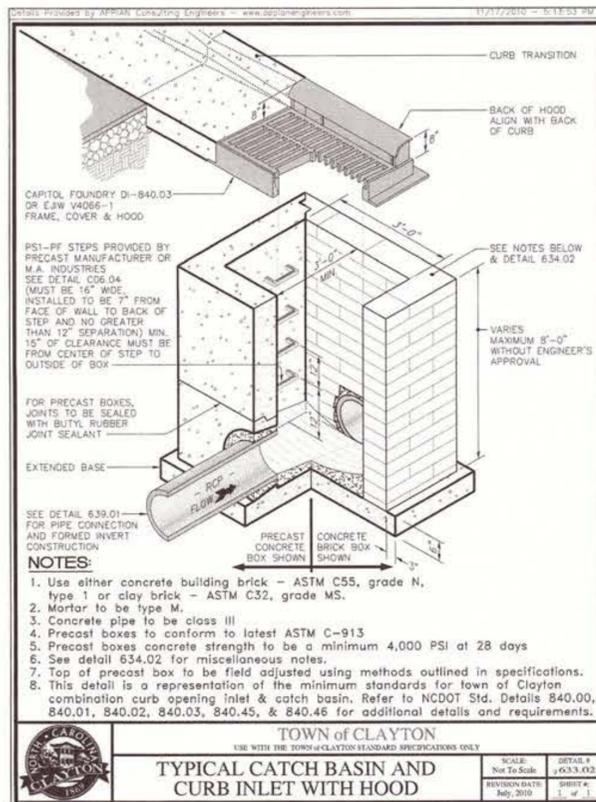
Soil Symbol	Description	Percentage Passing Size	Allowing Limits	Coefficients
Group	Notes	U.S. Sieves (ASTM)	U.L. P.L.	Uniformity Coefficient
1	Aggregate (sand) 40 to 60 mesh	100	100	1.0
2	Aggregate (sand) 20 to 40 mesh	100	100	1.0
3	Aggregate (sand) 10 to 20 mesh	100	100	1.0
4	Aggregate (sand) 4.75 to 10 mesh	100	100	1.0
5	Aggregate (sand) 2.0 to 4.75 mm	100	100	1.0
6	Aggregate (sand) 0.85 to 2.0 mm	100	100	1.0
7	Aggregate (sand) 0.425 to 0.85 mm	100	100	1.0
8	Aggregate (sand) 0.25 to 0.425 mm	100	100	1.0
9	Aggregate (sand) 0.15 to 0.25 mm	100	100	1.0
10	Aggregate (sand) 0.075 to 0.15 mm	100	100	1.0
11	Aggregate (sand) 0.0475 to 0.075 mm	100	100	1.0
12	Aggregate (sand) 0.025 to 0.0475 mm	100	100	1.0
13	Aggregate (sand) 0.015 to 0.025 mm	100	100	1.0
14	Aggregate (sand) 0.0075 to 0.015 mm	100	100	1.0
15	Aggregate (sand) 0.00425 to 0.0075 mm	100	100	1.0
16	Aggregate (sand) 0.0025 to 0.00425 mm	100	100	1.0
17	Aggregate (sand) 0.0015 to 0.0025 mm	100	100	1.0
18	Aggregate (sand) 0.00075 to 0.0015 mm	100	100	1.0
19	Aggregate (sand) 0.000475 to 0.00075 mm	100	100	1.0
20	Aggregate (sand) 0.00025 to 0.000475 mm	100	100	1.0
21	Aggregate (sand) 0.00015 to 0.00025 mm	100	100	1.0
22	Aggregate (sand) 0.000075 to 0.00015 mm	100	100	1.0
23	Aggregate (sand) 0.0000475 to 0.000075 mm	100	100	1.0
24	Aggregate (sand) 0.000025 to 0.0000475 mm	100	100	1.0
25	Aggregate (sand) 0.000015 to 0.000025 mm	100	100	1.0
26	Aggregate (sand) 0.0000075 to 0.000015 mm	100	100	1.0
27	Aggregate (sand) 0.00000475 to 0.0000075 mm	100	100	1.0
28	Aggregate (sand) 0.0000025 to 0.00000475 mm	100	100	1.0
29	Aggregate (sand) 0.0000015 to 0.0000025 mm	100	100	1.0
30	Aggregate (sand) 0.00000075 to 0.0000015 mm	100	100	1.0
31	Aggregate (sand) 0.000000475 to 0.00000075 mm	100	100	1.0
32	Aggregate (sand) 0.00000025 to 0.000000475 mm	100	100	1.0
33	Aggregate (sand) 0.00000015 to 0.00000025 mm	100	100	1.0
34	Aggregate (sand) 0.000000075 to 0.00000015 mm	100	100	1.0
35	Aggregate (sand) 0.0000000475 to 0.000000075 mm	100	100	1.0
36	Aggregate (sand) 0.000000025 to 0.0000000475 mm	100	100	1.0
37	Aggregate (sand) 0.000000015 to 0.000000025 mm	100	100	1.0
38	Aggregate (sand) 0.0000000075 to 0.000000015 mm	100	100	1.0
39	Aggregate (sand) 0.00000000475 to 0.0000000075 mm	100	100	1.0
40	Aggregate (sand) 0.0000000025 to 0.00000000475 mm	100	100	1.0
41	Aggregate (sand) 0.0000000015 to 0.0000000025 mm	100	100	1.0
42	Aggregate (sand) 0.00000000075 to 0.0000000015 mm	100	100	1.0
43	Aggregate (sand) 0.000000000475 to 0.00000000075 mm	100	100	1.0
44	Aggregate (sand) 0.00000000025 to 0.000000000475 mm	100	100	1.0
45	Aggregate (sand) 0.00000000015 to 0.00000000025 mm	100	100	1.0
46	Aggregate (sand) 0.000000000075 to 0.00000000015 mm	100	100	1.0
47	Aggregate (sand) 0.0000000000475 to 0.000000000075 mm	100	100	1.0
48	Aggregate (sand) 0.000000000025 to 0.0000000000475 mm	100	100	1.0
49	Aggregate (sand) 0.000000000015 to 0.000000000025 mm	100	100	1.0
50	Aggregate (sand) 0.0000000000075 to 0.000000000015 mm	100	100	1.0
51	Aggregate (sand) 0.00000000000475 to 0.0000000000075 mm	100	100	1.0
52	Aggregate (sand) 0.0000000000025 to 0.00000000000475 mm	100	100	1.0
53	Aggregate (sand) 0.0000000000015 to 0.0000000000025 mm	100	100	1.0
54	Aggregate (sand) 0.00000000000075 to 0.0000000000015 mm	100	100	1.0
55	Aggregate (sand) 0.000000000000475 to 0.00000000000075 mm	100	100	1.0
56	Aggregate (sand) 0.00000000000025 to 0.000000000000475 mm	100	100	1.0
57	Aggregate (sand) 0.00000000000015 to 0.00000000000025 mm	100	100	1.0
58	Aggregate (sand) 0.000000000000075 to 0.00000000000015 mm	100	100	1.0
59	Aggregate (sand) 0.0000000000000475 to 0.000000000000075 mm	100	100	1.0
60	Aggregate (sand) 0.000000000000025 to 0.0000000000000475 mm	100	100	1.0
61	Aggregate (sand) 0.000000000000015 to 0.000000000000025 mm	100	100	1.0
62	Aggregate (sand) 0.0000000000000075 to 0.000000000000015 mm	100	100	1.0
63	Aggregate (sand) 0.00000000000000475 to 0.0000000000000075 mm	100	100	1.0
64	Aggregate (sand) 0.0000000000000025 to 0.00000000000000475 mm	100	100	1.0
65	Aggregate (sand) 0.0000000000000015 to 0.0000000000000025 mm	100	100	1.0
66	Aggregate (sand) 0.00000000000000075 to 0.0000000000000015 mm	100	100	1.0
67	Aggregate (sand) 0.000000000000000475 to 0.00000000000000075 mm	100	100	1.0
68	Aggregate (sand) 0.00000000000000025 to 0.000000000000000475 mm	100	100	1.0
69	Aggregate (sand) 0.00000000000000015 to 0.00000000000000025 mm	100	100	1.0
70	Aggregate (sand) 0.000000000000000075 to 0.00000000000000015 mm	100	100	1.0
71	Aggregate (sand) 0.0000000000000000475 to 0.000000000000000075 mm	100	100	1.0
72	Aggregate (sand) 0.000000000000000025 to 0.0000000000000000475 mm	100	100	1.0
73	Aggregate (sand) 0.000000000000000015 to 0.000000000000000025 mm	100	100	1.0
74	Aggregate (sand) 0.0000000000000000075 to 0.000000000000000015 mm	100	100	1.0
75	Aggregate (sand) 0.00000000000000000475 to 0.0000000000000000075 mm	100	100	1.0
76	Aggregate (sand) 0.0000000000000000025 to 0.00000000000000000475 mm	100	100	1.0
77	Aggregate (sand) 0.0000000000000000015 to 0.0000000000000000025 mm	100	100	1.0
78	Aggregate (sand) 0.00000000000000000075 to 0.0000000000000000015 mm	100	100	1.0
79	Aggregate (sand) 0.000000000000000000475 to 0.00000000000000000075 mm	100	100	1.0
80	Aggregate (sand) 0.00000000000000000025 to 0.000000000000000000475 mm	100	100	1.0
81	Aggregate (sand) 0.00000000000000000015 to 0.00000000000000000025 mm	100	100	1.0
82	Aggregate (sand) 0.000000000000000000075 to 0.00000000000000000015 mm	100	100	1.0
83	Aggregate (sand) 0.0000000000000000000475 to 0.000000000000000000075 mm	100	100	1.0
84	Aggregate (sand) 0.000000000000000000025 to 0.0000000000000000000475 mm	100	100	1.0
85	Aggregate (sand) 0.000000000000000000015 to 0.000000000000000000025 mm	100	100	1.0
86	Aggregate (sand) 0.0000000000000000000075 to 0.000000000000000000015 mm	100	100	1.0
87	Aggregate (sand) 0.00000000000000000000475 to 0.0000000000000000000075 mm	100	100	1.0
88	Aggregate (sand) 0.0000000000000000000025 to 0.00000000000000000000475 mm	100	100	1.0
89	Aggregate (sand) 0.0000000000000000000015 to 0.0000000000000000000025 mm	100	100	1.0
90	Aggregate (sand) 0.00000000000000000000075 to 0.0000000000000000000015 mm	100	100	1.0
91	Aggregate (sand) 0.000000000000000000000475 to 0.00000000000000000000075 mm	100	100	1.0
92	Aggregate (sand) 0.00000000000000000000025 to 0.000000000000000000000475 mm	100	100	1.0
93	Aggregate (sand) 0.00000000000000000000015 to 0.00000000000000000000025 mm	100	100	1.0
94	Aggregate (sand) 0.000000000000000000000075 to 0.00000000000000000000015 mm	100	100	1.0
95	Aggregate (sand) 0.0000000000000000000000475 to 0.000000000000000000000075 mm	100	100	1.0
96	Aggregate (sand) 0.000000000000000000000025 to 0.0000000000000000000000475 mm	100	100	1.0
97	Aggregate (sand) 0.000000000000000000000015 to 0.000000000000000000000025 mm	100	100	1.0
98	Aggregate (sand) 0.0000000000000000000000075 to 0.000000000000000000000015 mm	100	100	1.0
99	Aggregate (sand) 0.00000000000000000000000475 to 0.0000000000000000000000075 mm	100	100	1.0
100	Aggregate (sand) 0.0000000000000000000000025 to 0.00000000000000000000000475 mm	100	100	1.0
101	Aggregate (sand) 0.0000000000000000000000015 to 0.0000000000000000000000025 mm	100	100	1.0
102	Aggregate (sand) 0.00000000000000000000000075 to 0.0000000000000000000000015 mm	100	100	1.0
103	Aggregate (sand) 0.000			



CLAYTON PROFESSIONAL CENTER  
PHASE III  
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JOHNSTON COUNTY

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DETAILS



Rev	Date	By
CD	4-28-15	ZPN

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Drawn By: JDS

DETAILS

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CLAYTON PROFESSIONAL CENTER  
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NORTH CAROLINA

DETAILS

Rev	By	Date
CD	4-28-15	ZPN

Project No. 15336.04  
Checked by MVZ  
Drawn by JDS  
Drawing

**NOTES:**  
1. See specification section 02275 Trenching, Backfilling, and Compaction of Utilities for backfill and compaction requirements.

TOWN of CLAYTON	
SCALE: 3/4" = 1'-0"	SHEET # 1 of 1
REVISION DATE: July 2010	DATE: July 2010

**DETAIL of ROCK EXCAVATION**

**NOTES:**  
1. See detail C06.01 for addition frame & cover detail.

TOWN of CLAYTON	
SCALE: Not To Scale	SHEET # 1 of 1
REVISION DATE: July 2010	DATE: July 2010

**STANDARD STORM DRAINAGE COVERS**

**STORMGATE VAULT - PLAN VIEW**

**STORMGATE VAULT - SECTION VIEW**

STORMGATE VAULT DATA	
STRUCTURE ID	000
ENTER QUALITY FLOW RATE (GPM)	3.00
PEAK FLOW RATE (GPM)	8.00
VAULT LENGTH	3.00
VAULT WIDTH	3.00
FLOW ELEVATION	300.00

**STORMGATE VAULT HIGH FLOW BYPASS TOP VIEW, WEIR DETAIL, DATA AND NOTES STANDARD DETAIL**

**GENERAL NOTES:**

- STORMGATE BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OR (503) 548-4667, SCARBOROUGH, ME (877) 907-8676; ELKWOOD, MD (866) 740-3818.
- PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C897 AND C895. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. LENGTH AND WIDTH OF VAULT WILL VARY DEPENDING ON PIPE DIAMETER AND ORIENTATION. PLEASE CONTACT CONTECH STORMWATER SOLUTIONS TO DETERMINE VAULT SIZES AND AVAILABILITY. ACTUAL DIMENSIONS AND CONFIGURATION WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 (100) LOAD RATING.
- INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMGATE VAULT EQUIPPED WITH EITHER CORUG OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.
- CONTRACTOR TO ADJUST WEIR TO DESIGN ELEVATION SPECIFIED IN DATA TABLE BELOW. DO NOT EXCEED 5.0 FT-LBS TORQUE WHEN TIGHTENING SCREWS ON WEIR FRAME. SEAL WEIR TO FRAME WITH RTV SILICONE SEALANT AFTER FINAL ADJUSTMENT.

**WEIR DETAIL - PLAN VIEW**

**WEIR DETAIL - SECTION VIEW**

**STORMGATE VAULT - TOP VIEW**

STORMGATE VAULT DATA	
STRUCTURE ID	000
ENTER QUALITY FLOW RATE (GPM)	3.00
PEAK FLOW RATE (GPM)	8.00
VAULT LENGTH	3.00
VAULT WIDTH	3.00
FLOW ELEVATION	300.00

**STORMGATE VAULT HIGH FLOW BYPASS TOP VIEW, WEIR DETAIL, DATA AND NOTES STANDARD DETAIL**

A. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ABUTTING THE CURB AT EITHER SIDE OF THE INLET OPENING. A 2"x4" STUD SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF THE SPACER BLOCKS TO BRACE THE FRONT BLOCKS. FRONT BLOCKS ARE PLACED ON THEIR SIDES ACROSS THE INLET AND ABUTTING THE SPACER BLOCK.

B. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE BLOCKS TO PREVENT FILTER STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS.

C. NCDOT #5 WASHED STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCKS.

D. CHECK DEVICE AFTER EACH RAIN. REPLACE WASHED STONE IF IT CLOWS WITH SEDIMENT.

**NOTES:** APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE INLET.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT	
SCALE: 3/4" = 1'-0"	SHEET # 1 of 1
REVISION DATE: 2-8-2012	DATE: 2-8-2012

**STANDARD SILT FENCE OUTLET**

**CONSTRUCTION SPECIFICATIONS:**

- LAY ONE BLOCK (EACH SIDE OF THE STRUCTURE OVERFLOW CAPABILITY). PLACE THE BOTTOM ROW OF BLOCKS AGAINST CURB AND ADJUST WIRE MESH TO PREVENT OVERFLOW OCCURS.
- GRAVEL WITH 10-MINUTE OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
- USE CLEAN GRAVEL. PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE ON FLAT AND 4 INCHES ON 2:1 SLOPE. GRAVEL MUST BE WASHED STONE IS RECOMMENDED.

**NOT TO BE USED FOR SEDIMENT STORAGE OR ON ROADWAYS OPEN TO PUBLIC TRAFFIC**

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT	
SCALE: Not To Scale	SHEET # 1 of 1
REVISION DATE: July 2010	DATE: July 2010

**TEMPORARY SEDIMENT TRAP**

**PERSPECTIVE VIEW**

**TOP VIEW**

**BAFFLE DETAIL**

**NOTE:**

- 3 BAFFLES (MIN) BETWEEN INLET & OUTLET.
- SEE A.C. DESIGN BRIDGE AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES.
- PLANNING CONSIDERATION & DESIGN CRITERIA.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT	
SCALE: Not To Scale	SHEET # 1 of 1
REVISION DATE: 8-11-10	DATE: 8-11-10

**STANDARD SILT FENCE OUTLET**

**FRONT VIEW**

**SECTION VIEW**

**NOTE:**

- 1. REPLACE STONE AS NECESSARY TO MAINTAIN OVERFLOW.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT	
SCALE: Not To Scale	SHEET # 1 of 1
REVISION DATE: 11-10-12	DATE: 11-10-12

**STANDARD SILT FENCE OUTLET**



**WETHERILL ENGINEERING**  
559 JONES RANKIN ROAD STE. 14  
RALEIGH, NORTH CAROLINA 27606  
LIC. NO. 22321  
CONTRACT NO. 14-037  
CONTRACT DESCRIPTION: CONSTRUCTION OBSERVATION

CLAYTON PROFESSIONAL CENTER  
PHASE III  
TOWN OF CLAYTON  
JOHNSTON COUNTY  
NORTH CAROLINA  
DETAILS

Issued	Date	By
CD	4-28-15	ZPN

Project No. 15336.04  
Checked By MVZ  
Drawn By JDS  
Drawing

DETAILS

File Name: CPC\_DETAILS.dwg  
Sheet

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**GRAVEL CONSTRUCTION ENTRANCE**

100 FT. MIN.  
20 FT.  
2-3 INCH COARSE AGGREGATE  
8 IN. MIN. DEPTH

NOTE: PLACE FILTRATION GEOTEXTILE BENEATH STONE

NOTES:  
1. PROVIDE TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS.  
2. LOCATE ENTRANCES TO PROVIDE FOR UTILIZATION BY ALL CONSTRUCTION VEHICLES.  
3. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.  
4. ANY MATERIAL TRACKED ONTO THE ROADWAY MUST BE CLEANED UP IMMEDIATELY.  
5. LOCATE GRAVEL CONSTRUCTION ENTRANCE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED. PROVIDE FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE.  
6. NUMBER AND LOCATION OF CONSTRUCTION ENTRANCES TO BE DETERMINED BY THE ENGINEER.  
7. USE 2-3 INCH COARSE AGGREGATE, 8 INCH MINIMUM DEPTH.  
8. INSTALL CONSTRUCTION ENTRANCES IN A WAY TO PREVENT VEHICLES FROM BYPASSING CONSTRUCTION ENTRANCE LEAVING PROJECT SITE.

ENGLISH STANDARD DRAWING FOR  
**GRAVEL CONSTRUCTION ENTRANCE**

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

1607.01

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**TEMPORARY ROCK SILT CHECK TYPE B**

ISOMETRIC VIEW  
CROSS SECTION VEE DITCH  
CROSS SECTION TRAPEZOIDAL DITCH  
ELEVATION VIEW

NOTES:  
USE CLASS B EROSION CONTROL STONE FOR STRUCTURAL STONE.  
THE ENGINEER MAY DIRECT THE OPTION OF CLASS A STONE FOR SITES HAVING LESS THAN ONE (1) ACRE DRAINAGE AREA AND A DITCH GRADE LESS THAN 2%.  
USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL. PLACE SEDIMENT CONTROL STONE AS DIRECTED.

ENGLISH STANDARD DRAWING FOR  
**TEMPORARY ROCK SILT CHECK TYPE B**

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

1633.02

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**TEMPORARY SILT FENCE**

24" MAX. (18" MIN.)  
6' MAX. WITH WIRE  
(6' MAX. WITHOUT WIRE)  
MIDDLE AND VERTICAL WIRES SHALL BE 12 1/2 GAUGE MIN.  
TOP AND BOTTOM STRAND SHALL BE 10 GAUGE MIN.  
WIRE  
FILTRATION GEOTEXTILE  
COMPACTED FILL  
STEEL POST - 2" x 2" DEPTH  
EXTENSION OF GEOTEXTILE AND WIRE INTO TRENCH

NOTES:  
USE WIRE A MINIMUM OF 32" IN WIDTH AND WITH A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.  
USE FILTRATION GEOTEXTILE A MINIMUM OF 36" IN WIDTH AND FASTEN ADEQUATELY TO THE WIRE AS DIRECTED.  
PROVIDE 5'-0" STEEL POST OF THE SELF-FASTENER ANGLE STEEL TYPE.  
FOR MECHANICAL SLICING METHOD INSTALLATION, GEOTEXTILE SHALL BE A MAXIMUM OF 18" ABOVE GROUND SURFACE.

ENGLISH STANDARD DRAWING FOR  
**TEMPORARY SILT FENCE**

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

1605.01

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**SPECIAL SEDIMENT CONTROL FENCE**

3 ft  
1/4 WIRE MESH  
SEDIMENT CONTROL STONE  
1 ft MIN.  
WATER FLOW  
1/4 WIRE MESH  
STEEL POST - 2" x 2" DEPTH

NOTES:  
USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL STONE.  
USE HARDWARE CLOTH 24 GAUGE WIRE MESH WITH 1/4 INCH MESH OPENINGS.  
INSTALL 5 FT. SELF FASTENER ANGLE STEEL POST 2 FT. DEEP MINIMUM.  
SPACE POST A MAXIMUM OF 3 FT.  
FOR INSTALLATION BETWEEN SECTIONS OF SILT FENCE, EXTEND SEDIMENT CONTROL STONE A MINIMUM OF 12" IN WIDTH ON EACH SIDE OF SPECIAL SEDIMENT CONTROL FENCE SECTION.

ENGLISH STANDARD DRAWING FOR  
**SPECIAL SEDIMENT CONTROL FENCE**

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
RALEIGH, N.C.

1606.01

**BELSON OUTDOORS**  
111 North River Road  
North Aurora, IL 60542  
Phone: (800) 323-5664  
Fax: (815) 887-6572  
sales@belson.com

Model # U190-SF-G  
Dimension Sheet

U RACK | 1 LOOP 3 BIKES

ELEVATION VIEW  
19-3/8 x 12  
34 x 12  
16-1/8  
18-1/8 x 12  
1-7/8" O.D. TUBING  
LAG BOLT  
CONCRETE

www.belson.com

COARSE AGGREGATE  
3:1 MAX.  
24" MIN.  
FLOW  
9" TYPICAL  
\* USE FOR VEHICLE CROSSINGS ONLY

**TEMPORARY GRAVEL DIVERSION DIKE**  
NOT TO SCALE

**MAINTENANCE**  
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

STEEP CUT OR FILL SLOPE  
2:1 MAX.  
2' MIN. COMPACTED  
2' MIN.  
6" TYPICAL  
18"  
2:1  
ORIGINAL GRADE  
CROSS SECTION  
STABILIZE DIVERSION DITCH BASED ON DESIGN VELOCITY.

NOTE:  
AT A MINIMUM, SEED, STRAW & TACK REQUIRED FOR SITE INSPECTION APPROVAL

CITY OF RALEIGH  
PUBLIC WORKS DEPARTMENT  
DIVISION DITCH  
SW-20-11



# CLAYTON PROFESSIONAL CENTER

900 S. LOMBARD ST.  
CLAYTON, NC 27520



**STEPHENSON**  
GENERAL CONTRACTORS  
SINCE 1973  
1090 W. MARKET ST.  
SMITHFIELD, NC 27577

Project Consultants

**PLUMBING / MECHANICAL / ELECTRICAL**  
**COASTAL PLAINS ENGINEERING**  
CHRIS LOCKLEAR, PE  
P.O. BOX 1117 PEMBROKE, NC 28372  
TEL: (910) 521-7213

**STRUCTURAL**

**NEVILLE ENGINEERING**  
AUGUSTUS NEVILLE, PE  
100-B CULBRETCH RD.  
CHAPEL HILL, NC 27516  
TEL: (919) 740-3427

For Construction  
 Not for Construction  
 Review Set  
 Bid Set

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Issue Date:

Plot Date: 03/19/15

Revisions

Mark	Date	Description

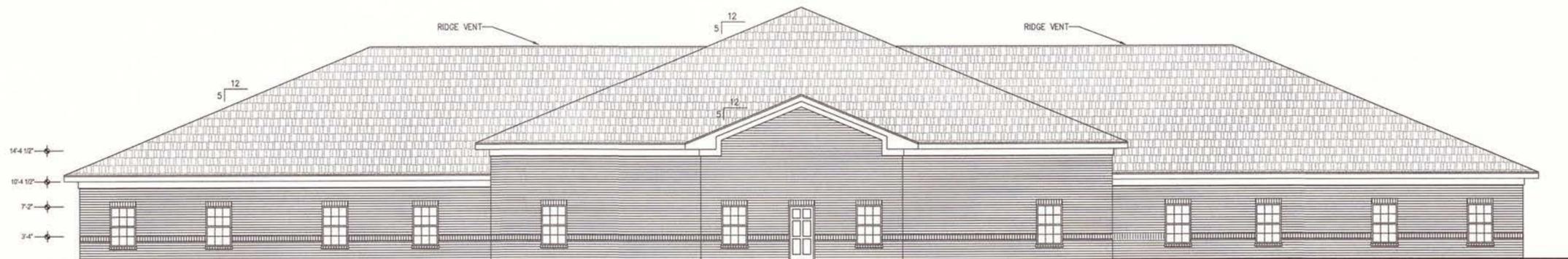
Drawing No.

ELEVATIONS **A-3**

of

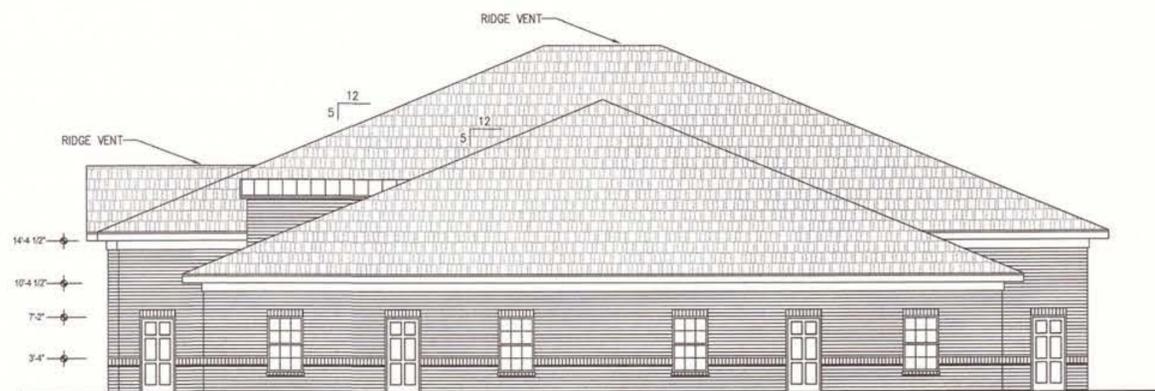
**ARCHITECT**

**RON W. WEBB**  
P.O. BOX 581  
FARMVILLE, NC 27828  
TEL: (252) 531-2711



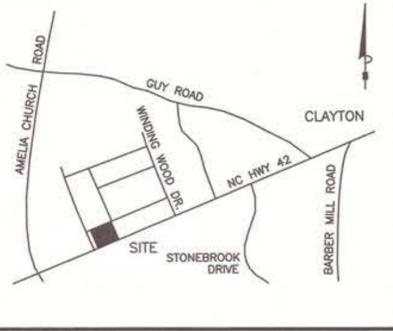
## REAR ELEVATION

SCALE: 1/8" = 1'-0"



## LEFT ELEVATION

SCALE: 1/8" = 1'-0"



VICINITY MAP (NOT TO SCALE)

# SITE PLAN FOR EDWARD JONES SITE TOWN OF CLAYTON - JOHNSTON COUNTY, NC

## INDEX TO DRAWINGS

- SHEET 1 - COVER SHEET
- SHEET 2 - EXISTING CONDITIONS SHEET
- SHEET 3 - SITE LAYOUT PLAN
- SHEET 4 - GRADING & UTILITIES PLAN
- SHEET 5 - LANDSCAPE PLAN (NOTE: BY OTHERS)
- SHEET 6 - BUILDING ELEVATIONS

**NOTES:**

1. STRUCTURE RELATED DRAWINGS WILL BE PERMITTED, REVIEWED, AND INSPECTED IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE BY TOWN OF CLAYTON INSPECTIONS.
2. OPEN BURNING IS NOT PERMITTED WITHIN TOWN LIMITS.
3. RECREATION FEES SHALL BE PAID PRIOR TO RECORDATION OF FINAL PLAT.

### ENGINEER

DALTON ENGINEERING AND ASSOCIATES, P. A.  
446 EAST MAIN STREET P. O. BOX 426  
CLAYTON, NC 27520 CLAYTON, NC 27528  
(919) 550-4740 - FAX (919) 550-4741

### OWNER

BOLL WEEVIL LLC  
472 E SECOND STREET  
CLAYTON, NC 27520

EDWARD JONES SITE



Town of Clayton Planning Department	
Date:	06/17/2015
By:	<i>[Signature]</i>
Plan Approval	

SP 2015-16

FILE COPY

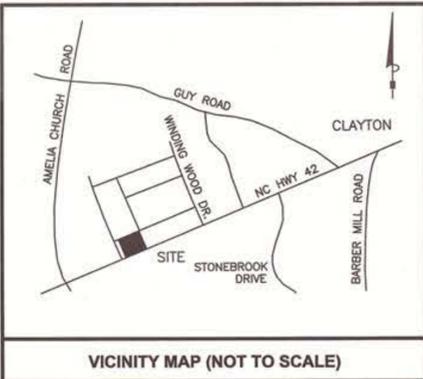


**Dalton Engineering  
and Associates, P. A.**



**CALL BEFORE YOU DIG!**  
NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION.

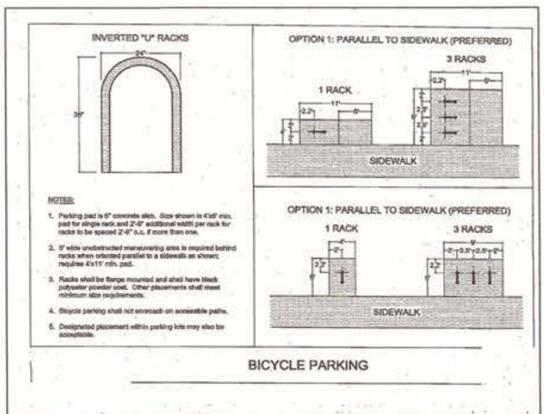
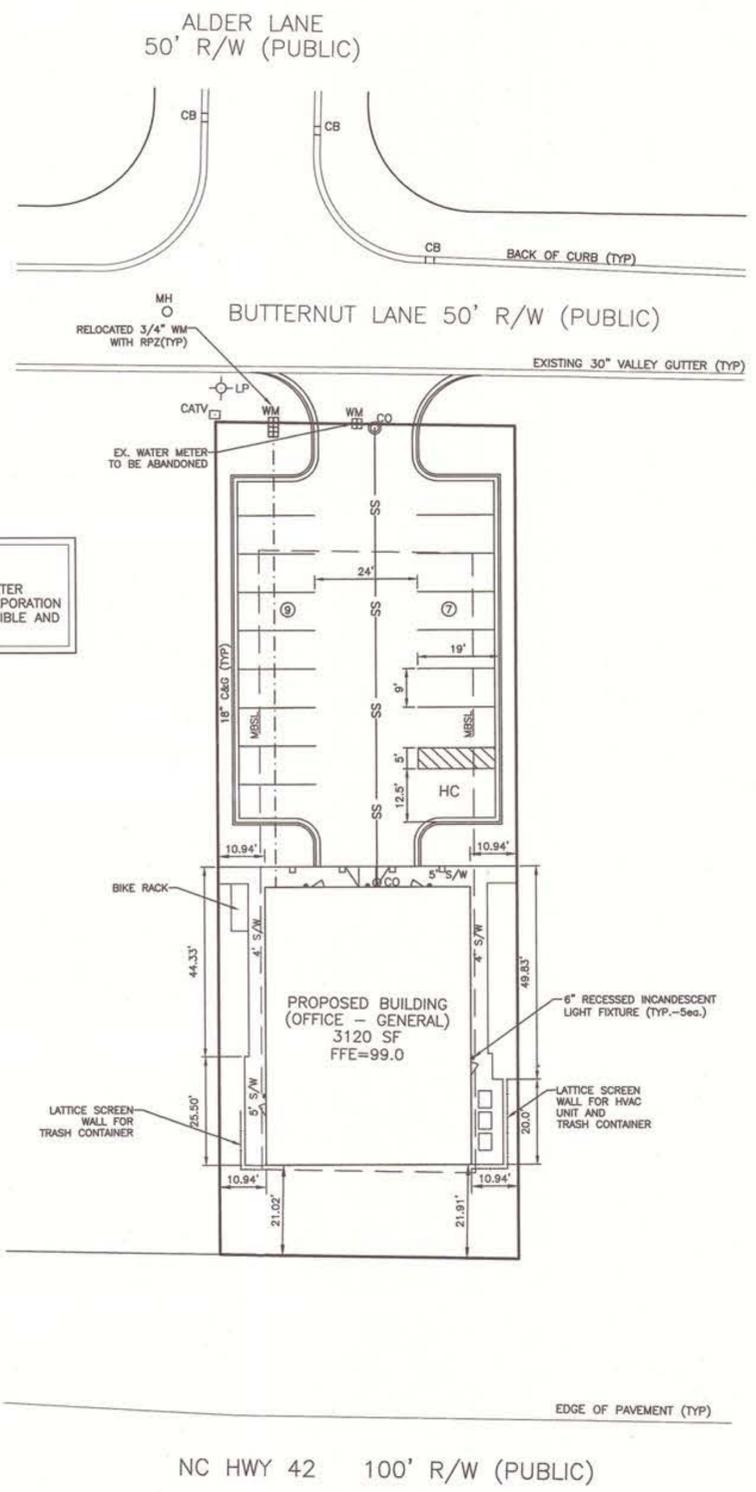
**North Carolina One-Call Center, Inc.**  
www.ncoccc.org  
1-800-632-4949



VICINITY MAP (NOT TO SCALE)

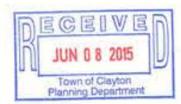
SITE DATA TABLE	
DEVELOPMENT NAME:	EDWARD JONES SITE
PARCEL PIN:	185801-27-2020
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE
TOTAL LOT ACREAGE:	0.313 AC. (13,646.86 SF)
PROPERTY LOCATED IN TOWN LIMITS:	YES
ZONING DISTRICT:	WALNUT CREEK II PHASE ONE
OVERLAY DISTRICT:	O-1
CONSTRUCTION HEATED SF:	3,120 SF
BUILDING COVERAGE:	22.86%
MAXIMUM BUILDING HEIGHT:	24'-0" (SEE PLAN)
IMPERVIOUS AREA:	10,175.71 SF (74.56%)
MAXIMUM PER LOT IMPERVIOUS AREA:	75%
PARKING SPACES REQUIRED:	11 SPACES (1 PER 300 SF)
PARKING SPACES PROVIDED:	16 SPACES
HANDICAP SPACES PROVIDED:	1 SPACES
WATER SYSTEM OWNER:	TOWN OF CLAYTON
SEWER SYSTEM OWNER:	TOWN OF CLAYTON
ELECTRICAL PROVIDER:	PROGRESS ENERGY
O-1 BUILDING SETBACKS REQUIRED:	
STREET YARD:	30'
SIDE STREET:	20'
SIDE: (ABUTTING RESIDENTIAL):	30'
SIDE: (INTERIOR):	10'
REAR:	20'
REAR: (ABUTTING RESIDENTIAL):	30'

**NOTE:**  
 ABANDONMENT OF WATER SERVICES 2" OR LESS IN DIAMETER SHALL BE PERFORMED BY CUTTING THE LINE AT THE CORPORATION STOP ON THE MAIN OR AS CLOSE TO THE MAIN AS POSSIBLE AND A MINIMUM ONE-FOOT SEGMENT OF LINE REMOVED.



POST AND RING BICYCLE RACK  
 NOT TO SCALE

Town of Clayton  
 Planning Department  
 Date: 06/17/2015  
 By: [Signature]  
 Plan Approval



SP 2015-16 **FILE COPY**

**SITE LAYOUT PLAN FOR EDWARD JONES SITE**

CLAYTON TOWNSHIP - JOHNSTON COUNTY, N.C.

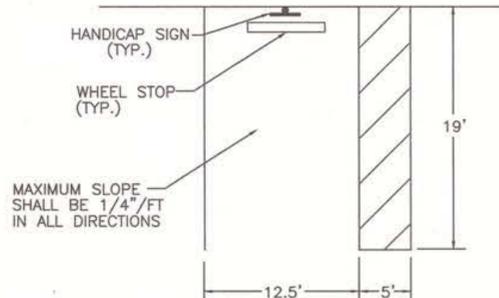
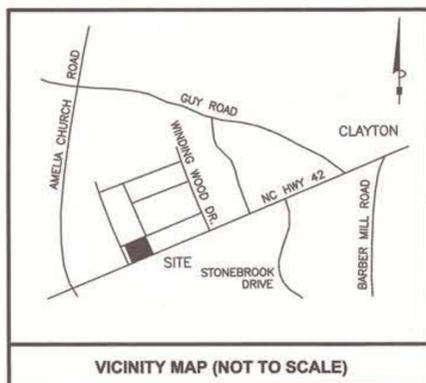
**CALL BEFORE YOU DIG!**  
 NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION.  
 North Carolina One-Call Center, Inc.  
 www.ncocc.org  
 1-800-632-4949

SOME WATER, SANITARY SEWER, ELECTRIC, TELEPHONE AND CABLE SERVICES COULD EXIST ALONG THE CONSTRUCTION ROUTE THAT MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROPER UTILITY IN ADVANCE TO LOCATE THESE SERVICES.



**Dalton Engineering and Associates, P. A.**  
 446 East Main Street  
 P.O. Box 426  
 Clayton, NC 27520  
 (919) 550-4740  
 Fax (919) 550-4741

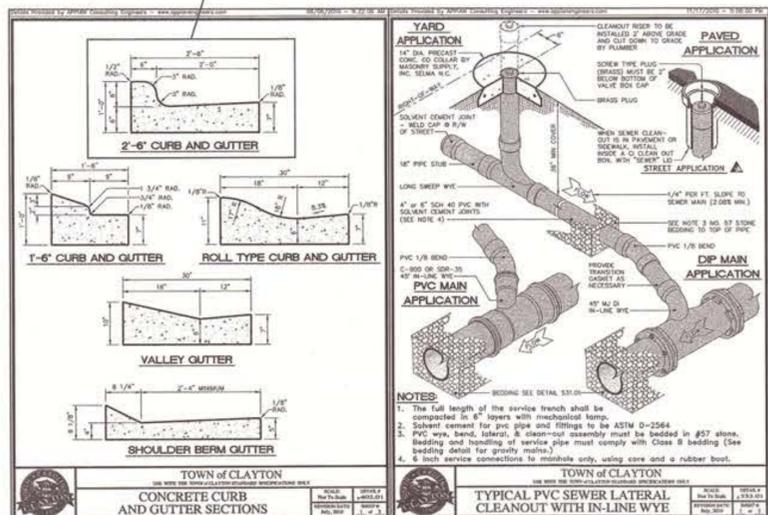
Job: 15008	Date: 4/1/15	Revision: 001
File: GRADING	Drawn: WJB	Sheet: 3 of 6



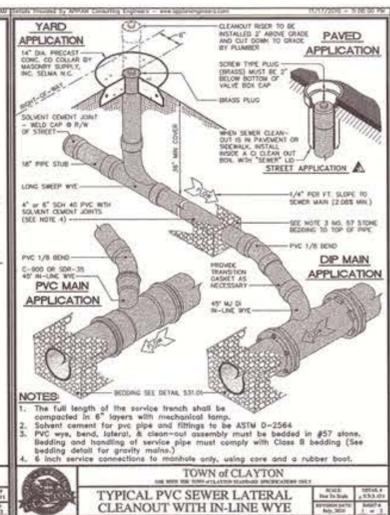
**HANDICAP PARKING DETAIL**

NOTE: SEE NC BUILDING CODE VOLUME 1-C

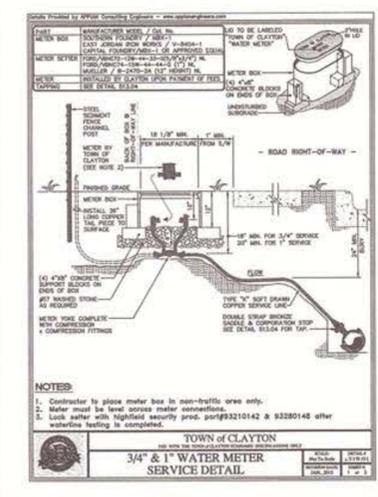
NOTE: 30" GUTTER TO BE USED WITHIN TOWN OF CLAYTON RIGHT-OF-WAY



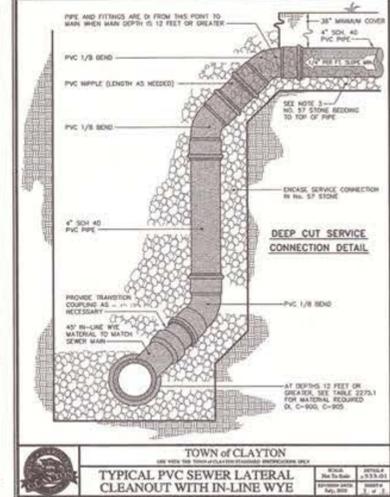
TOWN OF CLAYTON CONCRETE CURB AND GUTTER SECTIONS



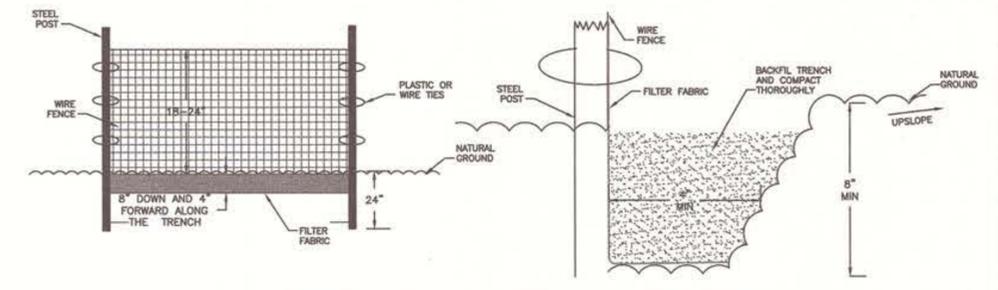
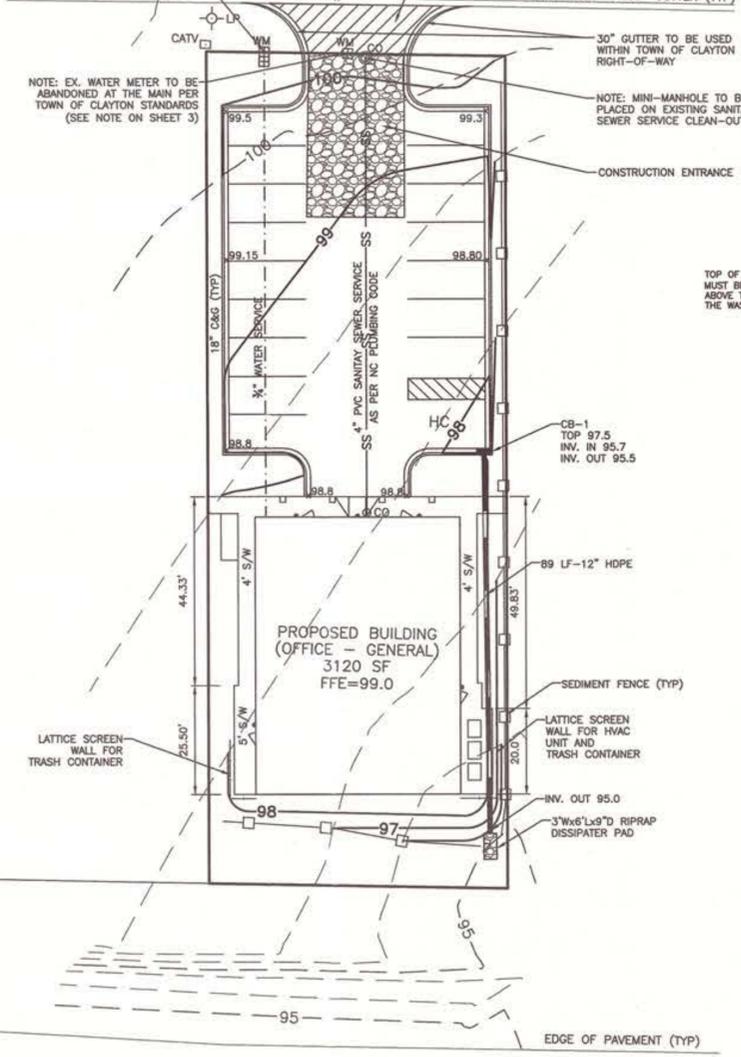
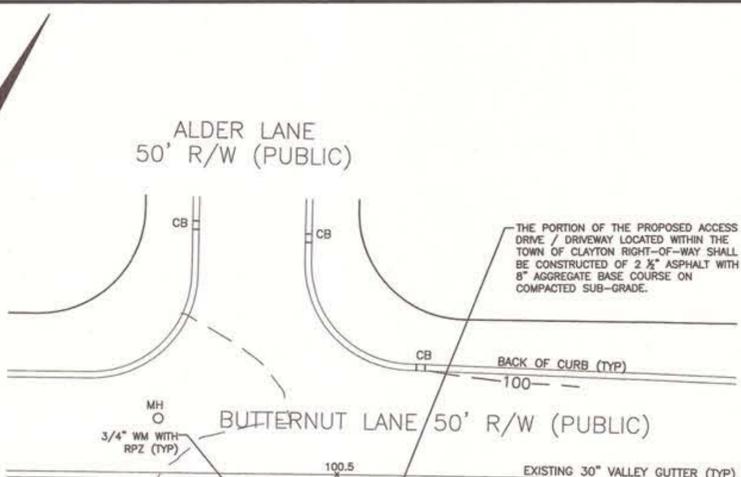
TOWN OF CLAYTON TYPICAL PVC SEWER LATERAL CLEANOUT WITH IN-LINE WYE



TOWN OF CLAYTON 3/4" & 1" WATER METER SERVICE DETAIL

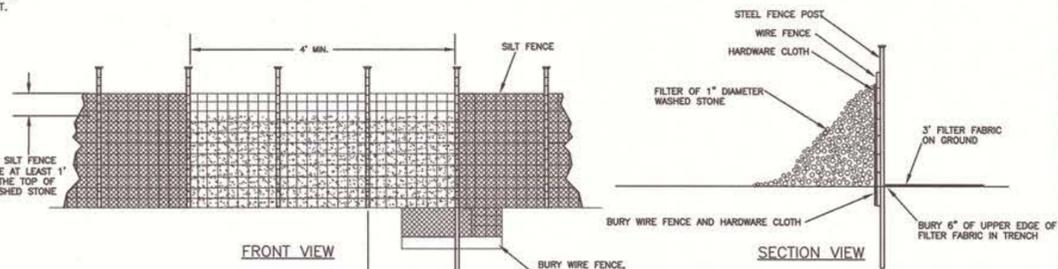


TOWN OF CLAYTON TYPICAL PVC SEWER LATERAL CLEANOUT WITH IN-LINE WYE



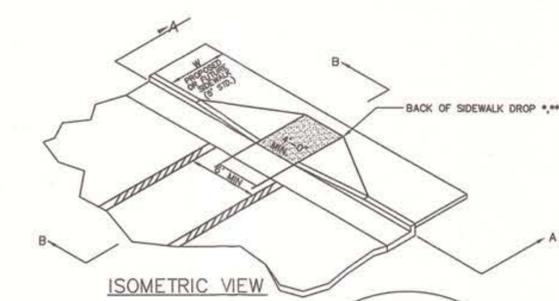
**INSTALLATION, MAINTENANCE, AND REMOVAL SCHEDULE FOR SEDIMENT FENCE**

INSTALL SEDIMENT FENCE IMMEDIATELY FOLLOWING THE COMPLETION OF CLEARING ON THE LOT. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF THE SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. LAND QUALITY MUST BE CONTACTED FOR AN INSPECTION PRIOR TO REMOVING ANY TEMPORARY DEVICES. AFTER LAND QUALITY INSPECTION AND APPROVAL, REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENTS DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

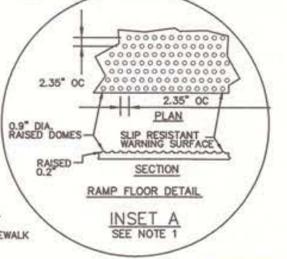


**SEDIMENT FENCE WITH STABILIZED OUTLET**

NOT TO SCALE



W	A	W+A+9'	X	B
2'	0.0'	5.8'	5.8'	5.0'
3'	0.0'	8.8'	8.8'	6.0'
4'	0.0'	11.8'	11.8'	7.0'
5'	0.0'	14.8'	14.8'	8.0'
6'	0.0'	17.8'	17.8'	9.0'
7'	0.0'	20.8'	20.8'	10.0'
8'	0.0'	23.8'	23.8'	11.0'
9'	0.0'	26.8'	26.8'	12.0'
10'	0.0'	29.8'	29.8'	13.0'
11'	0.0'	32.8'	32.8'	14.0'
12'	0.0'	35.8'	35.8'	15.0'
13'	0.0'	38.8'	38.8'	16.0'
14'	0.0'	41.8'	41.8'	17.0'
15'	0.0'	44.8'	44.8'	18.0'
16'	0.0'	47.8'	47.8'	19.0'
17'	0.0'	50.8'	50.8'	20.0'
18'	0.0'	53.8'	53.8'	21.0'
19'	0.0'	56.8'	56.8'	22.0'
20'	0.0'	59.8'	59.8'	23.0'



**STANDARD WHEELCHAIR RAMP**

SINGLE TYPE  
NOTE: SEE NC BUILDING CODE VOLUME 1-C



**GRADING & UTILITIES PLAN**

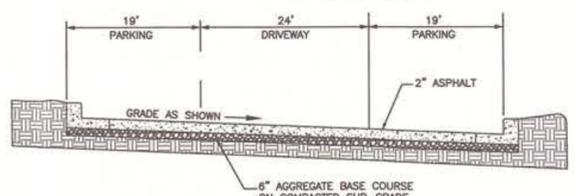
FOR EDWARD JONES SITE

CLAYTON TOWNSHIP - JOHNSTON COUNTY, N.C.

**CALL BEFORE YOU DIG!**  
NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION.  
**North Carolina One-Call Center, Inc.**  
www.ncoccc.org  
1-800-632-4949

**INSTALLATION, MAINTENANCE, AND REMOVAL SCHEDULE FOR CONSTRUCTION ENTRANCE**

INSTALL THE CONSTRUCTION ENTRANCE BEFORE CLEARING/STRIPPING BEGINS ON THE SITE. MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS. REMOVE THE CONSTRUCTION ENTRANCE AT THE TIME THAT GRADING ON THE SITE IS COMPLETED AND THE SITE HAS AN ESTABLISHED, VEGETATIVE COVER.



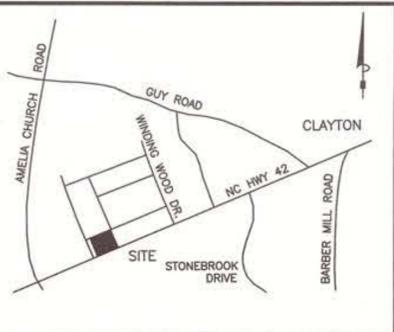
**TYPICAL SECTION PARKING & ACCESS DRIVE**

NOT TO SCALE

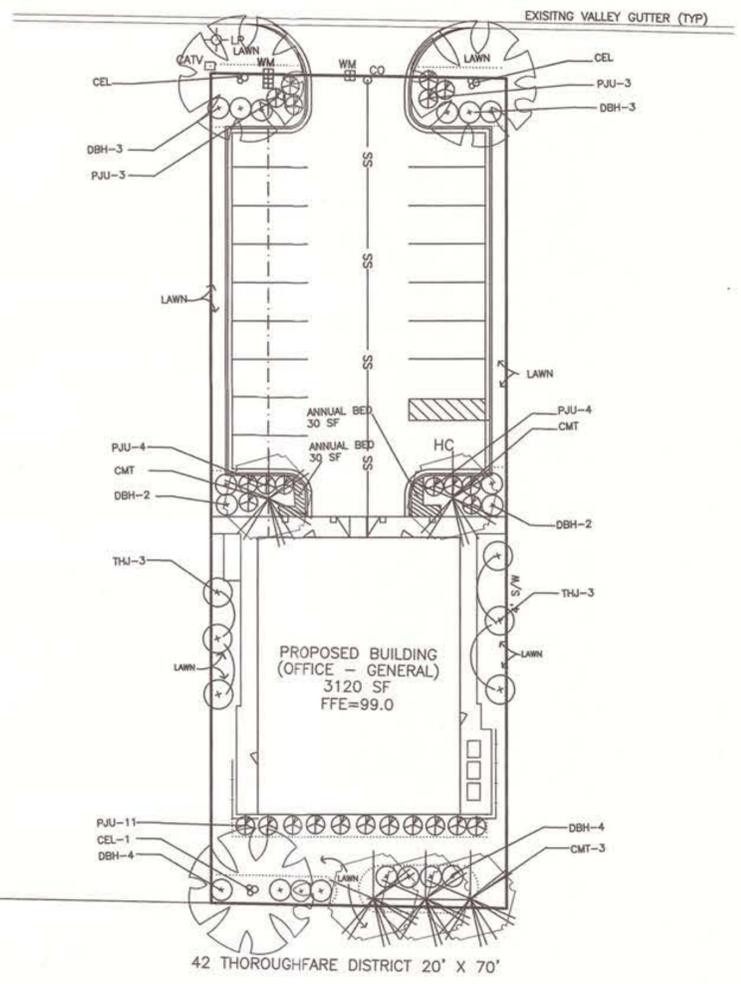
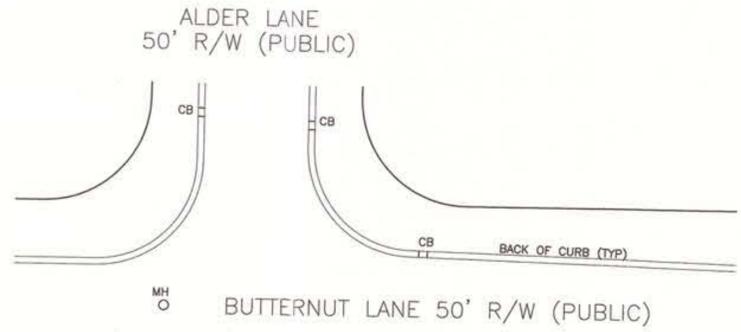
SOME WATER, SANITARY SEWER, ELECTRIC, TELEPHONE AND CABLE SERVICES COULD EXIST ALONG THE CONSTRUCTION ROUTE THAT MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROPER UTILITY IN ADVANCE TO LOCATE THESE SERVICES.

**Dalton Engineering and Associates, P.A.**  
446 East Main Street  
P.O. Box 426  
Clayton, NC 27520  
(919) 550-4740  
Fax (919) 550-4741

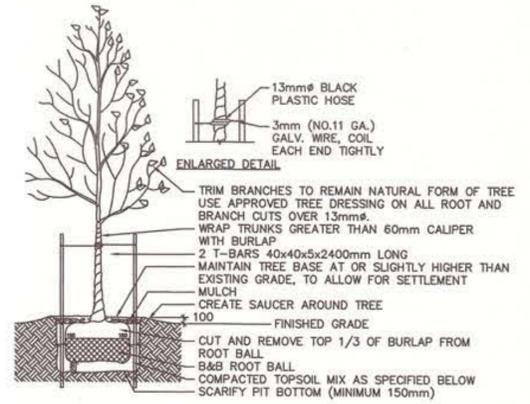
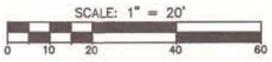
Job: 15008 Date: 4/1/15 Revision: 001  
File: GRADING Drawn: WJB Sheet: 4 of 6



VICINITY MAP (NOT TO SCALE)



EDGE OF PAVEMENT (TYP)  
NC HWY 42 100' R/W (PUBLIC)



DECIDUOUS TREE DETAIL

SPECIFICATIONS:

1. TOPSOIL MIX, SEE SPEC.
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE
3. WATER THOROUGHLY AFTER INSTALLATION
4. REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION
5. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL

Planting Schedule

Code Name	Quantity	Common Name	Scientific Name	Height	Width	Comments
<b>CANOPY TREES</b>						
CEL	3	Chinese elm	Ulmus parvifolia	2 1/2" Col, 8' min	4-5'	B&B
<b>UNDERSTORY TREES</b>						
CMT	5	Dark Pink Crepe Myrtle	Lagerstroemia x 'Tuskegee'	8' - 9' 6' min. ht.	4-5'	B&B
THJ	5	Emerald Arborvitae	Thuja occidentalis 'Emerald'	6'	2'	Container
<b>SHRUBS</b>						
DBH	18	Dwarf Burford holly	Ilex cornuta 'Dwarf Burford'	30" min. ht.	18-22"	Container
PJU	25	Variegated Parson's Juniper	Juniperus davurica 'Expansa Variegata'	18-22" 12" min. ht.	12-15"	Container

General Planting Notes:

1. Mulch all new plant beds with 2" brown designer hardwood mulch.
2. Warranty plantings for 1 year period following completion.
3. Prepare plant beds by removing grass, add 6" of 50% topsoil blend soil to beds, till and rake smooth. Remove large clods, roots, etc..
4. New lawn areas to be drought resistant Fescue sod.
5. All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material. Such system shall include a rain sensor.
6. All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion.

Landscape Summary

<b>SITE DATA</b>		OFFICE
PROPOSED USE:	0.313 AC. (13,646.86 SF)	
TOTAL LOT ACREAGE:	0-1	
ZONING DISTRICT:		
<b>CONSTRUCTION</b>	3,120 SF	
HEATED SF:	22.86%	
BUILDING COVERAGE:	24'-0" (SEE PLAN)	
MAXIMUM BUILDING HEIGHT:	10,175.71 SF (74.56%)	
IMPERVIOUS AREA:	75%	
MAXIMUM PER LOT IMPERVIOUS AREA:		
<b>LANDSCAPE DATA</b>	3,471.15 SF	
LANDSCAPED AREA:	25 + %	
% OF SITE LANDSCAPED:		
% REQ. = 20%		
<b>LANDSCAPED AREA:</b>	3,471.15 SF	
CANOPY TREE REQ. AND PROVIDED:	3	
UNDERSTORY TREE REQ. AND PROVIDED:	3	
SHRUBS REQ. AND PROVIDED:	6	
<b>HWY 42 STREET BUFFER DATA</b>	70 LF	
BUFFER TYPE: A	1	
CANOPY TREE REQ. AND PROVIDED:	2	
UNDERSTORY TREE REQ. AND PROVIDED:	8	
SHRUBS REQ. AND PROVIDED:		

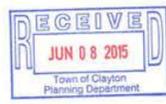
HWY 42 STREET THROUGHFARE DISTRICT DATA

Minimum Landscape Requirements 20' depth x 70' length = 1400 sf			
	Trees per 1000 sf	Shrubs per 1000 sf	
TOD Commercial	1	2	
Provided	1	2	

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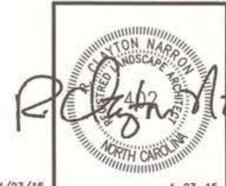
Town of Clayton Planning Department  
Date: 06/17/15  
By: [Signature]  
Plan Approval  
SP 2015-16



LANDSCAPE PLAN FOR EDWARD JONES SITE

CLAYTON TOWNSHIP - JOHNSTON COUNTY, N.C.

Clayton Narron, Landscape Architect  
312 South Fourth St., Smithfield, NC 27577  
Tele: 919-464-9329



Dalton Engineering and Associates, P. A.

446 East Main Street  
Box 426  
Clayton, NC 27520  
(919) 550-4740  
Fax (919) 550-4741

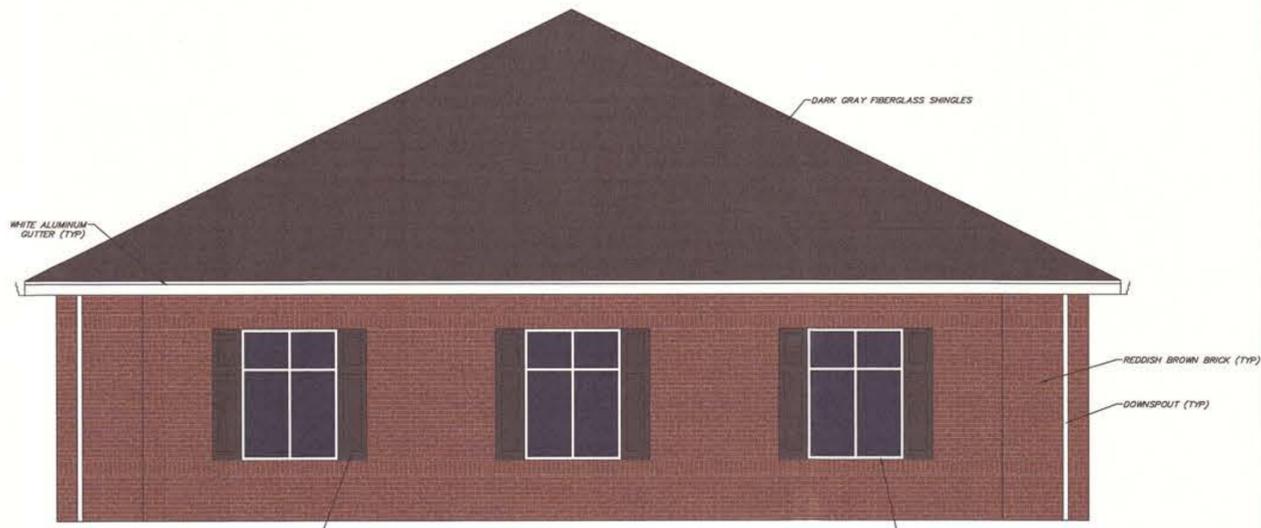
Job: 15008	Date: 4/13/15	Revision: 001
File: Lscape.dwg	Drawn: WJB	Sheet: 5 of 6



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
(ONE STORY-CLG. HT. 9'-6")  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



Town of Clayton  
Planning Department  
Date: 06/17/15  
By: *Jm*  
Plan Approval

SP 2015-16

FILE COPY

ELEVATIONS

EDWARD JONES  
OFFICE BUILDING  
200 BUTTERNUT LANE  
CLAYTON, NC 27520

DALTON GENERAL CONTRACTORS LLC.  
446 EAST MAIN STREET  
CLAYTON, NC 27520  
(919) 550-4740

MARCH 24, 2015

REVISIONS

- 1
- 2
- 3

SHEET NO.

A-2



**TOWN OF CLAYTON**

Planning Department  
111 E. Second Street, Clayton, NC 27520  
P.O. Box 879, Clayton, NC 27528  
Phone: 919-553-5002  
Fax: 919-553-1720

**MAJOR SITE PLAN APPLICATION**

*Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.*

*Application fee: \$500.00 + \$5.00 per acre. All fees are due when the application is submitted.*

*Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Major Site Plan applications.*

**SITE INFORMATION**

New Major Site Plan

Major Modification to an approved site plan

Name of Project: Edward Jones Site Acreage of Property: 0.31 acre  
Parcel ID Number: ~~105801-27-2020~~ 45602-0790 Tax ID: 4228580  
Address/Location: 200 Butternut Lane Clayton, NC 27520

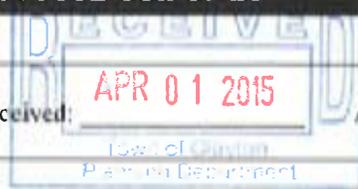
Existing Use: Vacant Lot Proposed Use: Commercial Office Space  
Zoning District: O-1

Is project within a Planned Development?:  No  
 Yes (list): \_\_\_\_\_

Is project within an Overlay District?:  No  
 Yes (list): \_\_\_\_\_

**FOR OFFICE USE ONLY**

File Number: 2015-16 Date Received: APR 01 2015 Amount Paid: \$05.00



## PROPERTY OWNER INFORMATION

Name: Boll Weevil, L.L.C.

Mailing Address: 472 East Second Street Clayton, NC 27520

Phone Number: (919) 631 - 6953 Fax: n/a

Email Address: n/a

## APPLICANT INFORMATION

Applicant: Dalton Engineering and Associates, P.A.

Mailing Address: Post Office Box 426 Clayton, NC 27528

Phone Number: (919) 550 - 4740 Fax: (919) 550 - 4741

Contact Person: Jonathan Barnes

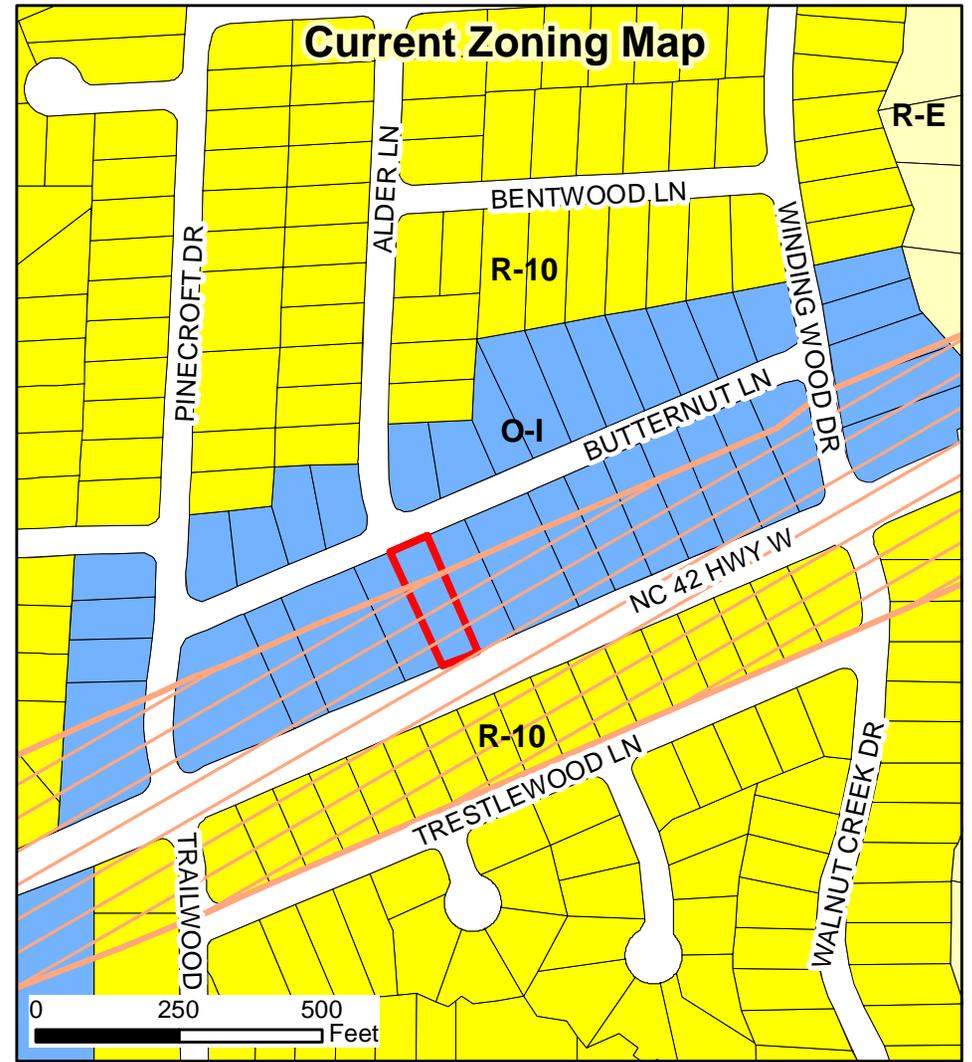
Email Address: jbarnes@daltonengineering.com

## REQUIRED INFORMATION (to be submitted with the application)

*The following items must accompany a Major Site Plan application.*

To be completed by the applicant:			To be completed by staff:		
	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	<input checked="" type="checkbox"/>				
3. Site Plan Review Fee (\$500 + \$5/acre)	<input checked="" type="checkbox"/>				
4. Completed application (9 copies)	<input checked="" type="checkbox"/>				
5. Owner's Consent Form (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i> (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Adjacent property owners list (9 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Wastewater allocation request OR verification of wastewater allocation (9 copies)	<input type="checkbox"/>	<input type="checkbox"/>			
9. Signed and sealed traffic impact analysis (2 copies)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
10. Neighborhood meeting notice letter (9 copies) <i>See sample letter and meeting requirements</i>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.				
11. Neighborhood meeting summary form (9 copies)	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				





## Edward Jones Site Major Site Plan SP2015-16

Applicant: Dalton Engineering and Associates, PA  
 Property Owner: Boll Weevil LLC  
 Tag #: 05G02039Q  
 File Number: SP2015-16

Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.  
 05/20/2015



Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2015\SP 2015-16 Edward Jones Site\Maps\Staff Report Map SP 2014-144 and SUP 2014-143.mxd



#### Legend

- |                      |       |
|----------------------|-------|
| Subject parcel       | B-1   |
| Thoroughfare Overlay | B-2   |
| Parcels              | B-3   |
| R-E                  | PD-C  |
| R-10                 | I-1   |
| R-8                  | I-2   |
| R-6                  | O-I   |
| PD-R                 | PD-MU |
| O-R                  |       |

